

**CITY OF TRACY
DETERMINATION OF THE
DIRECTOR OF DEVELOPMENT SERVICES**

Application Number D20-0030

A determination of the Director of Development Services approving a Development Review Permit application for the development of IPC Building 16, an approximately 1,120,082 square foot industrial building and associated parking and landscape improvements, on an approximately 66.7-acre site located at 689 Pavilion Parkway, Assessor's Parcel Numbers 209-220-07 and 209-220-19. The applicant is Jun Lee with HPA, Inc. and property owner is Prologis, LP.

The following considerations were relevant in evaluating this application: Existing and planned infrastructure improvements, such as adjacent roadways, water and sewer lines, storm drain systems, the project's visual impact on Promontory Parkway, Capital Parks Drive, Pavilion Parkway, and other nearby existing and planned roads, on-site circulation, architecture, and landscaping.

Staff has reviewed the application and determined that the following City regulations apply:

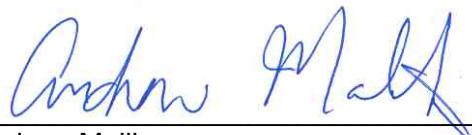
TMC Sec 10.08.3920 et seq.: Development Review
TMC Sec 10.08.3440 et seq.: Off-Street Parking Requirements
Cordes Ranch Specific Plan
City of Tracy Design Goals and Standards

The Director of Development Services has determined that the proposed project is consistent with the Cordes Ranch Specific Plan Environmental Impact Report (EIR), approved by the City Council on September 3, 2013, and the General Plan EIR approved by the City Council on February 1, 2011. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required. Analyses of the project dated April 2020 and February 2021 show that there will be no significant on or off-site impacts as a result of this particular project which were not already discussed in the Cordes Ranch and General Plan EIRs. There is also no evidence of any significant impacts to occur off-site as a result of the project, as traffic, air quality, land use and other potential cumulative impacts have already been considered within the original environmental documentation. No new evidence of potentially significant effects has been identified as a result of this project.

THE DEVELOPMENT SERVICES DIRECTOR, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY APPROVES DEVELOPMENT REVIEW PERMIT APPLICATION D20-0030 FOR AN APPROXIMATELY 1,120,082 SF BUILDING AND ASSOCIATED SITE IMPROVEMENTS ON AN APPROXIMATELY 66.7-ACRE SITE LOCATED AT 689 PAVILION PARKWAY AS DESCRIBED IN THE PLANS RECEIVED BY THE DEVELOPMENT SERVICES DEPARTMENT ON DECEMBER 28, 2020, SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (EXHIBIT "1") AND BASED ON THE FOLLOWING FINDINGS:

Development Review Findings:

1. The proposal increases the quality of the project site and enhances the property in a manner that therefore improves the property in relation to the surrounding area and the citizens of Tracy, because the proposed project improves the use and aesthetic quality of the currently undeveloped site, enhancing the property with the establishment of a new, well-designed industrial building and landscaping improvements. The building consists of a variety of horizontal and vertical elements for visual interest, including large areas of glazing at building corners and long expanses of glazing throughout the side elevations of the building, metal canopies, colored concrete accents, and building façade popouts and recesses every few hundred feet or less. The site is well landscaped on the perimeter and throughout the parking area, as well as a large area of landscaping at the northwest corner of the site. The truck and trailer loading and parking areas will be substantially screened by a berm and evergreen landscaping so that the trucking areas will not be visible from public view.
2. The proposal, as conditioned, conforms to the Cordes Ranch Specific Plan, the Tracy Municipal Code, the City of Tracy General Plan, the Citywide Design Goals and Standards, applicable City Standards, California Building Codes, and California Fire Codes, including land use, building design, off-street parking and circulation, and landscaping design. In particular, an industrial distribution land use is consistent with the Business Park Industrial Zone requirements of the Cordes Ranch Specific Plan and the project, with conditions, is consistent with parking, landscaping, utilities, public right-of-way, and other City improvement requirements.



Andrew Malik
Director of Development Services/Assistant City Manager

04.08.2021

Date of Action

**CITY OF TRACY
CONDITIONS OF APPROVAL
Cordes Ranch/IPC Building 16
Application Number D20-0030**

A. General Provisions and Definitions

1. These Conditions of Approval shall apply to the real property located at 689 Pavilion Parkway, Assessor's Parcel Numbers 209-220-07 and 209-220-19, Application Number D20-0030, an approximately 1,120,082 square foot industrial building and associated site area improvements on approximately 66.7 acres of land (hereinafter "Project").
2. The following definitions shall apply to these Conditions of Approval:
 - a. "Applicant" means any person, or other legal entity, defined as a "Developer".
 - b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed engineer designated by the City Manager, or the Development Services Director, or the City Engineer to perform the duties set forth herein.
 - c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, Cordes Ranch Specific Plan, ordinances, resolutions, policies, procedures, and City's Design Documents (including the Standard Plans, Standard Specifications, Design Standards, and relevant Public Facility Master Plans), and the California Building Code and California Fire Code.
 - d. "Development Services Director" means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
 - e. "Conditions of Approval" shall mean the conditions of approval applicable to the approximately 1,120,082 square foot industrial building, Application Number D20-0030. The Conditions of Approval shall specifically include all City of Tracy conditions set forth herein, including South San Joaquin County Fire Authority conditions, set forth herein.
 - f. "Project" means Application Number D20-0030, an 1,120,082 square foot industrial building with associated site area improvements on the real property located at 689 Pavilion Parkway, Assessor's Parcel Numbers 209-220-07 and 209-220-19, a site of approximately 66.7 acres in size.
 - g. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.

3. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to: the Planning and Zoning Law (Government Code sections 65000, et seq.), the Subdivision Map Act (Government Code sections 66410, et seq.), the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and the Guidelines for California Environmental Quality Act (California Administrative Code, Title 14, Sections 1500, et seq., "CEQA Guidelines").
4. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City Regulations.
5. Pursuant to Government Code section 66020, including section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

B. Planning Division Conditions of Approval

- B.1. Except as otherwise modified herein, the project shall be developed in accordance with the plans and color elevations received by the Development Services Department on December 28, 2020. Prior to the issuance of any building permits, any deviations from the approved site plan or elevations shall be evaluated for substantial compliance with the approved plans to the satisfaction of the Development Services Director. Should any deviations be determined not to be in substantial compliance with the approved plans, they shall be reviewed in a new Development Review application process.
- B.2. No roof-mounted or through-roof equipment, including, but not limited to, HVAC units, vents, fans, antennas, sky lights and dishes whether proposed as part of this application, potential future equipment, or any portion thereof, shall be visible from any public right-of-way, including I-205 and I-580, to the satisfaction of the Development Services Director. Prior to the issuance of a building permit, the construction plans shall demonstrate compliance with this requirement, such as details for the construction of a parapet wall adequately sized to fully screen the equipment and no less than six feet in height.
- B.3. All exterior lighting shall be directed downward, onto the parking and maneuvering surface and away from the public rights-of-way.
- B.4. All PG&E transformers, phone company boxes, trash enclosures or compactors, Fire Department connections, backflow preventers, irrigation controllers, and other on-site utilities, shall be vaulted or screened from view from any public right-of-way, behind structures or landscaping, to the satisfaction of the Development Services Director.

- B.5. The applicant shall pay all applicable fees for the project, including, but not limited to, development impact fees, building permit fees, plan check fees, grading permit fees, encroachment permit fees, inspection fees, school fees, or any other City or other agency fees or deposits that may be applicable to the project.
- B.6. All improvements shall be consistent with the Tracy Municipal Code, Cordes Ranch Specific Plan, Standard Plans, and other applicable City Regulations.
- B.7. All vents, gutters, downspouts, flashing, electrical conduit, etc. shall be internal to the buildings when feasible, and any improvement necessary to be installed on the exterior of the building shall be painted to match the color of the adjacent surface or otherwise designed in harmony with the building exterior to the satisfaction of the Development Services Director.
- B.8. Where landscape planters are parallel and adjacent to the side of vehicular parking spaces, a 12" wide concrete curb shall be placed adjacent to the parking space to allow for pedestrian access to vehicles without damage to the landscape areas.
- B.9. Prior to issuance of a building permit, detailed plans demonstrating compliance with onsite landscaping standards as established in the Cordes Ranch Specific Plan and the Tracy Municipal Code Off-Street Parking ordinance. Such plans shall demonstrate that all landscape areas, including bioswales, are appropriately comprised of a combination of trees, shrubs, groundcover, and irrigation to the satisfaction of the Development Services Director.
- B.10. Prior to issuance of a building permit, an Agreement for Maintenance of Landscape and Irrigation Improvements shall be executed and financial security submitted to the Development Services Department. The Agreement shall ensure maintenance of the on-site landscape and irrigation improvements for a period of two years. Said security shall be equal to the actual material and labor costs for installation of the on-site landscape and irrigation improvements or \$2.50 per square foot of on-site landscape area.
- B.11. Prior to final inspection or certificate of occupancy, all landscaping and irrigation substantially conforming with the development review permit plans dated December 28, 2020 and the approved building permit construction plans shall be installed to the satisfaction of the Development Services Director.
- B.12. Prior to issuance of a building permit, bicycle parking spaces shall be provided in accordance with Tracy Municipal Code Section 10.08.3510 to the satisfaction of the Development Services Director.
- B.13. Prior to final inspection or certificate of occupancy, carpooling/ridesharing and electric vehicle parking spaces shall be clearly marked, per the requirements of the Natural Resources and Sustainability section of the CRSP.
- B.14. Prior to final inspection or certificate of occupancy, on-site circulation signs shall be installed to the satisfaction of the Development Services Director.

- B.15. No outdoor storage of materials is permitted on the site.
- B.16. Prior to the erection of any light poles with a height in excess of 40 feet, the developer shall gain the approval of the Conditional Use Permit from the Planning Commission. Should a Conditional Use Permit not be approved, any freestanding light poles shall not exceed a height of 40 feet.
- B.17. No chain link fence is permitted on site where it would be visible from the public right-of-way. Electronically charged, razor wire, barbed wire, integrated corrugated metal, or plain exposed plastic concrete/PCC fences, vinyl slats, and woven fabric fences are not permitted anywhere on site.
- B.18. Prior to approval of a building permit, the applicant shall submit detailed plans that demonstrate the truck loading areas, dock doors, storage areas, and above-ground utilities will be substantially screened from view from the public right-of-way, which includes, but is not limited to, Promontory Parkway, Capital Parks Drive, and Pavilion Parkway, to the satisfaction of the Development Services Director.
- B.19. Trash collection exterior of the building shall be done within either trash compactor(s) or trash enclosure(s). Trash compactors shall be screened from view by the building, screen walls, or landscape screens to the satisfaction of the Development Services Director. Trash enclosures shall be designed and appropriately sized for this project, including allowance for recycling collection. The trash and recycling collection enclosure shall include a solid roof structure, solid metal doors, and solid walls sufficiently sized to fully screen the dumpsters. The enclosure, including the roof, shall be architecturally compatible with the building, which includes but is not limited to, design, materials, and colors. A six-inch concrete curb and/or bollards may be installed on the interior of the enclosure for the protection and durability of the enclosure walls. A building permit is required prior to construction of such enclosures for the evaluation of design and location to the satisfaction of the Development Services Director.
- B.20. Before the approval of a building permit, the applicant shall submit detailed plans that show the location and improvements for a high-quality outdoor employee break area to the satisfaction of the Development Services Director. Such area shall be incorporated as part of site design and should include special paving, tables, benches, shade trees and other amenities that support employee events and serve as an informal gathering space.
- B.21. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all mitigation measures identified in the CEQA 15183 environmental analyses dated April 2020 and February 2021, the Cordes Ranch Specific Plan Environmental Impact Report (EIR), approved by the City Council on September 3, 2013, and the General Plan EIR approved by the City Council on February 1, 2011.
- B.22. Prior to issuance of a building permit, the developer shall provide documentation of compliance with the San Joaquin Valley Air Pollution Control District Rule 9510, Indirect Source Review to the Development Services Department.

B.23. The Developer shall comply with all applicable provisions of the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan, including Incidental Take Minimization Measures applicable at the time of permit, a pre-construction survey prior to ground disturbance, and payment of all applicable fees, to the satisfaction of San Joaquin Council of Governments.

C. Engineering Division Conditions of Approval

C.1. General Conditions

C.1.1. Developer shall comply with the applicable requirements of the technical analyses and reports prepared for the Project listed as follows:

- a) Cordes Ranch Specific Plan" prepared by David Babcock & Associates, dated September 3, 2013 ("Specific Plan").
- a) "Cordes Ranch Specific Plan Final Environmental Impact Report", prepared by The Planning Center | DC&E, dated September 3, 2013 ("FEIR"), adopted by City Council on September 3, 2013 (Resolution No. 2013-143).
- a) "Mitigation Measures and Monitoring Program for the Cordes Ranch Specific Plan" adopted by the City Council September 3, 2013 (Resolution No. 2013-143).
- a) "Cordes Ranch Specific Plan – Storm Drainage Technical Report" prepared by Storm Water Consulting, Inc. and Stantec, Inc., dated December 2012, and any subsequent amendments or updates.
- a) "Cordes Ranch Specific Plan Tier 2 Infrastructure Evaluation of Potable and Recycled Water Systems" prepared by West Yost Associates, Inc. dated July 7, 2014, and any amendments or updates.
- a) "Wastewater Master Plan Tier 2 – Cordes Ranch Specific Plan Application Review" prepared by CH2MHill, Inc. dated January 2013, and any subsequent amendments or updates.
- a) "Cordes Ranch 2nd Consistence Analysis (Phase 1K) Traffic Study" Technical Memorandum prepared by Kimley-Horn, dated June 30, 2020, and any subsequent amendments or updates.
- a) "Traffic Study for IPC Building 16" Technical Memorandum prepared by Kimley Horn, dated March 9, 2021, and subsequent amendments, or updates.
- a) "Hydraulic Evaluation of International Park of Commerce (IPC) Building 16" prepared by West Yost Associates, Inc., January 29, 2021, ("Water System Analysis"), and any subsequent amendments or updates.

C.1.2. Developer shall comply with applicable requirements of the Development Agreement by and between the City of Tracy and Prologis, L.P., approved by City Council September 3, 2013 (Ordinance Number 1188).

C.2. Grading Permit

All grading work (on-site and off-site) shall require a Grading Plan. All grading work shall be performed and completed in accordance with the recommendation(s) of the Project's Registered Geotechnical Engineer. The City will not accept a Grading Permit application for the Project until Developer provides all documents related to said Grading Permit required by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.2.1. Developer has completed all requirements set forth in this section.
- C.2.2. Developer has obtained the approval (i.e. recorded easements for slopes, drainage, utilities, access, parking, etc.) of all other public agencies and/or private entities with jurisdiction over the required public and/or private facilities and/or property. Written permission from PG&E or affected owner(s) will be required to be submitted to the City prior to the issuance of the Grading Permit.
- C.2.3. Developer has obtained a demolition permit to remove any existing structure located within the project's limits.
- C.2.4. All existing on-site water well(s), septic system(s), and leech field(s), if any, shall be abandoned or removed in accordance with the City and San Joaquin County requirements. Developer shall be responsible for all costs associated with the abandonment or removal of the existing well(s), septic system(s), and leech field(s) including the cost of permit(s) and inspection. Developer shall submit a copy of written approval(s) or permit(s) obtained from San Joaquin County regarding the removal and abandonment of any existing well(s), prior to the issuance of the Grading Permit.
- C.2.5. The Improvement Plans for all improvements to serve the Project (on-site and off-site) including the Grading and Drainage Plans shall be prepared in accordance with the City's Subdivision Ordinance (TMC Chapter 12.36), City Design Documents as defined in Title 12 of the TMC, and these Conditions of Approval.
- C.2.6. On-site Grading/Drainage Plans and Improvement Plans shall be prepared on a 24-inch x 36-inch size 4-millimeter-thick polyester film (mylar).
 - a) These plans shall use the City's Title Block.
 - b) Improvement Plans shall be prepared under the supervision of, stamped and signed by a Registered Civil Engineer and Registered Geotechnical Engineer.
 - c) Developer shall obtain all applicable signatures by City departments and outside agencies (where applicable) on the mylars including signatures by the Fire Marshal prior to submitting the mylars to Engineering Division for City Engineer's signature.
 - d) Erosion control measures shall be implemented in accordance with the Improvement Plans approved by the City Engineer for all grading work. All

grading work not completed before October 15 may be subject to additional requirements as applicable. Improvement Plans shall specify all proposed erosion control methods and construction details to be employed and specify materials to be used during and after the construction.

- C.2.7. Payment of the applicable Grading Permit fees which include grading plan checking and inspection fees, and other applicable fees as required by these Conditions of Approval.
- C.2.8. For Projects on property larger than one (1) acre: Prior to the issuance of the Grading Permit, Developer shall submit to the Utilities Department (stephanie.hiestand@cityoftracy.org) one (1) electronic copy and one (1) hard copy of the Storm Water Pollution Prevention Plan (SWPPP) as submitted in Stormwater Multiple Applications and Reporting Tracker System (SMARTS) along with either a copy of the Notice of Intent (NOI) with the state-issued Wastewater Discharge Identification number (WDID) or a copy of the receipt for the NOI. After the completion of the Project, the Developer is responsible for filing the Notice of Termination (NOT) required by SWQCB, and shall provide the City, a copy of the completed Notice of Termination. Cost of preparing the SWPPP, NOI and NOT including the annual storm drainage fees and the filing fees of the NOI and NOT shall be paid by the Developer. Developer shall comply with all the requirements of the SWPPP, applicable Best Management Practices (BMPs) and the Stormwater Post-Construction Standards adopted by the City in 2015 and any subsequent amendment(s).
- C.2.9. Developer shall provide a PDF copy of the Project's Geotechnical Report signed and stamped by a Registered Geotechnical Engineer. The technical report must include relevant information related to soil types and characteristics, soil bearing capacity, compaction recommendations, retaining wall recommendations, if necessary, paving recommendations, slope recommendations, and elevation of the highest observed groundwater level.
- C.2.10. Two (2) sets of Hydrologic and Storm Drainage Calculations for the design of the on-site storm drainage system.
- C.2.11. Minor Retaining — Developer shall use reinforced or engineered masonry blocks for retaining soil when the grade differential exceeds 12-inches. Developer will include construction details of these minor retaining walls with the on-site Grading and Drainage Plan. Developer may use slopes among the lots to address the grade differential but said slope shall not exceed a slope gradient of 3 (horizontal) to 1 (vertical) unless a California licensed geotechnical engineer signs and stamps a geotechnical report letter that supports a steeper slope gradient. Slope easements may be required and will be subject to approval by the City Engineer and if adjacent and affected property(s) owner(s) grants said easements.
 - a) Slopes are an acceptable option as a substitute to engineered retaining walls, where cuts or fills do not match existing ground or final grade with the

adjacent property or public right of way, up to a maximum grade differential of two (2) feet, subject to approval by the City Engineer.

- b) If required, slope easements will be recorded, prior to the issuance of the Grading Permit. The Developer shall be responsible to obtain and record slope easement(s) on private properties, where it is needed to protect private improvements constructed within and outside the Project, and a copy of the recorded easement document must be provided to the City, prior to the issuance of the Grading Permit.
- c) Walls - Developer shall show proposed retaining walls and masonry walls on the on-site Grading and Drainage Plan. The Developer is required to submit improvement plans, construction details, and structural calculations for retaining walls and masonry walls to Building and Safety. Retaining wall and masonry wall design parameters will be included in the geotechnical report.

C.2.12. Developer shall provide a copy of the approved Incidental Take Minimization Measures (ITMM) habitat survey [San Joaquin County Multi-Species Habitat Conservation & Open Space Plan (SJMSCP)] from San Joaquin Council of Governments (SJCOC).

C.2.13. A copy of the Approved Fugitive Dust and Emissions Control Plan that meets San Joaquin Valley Air Pollution Control District (SJVAPCD) as required in Mitigation Measure AQ-1 and AQ-2 of the Mitigation Monitoring and Reporting Program of the Cordes Ranch Specific Plan Final Environmental Impact Report (CRSP EIR).

C.2.14. Documentation of any necessary authorizations from Regional Water Quality Control Board (RWQCB) as required in the applicable mitigation measures identified in the Cordes Ranch Specific Plan EIR.

C.2.15. If at any point during grading that the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and subsequent Cultural Resource Policy or mitigation in any applicable environmental document.

C.2.16. Documentation of construction easement(s) or agreement(s) from owners of adjacent properties for any grading work within their parcels, or for grading work impacting their property.

C.3. Encroachment Permit - No applications for encroachment permit will be accepted by the City as complete until the Developer provides all relevant documents related to said encroachment permit required by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.3.1. Improvement Plans prepared on a 24" x 36" size 4-mil thick polyester film (mylar) and these Conditions of Approval. Improvement Plans shall be prepared under the supervision of, and stamped and signed by a Registered Civil, Traffic, Electrical, Mechanical Engineer, and Registered Landscape Architect for the relevant work.
- C.3.2. Signed and stamped Engineer's Estimate that summarizes the cost of constructing all the public improvements shown on the Improvement Plans.
- C.3.3. Signed and notarized Offsite Improvement Agreement (OIA) and Improvement Security, to guarantee completion of the identified public improvements that are necessary to serve the Project as required by these Conditions of Approval. The form and amount of Improvement Security shall be in accordance with Section 12.36.080 of the Tracy Municipal Code (TMC), and the OIA. The Developer's obligations in the OIA shall be deemed to be satisfied upon City Council's acceptance of the public improvements and release of the Improvement Security.
- C.3.4. If required, signed and notarized Deferred Improvement Agreement (DIA) and Improvement Security, to allow deferment of completion of improvements as required by these Conditions of Approval. The form and amount of Improvement Security shall be in accordance with the DIA and Section 12.36.080 of the TMC. The Developer's obligations in the DIA shall be deemed to be satisfied upon the release of the Improvement Security.
- C.3.5. Check payment for the applicable engineering review fees which include plan checking, permit and agreement processing, testing, construction inspection, and other applicable fees as required by these Conditions of Approval. The engineering review fees will be calculated based on the fee rate adopted by the City Council on May 16, 2017, per Resolution 2017-098.
- C.3.6. Traffic Control Plan signed and stamped by a Registered Civil Engineer or Traffic Engineer licensed in the State of California.

C.4. Improvement Plans - Improvement Plans shall contain the design, construction details and specifications of public improvements that are necessary to serve the Project. The Improvement Plans shall be drawn on a 24" x 36" size 4-mil thick polyester film (mylar) and shall be prepared under the supervision of, and stamped and signed by a Registered Civil, Traffic, Electrical, Mechanical Engineer, and Registered Landscape Architect for the relevant work. The Improvement Plans shall be completed to comply with City Regulations, these Conditions of Approval, and the following requirements:

- C.4.1. Grading and Storm Drainage Plans
 - Site Grading
 - a) Include all proposed erosion control methods and construction details to be employed and specify materials to be used. All grading work shall be performed and completed in accordance with the recommendation(s) of the Project's Geotechnical Engineer. A copy of the Project's Geotechnical

Report must be submitted with the Grading and Storm Drainage Plans.

- b) When the grade differential between the Project Site and adjacent property(s) exceeds 12 inches, a reinforced concrete or masonry block, or engineered retaining wall is required for retaining soil. The Grading Plan shall show construction detail(s) of the retaining wall or masonry wall. The entire retaining wall and footing shall be constructed within the Project Site. A structural calculation shall be submitted with the Grading and Storm Drainage Plans.
- c) An engineered fill may be accepted as a substitute of a retaining wall, if any, subject to approval by the City Engineer. The Grading and Storm Drainage Plans must show the extent of the slope easement(s). The Developer shall be responsible for obtaining permission from owner(s) of the adjacent and affected property(s). The slope easement must be recorded, prior to the issuance of the final building certificate of occupancy.
- d) Grading for the site shall be designed such that the Project's storm water can overland release to either a public street or to a public storm drainage facility.
- e) Prior to approval of a grading permit for the Project, the Developer shall submit a drainage report and drainage calculations for the project site based on the Master Plan criteria and starting water surface elevation for review by City's consultant. The Developer shall be responsible to pay for the review.

C.4.2. Storm Drainage

- f) As shown in the *City of Tracy Storm Drain Master Plan, Supplement No. 3*, the IPC Building 16 parcel is located within the L20 Watershed boundary, which is intended to drain to (future) Detention Basin LW3, which is intended to be located within the Westside Ranch Specific Plan Area. In the interim, prior to the construction of the future Detention Basin LW3, the Developer may construct an on-site Temporary Retention Basin as a temporary solution for the disposal of storm drain run-off from the Project in accordance with City Regulations and Standards.
 - (i) All costs of design and construction of improvements required for temporary storage shall be paid for by the Developer. No fee credits or reimbursements will be applicable for these improvements.
 - (ii) The Developer shall be responsible for maintenance of the temporary retention basin until the downstream drainage facilities are constructed and accepted by the City. The Developer shall sign a Deferred Improvement Agreement to assure completion of the Developer's obligation to maintain and repair the temporary retention basin and to remove or modify the basin into a storm water treatment facility when the future Detention Basin LW3 is operational and available for connection.
 - (iii) The Developer shall record a temporary storm drainage easement to the City to grant rights to the City to access the temporary basin for any necessary emergency repair or maintenance work that the City may have to perform within the basin site. The temporary storm drainage

easement shall include a sunset clause for automatic termination of the easement at such time as the Master Plan permanent storm drainage improvements are completed and operational.

- g) As shown in the *City of Tracy Storm Drain Master Plan, Supplement No. 3*, the 265 Trailer Stall parking parcel located between Road 'H' and the WSID channel is located within the L14 Watershed boundary, which is intended to drain into Detention Basin LW6; Temporary retention is required to serve this parcel until DET LW6 and the downstream outfall system is completed and operational.
 - (i) The Project will utilize a portion of DET LW6 to satisfy the requirements for temporary retention as set forth in the City Design Standards. Developer shall provide calculations to demonstrate that adequate capacity in DET LW6 is available to serve the Project. All costs of design and construction of improvements required for temporary storage shall be paid for by the Developer. No fee credits or reimbursements will be applicable for these improvements.
 - (ii) Developer shall be responsible for maintenance of the Retention Basin at DET LW6 until the downstream drainage facilities are installed and accepted by the City. The Developer shall sign an improvement agreement (Deferred Improvement Agreement), to assure completion of the Developer's obligation to repair and maintain said basin while the storm drainage retention basin is in service and then, if required, to modify storm drainage retention basin to conform to Master Plan requirements at such time they are no longer needed due to the construction of the permanent facilities per the Storm Drainage Master Plan. Prior to the final inspection of the first building to be constructed on the Property, the Developer shall submit a signed and notarized Maintenance Agreement as a guarantee for the performance of Developer's responsibilities towards the repair and maintenance of the retention basin at DET LW6.
 - (iii) Layout and design of access easements to be dedicated to the City shall be per the requirements of Engineering Division and as approved by the City Engineer.
- h) Parcel maps, Grant Deed documents or other instruments for dedication of the storm drainage basin parcel to the City shall be prepared and executed by the Developer. Acceptance of the basin parcel by the City will be upon completion of the downstream facilities as listed in Condition C.4.1.f and C.4.1.g above.
- i) As detailed in the Cordes Ranch Specific Plan Tier 2 Storm Drainage Technical Report, the public street system serving the project site will need to include storm water quality treatment provisions. Storm water runoff from Pavilion Parkway and Capital Parks Drive shall be treated in conformance with the Multi-Agency Post-Construction Stormwater Standards Manual, dated June 2015. For the interim, prior to the construction of Det LW3 and associated downstream storm drain facilities, the Developer shall design and install a Filterra stormwater treatment unit (or other similar water quality

treatment device) to provide storm water quality treatment for public street storm water runoff from the portions of Capital Parks Drive and Pavilion Parkway that is tributary to future Detention Basin LW3.

- j) Calculations related to the design and sizing of on-site storm water treatment facilities must be submitted with the Grading and Storm Drainage Plans and approved by City's Stormwater Coordinator prior to issuance of the Grading Permit for the Project.
- k) The design and construction details of the Project's storm drainage system and treatment facilities shall meet City Regulations and shall comply with the applicable requirements of the Multi-Agency Post-Construction Stormwater Standards Manual, dated June 2015, and any subsequent amendments.
- l) Prior to the final inspection of the building to be constructed on the Property, the Developer shall submit a signed and notarized Stormwater Treatment Facilities Maintenance Agreement (STFMA) as a guarantee for the performance of Developer's responsibility towards the repair and maintenance of on-site storm water treatment facilities.

C.4.3. Sanitary Sewer Improvement Plans

- a) At the time of application for building permit for the Project, the improvements identified in the Wastewater Master Plan – namely, the sewer lines in Capital Parks Drive, in Pavilion Parkway, and Masterplan trunk sewer line from Node 6W at the intersection of Pavilion Parkway and Eleventh Street to Node 7W at the intersection of Eleventh Street and Lammers Road must be constructed as necessary to provide the conveyance capacity required.
- b) The Developer shall pay all impact fees for Wastewater Treatment and Wastewater Conveyance.
- c) Prior to the issuance of Building Permit for the Project, Developer shall submit improvement plans and secure approval of plans from the City's Building Division, for the design of on-site sewer improvements. The Developer shall design and install sanitary sewer facilities including the Project's sewer connection in accordance with City Regulations and utility improvement plans approved by the City Engineer.

C.4.4. Water Distribution System

- a) Developer shall comply with the recommendations for on-site and off-site infrastructure including storage requirements triggered by the Project as identified in the Water System Analysis for IPC Building 16. If additional improvements beyond the proposed improvements shown on the preliminary plans submitted with the Development Review Application are identified in the Water System Analysis and approved by the City Engineer, the Developer shall comply with the recommendations in the Water Analysis. Developer shall prepare improvement plans and construct required improvements identified in the Water System Analysis.

- b) During the construction phases of the Project, the Developer is responsible for providing water infrastructure (temporary or permanent) capable of delivering adequate fire flows and pressure appropriate to the various stages of construction and as approved by the South San Joaquin County Fire Authority (SSJCFA) Fire Marshal.
- c) The Developer shall design and install fire hydrants at the locations approved by the SSJCFA Fire Marshal. Prior to the issuance of a Building Permit, the Developer shall submit calculations and plans as required by the SSJCFA and obtain written approvals for the proposed fire system for the design, location and construction details of the fire service connection to the Project, and for the location and spacing of fire hydrants that are to be installed to serve the Project.
- d) Prior to issuance of temporary certificate of occupancy (or final certificate of occupancy, if TCO is not requested), the Developer shall demonstrate to the satisfaction of the Fire Marshal that all applicable fire flow parameters are met.
- e) All costs associated with the installation of the Project's permanent water connection(s) as identified in the Water System Analysis including the cost of removing and replacing asphalt concrete pavement, pavement marking and striping such as crosswalk lines and lane line markings, replacing traffic detecting loops, conduits, and wires, relocating existing utilities that may be in conflict with the water connection(s), and other improvements shall be paid by the Developer.
- f) Interruption to the water supply to the existing businesses and other users within International Park of Commerce or Patterson Pass Business Park will not be allowed to facilitate construction of on-site or off-site improvements related to the Project. The Developer shall be responsible for notifying business owner(s) and users, regarding construction work that involves traffic rerouting or other traffic related and access impacts to the existing businesses. The written notice, as approved by the City Engineer, shall be delivered to the affected residents or business owner(s) at least 72 hours before start of work. Prior to starting the work described in this section, the Developer shall submit a Work Plan acceptable to the City that demonstrates no interruptions to the water supply, and Traffic Control Plan to be used during the installation of the offsite water mains and connections.
- g) The Developer shall design and install domestic and irrigation water service connection, including a remote-read master water meter (the water meter to be located within City's right-of-way) and a Reduced Pressure Type backflow protection device in accordance with City Regulations. The domestic and irrigation water service connection(s) must be completed before the final inspection of the building. Sub-metering will be allowed within private property. The City will not perform water consumption reading on submeters. The Developer will be responsible for relocating or reinstalling water sub-meters. The City shall maintain water lines from the master water meter to the point of connection with the water distribution main (inclusive) only. Repair and maintenance of all on-site water lines,

lateral, sub-meters, valves, fittings, fire hydrant and appurtenances shall be the responsibility of the Developer.

h) As noted in the ***Water Analysis***:

- (i) The domestic service lateral to serve the Project shall be at least 4-inch diameter based on the City's maximum velocity criteria of 8 feet per second (fps) during a peak hour demand condition.
- (ii) The on-site fire loop be supplied by two fire service laterals of at least 12-inch diameter based on the City's maximum velocity criteria of 12 fps during a maximum day demand condition.

C.4.5. Roadway Improvements

- a) The Developer shall prepare and submit improvement plans for frontage improvements on Promontory Parkway, Pavillion Parkway, Capital Parks Drive, and Road 'H' in compliance with the Specific Plan, City of Tracy Master Plans and Design Standards. The frontage improvements shall include curb, gutter, sidewalk, driveways, landscape with automatic irrigation, streetlights, fire hydrants and associated improvements between the curb and the street right-of-way.
 - (i) The ultimate right-of-way for Pavillion Parkway shall be 102 feet wide to provide for an 8-foot-wide modified Class 1 Bikeway on the west side of the street.
- b) Within thirty calendar days from the date of approval of the related Offsite Improvement Agreement (OIA) by the City Council, the Developer shall record Irrevocable Offer(s) of Dedication (IOD) for rights of way and easements for Promontory Parkway, Pavillion Parkway, Capital Parks Drive, and Road 'H' in favor of the City to the satisfaction of the City Engineer and as shown on the Phase 1K improvement plans and in compliance with the Specific Plan, City of Tracy Master Plans and Design Standards.
 - (i) Prior to acceptance of the improvements and IODs by the City, the Developer shall enter into agreement(s) with the City that address the maintenance of the landscaping improvements and access rights to the Developer for maintaining the aforementioned landscaping improvements. The Developer shall also enter into an agreement to install, operate, maintain, repair and replace the private utilities (i.e., fiber optic communications lines and appurtenances) within the City's right-of-way and easements.

C.4.6. Offsite Improvements

As noted in the ***Traffic Analysis***, the following off-site improvements shall be completed, in accordance with the timelines specified in Table 5 of the Traffic Analysis. Conditions will be deemed satisfied with execution of OIA and posting of security as acceptable to City.

- a) International Parkway / I-205 WB ramps

- b) International Pkwy / Old Schulte Rd intersection
- c) Pavillion Pkwy / Old Schulte Rd intersection
- d) Lammers Road and Promontory Pkwy
- e) Lammers Road / Western Pacific Way intersection
- f) Lammers Road / Valpico Road intersection
- g) Promontory Pkwy – Pavillion Pkwy to Lammers Road

C.4.7. Offsite Improvements – Impact Fees

As noted in the *Traffic Analysis*, Developer shall pay applicable impact fees and/or RTIF fees for the following off-site improvements.

- a) International Pkwy/ I-580 WB Ramps
- b) International Pkwy/ I-580 WB Ramps

C.4.8. Offsite Improvements (Fair Share Contributions)

As noted in the ***Traffic Analysis***, the following off-site improvements will require payment of fair share contributions by this Project:

- a) International Pkwy / Daylight Rd intersection – Project Fair Share = 0.5%
- b) International Pkwy & Promontory Pkwy intersection – Project Fair Share = 0.2%
- c) Hansen Road / Capital Parks Dr intersection – Project Fair Share = 0.7%
- d) Hansen Road / Old Schulte Road intersection – Project Fair Share = 3.0%
- e) Old Schulte Road Delta-Mendota Canal Bridge - Project Fair Share = 3.0%
- f) Road H / Capital Parks Dr intersection – Project Fair Share = 50%
- g) Pavillion Pkwy / Old Schulte Rd intersection – Project Fair Share = 1.9 %
- h) Lammers Rd / Valpico Rd intersection – Project Fair Share = 0.3%.

C.4.9. Project Driveways and Traffic Circulation

The Developer shall install six driveways to serve the site in accordance with the recommendations of the "Traffic Analysis" and City Regulations. Two driveways will be constructed along Pavilion Parkway, two driveways will be constructed on Capital Parks Drive, one driveway on Promontory Parkway and one driveway will be constructed on Road H. Project driveways shall be designed for STAA truck access and provide adequate safe sight distances.

All improvements for construction of the project driveways, including modifications to striping and signage, shall be completed at Developer's expense.

All recommended improvements for driveways and improvements on Capital Parks Drive, Promontory Parkway and Pavilion Parkway shall be completed prior to issuance of Certificate of Occupancy.

- a) Project Driveway 1: This driveway will provide a signalized full access from the north side of the site to Capital Parks Drive for the ultimate conditions, once Capital Parks Drive is widened beyond two lanes.
 - (i) The Developer shall design future traffic signal prior to issuance of temporary or final Certificate of Occupancy for the Project. The Developer shall pay for all costs relating to design, construction and inspection for the traffic signal.
 - (ii) The Developer shall dedicate required easements for maintenance access of the on-site traffic signal loops and associated traffic signal equipment.
 - (iii) The Developer shall enter into a Deferred Improvement Agreement and post required security to guarantee installation of the traffic signal.
 - (iv) The internal intersection at Driveway 1 shall be a two-way (east and west) stop, with no south leg to auto parking lot and no stop for inbound traffic.
- b) Project Driveway 2: This driveway will provide right-in, right-out side-street stop control access for trucks to Capital Parks Road.
 - (i) No gated entry at this location if more than one truck is expected in the 95th percentile queue.
- c) Project Driveway 3: This driveway will provide right-in, right-out, side-street stop control access for passenger cars only to Pavilion Parkway.
 - (i) The internal intersection at Driveway 3 shall be a three-way (east, north, and south) stop controlled intersection.
- d) Project Driveway 4: This driveway will provide Full access except no EBT, WBT or WBL for trucks and passenger cars to Pavilion Parkway for the ultimate conditions, once Pavilion Pkwy is widened beyond two lanes.
 - (i) The Developer shall design the traffic signal prior to issuance of temporary or final Certificate of Occupancy for the Project. The Developer shall pay for all costs relating to design, construction and inspection for the traffic signal.
 - (ii) The Developer shall dedicate required easements for maintenance access of the on-site traffic signal loops and associated traffic signal equipment.
 - (iii) The Developer shall enter into a Deferred Improvement Agreement and post required security to guarantee installation of the traffic signal.
 - (iv) The internal intersection at Driveway 4 shall be a one-way (south) stop controlled intersection.
- e) Project Driveway 5: This driveway will provide full access for trucks only to Promontory Parkway.
 - (i) The Developer shall design and complete installation of the traffic signal prior to issuance of temporary or final Certificate of Occupancy for the

Project. The Developer shall pay for all costs relating to design, construction and inspection for the traffic signal.

- (ii) The Developer shall dedicate required easements for maintenance access of the on-site traffic signal loops and associated traffic signal equipment.
- (iii) The Developer shall enter into an Offsite Improvement Agreement and post required security to guarantee installation of the traffic signal.
- (iv) No gated entry at this location if more than one truck is expected in the 95th percentile queue.
- f) Project Driveway 6: This driveway will provide full access for trucks only to Road H. No gated entry at this location if more than one truck is expected in the 95th percentile queue.
- g) Design truck court entries to accommodate two guard shacks and two lanes for queuing, where necessary.

C.4.10. The Developer shall submit a Traffic Control Plan for each phase of work, to show the method and type of construction signs to be used for regulating traffic at the work areas within these streets. The Traffic Control Plan shall be prepared by a Civil Engineer or Traffic Engineer licensed to practice in the State of California.

C.4.11. The Developer shall prepare joint trench plans in compliance with utility companies' requirements and City regulations and obtain approval of the plans. All private utility services to serve Project such as electric, telephone and cable TV to the building must be installed underground, and to be installed at the location approved by the respective owner(s) of the utilities.

C.4.12. The Developer shall submit Joint Utility Trench Plans for the installation of electric, gas, telephone and TV cable main and service lines that are necessary to be installed to serve the Project. These utilities shall be installed within the 10feet wide Public Utility Easement (PUE) that will be offered for dedication to the City. The Developer shall coordinate, as feasible, with the respective owner(s) of the utilities for the design of these underground utilities to ensure they can be installed within the 10-feet wide PUE to the extent feasible (and except in the event, that additional space beyond the 10-feet PUE is required, as determined by the utilities owner(s)).

C.4.13. Pavement cuts or utility trench(s) on existing street(s) for the installation of water distribution main, storm drain, sewer line, electric, gas, cable TV, and telephone will require the application of 2" asphalt concrete overlay and replacement of pavement striping and marking that are disturbed during construction. The limits of asphalt concrete overlay shall be 25 feet from both sides of the trench and shall extend over the entire width of the adjacent travel lane(s) if pavement excavation encroaches to the adjacent travel lane or up to the street centerline or the median curb. If the utility trench extends beyond the

street centerline, the asphalt concrete overlay shall be applied over the entire width of the street (to the lip of gutter or edge of pavement, whichever applies).

C.5. Building Permit - No building permit will be approved by the City until the Developer demonstrates, to the satisfaction of the City Engineer, compliance with all required Conditions of Approval, including, but not limited to, the following:

- C.5.1. Check payment of the applicable Citywide Roadway and Traffic, Water, Recycled Water, Wastewater, Storm Drainage, Public Safety, Public Facilities, and Park Development Impact Fees (adopted by Resolution 2017-098) as these relate to the Project, and as otherwise required by the Cordes Ranch Development Agreement and these Conditions of Approval.
- C.5.2. Check payment of any applicable Regional Transportation Impact Fees (RTIF) as required in Mitigation Measure TRANS-7 of the Mitigation Monitoring and Reporting Program of the Cordes Ranch Final Environmental Impact Report and these Conditions of Approval.
- C.5.3. Check payment of any applicable Agricultural Conversion or Mitigation Fee as required in Chapter 13.28 of the Tracy Municipal Code and Mitigation Measure AG-1 of the Mitigation Monitoring and Reporting Program of the Cordes Ranch Final Environmental Impact Report and these Conditions of Approval.

C.6. Acceptance of Public Improvements - Public improvements, Public Right-of-Way dedications, and Public Easements will not be accepted by the City Council until after the Developer completes construction of the relevant public improvements, and also demonstrates to the City Engineer satisfactory completion of the following:

- C.6.1. Correction of all items listed in the deficiency report prepared by the assigned Engineering Inspector relating to public improvements subject to City Council's acceptance.
- C.6.2. Certified "As-Built" Improvement Plans (or Record Drawings). Upon completion of the construction by the Developer, the City shall temporarily release the originals of the Improvement Plans to the Developer so that the Developer will be able to document revisions to show the "As Built" configuration of all improvements.
- C.6.3. Reasonable written permission from irrigation district or affected owner(s), if applicable, as required in Condition C. 10.4, below. The cost of relocating and/or removing irrigation facilities and/or tile drains is the sole responsibility of the Developer.

C.7. Final Building Certificate of Occupancy - No Final Building Certificate of Occupancy will be issued by the City until after the Developer provides reasonable documentation which demonstrates, to the satisfaction of the City Engineer, that:

- C.7.1. The Developer has satisfied all the requirements set forth in Condition C.6 above.

- C.7.2. The Developer has completed construction of all required public facilities for the building for which a certificate of occupancy is requested and all the improvements required in these Conditions of Approval. Unless specifically provided in these Conditions of Approval, or some other applicable City Regulations, the Developer shall use diligent and good faith efforts in taking all actions necessary to construct all public facilities required to serve the Project, and the Developer shall bear all costs related to construction of the public facilities (including all costs of design, construction, construction management, plan check, inspection, land acquisition, program implementation, and contingency).
- C.8. Improvement Security — The Developer shall provide improvement security for all public facilities, as required by the OIA, and these Conditions of Approval. The form of the improvement security may be a surety bond, letter of credit or other form in accordance with section 12.36.080 of the TMC and the Development Agreement. The amount of improvement security shall be as follows:
 - C.8.1. Faithful Performance (100% of the estimated cost of constructing the public facilities),
 - C.8.2. Labor & Materials (100% of the estimated cost of constructing the public facilities), and
 - C.8.3. Warranty (10% of the estimated cost of constructing the public facilities)
- C.9. Release of Improvement Security - Improvement Security(s) described herein shall be released to the Developer after City Council's acceptance of public improvements, and after the Developer demonstrates, to the satisfaction of the City Engineer, compliance of these Conditions of Approval, and completion of the following:
 - C.9.1. Improvement Security for Faithful Performance, Labor & Materials, and Warranty shall be released to the Developer in accordance with Section 12.36.080 of the TMC.
 - C.9.2. Written request from the Developer and a copy of the recorded Notice of Completion.
- C.10. Special Conditions
 - C.10.1. All streets and utilities improvements within City's right-of-way shall be designed and constructed in accordance with City Design Standards and the City's Facilities Master Plan for storm drainage, roadway, wastewater and water adopted by the City, or as otherwise specifically approved by the City.
 - C.10.2. Prior to beginning of construction, the Developer shall be responsible to obtain any easements, rights-of-way and/or agreements with property owners as applicable for all improvements.

- C.10.3. All existing on-site wells, if any, shall be abandoned or removed in accordance with the City and San Joaquin County requirements. The Developer shall be responsible for all costs associated with the abandonment or removal of the existing well(s) including the cost of permit(s) and inspection. The Developer shall submit a copy of written approval(s) or permit(s) obtained from San Joaquin County regarding the removal and abandonment of any existing well(s), prior to the issuance of the Grading Permit.
- C.10.4. The Developer shall abandon or remove all existing irrigation structures, channels and pipes, if any, as directed by the City after coordination with the irrigation district, if the facilities are no longer required for irrigation purposes. The Developer shall submit report for a site sub-surface investigation for determining the presence of irrigation and drainage tile drains within and around the Project Site, if any, and submit a report prepared and signed by a Geo-technical Engineer. In the event that tile drains exist within and around the Project Site, the Developer has the option to either relocate or abandon the on-site tile drains as required for the proposed development. All existing tile drains and proposed improvements for the relocation or removal of tile drains must be shown on the Grading and Storm Drainage Plans. Any tile drains under the proposed buildings shall be abandoned or relocated as may be required, to the satisfaction of the City. The Developer or the property owner(s) will be responsible for maintenance of tile drains to remain or the relocated tile drains and associated improvements. Additionally, the Developer will be responsible for monitoring the groundwater levels, and for the mitigations, if any, that may be required, by any applicable laws and regulations.
- C.10.5. Any damages to existing improvements within the street right-of-way due to construction related activities shall be repaired or replaced as directed by the City at Developer's cost.
- C.10.6. All improvement plans shall contain a note stating that the Developer (or Contractor) will be responsible to preserve and protect all existing survey monuments and other survey markers. Any damaged, displaced, obliterated or lost monuments or survey markers shall be re-established or replaced by a licensed Land Surveyor at the Developer's (or Contractor's) sole expense. A corner record must be filed in accordance with the State law for any reset monuments (California Business and Professions Code Section 8871).
- C.10.7. Developer shall comply with the requirements relating to Fire Apparatus Access Roads and other Fire Code requirements to the satisfaction of the South San Joaquin County Fire Authority.
- C.10.8. Nothing contained herein shall be construed to permit any violation of relevant ordinances and regulations of the City of Tracy, or other public agency having jurisdiction. This Condition of Approval does not preclude the City from requiring pertinent revisions and additional requirements to the Grading Permit, Encroachment Permit, Building Permit, Improvement Plans, OIA, and DIA, if the City Engineer finds it necessary due to public health and safety reasons, and it is in the best interest of the City. The Developer shall bear all the cost for the

inclusion, design, and implementations of such additions and requirements, without reimbursement or any payment from the City.

D. Building Safety Division Conditions of Approval

- D.1. Prior to building permit issuance, applicant must adjust or eliminate all interior lot lines (if any) per City of Tracy Municipal Code Title 12 sub-section 12.04.080- Lot line adjustment procedure (for the construction of the bridge).
- D.2. Prior to the construction of the building, applicant shall submit construction documents, calculations, and specifications that comply with the current Title 24 California Code of Regulation, as applicable and at time of application.
 - a. Based on the numbers normal parking stalls provided, additional accessible stalls shall be provided per CBC 11B-208.2, as a minimum of 2% needs to be provided.

E. Utilities Department Conditions of Approval

- E1. Prior to issuance of a construction or building permit, applicant shall demonstrate compliance with the 2015 Post-Construction Stormwater Standards (PCSWS) Manual and obtain approval through the following:
 - a. Develop a Project Stormwater Plan (PSP) that identifies the methods to be employed to reduce or eliminate stormwater pollutant discharges through the construction, operation and maintenance of source control measures, low impact development design, site design measures, stormwater treatment control measures and hydromodification control measures.
 - i. Design and sizing requirements shall comply with PCSWS Manual.
 - ii. Demand Management Areas must be clearly designated along with identification of pollutants of concern.
 - iii. Calculations of the Stormwater Design Volume and/or Design Flow with results from the Post-Construction Stormwater Runoff Calculator must be submitted in the PSP for approval.
 - iv. Per the PCSWS Manual, include a hydromodification management plan ensuring the post-project runoff flow rate shall not exceed estimated pre-project flow rate for the 2-year, 24-hour storm.
 - v. Submit one (1) hard copy of the PSP and an electronic copy to the Utilities Department (WaterResources@cityoftracy.org), include the project name, address and Project # and/or Permit # in the title or subject line.
 - b. A separate plan sheet(s) designated SW shall be submitted in the plan set that includes the identified methods for pollution prevention outlined in the submitted PSP. You must include all standards, cross sections and design specifications such as landscape requirement in treatment areas including type of irrigation installation and/or height of drain inlet above the flow line, etc. in these SW plan sheets along with legend.

- c. Develop and electronically submit to the Utilities Department for approval (WaterResources@cityoftracy.org) a preliminary Operations and Maintenance (O & M) Plan that identifies the operation, maintenance, and inspection requirements for all stormwater treatment and baseline hydromodification control measures identified in the approved PSP.
- d. No later than two (2) months after approval notification of the submitted PSP, applicant shall electronically submit the following information to the Utilities Department (WaterResources@cityoftracy.org) for development of a draft stormwater maintenance access agreement, in accordance with the MAPCSWS;
 - i. Property Owner(s) name and title report; or Corporate name(s) and binding documents (resolutions, etc) designating ability to sign agreement
 - ii. o Property Address
 - iii. o Exhibit A – legal property description
 - iv. o Exhibit B – approved O & M Plan

E2. Prior to issuance of a grading permit, applicant shall proof of permit coverage under the Construction General Permit shall be required and submittal of an electronic Stormwater Pollution Prevention Plan (SWPPP) shall be submitted to WaterResources@cityoftracy.org.

E3. Prior to Certificate of Occupancy, applicant shall:

- a. Return to the City Clerk, a legally signed and notarized copy of the final maintenance access agreement including all exhibits and approved O & M plan received from the Utilities Department.
- b. Obtain final approval by the Utilities Department of the constructed and installed Stormwater pollution prevention methods outlined in the PSP.
 - i. Frequent inspections of the Post-Construction treatment measures should occur during the construction phase by calling 209-831-6333
- c. Upon completion, the project shall be in full compliance with Construction General Permit including 70% stabilization of the project with Notice of Termination approval.

E4. Prior to issuance of a construction or building permit, applicant shall demonstrate compliance with the 2015 Model Water Efficient Landscape Ordinance and obtain approval by the Utilities Department through the following:

- a. Develop and submit electronically and by hard copy, a Landscape Document Package (LDP) that identifies the methods to be employed to reduce water usage through proper landscape design, installation and maintenance. Calculations submitted in a plan set is not acceptable for the LDP. This LDP shall consist of:
 - i. A project information sheet that includes the checklist of all documents in the LDP;

- ii. The Water Efficient Landscape Worksheets that include a hydrozone information table and the water budget calculations – Maximum Applied Water Allowance and Estimate Total Water Use;
- iii. A soil management report, after compaction and from various locations throughout the project;
- iv. A landscape design plan that includes the statement, "I agree to comply with the requirements of the 2015 water efficient landscape ordinance and shall submit for approval a complete Landscape Document Package:
- v. An irrigation design plan with schedule; and
- vi. A grading design plan.

b. A Certificate of Completion must be completed, signed, and submitted to the Utilities Department prior to Final approval for Occupancy.

F. South San Joaquin County Fire Authority (SSJCFA) Conditions of Approval

F.1. Prior to construction, construction documents shall be submitted to the South San Joaquin County Fire Authority for review and approval prior to any construction. Construction documents shall include the following:

- a. Construction documents shall be designed to the current edition of the California Code of Regulations, Title 24, as amended by the City of Tracy Municipal Code.
- b. Deferred submittals shall be listed on the coversheet of each page. Each deferred submittal shall be submitted, reviewed and approved by SSJCFA prior to installation.
- c. Fire protection water supply must be submitted separately from construction permit. All piping and installation shall be in accordance with CFC §507 & NFPA standards. Approval of grading and/or on-site improvements does not grant installation of underground fire service.
- d. Fire sprinklers shall be designed by a licensed fire protection contractor or engineer. Hydraulic calculations, specifications and plans shall be submitted prior to issuance of building permit.
- e. A request for fire flow shall be submitted to the South San Joaquin County Fire Authority and results shall be approved by the Fire Marshal prior to construction. Fire flow requirements shall be in accordance with CFC Appendix B.
- f. Fire department connections shall be installed in accordance with CFC §912 and NFPA standards. A hydrant shall be placed within 100' of the FDC, in accordance with NFPA 14 §6.4.5.4. FDC locations shall be approved by the fire code official prior to issuance of construction permit.
- g. Fire control room locations shall be approved the fire code official prior to the issuance of construction permit.
- h. Provide a truck turning template which clearly shows the truck turning radius of 29'-9" inside and 47'-7" outside. Truck turning template shall show all ingress and egress paths available, this includes areas near the fire control room.

F.2. Applications received by this office are subject to the current fee schedule for South

San Joaquin County Fire Authority.

- a. Application processing fees and minimum plan review fees are due at time of submittal of construction documents.
- b. Additional plan review fees, minimum inspection fees and administrative fees are calculated on approval of project and shall be paid prior to issuance of permit.
- c. Permit holder is responsible for any additional inspection fees incurred, and shall be paid prior to final inspection.

F.3. Building is assumed it will be constructed as a 'speculative building'. Additional permits will be required for each separate tenant improvement. Construction documents shall be submitted to South San Joaquin County Fire Authority for review and approval prior to the start of construction or demolition.

- a. Prior to occupancy of each new business, the tenant shall contact South San Joaquin County Fire Authority for a new business inspection. Additional fees may be required for New Business, Annual and Operational Fire Permits. All fees shall be paid prior to approval of inspections.

F.4. Prior to construction, all-weather fire apparatus access roads shall be installed. Fire apparatus access roads during construction shall have a minimum 20' unobstructed width in accordance with CFC §503.

F.5. All hydrants shall be installed, inspected and tested prior to bringing combustible materials onsite, including storage.

F.6. Knox boxes shall be required. Each tenant shall have keys placed in the key box. The operator of the building shall immediately notify the Fire Authority and provide the new key where a lock is changed or rekeyed. The key to such shall be secured in the key box.

F.7. Building and each tenant space shall be provided with approved address identification in accordance with CFC §505.

F.8. Prior to final inspection, emergency radio responder coverage shall be tested to confirm coverage areas. It is beneficial for the applicant to conduct testing at foundation as retrofitting for the conduit is costly. If coverage is inadequate, a separate permit for emergency radio responder coverage shall be submitted to SSJCFA for review and approval prior to installation.

- a. Additional improvements may warrant additional testing to be performed. Testing shall be the determination of the fire code official.

G. Public Works and Finance Departments Conditions of Approval

Street/Streetlight Replacement and Maintenance. (For Industrial/Commercial development)

No later than October 31, 2021, the applicant shall make a written election, in a form approved by the City, of the funding mechanism by which the applicant will fund, in

perpetuity, the costs of the operation and maintenance of the streets (from curb-to-curb, excluding gutters) to a Pavement Management System standard of PCI 70 (seventy), as reasonably determined by the City, and the electric utility costs of operating the streetlights and signals that will serve the Project (collectively, the "Infrastructure"). Prior to October 31, 2021, the City and the applicant may negotiate additional details of the Infrastructure and the funding mechanism, which details may include, without limitation, (a) the scope of the Infrastructure; (b) the geographical scope of the applicant's funding obligation; (c) the costs; (d) the inclusion of third-party owners or developers in such funding mechanism; and (e) any other issues that arise during such negotiations.

The ultimate funding mechanism may include the following options or other options that may arise during the negotiations:

a. Community Facilities District (CFD) or other funding mechanism. An agreement with the City, to be signed by the Finance Director, which may, at the City's option, be recorded against the geographical scope negotiated in the agreement ("Project Site") which stipulates that prior to the City's acceptance of the Infrastructure, the Developer will either (i) form a CFD that includes the Project Site, (ii) annex the Project Site into an existing CFD or (iii) establish another lawful funding mechanism that is reasonably acceptable to the City. If a CFD is used, formation of the CFD must include, but not be limited to, compliance with the Mello – Roos Community Facilities Act of 1982 (Gov. Code, § 53311 et seq.), affirmative votes, and the recordation of a Notice of Special Tax Lien. Developer shall be responsible for all costs associated with the CFD proceedings or the implementation of the other lawful funding mechanism.

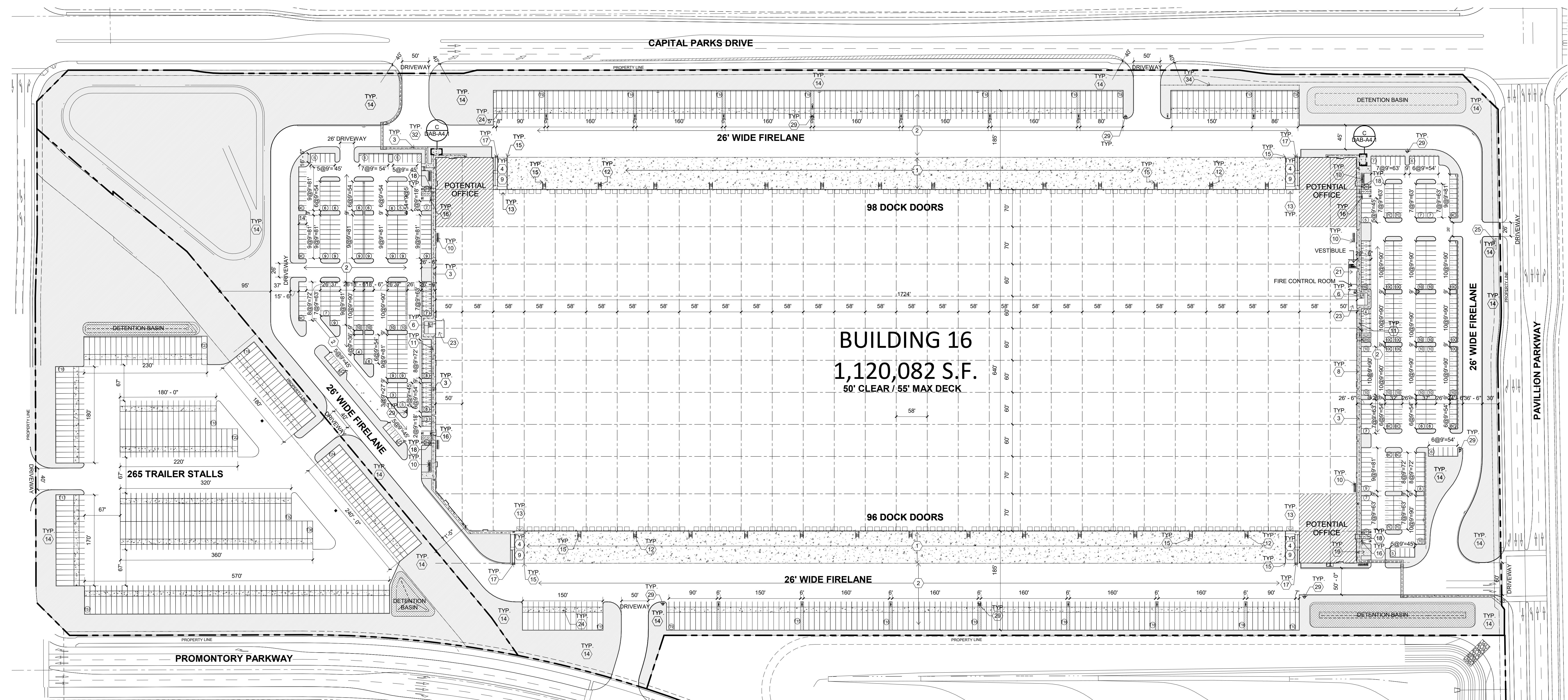
Or

b. Direct funding. An agreement with the City, which shall be recorded against the Project Site, which stipulates that prior to the City's acceptance of the Infrastructure, Developer will deposit with the City such funds as are necessary to fund in perpetuity the long-term on-going costs of operation, maintenance and replacement of the Infrastructure, including all costs required to operate the streetlights and signals.

Or

c. POA. Developer shall, at its expense, form a Property Owner's Association (POA) for the entire Project Site that will fund the on-going operation, maintenance and replacement costs of the agreed-upon Infrastructure serving the Project Site, with CC&Rs reasonably acceptable to the City Attorney. If the POA is the chosen funding mechanism, Developer must also annex into an existing CFD in a "dormant" capacity, with the required funding to be triggered if the POA is not created prior to the City's acceptance of any Infrastructure, or if the POA becomes, in the City's reasonable determination, unable to continue to fund the on-going operation, maintenance and replacement of the Infrastructure. If a POA and dormant CFD are the chosen funding

mechanism, the CFD tax or assessment must be disclosed to all prospective buyers of all or any portion of the Project Site.



Revision Record

Revision Number Revision Description Revision Date

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE (AC).
- 3 ACCESSIBLE PATH OF TRAVEL.
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED PER "C" DRAWINGS
- 5 5'-6"X9'-6" MEDIUM BROOM FINISH CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS AND STAIR LANDINGS. FINISH TO BE MEDIUM BROOM FINISH, SLOPE TO BE 1/4"-12" MAX.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH UTILITY COMPANY
- 7 NOT USED
- 8 CONCRETE WALKWAY, MEDIUM BROOM FINISH.
- 9 CONCRETE RAMP WITH CONCRETE GUARD WALL.
- 10 BIKE RACK.
- 11 FUTURE ELECTRIC VEHICLE CHARGER.
- 12 EXTERIOR CONCRETE STAIR.
- 13 12' X 14' DRIVE-IN DOOR
- 14 LANDSCAPE.
- 15 CONC. FILLED GUARD POST 6" DIA. U.N.O. 48".
- 16 PRE-CAST CONC. WHEEL STOP.
- 17 TRUNCATED DOMES.
- 18 ACCESSIBLE PARKING STALL SIGN.
- 19 HARDSCAPE AT ENTRANCE.
- 20 ACCESSIBLE ENTRY SIGN.
- 21 PUMP ROOM
- 22 METAL GATE WITH KNOX BOX
- 23 ELECTRICAL ROOM.
- 24 CONCRETE DOLLY PAD.
- 25 PROPOSED LOCATION FOR MONUMENT SIGNAGE
- 26 ARROW SIGNAGE FOR TRUCK AND VEHICLE CIRCULATION.
- 27 NOT USED
- 28 STORM TREATMENT SEE CIVIL
- 29 APPROXIMATE LOCATION OF FIRE HYDRANT.
- 30 NOT USED.
- 31 APPROXIMATE LOCATION OF RECESSED KNOX-BOX.
- 32 FIRE LANE
- 33 ROOF DRAIN & OVERFLOW SCUPPERS.
- 34 METAL FENCE SEE CIVIL.

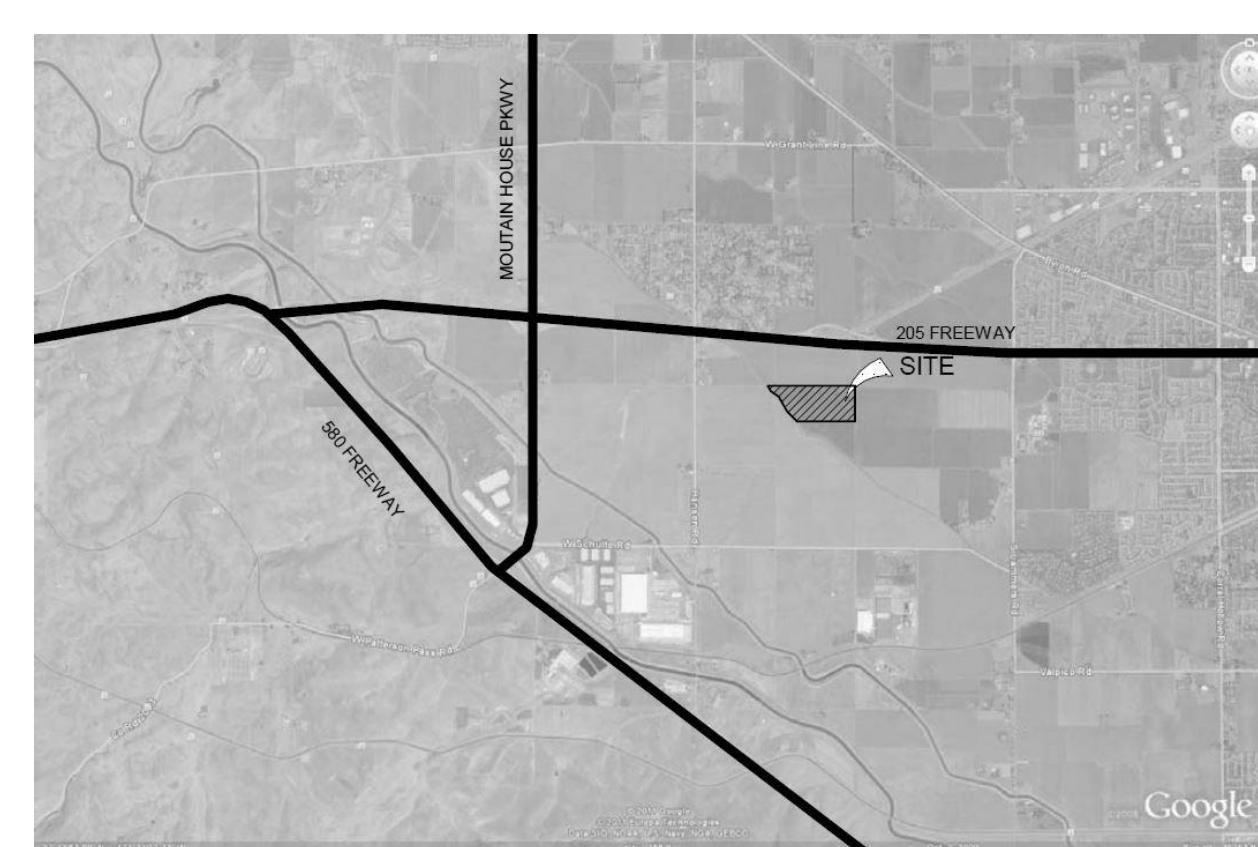
SITE GENERAL NOTES

- 1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY KLEINFELDER.
- 2. SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- 3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- 4. SEE "C" DRAWINGS FOR CONCRETE CURBS, GUTTERS AND SWALES.
- 5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM IF REQUIRED.
- 6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES.
- 7. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- 8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- 9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- 10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIALS. FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- 11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- 12. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH FENCE.
- 13. TRANSFORMER TO BE PAINTED DARK GREEN TO MATCH LANDSCAPING.
- 14. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
- 15. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
- 16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE.

SITE GENERAL LEGEND

- CONCRETE PAVING SEE "C" DRAWINGS FOR THICKNESS
- CONCRETE CURB OR GRID LINE U.N.O.
- STANDARD PARKING STALL (9' X 18'-0" OR 16'-0" + 2'-0" OA)
- TRAILER PARKING
- DOUBLE HEAD POLE LIGHT
- SINGLE HEAD POLE LIGHT
- WALL MOUNTED LIGHT
- CLEAN AIR VAPORPOU EV WITH CONDUIT STUB FOR FUTURE EV
- CLEAN AIR VAPORPOU EV WITHOUT CONDUIT STUB FOR FUTURE EV
- ACCESSIBLE PARKING STALL (9' X 18'-0" + 8' W/ ACCESSIBLE AISLE)
- ACCESSIBLE PARKING VAN STALL (9' X 18'-0" + 8' W/ ACCESSIBLE AISLE)
- COMPACT PARKING STALL (9' X 16'-0" OR 12'-0" + 2'-0" OA)

AERIAL MAP



TABULATION

	BLDG. 16	PARKING LOT	TOTAL
SITE AREA	2,455,572	451,036	2,906,608 s.f.
in s.f.		56.4	66.7 ac
BUILDING AREA			
main office	35,000		s.f.
warehouse	1,085,082		s.f.
TOTAL	1,120,082		s.f.
FLOOR AREA RATIO	0.46		
AUTO PARKING REQUIRED			
office @ 1/250 s.f.	140		stalls
warehouse 1st 20K @ 1/1,000 s.f.	20		stalls
2nd 20K @ 1/2,000 s.f.	10		stalls
above 40K @ 1/4,000 s.f.	262		stalls
TOTAL	432		stalls
AUTO PARKING PROVIDED			
Standard (9'X18'-0")	367		stalls
Compact (9' X 18'-0" + 2' Overhang)	197		stalls
Clean air Vaporpou (9' X 18'-0" + 2' Overhang)	13		stalls
EV parking (9' X 16'-0" + 2' Overhang)	37		stalls
Accessible EV Van (9' X 18'-0" + 8' W/ Accessible Aisle)	1		stalls
Accessible Standard EV parking (9' X 18'-0" + 8' W/ Accessible Aisle)	1		stalls
Accessible Standard parking (9' X 18'-0" + 8' W/ Accessible Aisle)	4		stalls
TOTAL	624		stalls
TRAILER PARKING PROVIDED			
trailer (10'X33')	264		stalls
BICYCLE RACK REQUIRED			
Short term (5% of total stalls)	33		spaces
Long term (5% of total stalls)	33		spaces
BICYCLE RACK PROVIDED			
Short term (5% of total stalls)	36		spaces
Long term (5% of total stalls)	36		spaces
MAXIMUM FLOOR AREA RATIO			
F.A.R. - .50			
ZONING ORDINANCE FOR THE CITY			
Zoning Designation - Cordes Ranch Specific Plan			
- Business Park Industrial (BPI)			
SETBACKS			
Promontory Pkwy. - 25'			
Pavilion Pkwy. - 25'			
Capital Parks Drive - 25'			

International Park of Commerce - Building 16

689 Pavilion Parkway

Tracy, CA

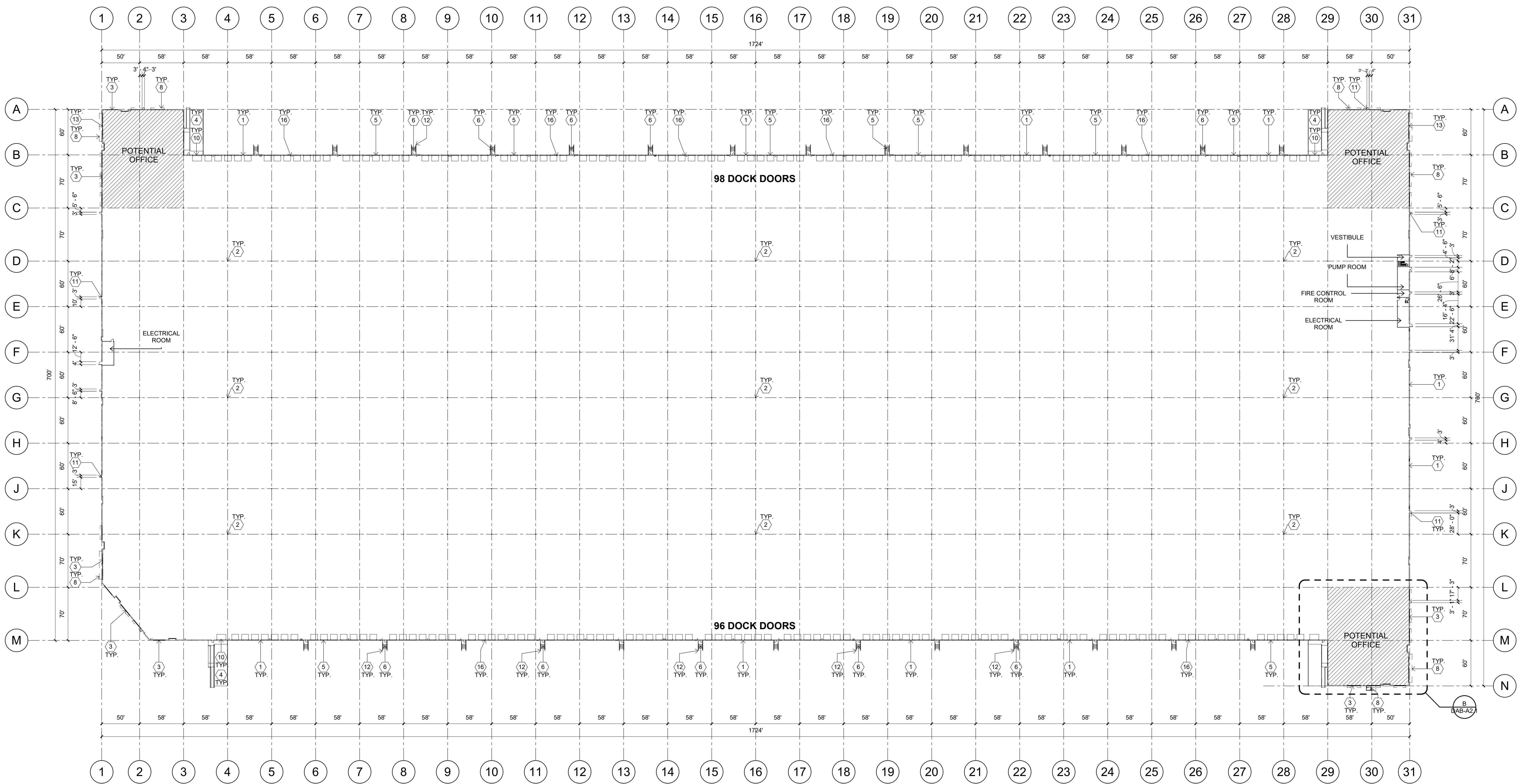
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Date Project No.
12/18/20 18091

Sheet Title
OVERALL SITE PLAN

Sheet No.
DAB-A1.1

RECEIVED
December 28, 2020
City of Tracy
Development Services



Revision Record

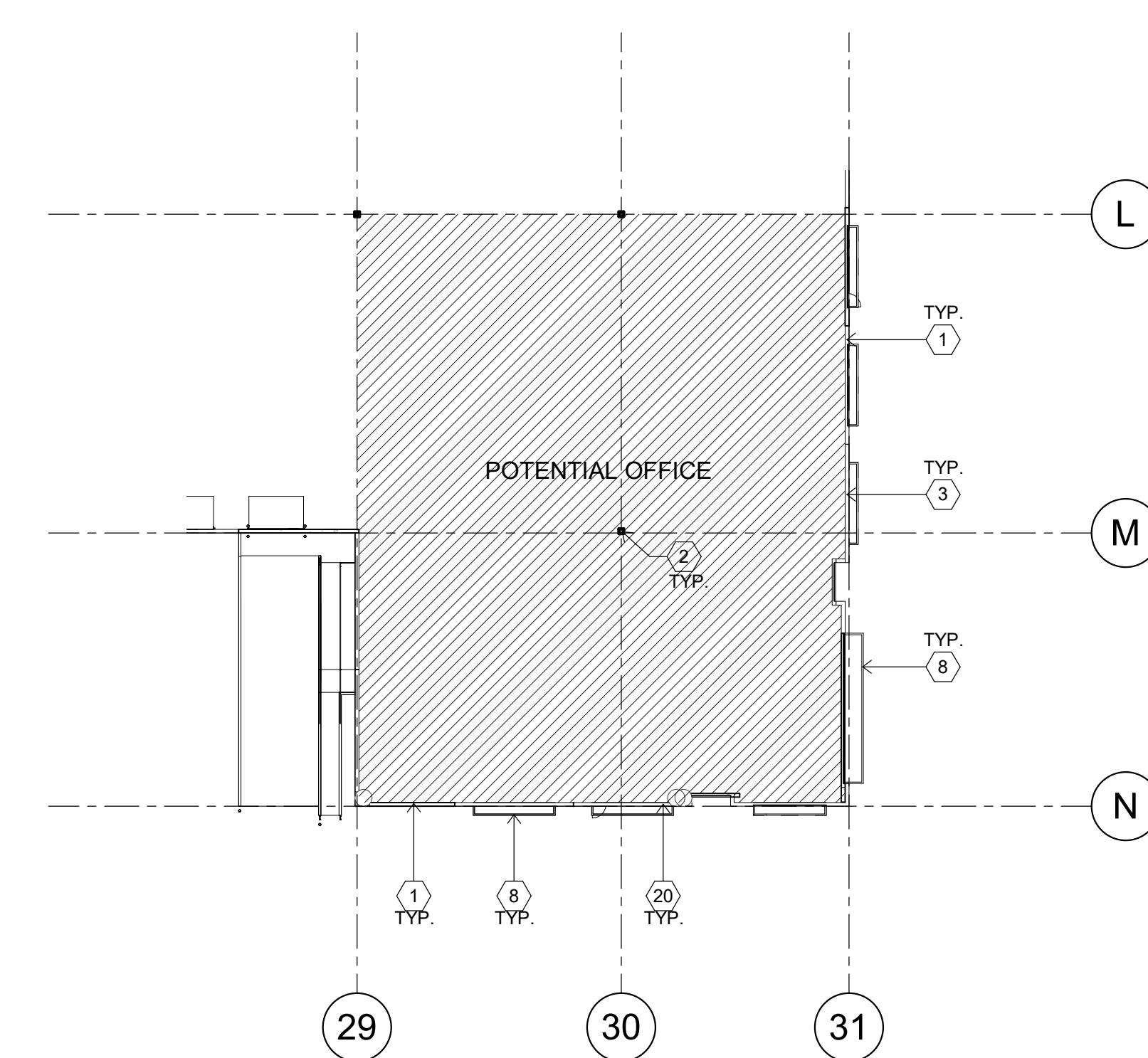
Revision Number	Revision Description	Revision Date

OVERALL FLOOR PLAN

scale: 1" = 60'-0"

A

Scale: 1" = 60'-0" 0 60'-0" 120'-0" 180'-0" PLAN NORTH TRUE NORTH



ENLARGED FLOOR PLAN

scale: 1" = 30'-0"

B

Scale: 1" = 30'-0" 0 30'-0" 60'-0" 90'-0" PLAN NORTH TRUE NORTH

GENERAL NOTES - FLOOR PLAN

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' +/- A. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
3. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
4. SLOPE POUR STRIP 1/8 TO EXTERIOR AT ALL MANDATORY EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
5. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
6. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
7. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET -. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
8. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
9. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
10. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
11. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
12. NON-ACCESSIBLE DOOR, PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11B-1009.10.

KEYNOTES - FLOOR PLAN

1. CONCRETE TILT-UP PANEL.
2. STRUCTURAL STEEL COLUMN.
3. TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
4. CONCRETE RAMP W/ 42" HIGH CONCRETE TILT-UP GUARD WALL OR ELEVATED CONCRETE ON BOTH SIDES OF RAMP.
5. 9' x 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE, DESIGN TO RESIST CITY REQUIRED WIND SPEED.
6. EXTERIOR CONCRETE STAIR.
7. 5' 6" x 7' 4" THIN CONCRETE EXTERIOR LANDING PAD TYPICAL AT EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH, SLOPE TO BE 1/4"- 12" MAX.
8. METAL CANOPY.
9. DOCK DOOR BUMPER.
10. 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
11. 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
12. CONCRETE FILLED GUARD POST, 6" DIA, U.N.O. 48" HIGH.
13. SLIDING DOOR.
14. INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
15. INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
16. Z GUARD.
17. INTERIOR BIKE RACK.
18. NOT USED.
19. SOFFIT LINE ABOVE.
20. NOT USED.
21. ROOF ACCESS LADDER.
22. APPROXIMATE LOCATION OF FIRE RISERS.

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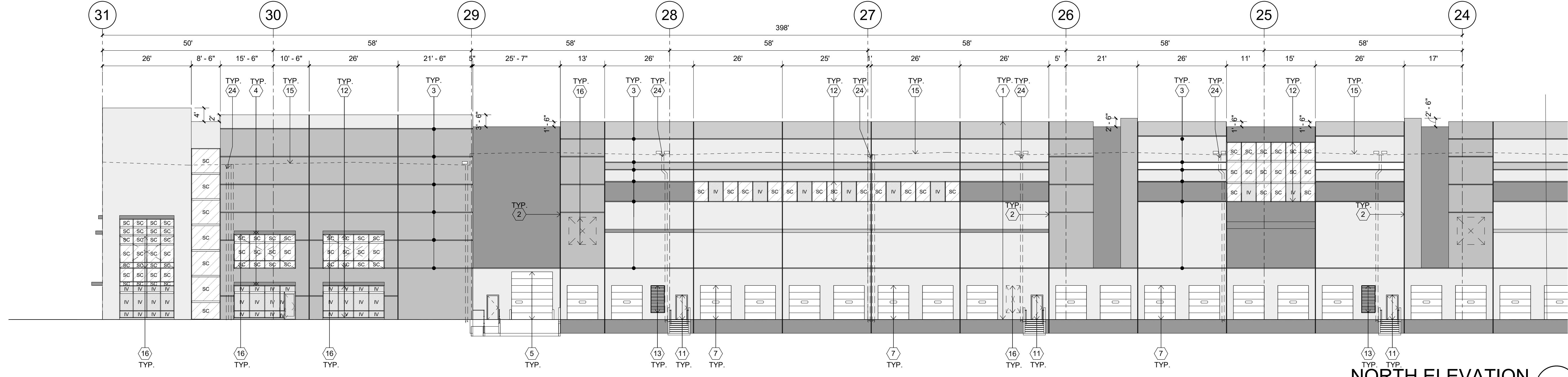
Sheet Title
OVERALL FLOOR PLAN

Sheet No.
DAB-A2.1



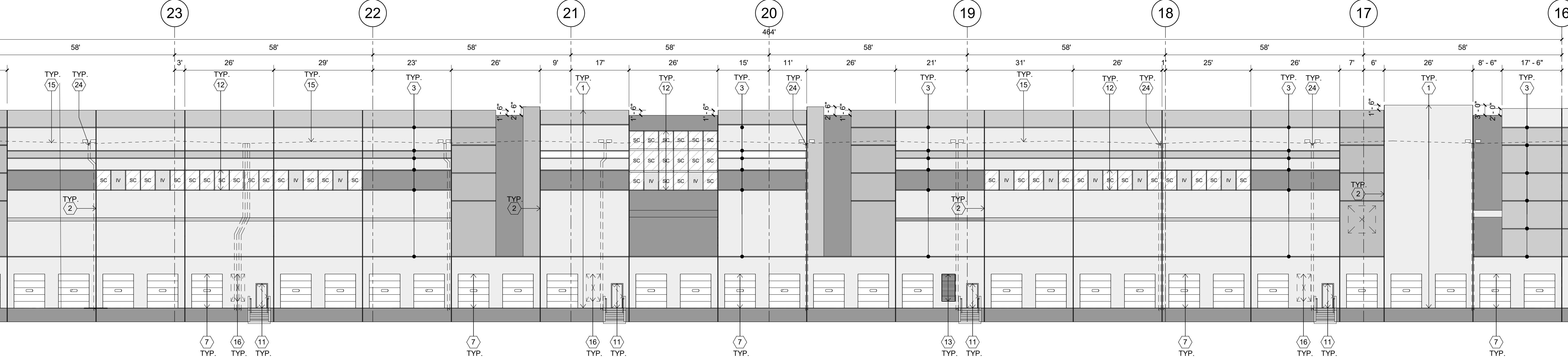
GENERAL NOTES - ELEVATION

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST - MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL WI SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDEL GLAZING, ALLOW SPACE BEHIND SPANDEL TO BREATHE. PROVIDE 1" DIAMETER HOLES AT CONCRETE WALL.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
11. ALL ROLL-UP DOORS AND SERVICE DOORS TO BE PAINTED TO MATCH BUILDING COLOR.



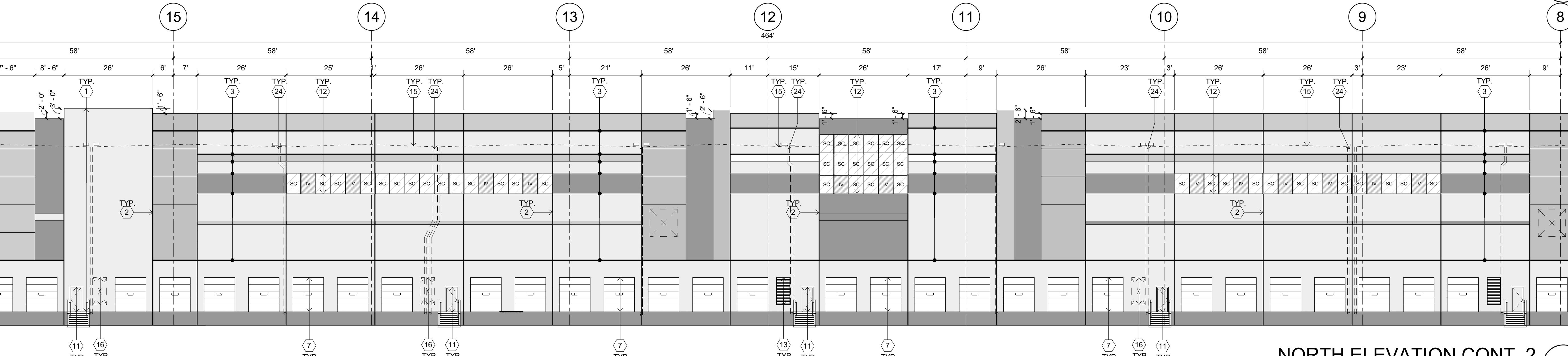
NORTH ELEVATION A

scale: 1/16" = 1'-0"



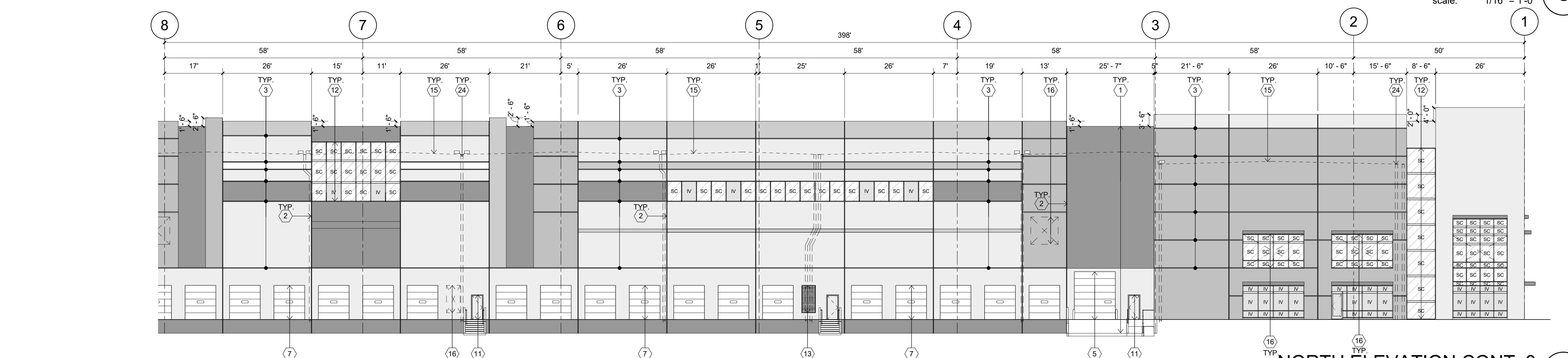
NORTH ELEVATION CONT. 1 B

scale: 1/16" = 1'-0"



NORTH ELEVATION CONT. 2 C

scale: 1/16" = 1'-0"



NORTH ELEVATION CONT. 3 D

scale: 1/16" = 1'-0"

COLOR SCHEDULE - ELEVATIONS

EXTERIOR CONCRETE WALLS TO HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.

- 1 CONCRETE TILT-UP PANEL.
PAINT BRAND SHERWIN WILLIAMS SW 7006 EXTRA WHITE 1-100 EW FLAT 5 GALLON FORMULA
- 5 METAL CANOPY
PAINT BRAND SW 7006 EXTRA WHITE @METAL CANOPY
- 6 GLAZING COLOR EVER GREEN GLAZING
- 7 MULLIONS
PAINT BRAND CLEAR ANODIZED
- 8 CONCRETE TILT-UP PANEL
PAINT BRAND SHERWIN WILLIAMS PLD-5 NEW DARK GREEN 1-100 EW FLAT 5 GALLON FORMULA CCE-COLORANT OZ 32 64 128 B1-BLACK - 41/32 1/128 R2-MAROON - 3/32 1/64 1/128 Y3-DEEP GOLD 20/20 -
- 2 CONCRETE TILT-UP PANEL
PAINT BRAND SHERWIN WILLIAMS SW 7671 ON THE ROCKS 1-100 EW FLAT 5 GALLON FORMULA CCE-COLORANT OZ 32 64 128 B1-BLACK 21/32 1/128 R2-MAROON 5/32 1/64 1/128 Y3-DEEP GOLD 7/32 1/64 1/128
- 3 CONCRETE TILT-UP PANEL
PAINT BRAND SHERWIN WILLIAMS SW 7672 KNITTING NEEDLES 1-100 EW FLAT 5 GALLON FORMULA CCE-COLORANT OZ 32 64 128 A1-BLUE 8Y 43/32 - G2-NEW GREEN 34Y 33/32 1/128 L1-BLUE 8Y 7/32 1/64 1/128 B1-BLACK 21/32 1/128 R2-MAROON 5/32 1/64 1/128 Y3-DEEP GOLD 4Y 48/32 - 1/128
- 9 DOCK DOORS
PAINT BRAND FACTORY FINISHED WHITE @DOCK DOORS
- 4 CONCRETE TILT-UP PANEL
PAINT BRAND SHERWIN WILLIAMS SW 7673 PEWTER CAST 1-100 EW FLAT 5 GALLON FORMULA CCE-COLORANT OZ 32 64 128 W1-WHITE 8Y 43/32 - G2-NEW GREEN 34Y 33/32 1/128 L1-BLUE 8Y 7/32 1/64 1/128 B1-BLACK 6Y 52/32 1/64 1/128 R2-MAROON 18/32 1/64 1/128 Y3-DEEP GOLD 2Y 11/32 -

*SEE SEPARATE MATERIAL BOARD FOR PAINT AND MATERIAL LOCATIONS

GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

INSULATED VISION GLASS	SPANDEL GLASS WITH CONCRETE BEHIND
SINGLE LITE VISION GLASS	SPANDEL GLASS
IV. INSULATED VISION GLASS 1/4" ATLANTICA - 1/8" SUNGATE CLEAR 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES U: 0.27 SHGC: 0.35 VLT: 58% MINIMUM VLT TO BE 0.42 PER 2016 CEC TABLE 140.3-B	
SC: SPANDEL WITH CONCRETE BEHIND 1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE. INSTALLED ON CONCRETE.	
V: VISION GLASS 1/4" ATLANTICA	
S: SPANDEL 1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE. INSTALLED ON OPENINGS.	
MULLIONS: ANODIZED CLEAR.	

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAXIMUM OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING COLOR, U.N.O.
- 4 METAL TUBE STEEL CANOPY.
- 5 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 42" HIGH CONCRETE RETAINING WALL.
- 7 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 8 NOT USED.
- 9 BUILDING ADDRESS PER FIRE DEPARTMENT REQUIREMENTS. 18" HIGH X 2" THICK WITH LETTER "HELVETICA BOLD" LETTER W/ 1/16" PVC FLANGE EPOXY TO WALL. COLOR TO BE SELECTED BY ARCHITECT. BUILDING ADDRESS TO BE CONFIRMED BY CITY.
- 10 EXTERIOR CONCRETE STAIR.
- 11 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 12 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 13 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 14 NOT USED.
- 15 ROOF LINE BEYOND.
- 16 KNOCK-OUT PANEL.
- 17 TRELLIS.
- 18 5'0" X 5'6" CONCRETE LANDING PAD.
- 19 BIKE RACK.
- 20 OUTDOOR BREAK AREA.
- 21 NOT USED.
- 22 DOCK BUMPER.
- 23 CONCRETE LANDING WITH PIPE RAIL.
- 24 INTERIOR DOWN SPOUTS & 2 OVERFLOW SCUPPERS.
- 25 WALL MOUNTED LIGHTING FIXTURES.
- 26 APPROXIMATE LOCATION OF KNOX-BOX.

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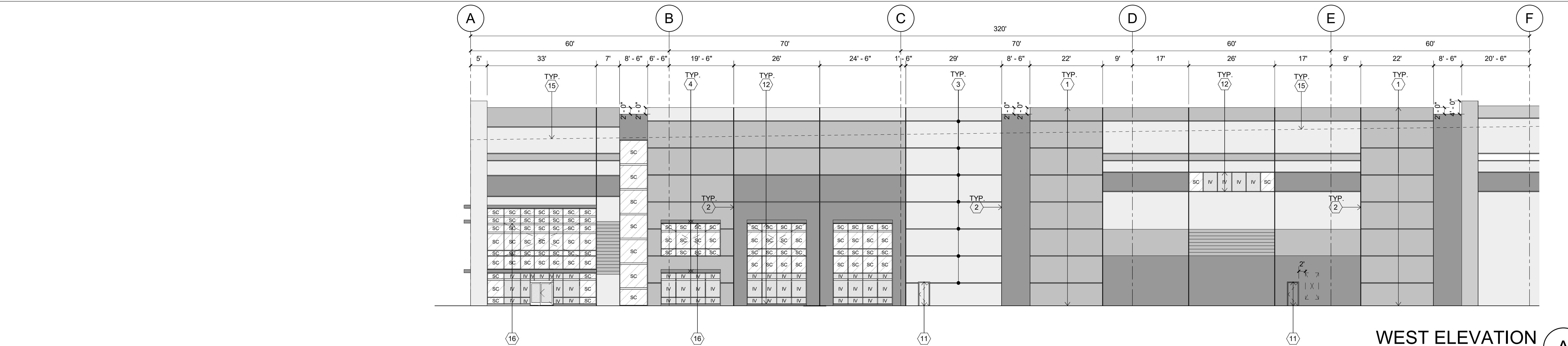
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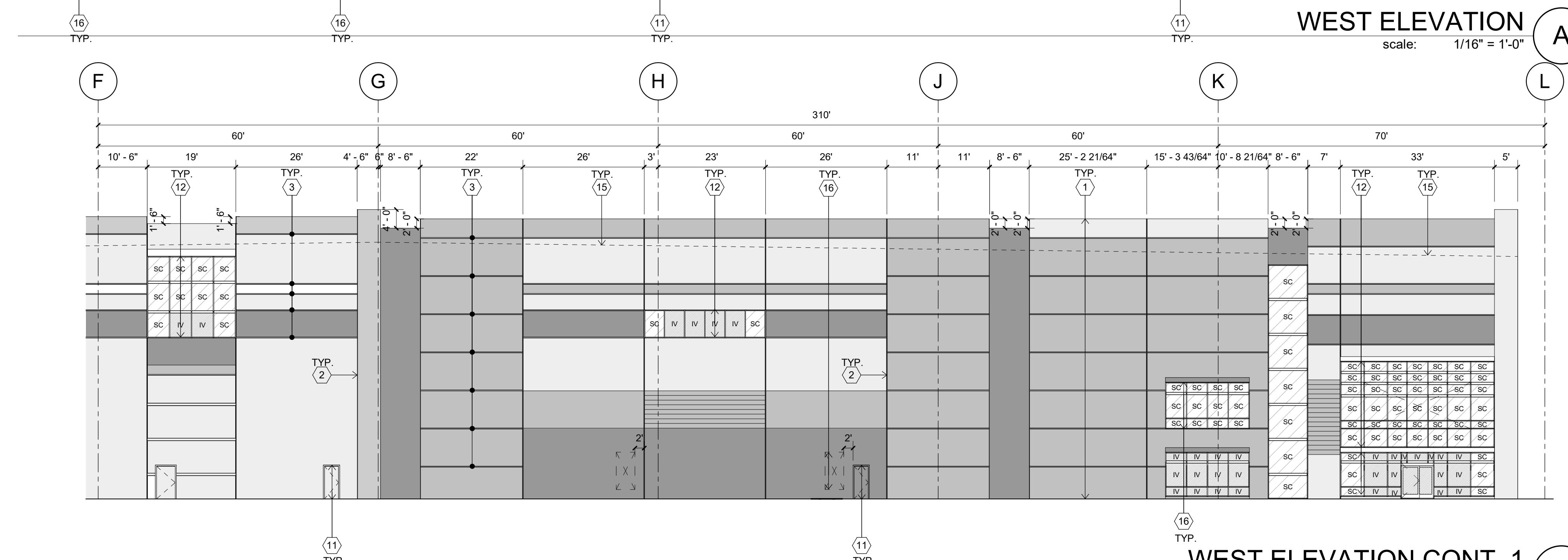
Sheet Title
ELEVATIONS

Sheet No.
DAB-A3.1



GENERAL NOTES - ELEVATION

- ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- T.O.P. EL.= TOP OF PARAPET ELEVATION.
- F.F.= FINISH FLOOR ELEVATION.
- STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST - MPH EXPOSURE 'C' WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER.
- BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. PROVIDE 1" DIAMETER HOLES AT CONCRETE WALL.
- USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- ALL ROLL-UP DOORS AND SERVICE DOORS TO BE PAINTED TO MATCH BUILDING COLOR.



COLOR SCHEDULE - ELEVATIONS

EXTERIOR CONCRETE WALLS TO HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.

- CONCRETE TILT-UP PANEL
PAINT BRAND SHERWIN WILLIAMS SW 7006 EXTRA WHITE 1-100 EW FLAT 5 GALLON FORMULA
- GLAZING COLOR EVER GREEN GLAZING
- MULLIONS PAINT BRAND CLEAR ANODIZED
- CONCRETE TILT-UP PANEL
PAINT BRAND SHERWIN WILLIAMS SW 7671 ON THE ROCKS 1-100 EW FLAT 5 GALLON FORMULA CCE/COLORANT OZ 32 64 128 B1-BLACK - 4132 1/128 R2-MAROON - 332 1/64 1/128 Y3-DEEP GOLD - 2032 -
- CONCRETE TILT-UP PANEL
PAINT BRAND SHERWIN WILLIAMS PLD-5 NEW DARK GREEN 1-100 EW FLAT 5 GALLON FORMULA CCE/COLORANT OZ 32 64 128 W1-WHITE 8Y 4/32 G2 - NEW GREEN 34Y 33/32 L1-1 WHITE 8Y 732 1/64 1/128 R2-MAROON - 5532 1/64 1/128 Y3-DEEP GOLD 4Y 48/32 -
- DOCK DOORS PAINT BRAND FACTORY FINISHED WHITE @DOCK DOORS
- CONCRETE TILT-UP PANEL
PAINT BRAND SHERWIN WILLIAMS SW 7673 PEWTER CAST 1-100 EW FLAT 5 GALLON FORMULA CCE/COLORANT OZ 32 64 128 W1-WHITE 8Y 52/32 1/64 1/128 B1-BLACK 6Y 45/32 1/64 R2-MAROON - 5532 1/64 1/128 Y3-DEEP GOLD 2Y 1732 1/128

*SEE SEPARATE MATERIAL BOARD FOR PAINT AND MATERIAL LOCATIONS

GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

INSULATED VISION GLASS	SPANDREL GLASS WITH CONCRETE BEHIND
SINGLE LITE VISION GLASS	SPANDREL GLASS

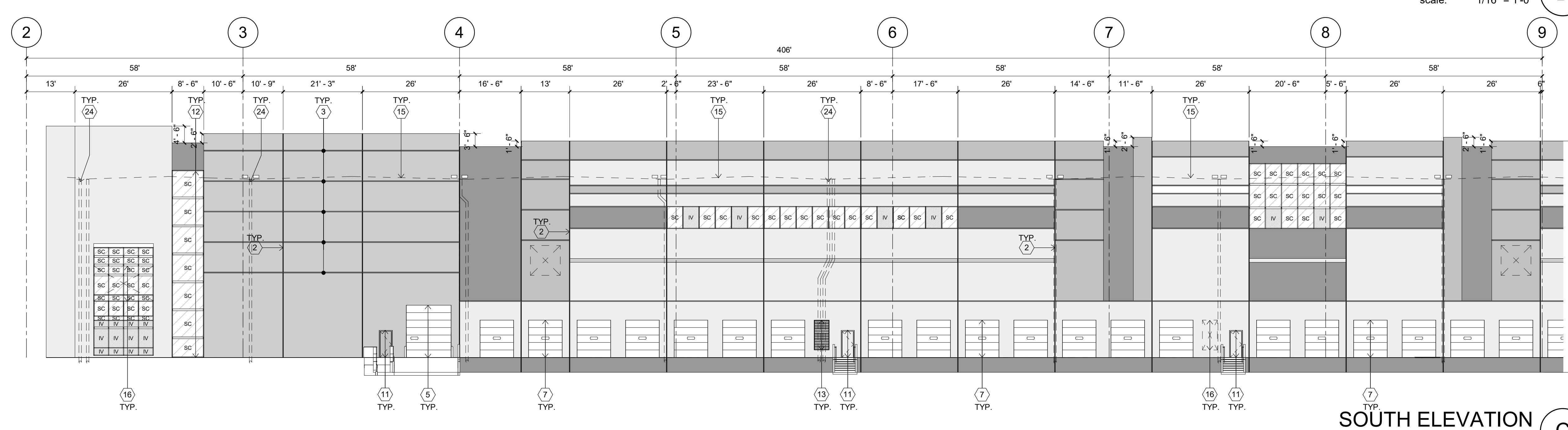
IV: INSULATED VISION GLASS
1/4" ATLANTIC 1/4" SUNGATE 400 CLEAR 1" INSULATED GLASS UNIT
U-0.27 SHGC 0.35 VLT- 58%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B

SC: SPANDREL WITH CONCRETE BEHIND
1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE. INSTALLED ON CONCRETE.

V: VISION GLASS
1/4" ATLANTIC

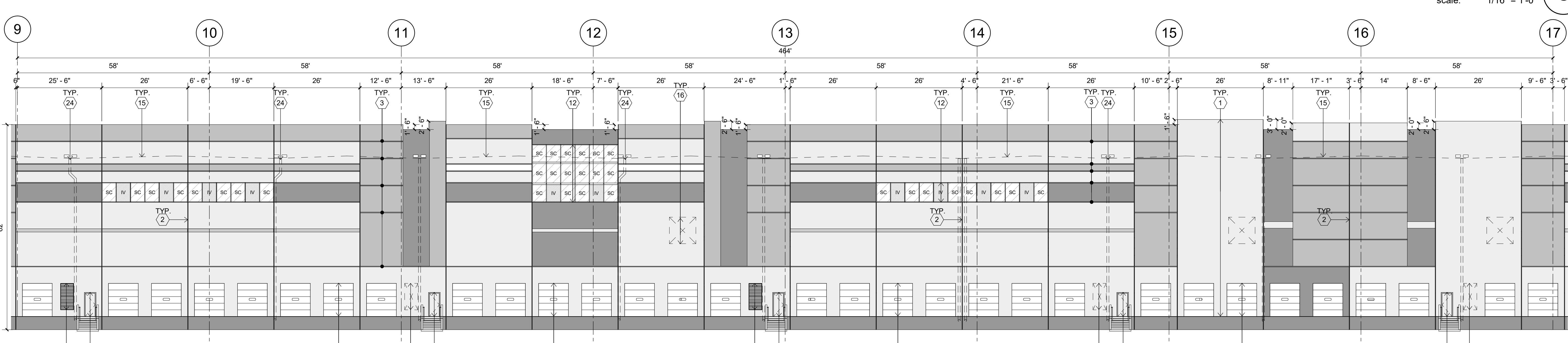
S: SPANDREL
1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE. INSTALLED ON OPENINGS.

MULLIONS: ANODIZED CLEAR.



SOUTH ELEVATION

scale: 1/16" = 1'-0"



SOUTH ELEVATION CONT. 1

scale: 1/16" = 1'-0"

- CONCRETE TILT-UP PANEL (PAINTED).
- PANEL JOINT.
- PANEL REVEAL. ALL REVEALS TO HAVE A MAXIMUM OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- METAL TUBE STEEL CANOPY.
- OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 42" HIGH CONCRETE RETAINING WALL.
- OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- NOT USED.

- BUILDING ADDRESS: PER FIRE DEPARTMENT REQUIREMENTS. 18" HIGH X 2" THICK HIGH DENSITY FOAM "HELVETICA BOLD" LETTER W/ 1/16" PVC FACES EPOXY TO WALL. COLOR TO BE SELECTED BY ARCHITECT. BUILDING ADDRESS TO BE CONFIRMED BY CITY.
- EXTERIOR CONCRETE STAIR.
- HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN INVERTER ABOVE DOOR.
- ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- METAL LOUVER, PAINT TO MATCH BUILDING COLOR.
- NOT USED.
- ROOF LINE BEYOND.
- KNOCK-OUT PANEL.
- TRELLIS
- 5'-6" X 5'-6" CONCRETE LANDING PAD.
- BIKE RACK.
- OUTDOOR BREAK AREA
- NOT USED.
- DOCK BUMPER.
- CONCRETE LANDING WITH PIPE RAIL.
- INTERIOR DOWN SPOUTS & 2 OVERFLOW SCUPPERS.
- WALL MOUNTED LIGHTING FIXTURES.
- APPROXIMATE LOCATION OF KNOX-BOX.

International Park of Commerce - Building 16

689 Pavilion Parkway
Tracy, CA

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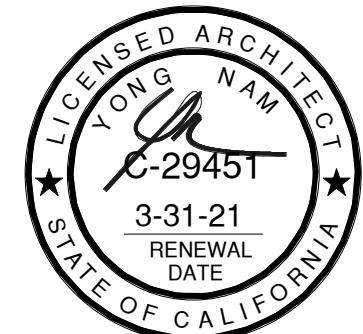
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TEL: 510-656-1900
<https://www.prologis.com/>

Date Project No.
12/18/20 18091

Sheet Title
ELEVATIONS

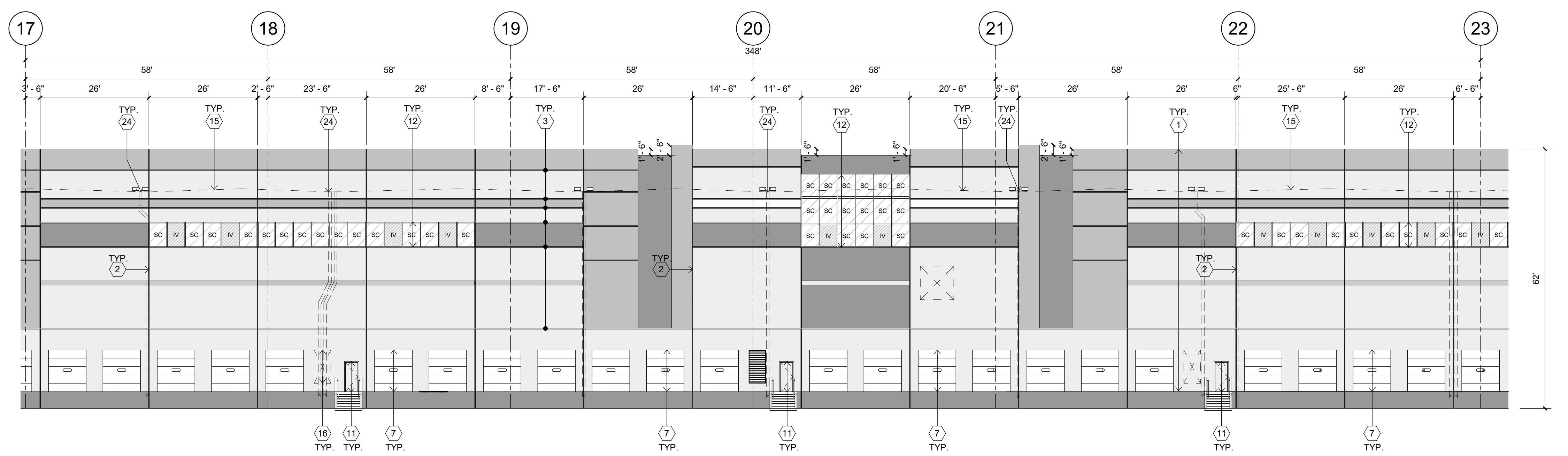
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DAB-A3.2

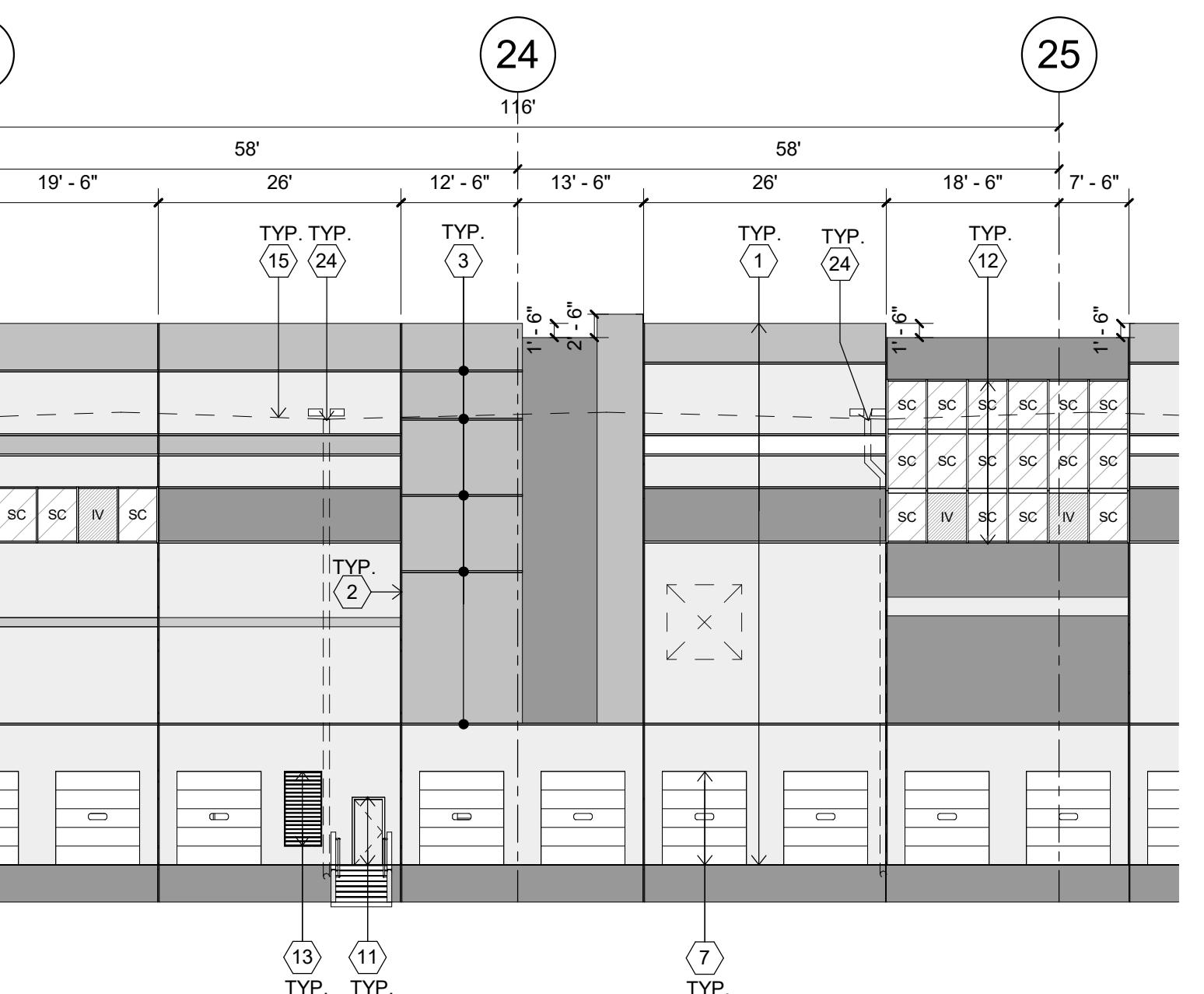


GENERAL NOTES - ELEVATION

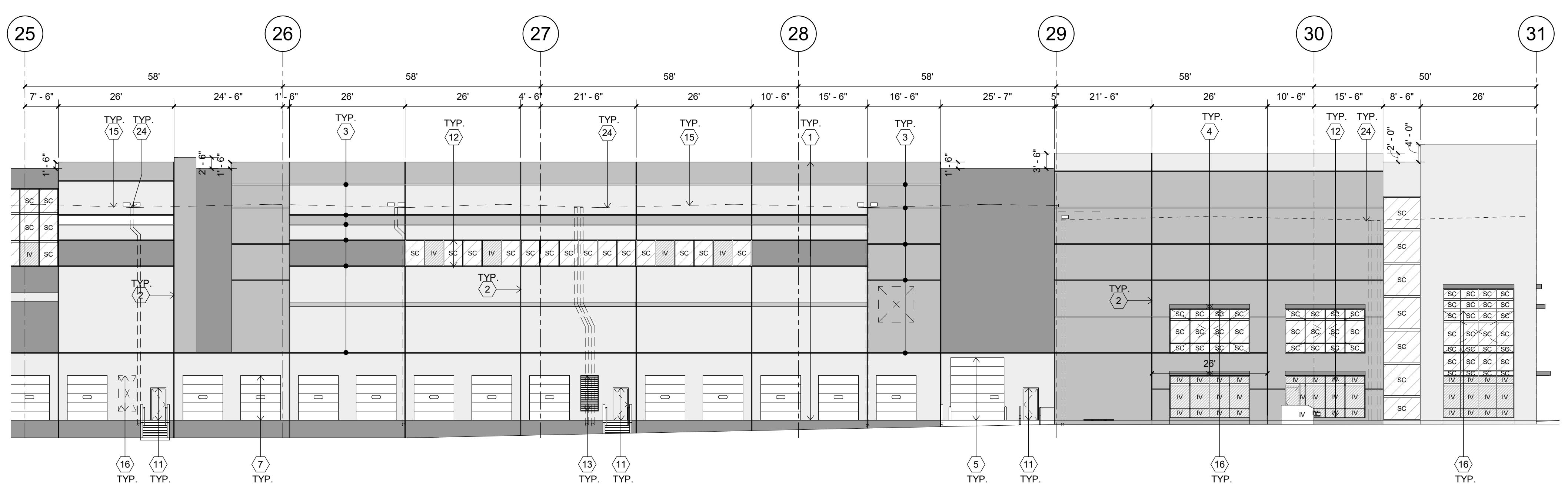
- ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- T.O.P. EL.= TOP OF PARAPET ELEVATION.
- F.F. = FINISH FLOOR ELEVATION.
- STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST - MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLOR. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- FOR SPANDEL GLAZING, ALLOW SPACE BEHIND SPANDEL TO BREATHE. PROVIDE 1" DIAMETER HOLES AT CONCRETE WALL.
- USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- ALL ROLL-UP DOORS AND SERVICE DOORS TO BE PAINTED TO MATCH BUILDING COLOR.



SOUTH ELEVATION CONT. 2
scale: 1/16" = 1'-0"



SOUTH ELEVATION CONT. 3
scale: 1/16" = 1'-0"



SOUTH ELEVATION CONT. 4
scale: 1/16" = 1'-0"

COLOR SCHEDULE - ELEVATIONS

EXTERIOR CONCRETE WALLS TO HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.

- ① CONCRETE TILT-UP PANEL
PAINT BRAND SHERWIN WILLIAMS SW 7006 EXTRA WHITE 1-100 EW FLAT 5 GALLON FORMULA
- ⑤ METAL CANOPY
PAINT BRAND SHERWIN WILLIAMS SW 7006 EXTRA WHITE @METAL CANOPY
- ⑥ GLAZING COLOR EVER GREEN GLAZING
- ⑦ MULLIONS
PAINT BRAND CLEAR ANODIZED
- ⑧ CONCRETE TILT-UP PANEL
PAINT BRAND SHERWIN WILLIAMS PLD - 5 NEW DARK GREEN 1-100 EW FLAT 5 GALLON FORMULA CCE'COLORANT OZ 32 64 128 B1-BLACK - 41/32 1/128 R2-MAROON - 3/32 1/64 1/128 Y3-DEEP GOLD - 20/32 -
- ⑨ DOCK DOORS
PAINT BRAND FACTORY FINISHED WHITE @DOCK DOORS
- ⑩ CONCRETE TILT-UP PANEL
PAINT BRAND SHERWIN WILLIAMS SW 7071 ON THE ROCKS 1-100 EW FLAT 5 GALLON FORMULA CCE'COLORANT OZ 32 64 128 B1-BLACK - 41/32 1/128 R2-MAROON - 3/32 1/64 1/128 Y3-DEEP GOLD - 20/32 -
- ⑪ CONCRETE TILT-UP PANEL
PAINT BRAND SHERWIN WILLIAMS SW 7072 KNITTING NEEDLES A-100 EW FLAT 5 GALLON FORMULA CCE'COLORANT OZ 32 64 128 B1-BLACK 2Y 17/32 1/128 R2-MAROON - 7/32 1/64 - Y3-DEEP GOLD 4Y 48/32 -
- ⑫ CONCRETE TILT-UP PANEL
PAINT BRAND SHERWIN WILLIAMS SW 7073 PEWTER CAST 1-100 EW FLAT 5 GALLON FORMULA CCE'COLORANT OZ 32 64 128 W1-WHITE 18Y 52/32 1/64 1/128 B1-BLACK 6Y 45/32 1/64 - R2-MAROON - 18/32 1/64 1/128 Y3-DEEP GOLD 2Y 11/32 -

*SEE SEPERATE MATERIAL BOARD FOR PAINT AND MATERIAL LOCATIONS

GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

- INSULATED VISION GLASS
- SPANDEL GLASS WITH CONCRETE BEHIND
- SINGLE LITE VISION GLASS
- SPANDEL GLASS

IV: INSULATED VISION GLASS
1/4" ATLANTICA - 1/4" SUNGATE 400 CLEAR 1" INSULATED GLASS UNIT
WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.35 VLT: 58%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B

SC: SPANDEL WITH CONCRETE BEHIND
1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE.
INSTALLED ON CONCRETE.

V: VISION GLASS
1/4" ATLANTICA

S: SPANDEL
1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE.
INSTALLED ON OPENINGS.

MULLIONS: ANODIZED CLEAR.

KEYNOTES - ELEVATIONS

- ① CONCRETE TILT-UP PANEL (PAINTED).
- ② PANEL JOINT.
- ③ PANEL REVEAL. ALL REVEALS TO HAVE A MAXIMUM OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- ④ METAL TUBE STEEL CANOPY.
- ⑤ OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- ⑥ 42" HIGH CONCRETE RETAINING WALL.
- ⑦ OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- ⑧ NOT USED.
- BUILDING ADDRESS PER FIRE DEPARTMENT REQUIREMENTS. 18" HIGH X 9" FACES EPOXY TO WALL. COLOR TO BE SELECTED BY ARCHITECT. BUILDING ADDRESS TO BE CONFIRMED BY CITY.
- ⑩ EXTERIOR CONCRETE STAIR.
- ⑪ HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- ⑫ ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- ⑬ METAL LOUVER, PAINT TO MATCH BUILDING COLOR.
- ⑭ NOT USED.
- ⑮ ROOF LINE BEYOND.
- ⑯ KNOCK-OUT PANEL.
- ⑰ TRELLIS
- ⑱ 5'-6" X 5'-6" CONCRETE LANDING PAD.
- ⑲ BIKE RACK.
- ⑳ OUTDOOR BREAK AREA
- ㉑ NOT USED.
- ㉒ DOCK BUMPER.
- ㉓ CONCRETE LANDING WITH PIPE RAIL.
- ㉔ INTERIOR DOWN SPOUTS & 2 OVERFLOW SCUPPERS.
- ㉕ WALL MOUNTED LIGHTING FIXTURES.
- ㉖ APPROXIMATE LOCATION OF KNOX-BOX.

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Sheet Title: ELEVATIONS

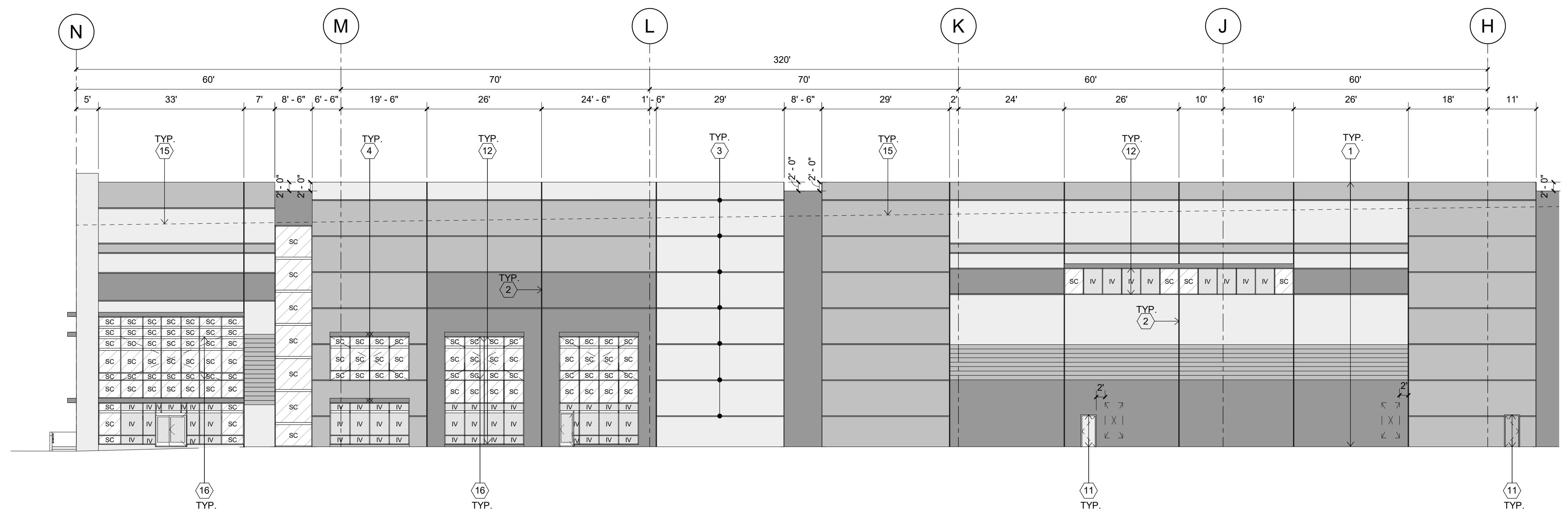
Sheet No.

DAB-A3.3



GENERAL NOTES - ELEVATION

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 1 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL/W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. PROVIDE 1" DIAMETER HOLES AT CONCRETE WALL.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
11. ALL ROLL-UP DOORS AND SERVICE DOORS TO BE PAINTED TO MATCH BUILDING COLOR.



EAST ELEVATION

scale: 1/16" = 1'-0"

COLOR SCHEDULE - ELEVATIONS

EXTERIOR CONCRETE WALLS TO HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.

- ① CONCRETE TILT-UP PANEL
PAINT BRAND: SHERWIN WILLIAMS
SW 7006 EXTRA WHITE
1-100 EW FLAT 5 GALLON FORMULA
- ⑤ METAL CANOPY
PAINT BRAND: SW 7006 EXTRA WHITE
@METAL CANOPY
- ⑥ GLAZING COLOR: EVER GREEN GLAZING
- ⑦ MULLIONS
PAINT BRAND: CLEAR ANODIZED
- ⑧ CONCRETE TILT-UP PANEL
PAINT BRAND: SHERWIN WILLIAMS
SW 7671 ON THE ROCKS
1-100 EW FLAT 5 GALLON FORMULA
CCE'COLORANT OZ 32 64 128
B1-BLACK - 41/32 1/128
R2-MAROON - 3/32 1/64 1/128
Y3-DEEP GOLD - 20/32 -
- ② CONCRETE TILT-UP PANEL
PAINT BRAND: SHERWIN WILLIAMS
SW 7672 KNITTING NEEDLES
1-100 EW FLAT 5 GALLON FORMULA
CCE'COLORANT OZ 32 64 128
B1-BLACK - 17/32 1/128
R2-MAROON - 7/32 1/64 1/128
Y3-DEEP GOLD - 31/32 - 1/128
- ③ CONCRETE TILT-UP PANEL
PAINT BRAND: SHERWIN WILLIAMS
SW 7673 PEWTER CAST
1-100 EW FLAT 5 GALLON FORMULA
CCE'COLORANT OZ 32 64 128
W1-WHITE - 18/32 1/128
W1-WHITE - 61/532 1/64 1/128
R2-MAROON - 16/32 1/64 1/128
Y3-DEEP GOLD - 2Y 11/32 -
- ⑨ DOCK DOORS
PAINT BRAND: FACTORY FINISHED WHITE
@DOCK DOORS
- ④ CONCRETE TILT-UP PANEL
PAINT BRAND: SHERWIN WILLIAMS
SW 7673 PEWTER CAST
1-100 EW FLAT 5 GALLON FORMULA
CCE'COLORANT OZ 32 64 128
W1-WHITE - 18/32 1/128
W1-WHITE - 61/532 1/64 1/128
R2-MAROON - 16/32 1/64 1/128
Y3-DEEP GOLD - 2Y 48/32 - 1/128

*SEE SEPERATE MATERIAL BOARD FOR PAINT AND MATERIAL LOCATIONS

GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

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IV: INSULATED VISION GLASS
1/4" ATLANTIC + 1/4" SUNGATE 400 CLEAR 1" INSULATED GLASS UNIT
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U: 0.27 SHGC: 0.35 ULT: 58%
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SC: SPANDREL WITH CONCRETE BEHIND
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INSTALLED ON CONCRETE.

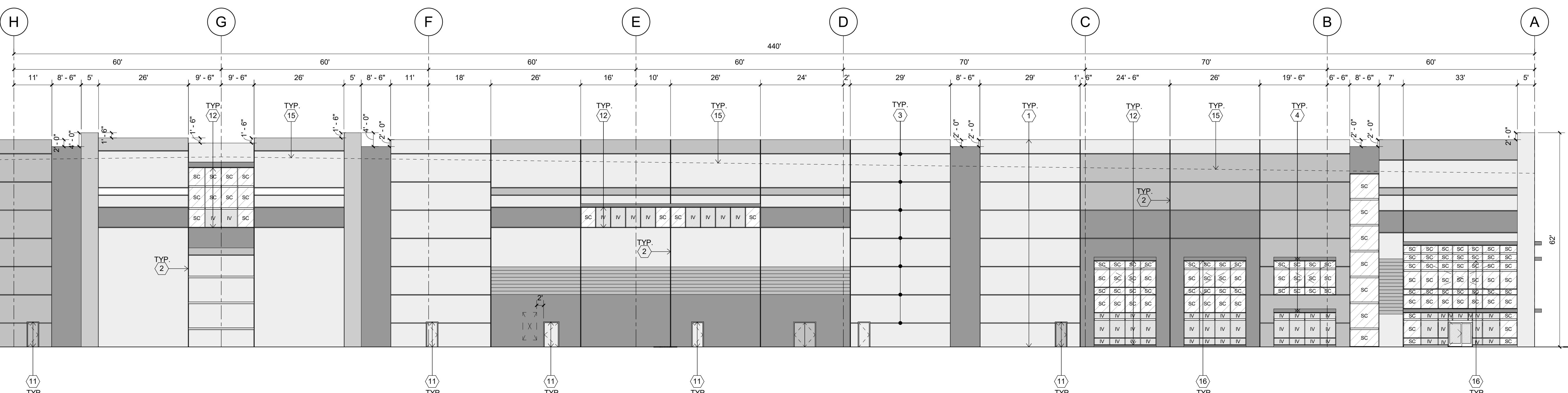
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1/4" ATLANTIC

S: SPANDREL
1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE.
INSTALLED ON OPENINGS.

MULLIONS: ANODIZED CLEAR.

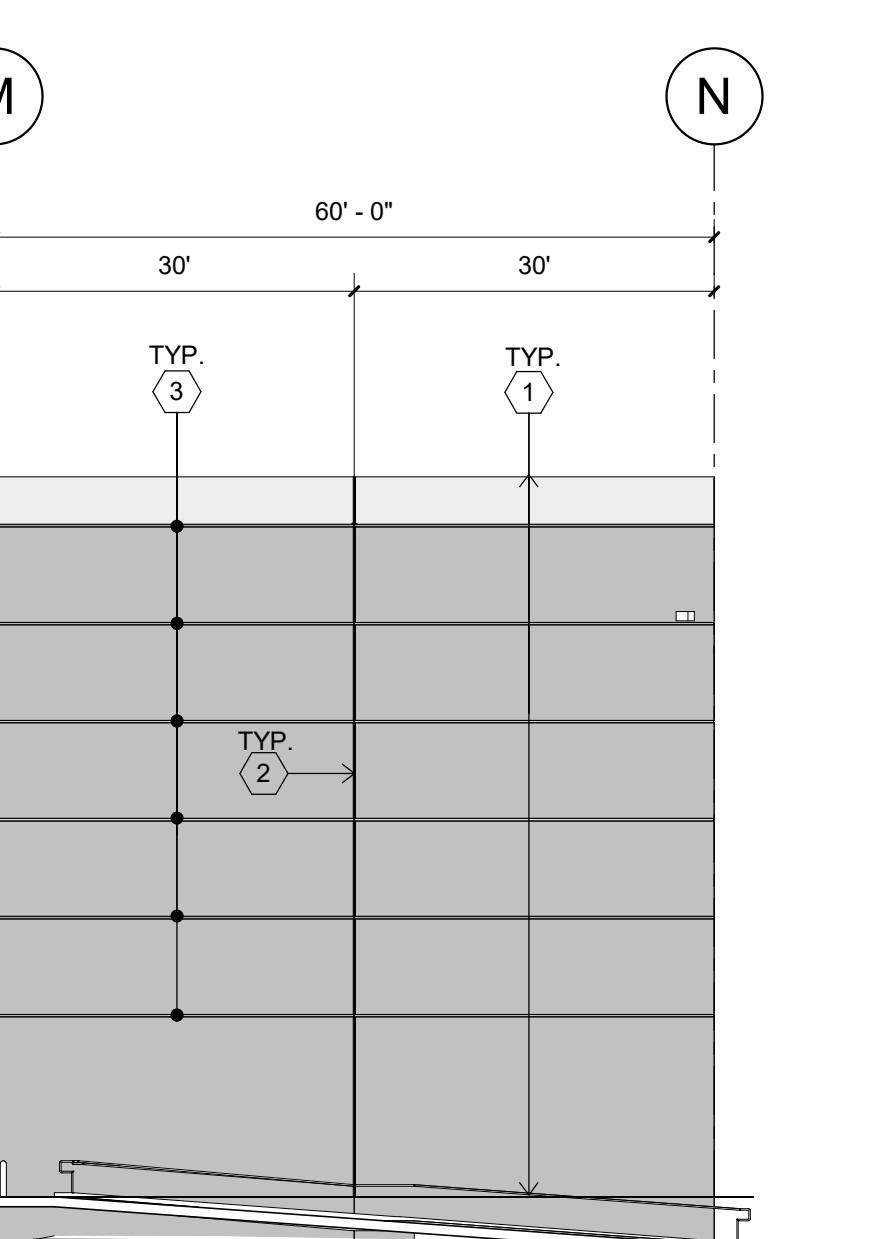
KEYNOTES - ELEVATIONS

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- ④ METAL TUBE STEEL CANOPY.
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- ⑥ 42" HIGH CONCRETE RETAINING WALL.
- ⑦ OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- ⑧ NOT USED.
- ⑨ BUILDING ADDRESS PER FIRE DEPARTMENT REQUIREMENTS: 18" HIGH X 2" THICK HIGH DENSITY FOAM HELVETICA BOLD LETTER W/ 1/16" PVC FACES TO WALL. COLOR TO BE SELECTED BY ARCHITECT. BUILDING ADDRESS TO BE CONFIRMED BY CITY.
- ⑩ EXTERIOR CONCRETE STAIR.
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- ⑲ BIKE RACK.
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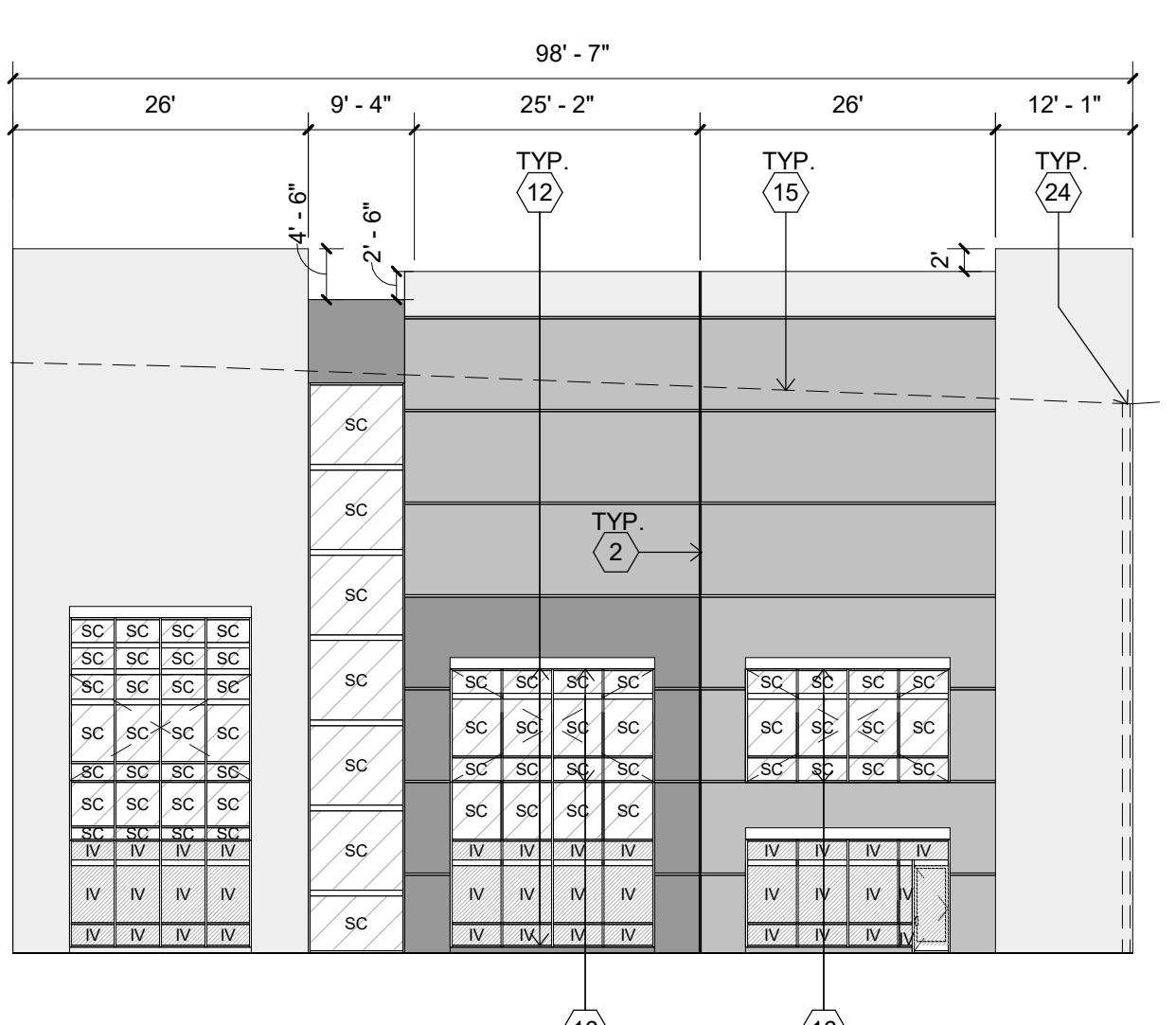
EAST ELEVATION CONT. 1

scale: 1/16" = 1'-0"



TYPICAL SIDE ELEVATION

scale: 1/16" = 1'-0"



SOUTHWEST ELEVATION

scale: 1/16" = 1'-0"

International Park of Commerce - Building 16

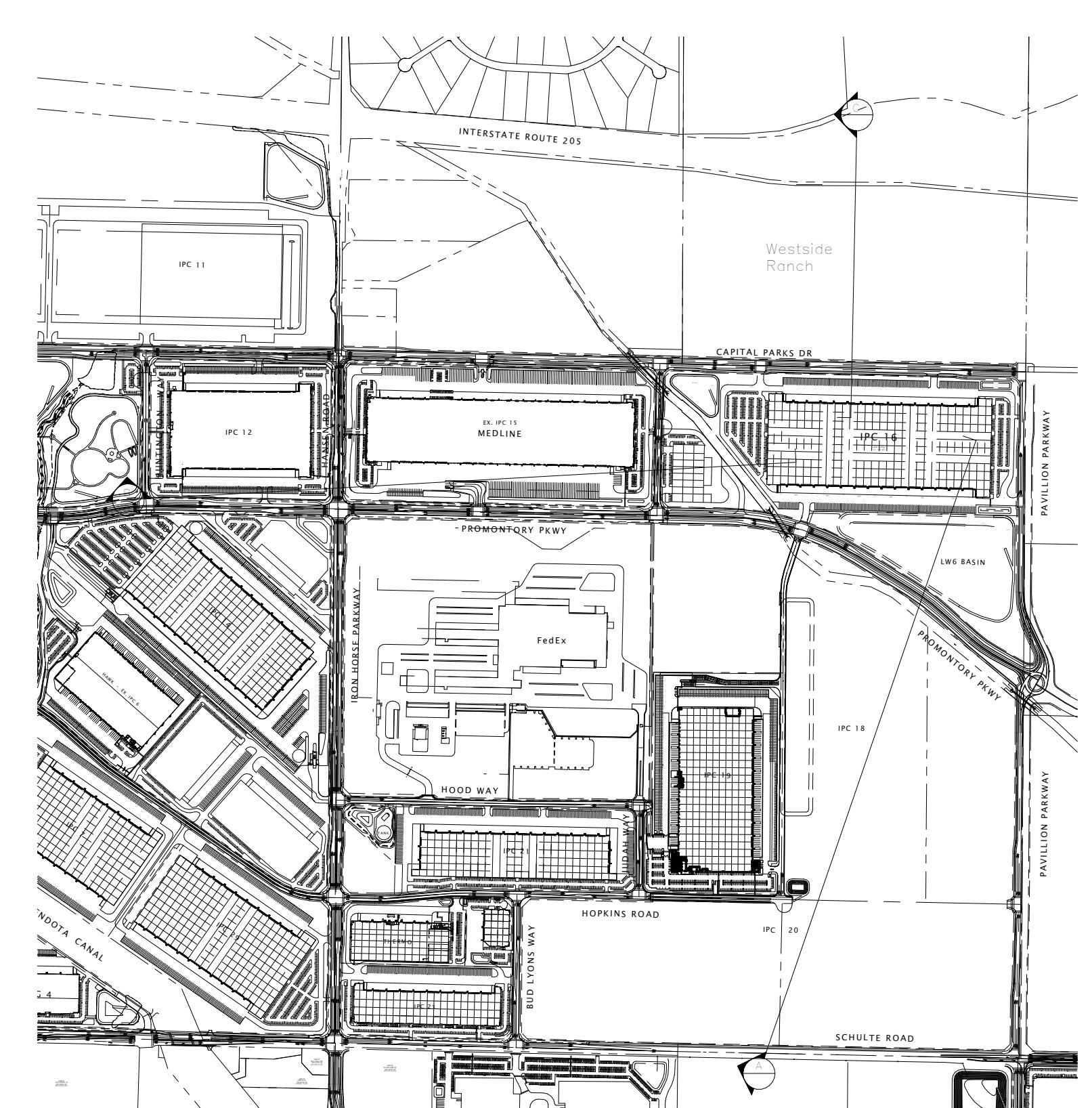
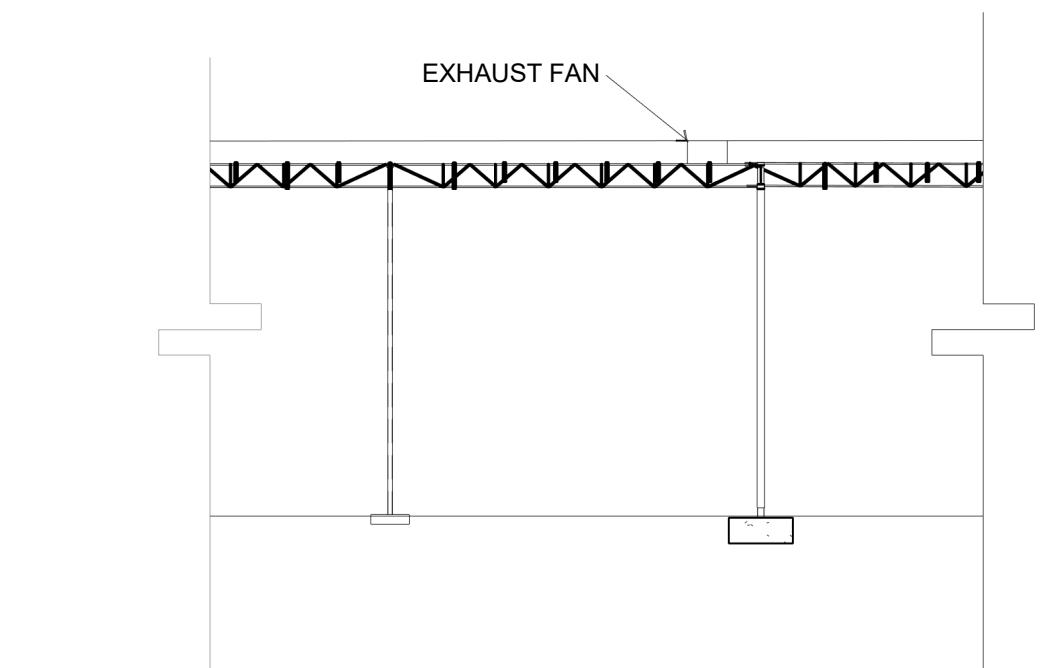
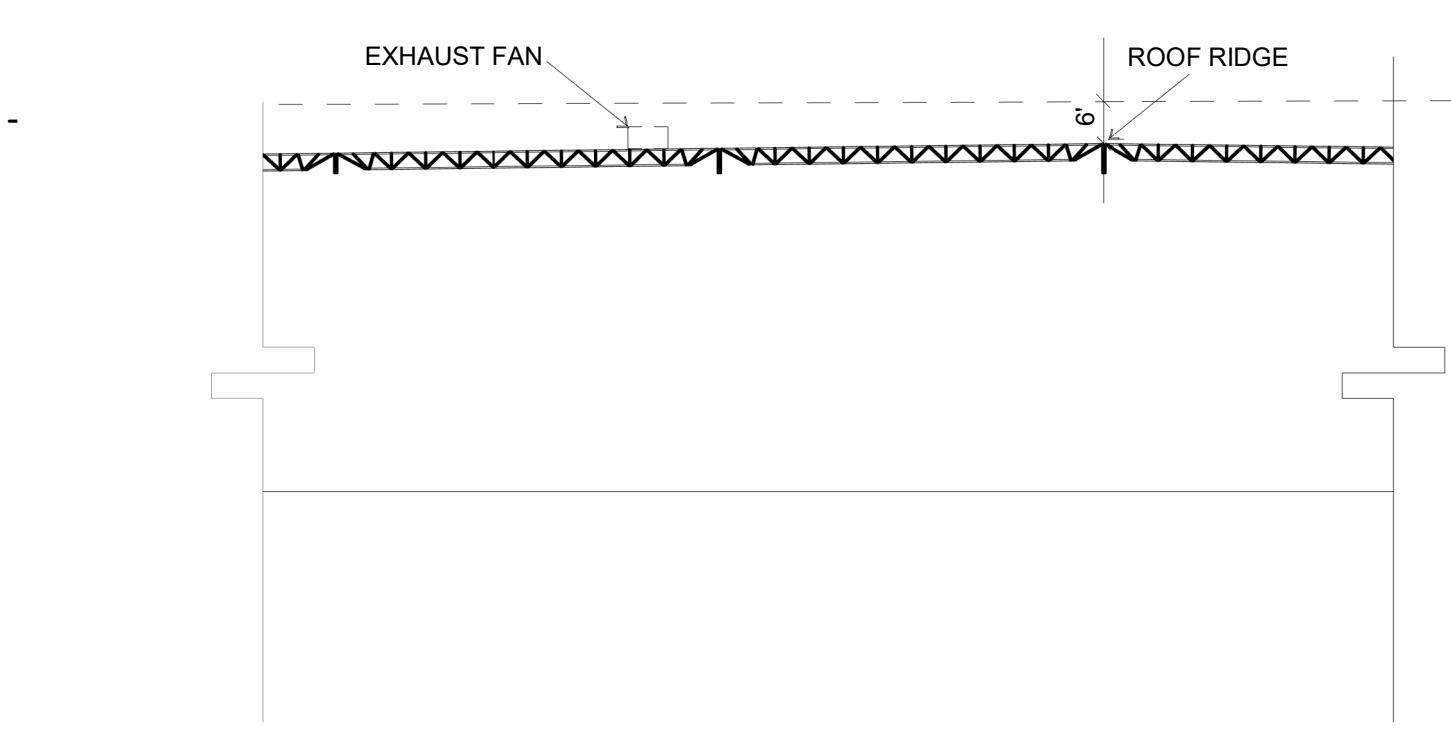
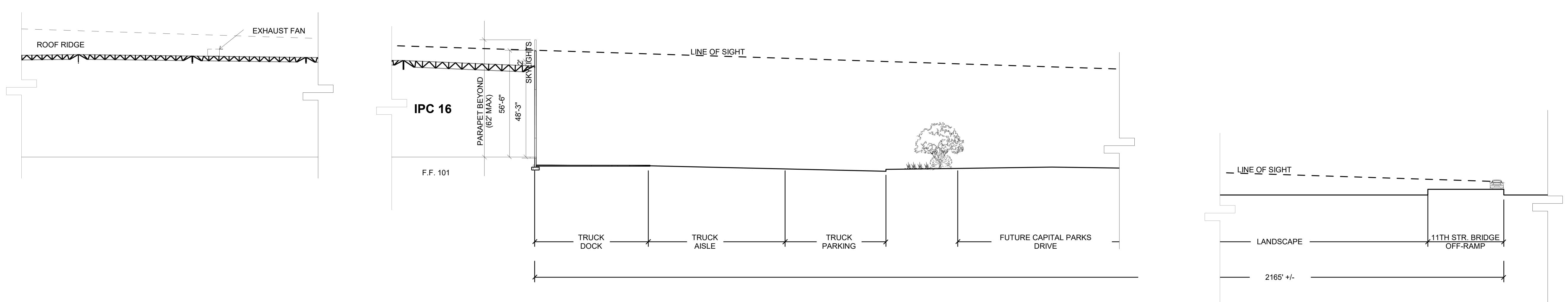
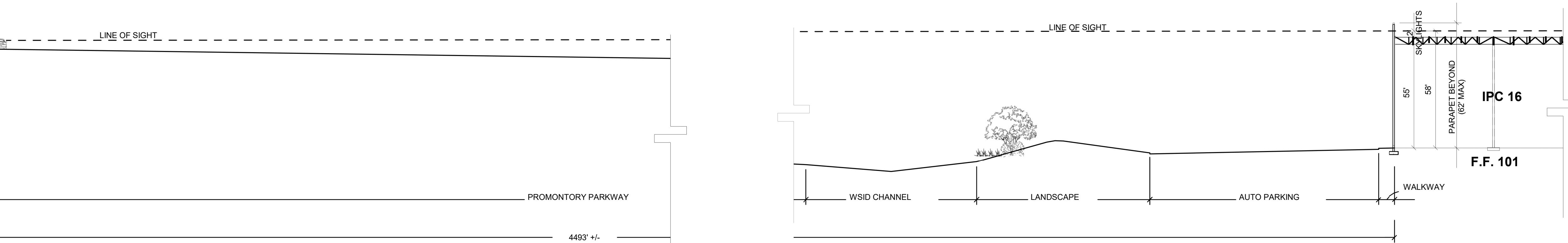
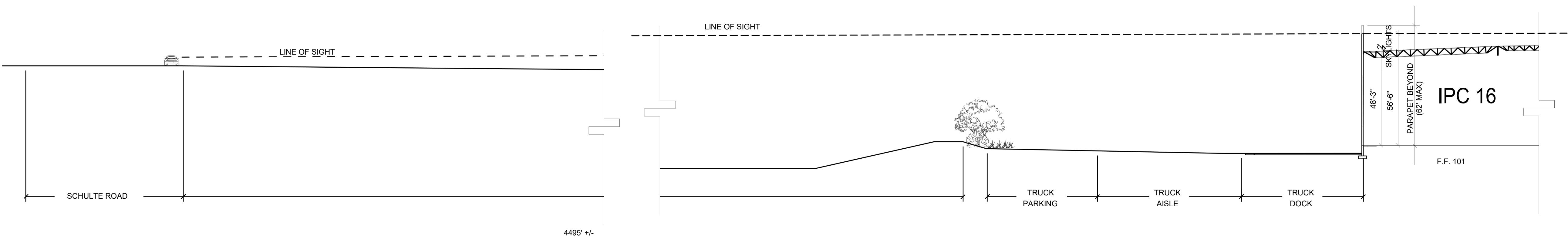
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Date: 12/18/20
Project No: 18091

Sheet Title: ELEVATIONS

Sheet No.: DAB-A3.4



INTERNATIONAL PARK OF COMMERCE

BUILDING 16

PROLOGIS

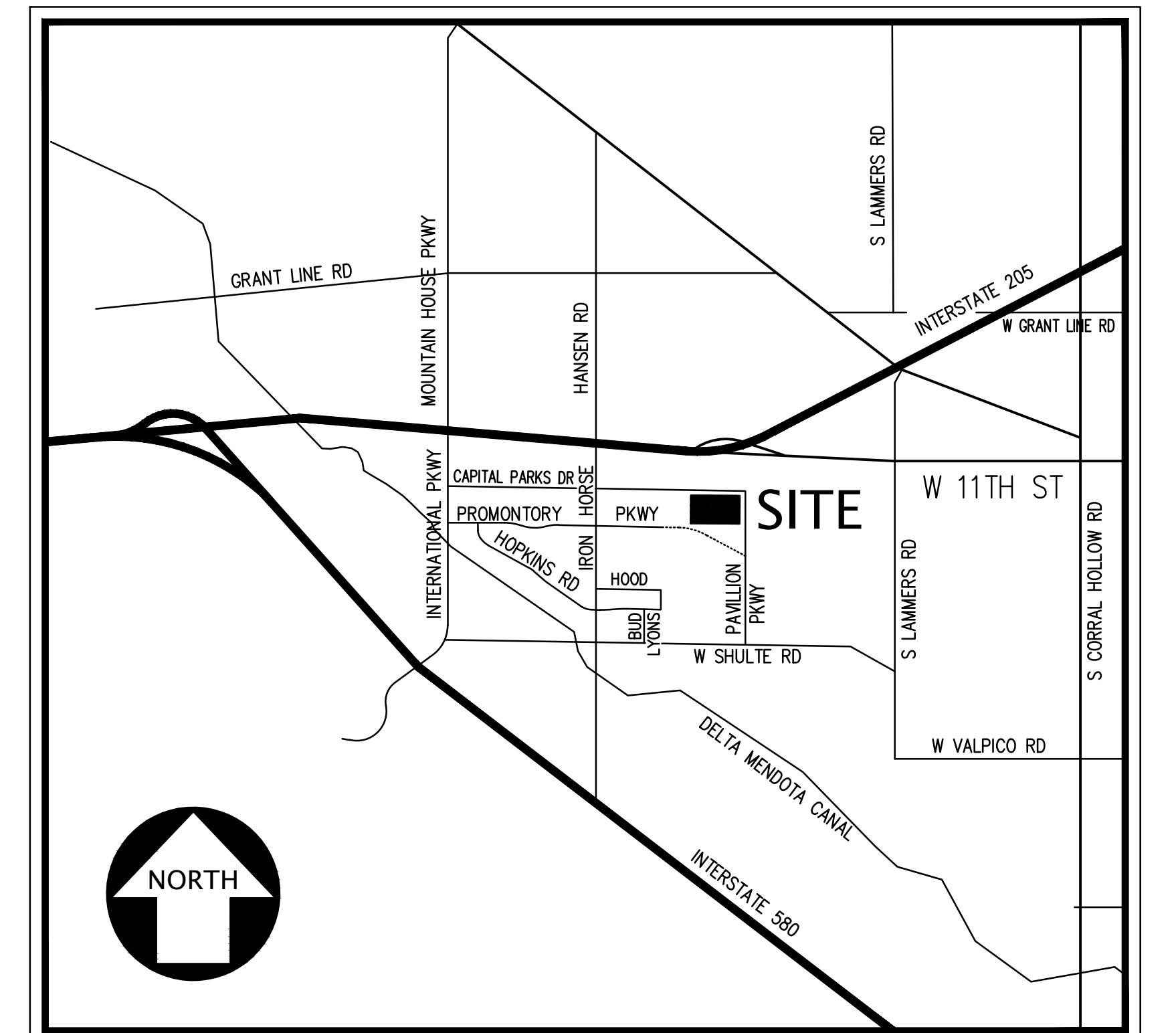
PROMONTORY PARKWAY & PAVILLION PARKWAY INTERSECTION

TRACY, CALIFORNIA

EARTHWORK SUMMARY	
CUT:	80,000± CY (RAW)
FILL:	150,000± CY (RAW)
NOTE: THE EARTHWORK QUANTITIES LISTED ON THESE PLANS ARE STATED ONLY FOR CALCULATION OF GRADING AND BUILDING PERMIT FEES. THESE QUANTITIES DO NOT INCLUDE TRENCH OR FOOTING SPOILS, SHRINK OR SWELL FROM COMPACTING EFFORTS OR OTHER VARIABLES. THE ENGINEER MAKES NO REPRESENTATION THIS SITE WILL BALANCE. THE CONTRACTOR SHALL DETERMINE HIS OWN EARTHWORK QUANTITIES AND BASE HIS BID ACCORDINGLY.	

REQUIRED GEOTECHNICAL TESTING & OBSERVATIONS

1. OBSERVATION AND TESTING DURING SOIL STABILIZATION ACTIVITIES OF PARKING AREAS.
2. OBSERVATION AND TESTING DURING SOIL STABILIZATION ACTIVITIES OF BUILDING PAD AREAS
3. COMPACTION TESTING AND OBSERVATION DURING EARTHWORK FILL OPERATIONS.
4. FOOTING EXCAVATION OBSERVATION.
5. COMPACTION TESTING AND BACKFILL OBSERVATION OF NEW PROJECT SERVICING UNDERGROUND UTILITIES.
6. COMPACTION TESTING AND OBSERVATION DURING SUBGRADE PREPARATION AND AGGREGATE BASE PLACEMENT FOR AREAS OF EXTERIOR CONCRETE FLATWORK.



VICINITY MAP
N.T.S.

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY IS SHOWN ON THE FOLLOWING FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR SAN JOAQUIN COUNTY. AT MAP NUMBER 06077C0725F, DATED OCTOBER 16, 2009. THE SUBJECT PROPERTY IS LOCATED IN THE 100-YEAR FLOOD HAZARD AREA, AS DEFINED ON THE FIRM. THE AREA IS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN. B1 AND MAP NUMBER 06077C0730F, WHICH IS LISTED ON THE INDEX SHEET FOR THE SAN JOAQUIN COUNTY FLOOD MAPS (MAP NUMBER 06077CIND0A, DATED OCTOBER 16, 2009) AS "PANEL NOT PRINTED-ALL ZONE X (NO SPECIAL FLOOD HAZARD AREAS)"

INFORMATION WAS OBTAINED FROM THE COUNTY OF SAN JOAQUIN ON MAY 23, 2012 AND CONFIRMED ON THE FEMA WEBSITE.

LEGEND

PROPOSED	EXISTING	PROPOSED	EXISTING
AD	BUILDING LINE	EAS	END ASPHALT SWALE
AP	CONCRETE CURB	EE	EDGE OF CONCRETE
APV	CONCRETE CURB & GUTTER	ECD	EDGE OF CONCRETE DOCK
ASR	DRIVEWAY	EDR	EDGE OF DIRT ROAD
BAS	EDUCATIONAL PAVEMENT	EP	EDGE OF PAVEMENT
BB	DRIVEWAY	EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
BFPD	EDUCATIONAL PAVEMENT	EW	EDGE OF WALK
BL	ELECTRIC LINE	FB	FACE OF ASPHALT BERM
BTM	FENCE LINE	FC	FACE OF CURB
BOV	FOOTING & REINFORCEMENT	FD	FIRE DEPARTMENT CONNECTION
BW	FIBER OPTICS LINE	FD MON	FOUND MONUMENT
B/W	FLUID LINE & VALVE	FES	FLARED END SECTION
CATWB	GAS LINE-VALVE & METER	FF	FINISH FLOOR
CB	GD	FI	FIRE IRON
C	GD	FL	FLAME LINE
CL	GD	FNC	FENCE
CO	GD	FSE	FIREFIGHTER SERVICE EASEMENT
COTG	GD	FW	FACE OF WALL
CTB	GD	GA	GUY ANCHOR
D/L	GD	GD	GRASS DITCH
DL	GD	GLM	GAS LINE MARKER
DWY	GD	GM	GAS MARKER/METER
EAR	GD	GRW	GROUNDWATER
	GD	GW	GAS VALVE
	GD	HDR	HEADER BOARD
	GD	HDM	HEADMAN
	GD	IE	INGEST/EGRESS EASEMENT
	GD	IEE	INVERTER ELEVATION
	GD	IRR	IRRIGATION LINE
	GD	JAE	JOINT ACCESS EASEMENT
	GD	JP	JOINT POWER POLE
	GD	LE	LANDSCAPE EASEMENT
	GD	LT	LIGHT
	GD	LUT	LIGHT-UP TOWER
	GD	M	MONUMENT
	GD	MR	MONUMENT/MONUMENT
	GD	O.R.	OFFICIAL RECORD
	GD	P	POLYMER
	GD	POEB	POLYETHYLENE GAS & ELECTRIC BOX
	GD	PIEB	PRIVATE INGRESS/EGRESS EASEMENT
	GD	PIV	POST INDICATOR VALVE
	GD	PP	POWER POLE
	GD	PSDE	PRIVATE STORM DRAIN EASEMENT
	GD	PSFE	PUBLIC STORM DRAIN EASEMENT
	GD	PSSE	PUBLIC SANITARY SEWER EASEMENT
	GD	PUE	PUBLIC UTILITY EASEMENT
	GD	RE	RING ELEVATION
	GD	SD	STORM DRAIN
	GD	SDCO	STORM DRAIN CLEAN OUT TO GRADE
	GD	SDJB	STORM DRAIN JUNCTION BOX
	GD	SDMH	STORM DRAIN MANHOLE
	GD	SO	SIDE OPENING
	GD	SS	SANITARY SEWER
	GD	SSMH	SANITARY SEWER MANHOLE
	GD	WSE	WATER SURFACE ELEVATION

SHEET INDEX

C.1	TITLE SHEET
C.2	TOPOGRAPHIC SURVEY
C.3	TOPOGRAPHIC SURVEY
C.4	PRELIMINARY GRADING AND DRAINAGE PLAN
C.5	PRELIMINARY GRADING AND DRAINAGE PLAN
C.6	PRELIMINARY UTILITY PLAN
C.7	PRELIMINARY UTILITY PLAN
C.8	PRELIMINARY EROSION CONTROL PLAN
C.9	PRELIMINARY STORMWATER QUALITY CONTROL PLAN
C.10.1	SECTIONS
C.10.2	SECTIONS

BENCHMARK

BENCHMARK: TOP OF A STEEL PIN IN A MONUMENT WELL AT THE INTERSECTION OF SCHULTE ROAD AND HANSEN ROAD.

ELEVATION = 180.32 FEET (CITY OF TRACY NAVD 1988 DATUM)

BEFORE EXCAVATING
CALL U.S.A.
811
48-HOURS BEFORE ALL
PLANNED WORK OPERATIONS




TITLE SHEET I.P.C. - BUILDING 16 PROLOGIS

DATE 12/21/2020
SCALE -
ENGINEER M.F.B.
DRAFTER M.G.
JOB NO. A09500-155
SHEET C.1
OF 11 SHEETS


KIER+WRIGHT

2850 Collier Canyon Road
Livermore, California 94551

Phone (925) 425-8788
www.KierWright.com



S E E S H E E T C . 2



GRAPHIC SURVEY – BUILDING 16 – PROLOGIS

WRIGHT

TRACY

TRACY

/2020
= 50'

M.F.B.
M.G.

0-155

PROPOSED CAPITAL PARKS DRIVE (1/2 STREET)

ROAD H

W.S.I.D. CHANNEL

PROPOSED PROMONTORY PARKWAY



GRAPHIC SCALE
50 0 25 50 100
1" = 50'

50

0

25

50

100

1"

= 50'

PAVEMENT LEGEND

AUTO PAVEMENT 3.5" AC OVER 4" CLASS II AB OVER 12" LIME TREATED SOIL

TRUCK PAVEMENT (T.I.=5.5)

TRUCK PAVEMENT (T.I.=8.0)

TRUCK PAVEMENT (T.I.=9.0)

CONCRETE TRUCK PAVEMENT 6.5" CONCRETE (4,000 PSI), WITH 1# BARS 4" ON CENTER EACH WAY, 1" CLEAR FROM EDGES OVER 4" CLASS II AB OVER 12" LIME TREATED SUBGRADE. PROVIDE JOINTS PER DETAIL 5 ON SHEET C9.2

CONCRETE SIDEWALK 4" PCC WITH #3 BARS 18" ON CENTER EACH WAY OVER 4" CLASS II AB OVER 18" LIME TREATED SOIL. SEE ARCHITECTURAL PLANS FOR SCORING AND FINISHING DETAILS.

STORMWATER TREATMENT BIO-RETENTION PLANTER

IPC BUILDING 16

F.F. 101.00

PAD 99.83

10" CONCRETE SLAB OVER 4" CLASS II AB OVER 18" LIME TREATED SOIL

PRELIMINARY GRADING AND DRAINAGE PLAN
I.P.C. - BUILDING 16
PROLOGIS

DATE 12/21/2020
SCALE 1" = 50'
ENGINEER M.F.B.
DRAFTER M.G.
JOB NO. A09500-155
SHEET C.4
OF 11 SHEETS

KIER+RIGHT
Phone (925) 745-9788
www.kierright.com

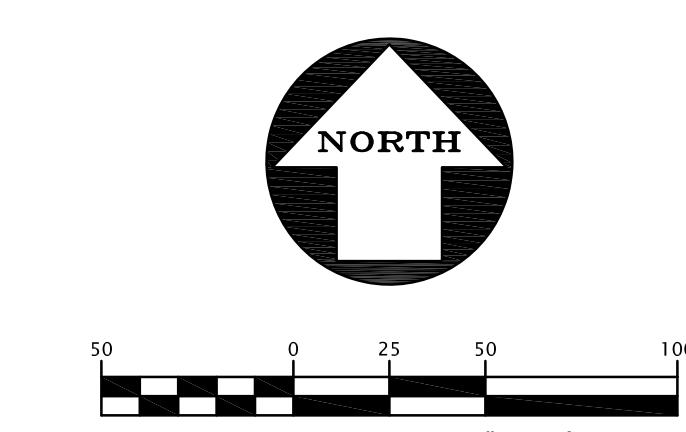
205 Collier Canyon Road
Livermore, California 94551

Phone (925) 745-9788
www.kierright.com

TRACY

LANDS OF POMBO ET AL
REVISION
NO. 12/21/2020
BY CITY SUBMITTAL
PLANNING RE-SUBMITTAL 12/21/2020

SEE SHEET C.4



LANDS OF POMBO ET AL

PROPOSED CAPITAL PARKS DRIVE (1/2 STREET)

L PARKS DRIVE

PROPOSED 10' P.U.E.

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CAPITAL PARKS DRIV

LANDS OF POMBO ET AL

PROPOSED R

PROMONTORY PARKWA

A black and white icon of a compass arrow pointing upwards, with the word "NORTH" written in capital letters inside the arrowhead.

A graphic scale bar consisting of a horizontal line with tick marks. On the left, the number '50' is above a tick mark. In the center, the number '0' is above a tick mark. On the right, the number '25' is above a tick mark. Below the line, the text 'GRAPHIC SCALE' is centered, and to the right, the text '1" = 50\' is displayed.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT AND THEN POTHOLING ALL EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

PROTECTION OF UNDERGROUND INSTALLATION NOTE:

“CORROSION PROTECTION / WRAPPING IS REQUIRED ON ALL UNDER-SLAB OR UNDERGROUND FERROUS ELECTRICAL CONDUIT, WATER PIPING, BUILDING DRAINS, BUILDING SEWERS, FLOOR SINKS, FLOOR DRAINS, TRAP PRIMERS, WASTE DRAINS AND OTHER FERROUS PIPING, INCLUDING ALL ZINC-COATED GALVANIZED PIPING AND FITTINGS. CORROSION PROTECTION / WRAPPING IS REQUIRED ON COPPER WATER PIPING PER THE 2019 CPC. SEC. 312.4 CORROSION PROTECTION SHALL BE INSPECTED

UNDERGROUND FIRE PROTECTION SYSTEM NOTE

UNDERGROUND FIRE PROTECTION SYSTEM NOTE



LL
IIONS
Know what's below.
Call before you dig.

IPC BUILDING 16

F.F. 101.0
PAD 99.8

10" CONCRETE SLAB OVER
4" CLASS II AB OVER
18" LIME TREATED SOIL

SEE SHEET C. 7

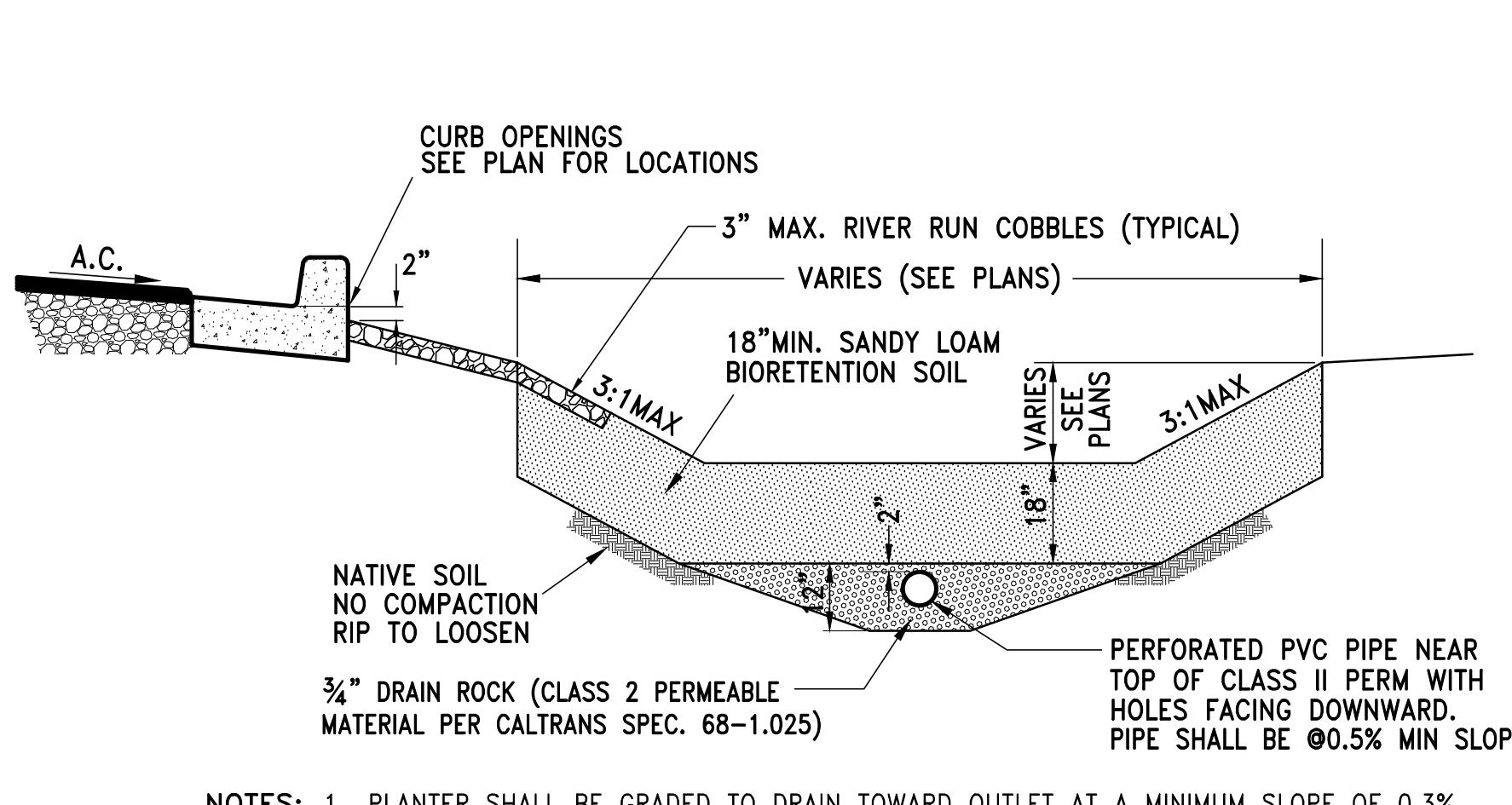
PRELIMINARY UTILITY PLAN I.P.C. - BUILDING 16 PROLOGIS

the first time in the history of the world, the people of the United States have been called upon to determine whether they will submit to the law of force, and give up the right of self-government, and become a part of the empire of a foreign nation. We have done so, and we shall not submit any longer. We are a free people, and we shall be free, or die in the attempt to maintain our freedom.

TPACV	
DATE	12/21/2023
SCALE	1" = 50'
ENGINEER	M.F.I.
DRAFTER	M.C.
JOB NO.	A09500-15
SHEET	C.6
OF	11 SHEET

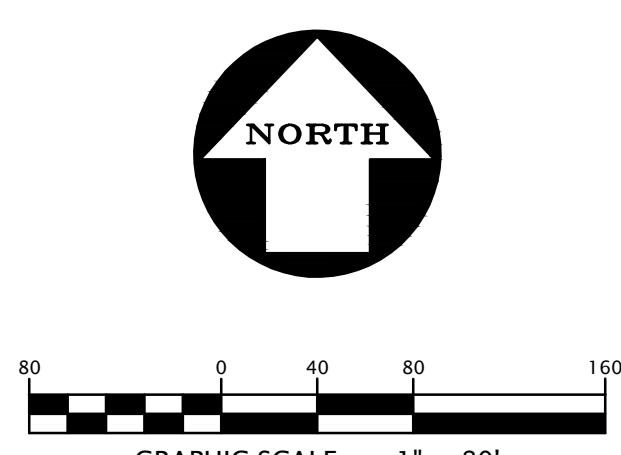
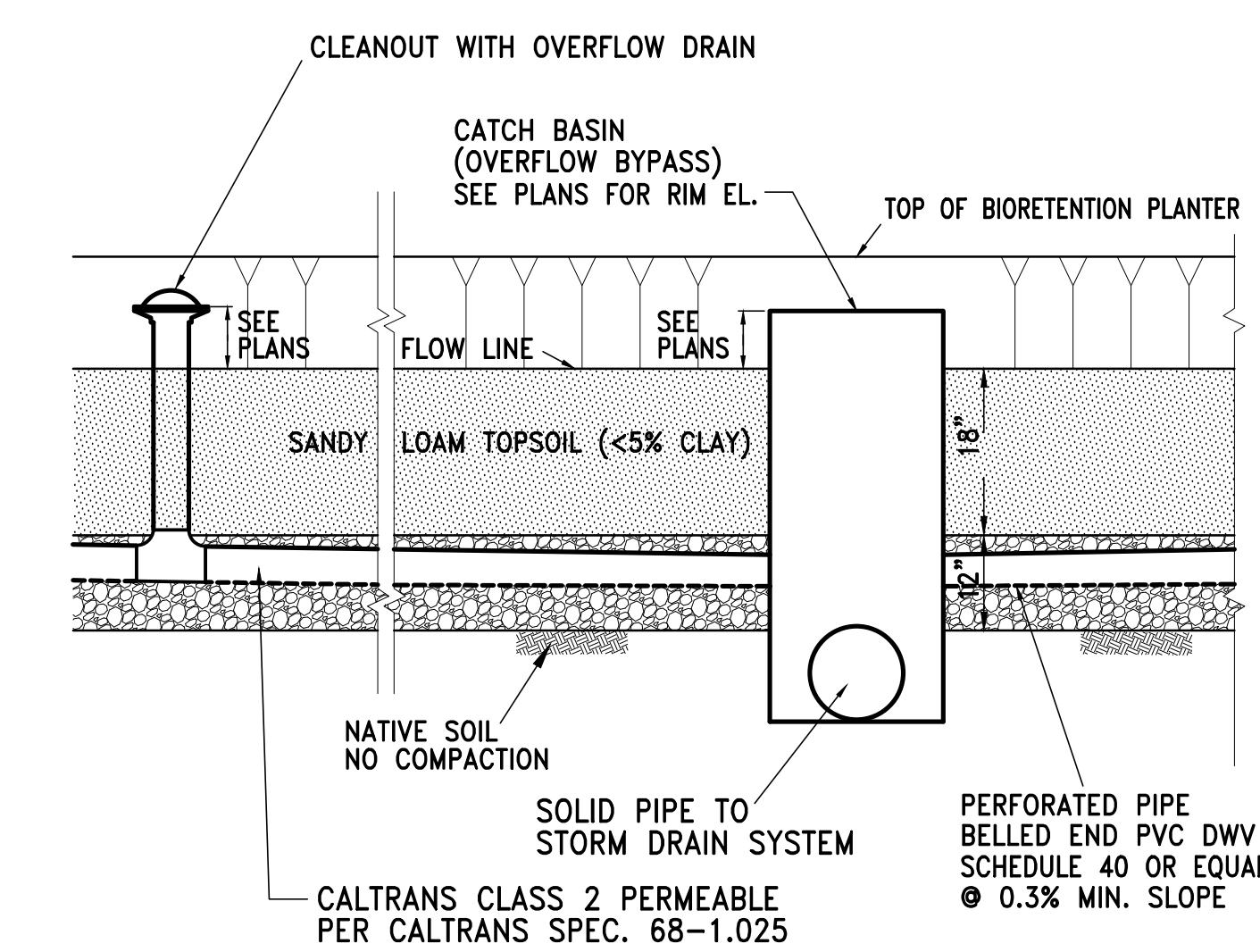
STORM WATER TREATMENT PLANTER SIZING CALCULATIONS

DRAINAGE AREA	TOTAL TRIBUTARY AREA (AC)	IMPERVIOUS AREA		PERVIOUS AREA		IMPERVIOUSNESS RATIO "I"	STORMWATER RUNOFF COEF. "C"	UNIT STORMWATER VOL. "P ₀ "	SODV (CF) REQUIRED	SODV (CF) PROVIDED
		ROOF (AC)	AC/CONC (AC)	LANDSCAPE (AC)	PLANTER (AC)					
1	8.36	3.210	3.395	1.403	0.352	0.79	0.59	0.38	11,556	13,000
2	24.09	9.646	8.514	5.472	0.458	0.75	0.55	0.35	31,030	35,500
3	23.92	12.848	8.356	2.382	0.333	0.89	0.71	0.46	39,985	41,500
4	4.32	0.000	2.827	1.338	0.155	0.65	0.45	0.29	4,602	4,850
5	4.05	0.000	2.363	1.627	0.060	0.58	0.40	0.26	3,775	3,920
TOTAL	64.74	25.70	20.27	9.26	1.14			82,571	90,000	



NOTES:
1. PLANTER SHALL BE GRADED TO DRAIN TOWARD OUTLET AT A MINIMUM SLOPE OF 0.3%
2. ALL PERFORATED PIPES SHALL HAVE TWO 5/8" DIA. HOLES AT 8" MAX. SPACING.
3. BIORETENTION SOIL BE PER APPENDIX B OF C.3 GUIDEBOOK.
4. BIORETENTION SOIL SHALL ACHIEVE A LONG-TERM INFILTRATION RATE OF AT MIN. 5" /HR
5. COBBLES SHALL BE PLACED AT ALL CURB CUTS AND DOWNSPOUT LOCATIONS.

TYPICAL SECTION
STORM WATER TREATMENT PLANTER



STORMWATER TREATMENT PLANTER - TYPICAL SECTION

KIER+WRIGHT

Phone (925) 245-8788

www.kierwright.com

PAVILLION PARKWAY

2850 Collier Canyon Road

Livermore, California 94551

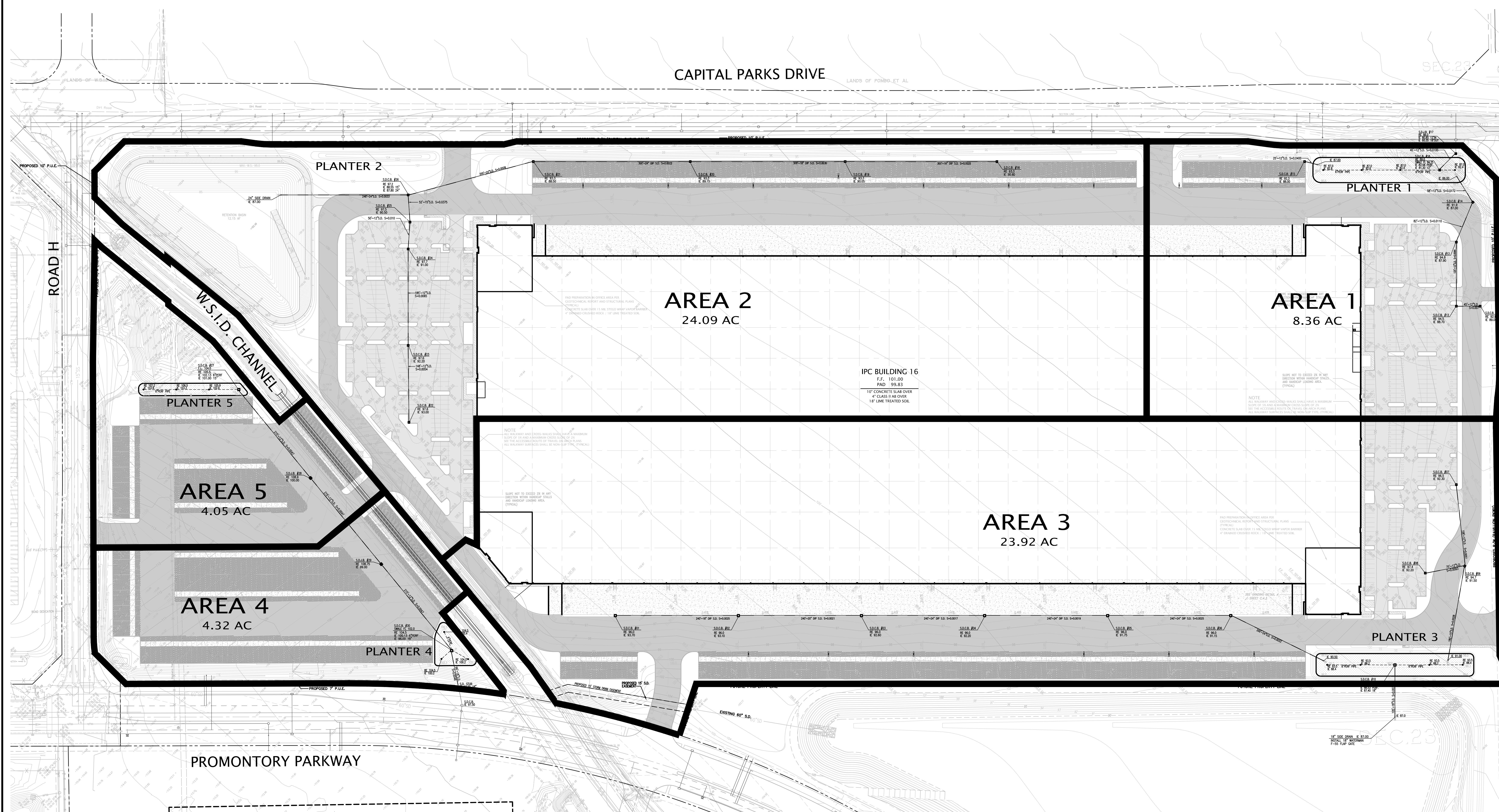
PRELIMINARY STORM WATER QUALITY CONTROL PLAN
I.P.C. - BUILDING 16

PROLOGIS

DATE 12/21/2020
SCALE 1" = 80'
ENGINEER M.F.B.
DRAFTER M.G.
JOB NO. A09500-155

rsalib

C.9
11 SHEETS



BY
REVISION
NO.
CITY SUBMITTAL 12/21/2020
PLANNING RE-SUBMITTAL 12/21/2020

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KW
CALIFORNIA

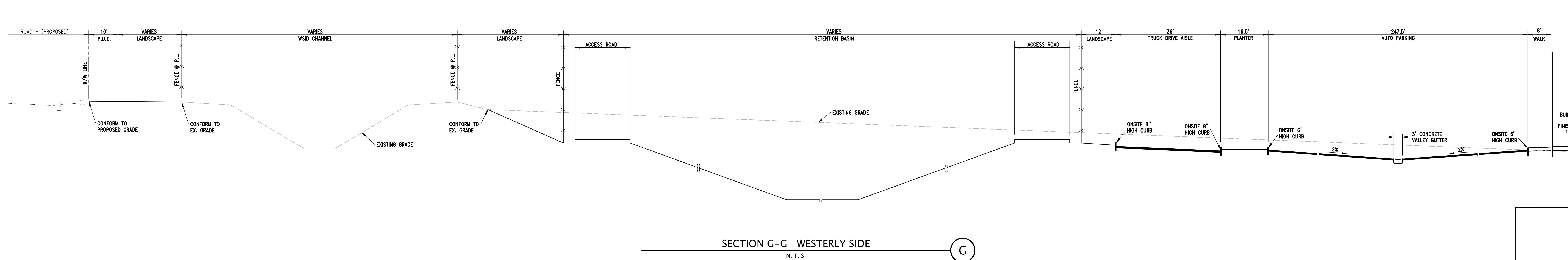
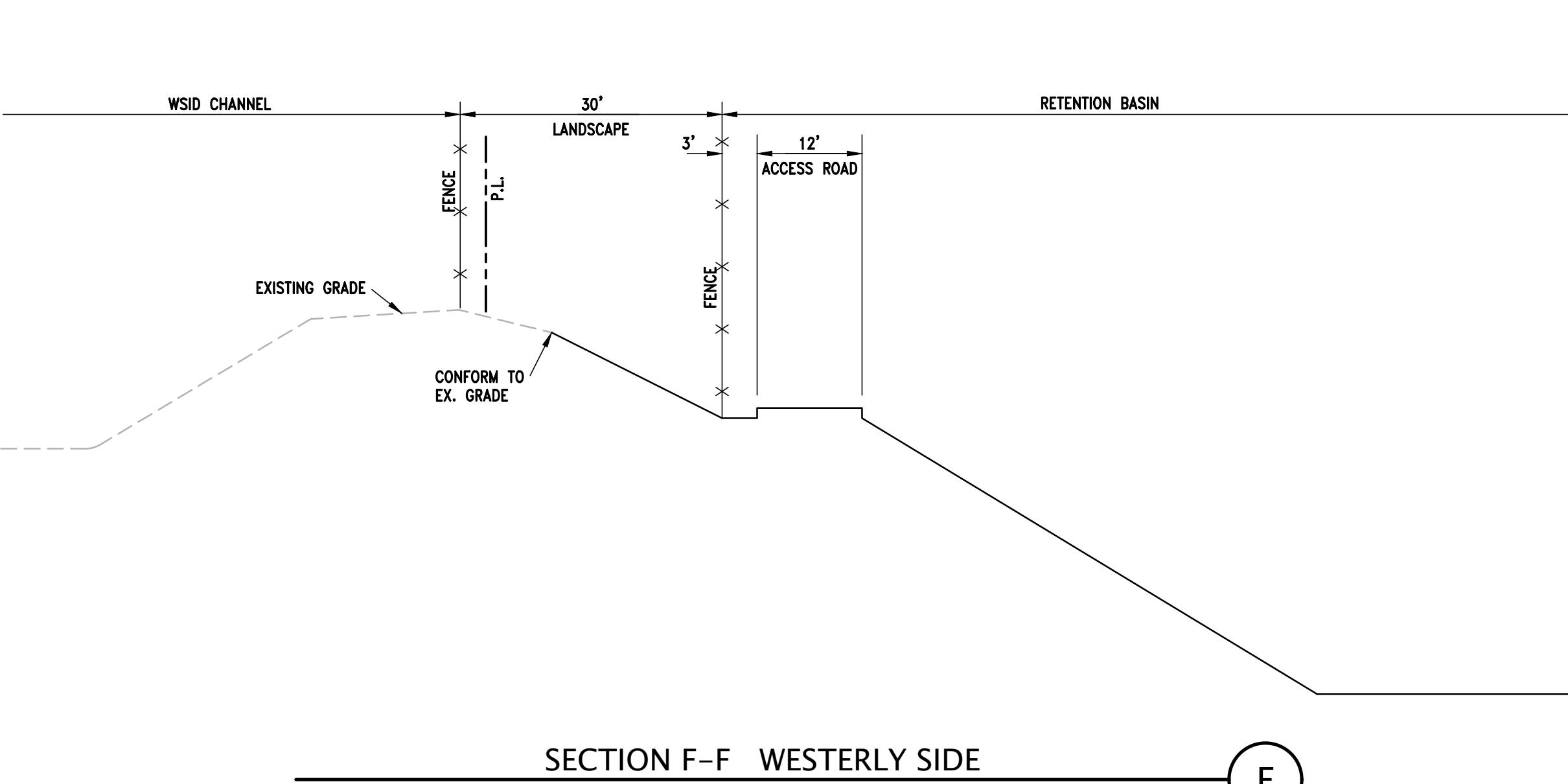
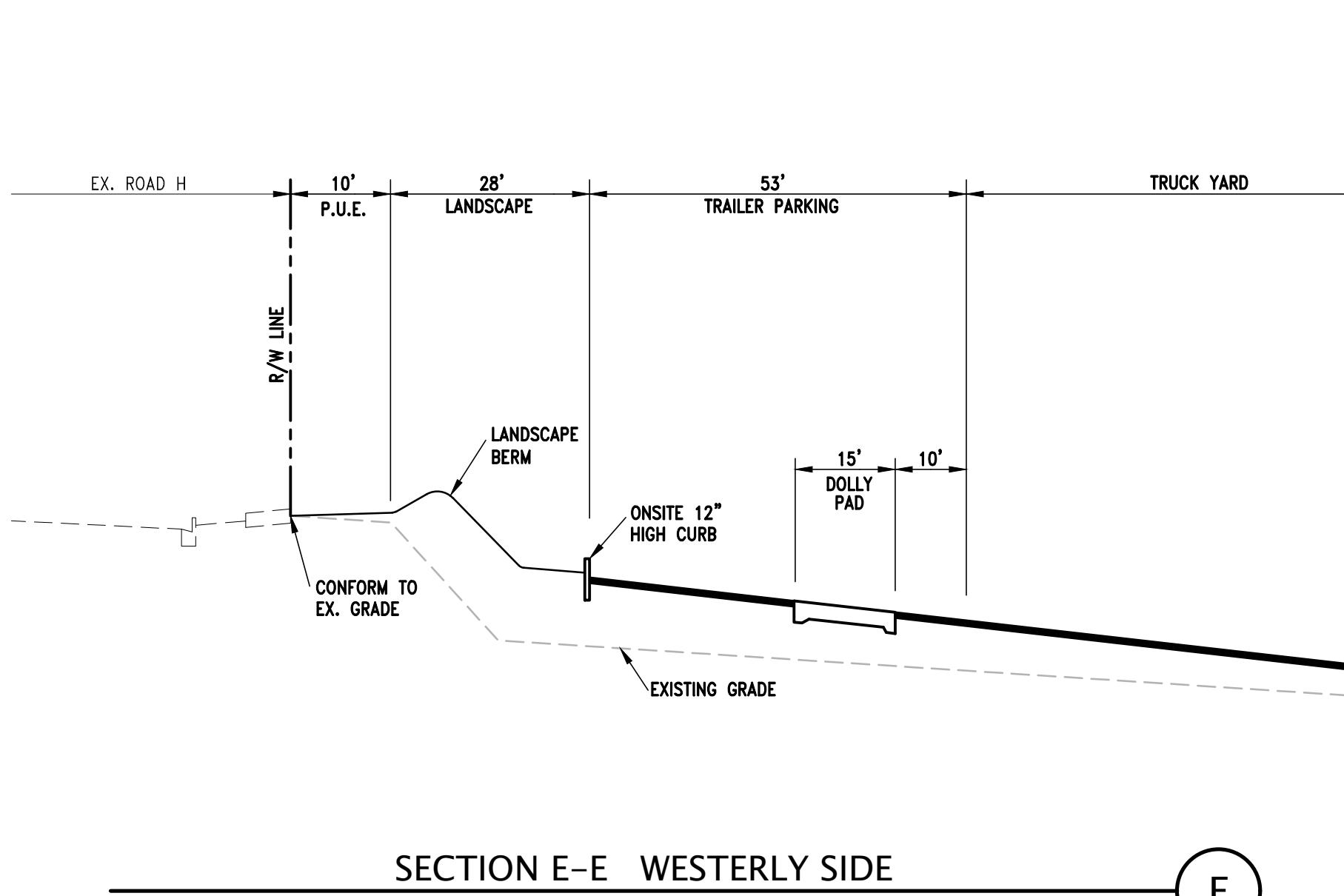
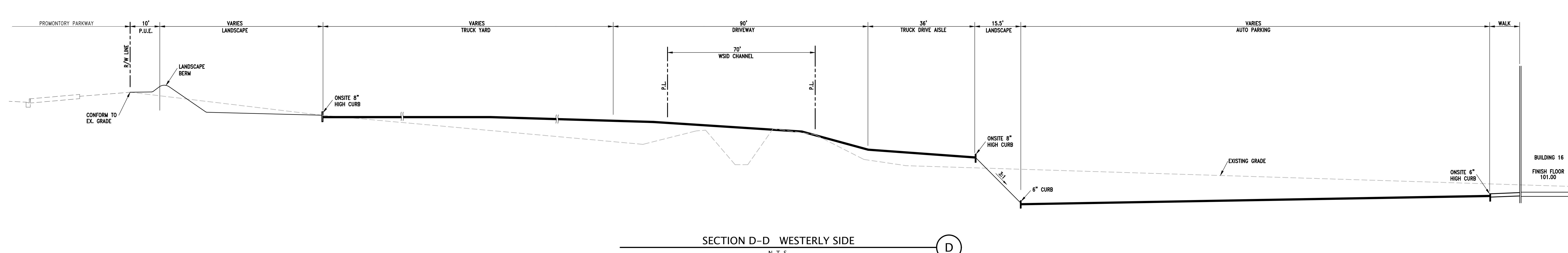
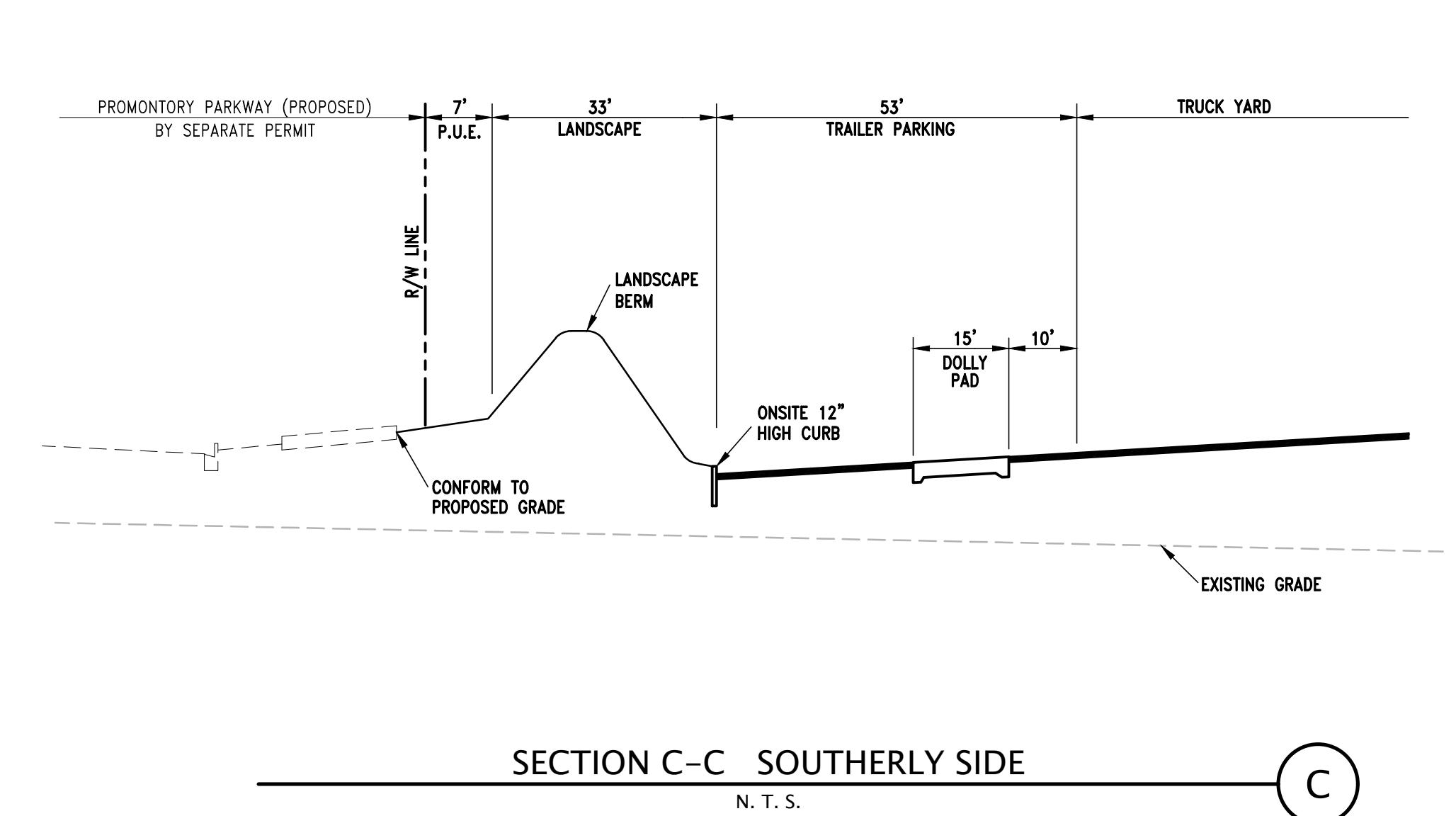
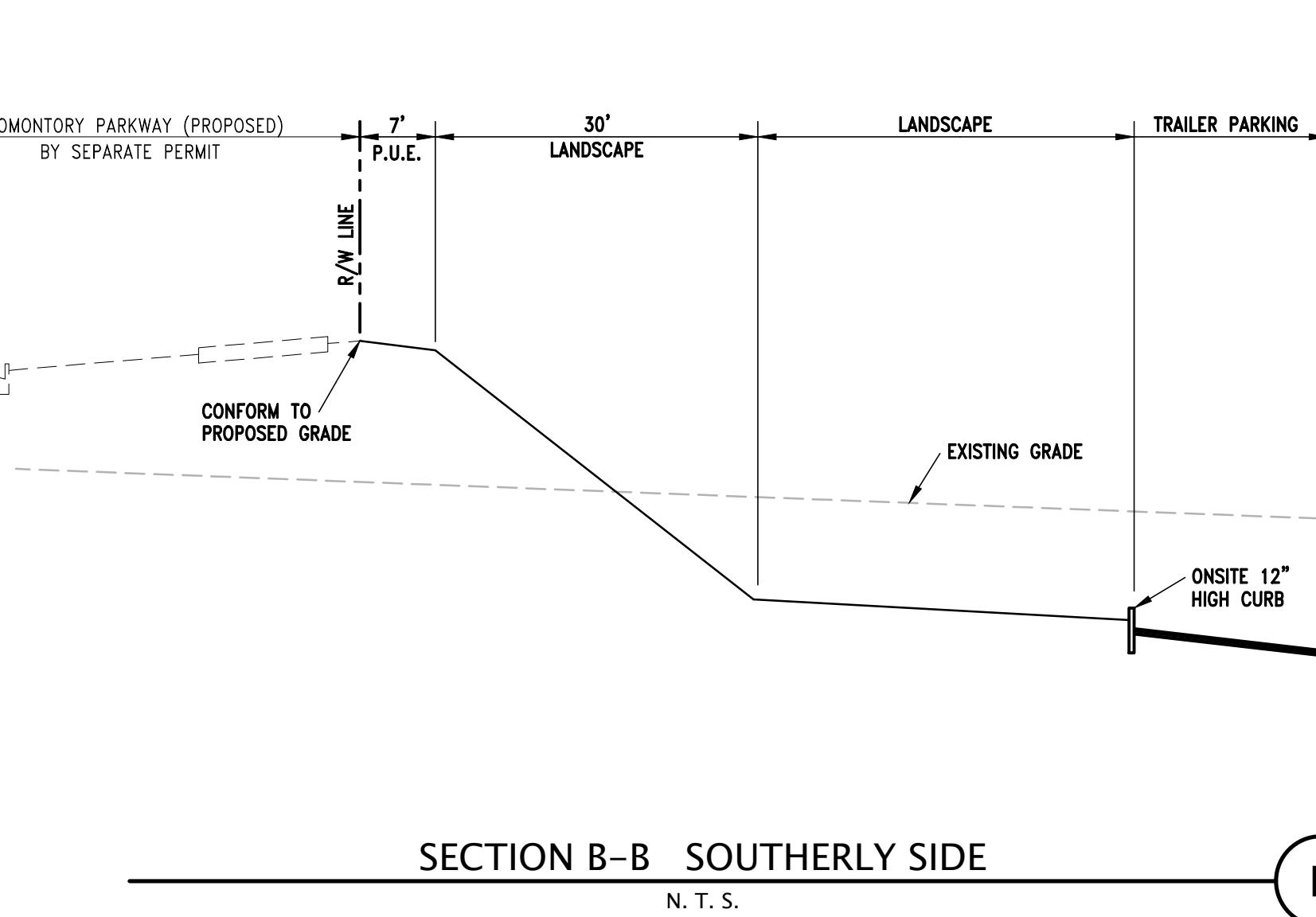
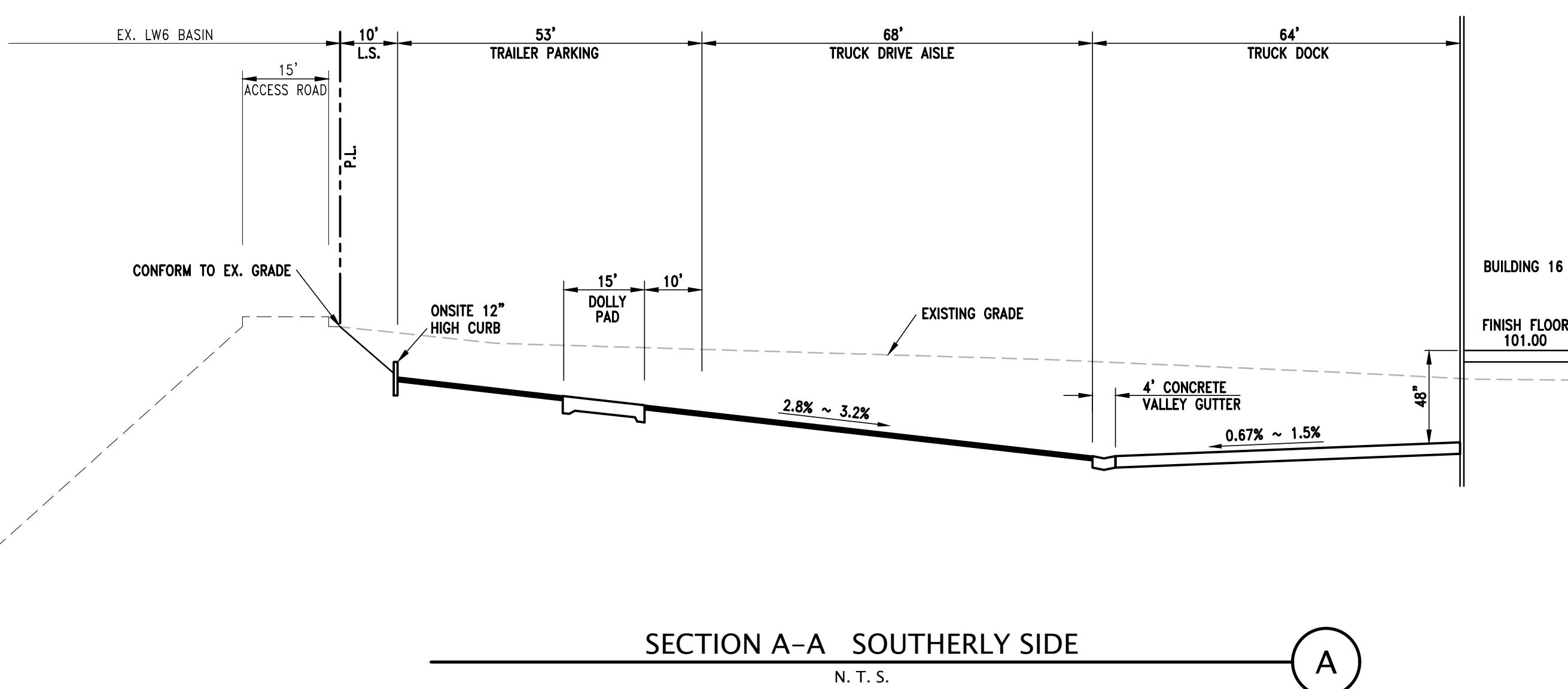
2850 Collier Canyon Road
Livermore, California 94551

SECTIONS
I.P.C. - BUILDING 16
PROLOGS

TRACY

DATE 12/21/2020
SCALE N.T.S.
ENGINEER M.F.B.
DRAFTER M.G.
JOB NO. A09500-155

SHEET C.10.1
OF 11 SHEETS



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REVISION BY
NO. BY NO.
CITY SUBMITTAL 12/21/2020
PLANNING RE-SUBMITTAL 12/21/2020

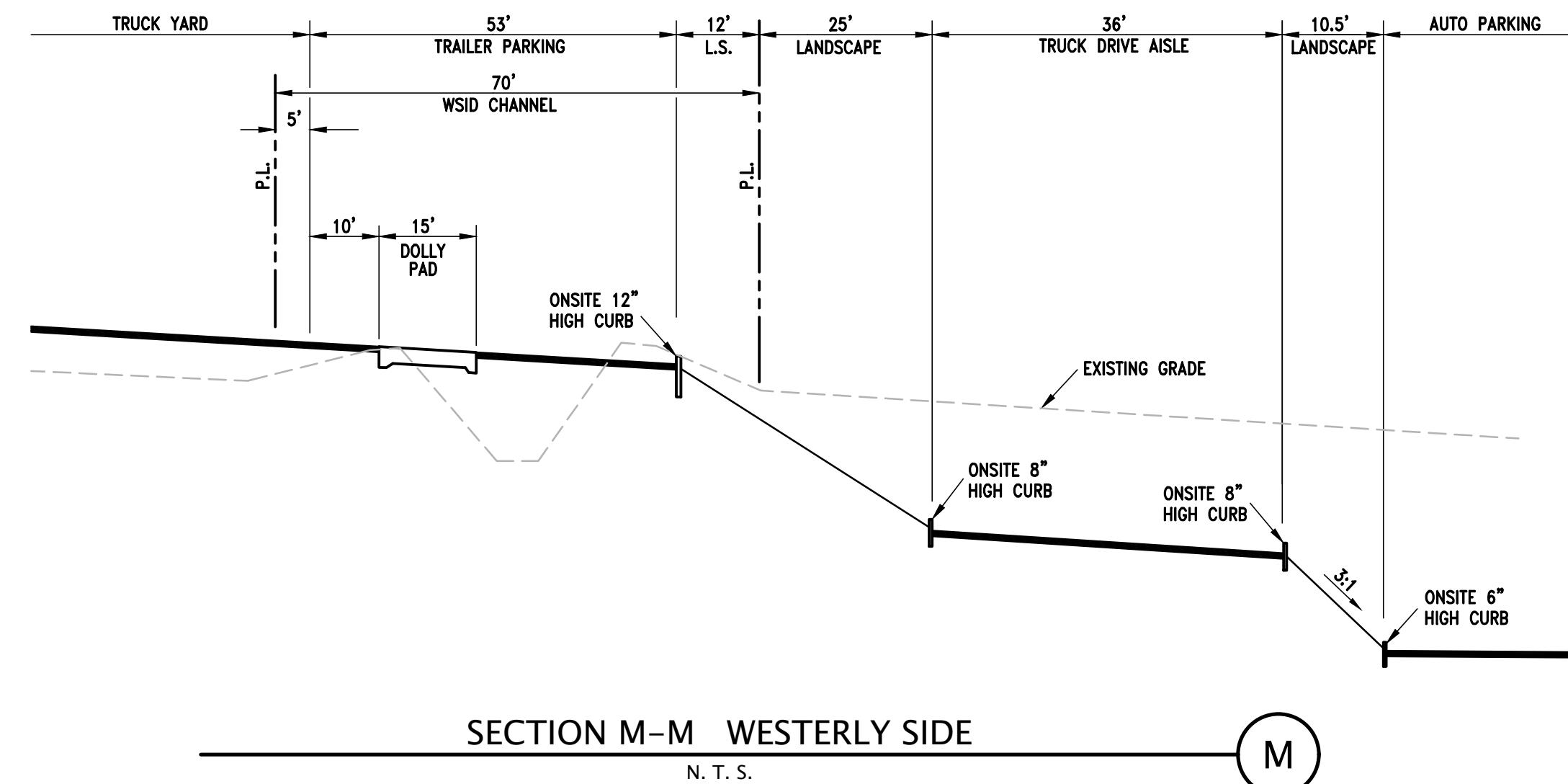
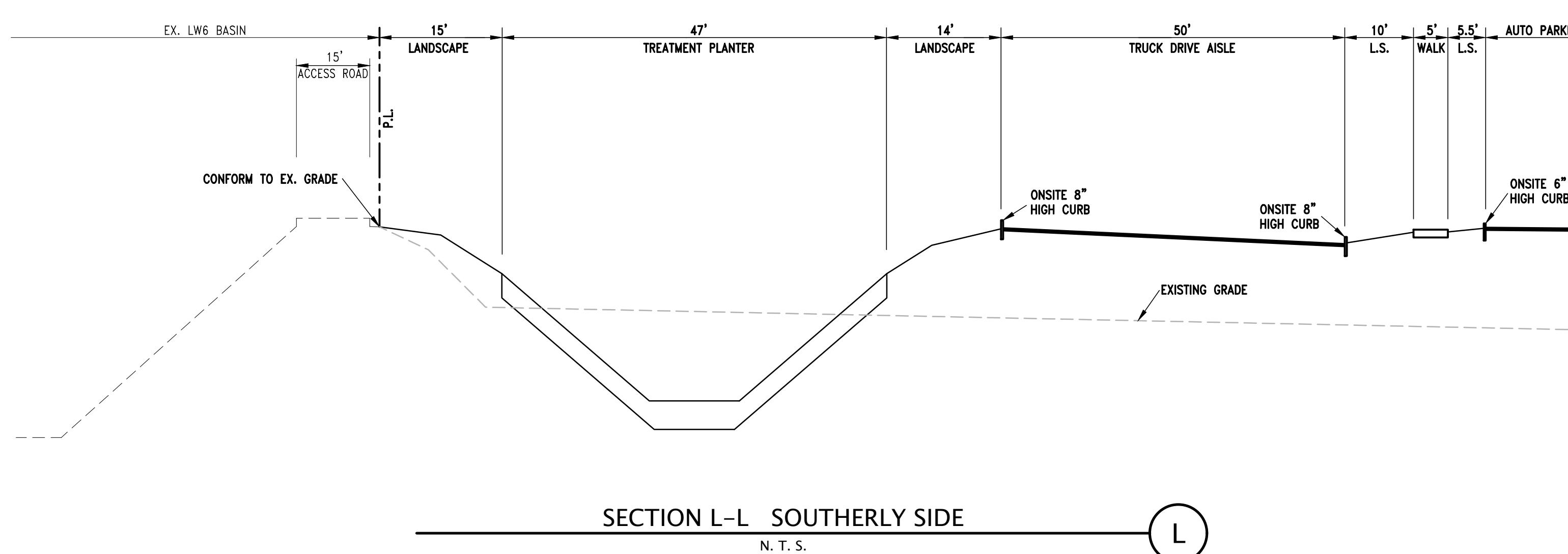
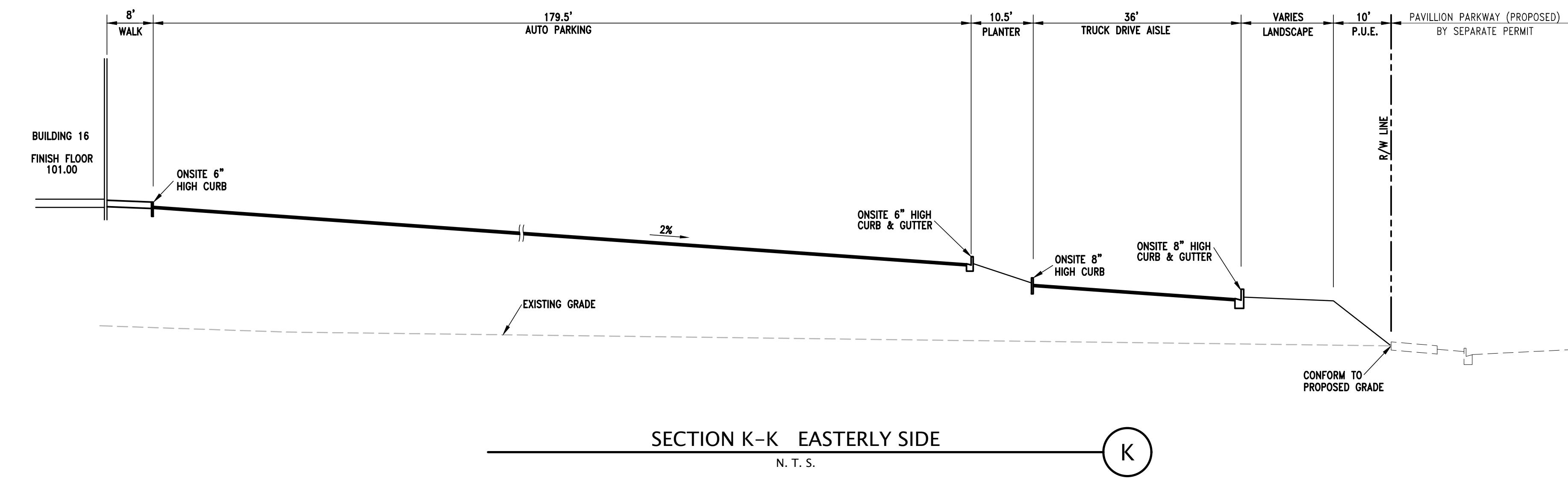
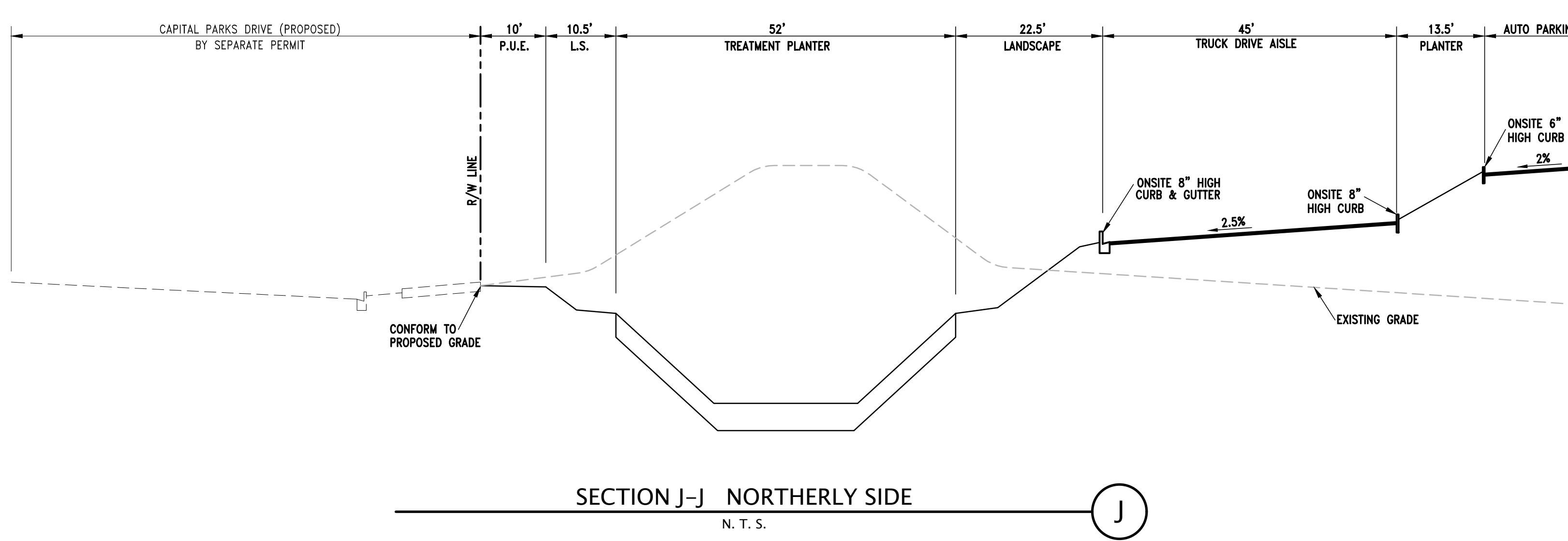
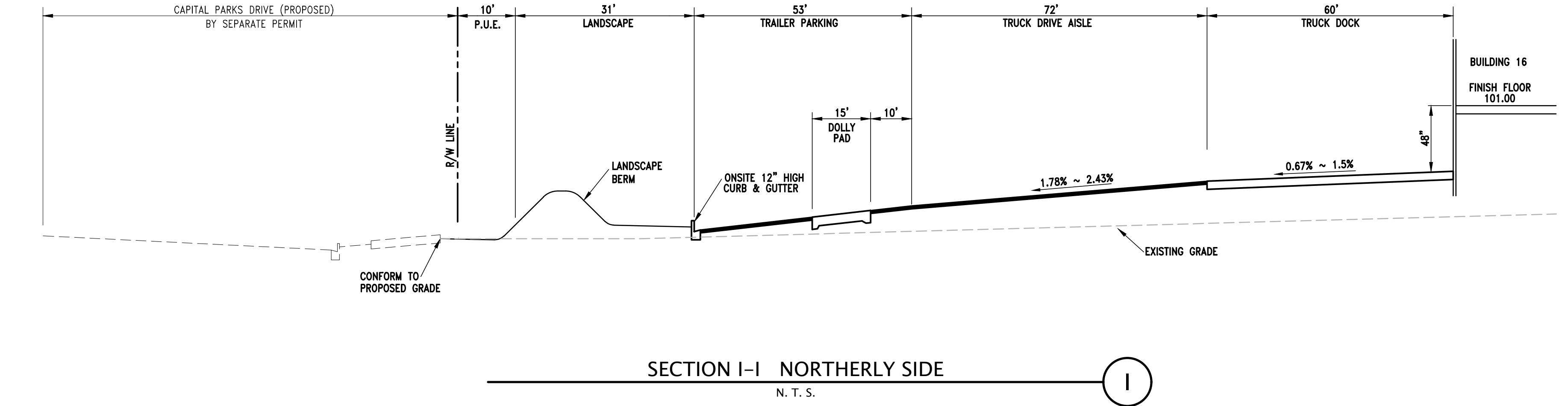
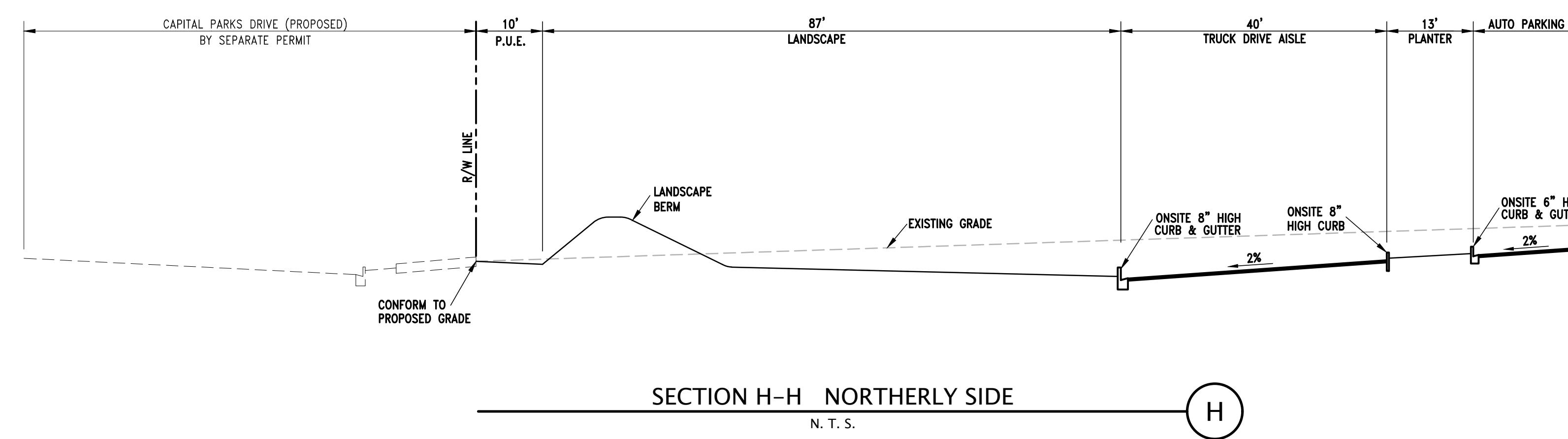
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Phone (925) 245-8788
www.kierwright.com

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Livermore, California 94551


CALIFORNIA

SECTIONS
I.P.C. - BUILDING 16
PROLOGIS

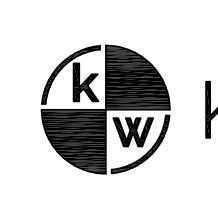
DATE 12/21/2020
SCALE N.T.S.
ENGINEER M.F.B.
DRAFTER M.G.
JOB NO. A09500-155
SHEET C.10.2
OF 11 SHEETS



TRACY



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 KIER+WRIGHT

2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
www.kierwright.com

TRUCK TURNING TEMPLATE
I.P.C. - BUILDING 16
PROLOGIS

TRACY

DATE 12/21/2020
SCALE 1"=80'
DESIGNER M.F.B.
JOB NO. A09500-155
SHEET 1
OF 1 SHEETS
CALIFORNIA 1
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
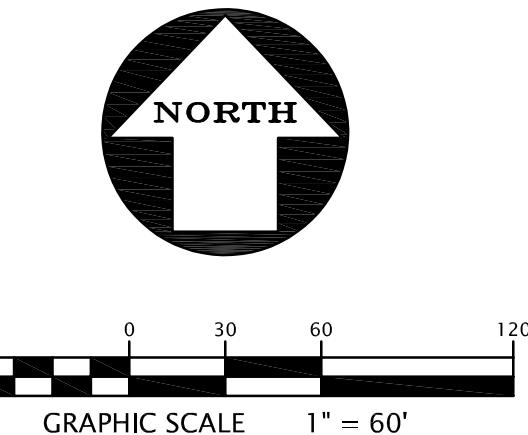
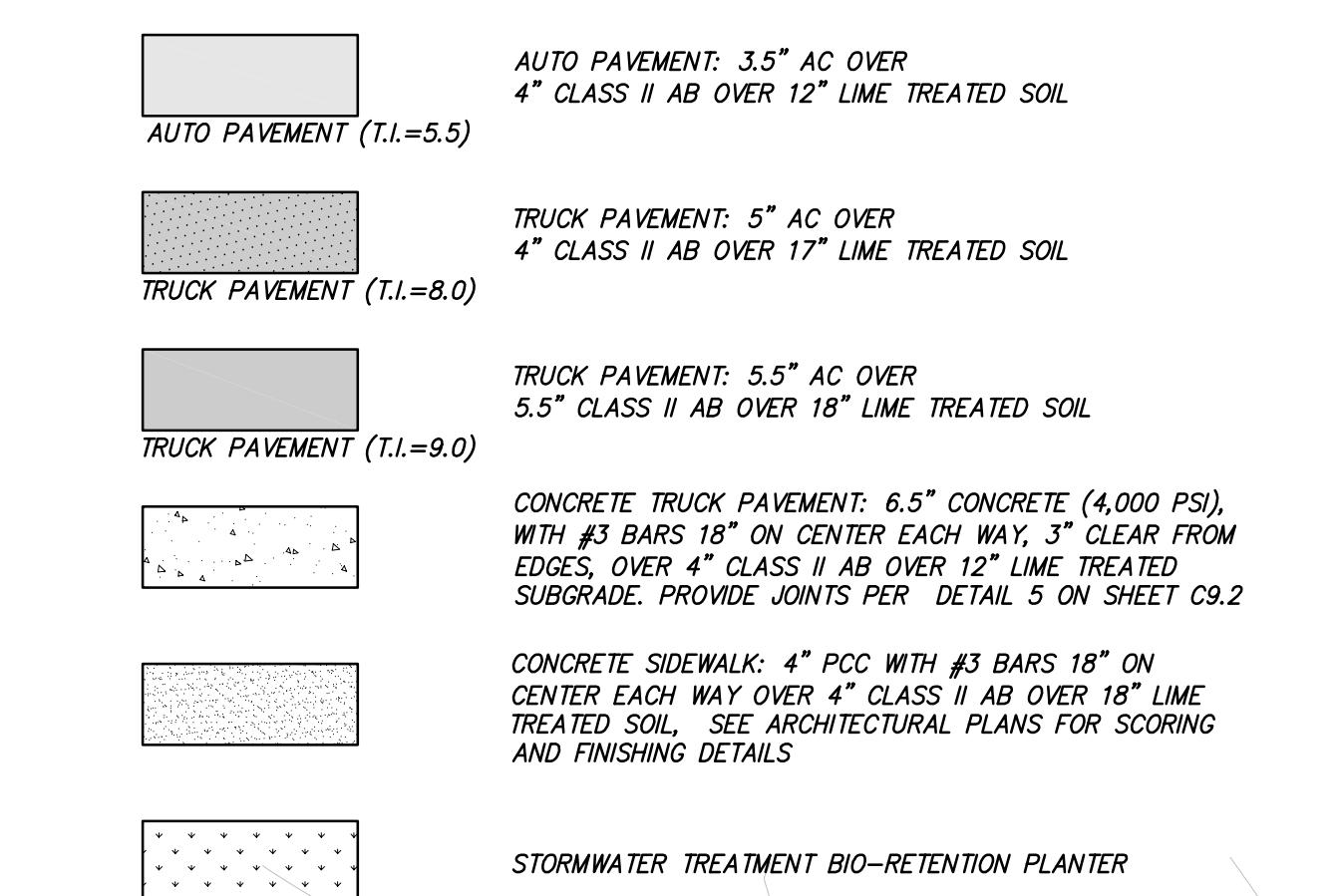
FOR REFERENCE ONLY

RETENTION BASIN CALCULATIONS

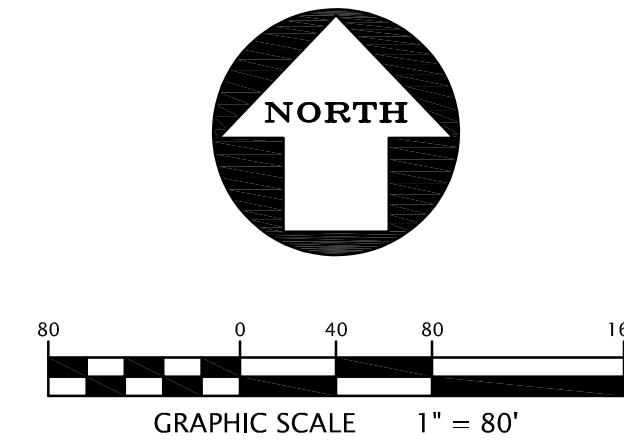

MAX. WATER SURFACE ELEVATION 98.00 FT
 AREA @ TOP OF SLOPE (ELEV. 99.00) 68,730 SF
 AREA @ MAX. WATER SURFACE (ELEV. 98.00) 64,335 SF
 VOLUME PROVIDED @ MAX. WATER SURFACE 12.15 AF

PERCOLATION RATE (PERCOLATION TEST REPORT)
 SIDE PERCOLATION RATE USED SAFETY FACTOR OF 2)
 TOTAL PERCOLATION PER DAY 35 gfd
 3.45 af/day
 BASIN DRAINAGE TIME (FOR REQUIRED VOLUME) 3.5 days

PAVEMENT LEGEND



FOR REFERENCE ONLY



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FOR REFERENCE ONLY

UNDERGROUND FIRE PROTECTION SYSTEM NOTE

THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THIS DRAWING IS SCHEMATIC AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. FOR CONSTRUCTION NOTES AND DETAILS, SEE FIRE PROTECTION PLANS.

BEFORE EXCAVATING
CALL 1-811
48-HOURS BEFORE ALL
PLANNED WORK OPERATIONS

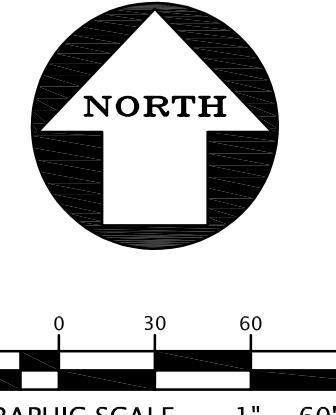


PROTECTION OF UNDERGROUND INSTALLATION NOTE:


"CORROSION PROTECTION / WRAPPING IS REQUIRED ON ALL UNDER-SLAB OR UNDERGROUND FERROUS ELECTRICAL CONDUIT, WATER PIPING, BUILDING DRAINS, BUILDING SEWERS, FLOOR DRAINS, FLOOR DRAINS, TRAP PRIMERS, WASTE DRAINS AND OTHER CONDUITS AND FITTINGS. COATING AND ZINC-COATED GALVANIZED PIPING AND FITTINGS. CORROSION PROTECTOR / WRAPPING IS REQUIRED ON COPPER WATER PIPING PER THE 2010 CPC, SEC. 312.4. CORROSION PROTECTION SHALL BE INSPECTED AND APPROVED BEFORE COVERING."

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES AND CONSTRUCTION ON THIS DRAWING. THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT AND THEN POTTING ALL EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS. THE VERTICALLY POSITIONED UTILITIES OR EXISTING UTILITIES ARE NOT TO BE DISTURBED AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT KIER + WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



DATE 12/21/2020
SCALE 1" = 60'
DESIGNER M.F.B.
JOB NO. A09500-155
SHEET 1 OF 1 SHEETS



OVERALL GRADING & DRAINAGE PLAN
I.P.C. - BUILDING 16
PROLOGIS

TRACY

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
www.kierwright.com

DATE 12/21/2020
SCALE 1" = 60'
DESIGNER M.F.B.
JOB NO. A09500-155
SHEET 1 OF 1 SHEETS

CALIFORNIA

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Owner:

PROLOGIS
Ahead of what's next

3353 Gateway Boulevard
Fremont, CA 94538
tel: (510) 656-1900

Project:

International Park
of Commerce
- Building 16

Tracy, CA

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Green Design
Harrington Group

Title:

PRELIMINARY LANDSCAPE
PLAN

Project Number: 18091.02

Drawn by: SPT

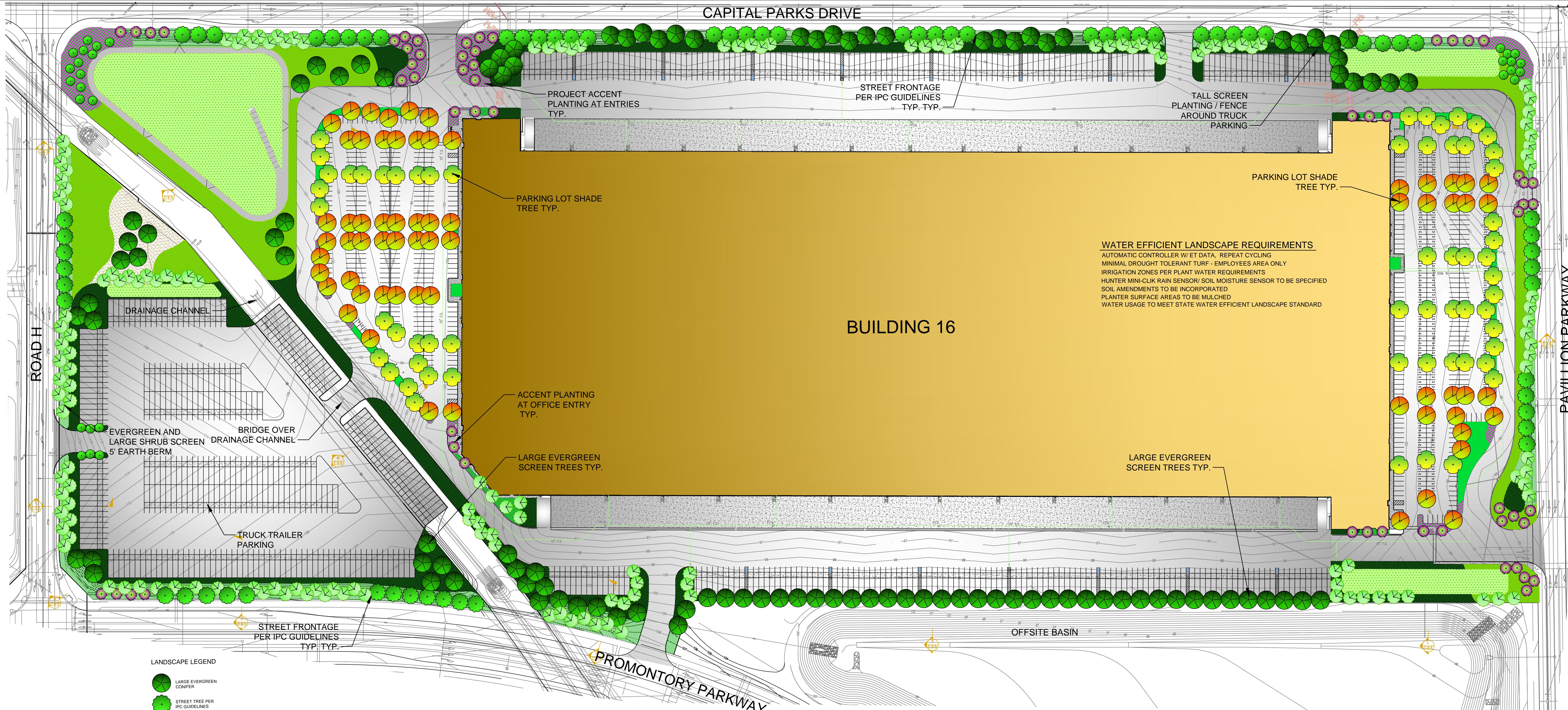
Date: 09/14/2020

Revision:

12-21-2020 REVISED

Sheet:

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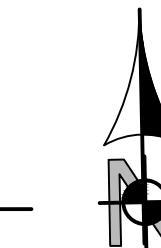


LANDSCAPE CALCULATIONS:

TOTAL PARKING AREA = 275,598 S.F.
PARKING AREA INCLUDES THE FOLLOWING:
1. PAVEMENT AREAS, DRIVEWAYS, STREETS, ALLEYS AND ACCESS DRIVES
2. PROJECT BUILDING FRONTAGE LANDSCAPE AREA INC. WALKS
PARKING AREA LANDSCAPE REQUIRED = 55,119 S.F. (20% OF PARKING AREA)
PARKING AREA LANDSCAPE PROVIDED = 55,763 S.F. (20%)
NO. OF STANDARD PARKING SPACES = 646
TREES REQUIRED = 130 (1/5 SPACES)
TREES PROVIDED = 374
REQUIRED PARKING AREA SHADE = 110,239 S.F. (MIN. 40% OF PARKING AREA)
PARKING AREA SHADE PROVIDED AT Maturity = 113,689 (41%)
51 LARGE SHADE TREES @ 100% 40' DIAMETER (1,256 S.F.) = 64,056 SF
79 LARGE SHADE TREES @ 50% 40' DIAMETER (628 S.F.) = 49,612 SF
MINIMUM STREETSCAPE LANDSCAPE REQUIRED:
PROJECT ACCENT PLANTING - 25' LANDSCAPE SETBACK
CAPITAL PARKS - 25' LANDSCAPE SETBACK
ROAD H - 15' LANDSCAPE SETBACK
PAVILION PARKWAY - 15' LANDSCAPE SETBACK
TOTAL SITE LANDSCAPE AREA: 233,517 S.F.
SITE TREES REQUIRED (EXCLUDING PARKING LOT TREES) 1/1000 S.F.=233
SITE TREES PROVIDED: 374

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 80'



DELTA 16 ADDITIONAL PLANT MATERIAL

CISTUS X SKANBERGII	SKANBERG ROCKROSE	5 GAL.	L	3' X 3' PLANT 2'-6" OC
OLEA 'LITTLE OLLIE'	DW OLIVE	15 GAL.	L	6' X 5' PLANT 6'-0" OC
PUNICA GRANATUM 'CHICO'	POMEGRANATE	5 GAL.	L	5' X 5' PLANT 4'-6" OC

LEGEND

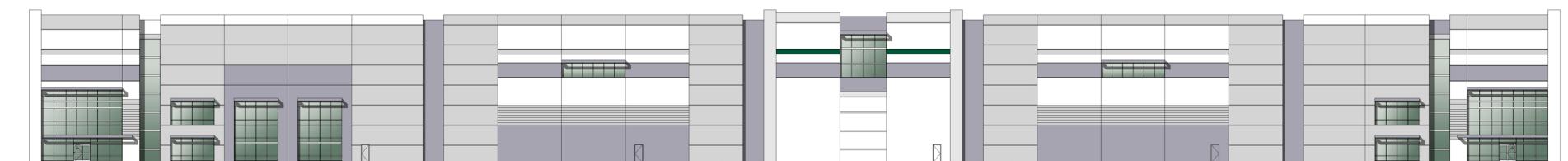
	SEEDED NATIVE BIO-SWALE GRASS MIX
	4" MINIMUM DEPTH OF 4'-8" HIDDEN CANYON FRACTURED TAN ROCK 3" MINIMUM DEPTH OF 2'-4" HIDDEN CANYON FRACTURED TAN ROCK

NOT SHOWN

BARK MULCH-ALL PLANTERS NOT DESIGNATED FOR ROCK
2'-4" DIA. FRACTURED ROCK BOULDERS ACCENTS. BOULDER COLOR
AND TEXTURE TO BLEND WITH TAN ROCK MULCH.



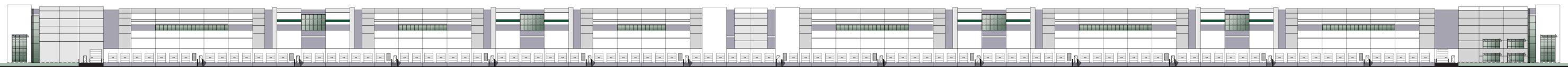
NORTH ELEVATION - CAPITAL PARKS DRIVE



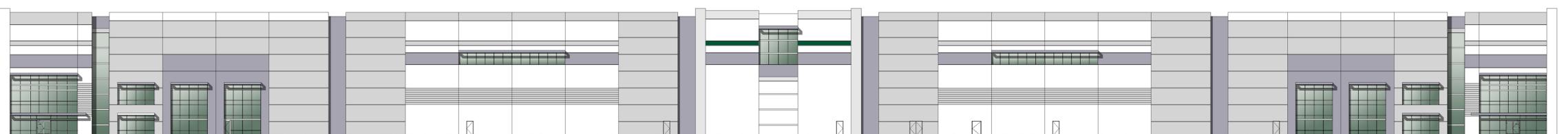
WEST ELEVATION



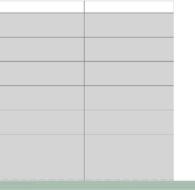
SOUTHWEST ELEVATION



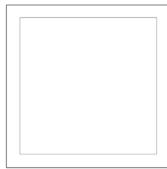
SOUTH ELEVATION



EAST ELEVATION - PAVILION PARKWAY



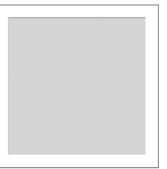
SIDE ELEVATION AT DOCK SIDE- TYP



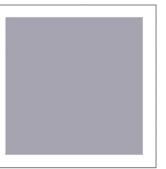
SHERWIN-WILLIAMS
SW 7006
EXTRA WHITE



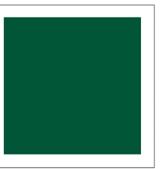
SHERWIN-WILLIAMS
SW 7671
ON THE ROCKS



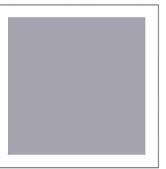
SHERWIN-WILLIAMS
SW 7672
KNITTING NEEDLES



SHERWIN-WILLIAMS
SW 7673
PEWTER CAST



SHERWIN-WILLIAMS
PLD-5
NEW DARK GREEN



SHERWIN-WILLIAMS
SW 7673
PEWTER CAST
METAL CANOPY



EVERGREEN
GLAZING



CLEAR
ANODIZED
MULLIONS