

CITY OF TRACY
DETERMINATION OF THE
DIRECTOR OF DEVELOPMENT SERVICES

Application Number D19-0035

A determination of the Director of Development Services approving a Development Review Permit application for the construction of an approximately 375,369 square foot industrial building and associated parking and landscape improvements, located at 6751 W Schulte Road (also described as approximately 1,000 feet east of International Parkway on Old Schulte Road), Assessor's Parcel Number 209-120-09. The applicant is Teresa Goodwin with HPA, Inc. and property owner is Prologis, LP.

The following considerations were relevant in evaluating this application: Existing and planned infrastructure improvements, such as adjacent roadways, water and sewer lines, storm drain systems, the project's visual impact on Old Schulte Road, Hopkins Road, Iron Horse Parkway, International Parkway, and other nearby existing and planned roads, on-site circulation, architecture, and landscaping.

Staff has reviewed the application and determined that the following City regulations apply:

TMC Sec 10.08.3920 et seq.: Development Review
TMC Sec 10.08.3440 et seq.: Off-Street Parking Requirements
Cordes Ranch Specific Plan
City of Tracy Design Goals and Standards

The Director of Development Services has determined that the proposed project is consistent with the Cordes Ranch Specific Plan Environmental Impact Report (EIR), approved by the City Council on September 3, 2013, and the General Plan EIR approved by the City Council on February 1, 2011. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required. An analysis of the project dated October 2014 shows that there will be no significant on or off-site impacts as a result of this particular project which were not already discussed in the Cordes Ranch and General Plan EIRs. There is also no evidence of any significant impacts to occur off-site as a result of the project, as traffic, air quality, land use and other potential cumulative impacts have already been considered within the original environmental documentation. No new evidence of potentially significant effects has been identified as a result of this project.

THE DEVELOPMENT SERVICES DIRECTOR, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY APPROVES DEVELOPMENT REVIEW PERMIT APPLICATION D19-0035 FOR AN APPROXIMATELY 375,369 SF BUILDING AND ASSOCIATED SITE IMPROVEMENTS AS DESCRIBED IN THE PLANS RECEIVED BY THE DEVELOPMENT SERVICES DEPARTMENT ON AUGUST 12, 2020, SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (EXHIBIT "1") AND BASED ON THE FOLLOWING FINDINGS:

Development Review Findings:

1. The proposal increases the quality of the project site and enhances the property in a manner that therefore improves the property in relation to the surrounding area and the

citizens of Tracy, because the proposed project improves the use and aesthetic quality of the currently undeveloped site, enhancing the property with the establishment of a new, well-designed industrial building and landscaping improvements. The building consists of a variety of horizontal and vertical elements for visual interest, including colored concrete accents, large areas of glazing, metal canopies, and building façade popouts and recesses every few hundred feet or less. The building is oriented such that the truck loading areas face an interior property line so that the trucking areas will not be visible from public view. Furthermore, the building is complemented with landscaping at all building entrances.

2. The proposal, as conditioned, conforms to the Cordes Ranch Specific Plan, the Tracy Municipal Code, the City of Tracy General Plan, the Citywide Design Goals and Standards, applicable City Standards, California Building Codes, and California Fire Codes, including land use, building design, off-street parking and circulation, and landscaping design. In particular, the proposal for an industrial distribution land use is consistent with the Business Park Industrial Zone requirements of the Cordes Ranch Specific Plan and the project, with conditions, is consistent with parking, landscaping, utilities, public right-of-way, and other City improvement requirements.



Andrew Malik
Director of Development Services/Assistant City Manager

04.08.2021

Date of Action

**CITY OF TRACY
CONDITIONS OF APPROVAL
Cordes Ranch/IPC Building 2
Application Number D19-0035**

A. General Provisions and Definitions

1. These Conditions of Approval shall apply to the real property located at 6751 W Schulte Road, Assessor's Parcel Number 209-120-09, Application Number D19-0035, an approximately 375,369 square foot industrial building and associated site area improvements on approximately 23.6 acres (hereinafter "Project").
2. The following definitions shall apply to these Conditions of Approval:
 - a. "Applicant" means any person, or other legal entity, defined as a "Developer".
 - b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed engineer designated by the City Manager, or the Development Services Director, or the City Engineer to perform the duties set forth herein.
 - c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, Cordes Ranch Specific Plan, ordinances, resolutions, policies, procedures, and City's Design Documents (including the Standard Plans, Standard Specifications, Design Standards, and relevant Public Facility Master Plans), and the California Building Code and California Fire Code.
 - d. "Development Services Director" means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
 - e. "Conditions of Approval" shall mean the conditions of approval applicable to the approximately 375,369 square foot industrial building, Application Number D19-0035. The Conditions of Approval shall specifically include all City of Tracy conditions set forth herein, including South San Joaquin County Fire Authority conditions, set forth herein.
 - f. "Project" means Application Number D20-0035, an 375,369 square foot industrial building with associated site area improvements on the real property located at 6751 W Schulte Road, Assessor's Parcel Number 209-120-09, a site of approximately 23.6 acres in size.
 - g. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.

3. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to: the Planning and Zoning Law (Government Code sections 65000, et seq.), the Subdivision Map Act (Government Code sections 66410, et seq.), the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and the Guidelines for California Environmental Quality Act (California Administrative Code, Title 14, Sections 1500, et seq., "CEQA Guidelines").
4. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City Regulations.
5. Pursuant to Government Code section 66020, including section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

B. Planning Division Conditions of Approval

- B.1. Except as otherwise modified herein, the project shall be developed in accordance with the plans received by the Development Services Department on August 12, 2020 and the color elevations received on May 12, 2020. Prior to the issuance of any building permits, any deviations from the approved site plan or elevations shall be evaluated for substantial compliance with the approved plans to the satisfaction of the Development Services Director. Should any deviations be determined not to be in substantial compliance with the approved plans, they shall be reviewed in a new Development Review application process.
- B.2. No roof-mounted or through-roof equipment, including, but not limited to, HVAC units, vents, fans, antennas, sky lights and dishes whether proposed as part of this application, potential future equipment, or any portion thereof, shall be visible from any public right-of-way, including I-205 and I-580, to the satisfaction of the Development Services Director. Prior to the issuance of a building permit, the construction plans shall demonstrate compliance with this requirement, such as details for the construction of a parapet wall adequately sized to fully screen the equipment and no less than six feet in height.
- B.3. All exterior lighting shall be directed downward, onto the parking and maneuvering surface and away from the public rights-of-way.
- B.4. All PG&E transformers, phone company boxes, trash enclosures or compactors, Fire Department connections, backflow preventers, irrigation controllers, and other on-site utilities, shall be vaulted or screened from view from any public right-of-way, behind structures or landscaping, to the satisfaction of the Development Services Director.

- B.5. The applicant shall pay all applicable fees for the project, including, but not limited to, development impact fees, building permit fees, plan check fees, grading permit fees, encroachment permit fees, inspection fees, school fees, or any other City or other agency fees or deposits that may be applicable to the project.
- B.6. All improvements shall be consistent with the Tracy Municipal Code, Cordes Ranch Specific Plan, Standard Plans, and other applicable City Regulations.
- B.7. All vents, gutters, downspouts, flashing, electrical conduit, etc. shall be internal to the buildings when feasible, and any improvement necessary to be installed on the exterior of the building shall be painted to match the color of the adjacent surface or otherwise designed in harmony with the building exterior to the satisfaction of the Development Services Director.
- B.8. Where landscape planters are parallel and adjacent to the side of vehicular parking spaces, a 12" wide concrete curb shall be placed adjacent to the parking space to allow for pedestrian access to vehicles without damage to the landscape areas.
- B.9. Prior to issuance of a building permit, detailed plans demonstrating compliance with onsite landscaping standards as established in the Cordes Ranch Specific Plan and the Tracy Municipal Code Off-Street Parking ordinance. Such plans shall demonstrate that all landscape areas, including bioswales, are appropriately comprised of a combination of trees, shrubs, groundcover, and irrigation to the satisfaction of the Development Services Director.
- B.10. Prior to issuance of a building permit, an Agreement for Maintenance of Landscape and Irrigation Improvements shall be executed and financial security submitted to the Development Services Department. The Agreement shall ensure maintenance of the on-site landscape and irrigation improvements for a period of two years. Said security shall be equal to the actual material and labor costs for installation of the on-site landscape and irrigation improvements or \$2.50 per square foot of on-site landscape area.
- B.11. Prior to final inspection or certificate of occupancy, all landscaping and irrigation substantially conforming with the development review permit plans dated August 12, 2020 and the approved building permit construction plans shall be installed to the satisfaction of the Development Services Director.
- B.12. Prior to issuance of a building permit, bicycle parking spaces shall be provided in accordance with Tracy Municipal Code Section 10.08.3510 to the satisfaction of the Development Services Director.
- B.13. Prior to final inspection or certificate of occupancy, carpooling/ridesharing and electric vehicle parking spaces shall be clearly marked, per the requirements of the Natural Resources and Sustainability section of the CRSP.
- B.14. Prior to final inspection or certificate of occupancy, on-site circulation signs shall be installed to the satisfaction of the Development Services Director.

- B.15. No outdoor storage of materials is permitted on the site.
- B.16. Prior to the erection of any light poles with a height in excess of 40 feet, the developer shall gain the approval of the Conditional Use Permit from the Planning Commission. Should a Conditional Use Permit not be approved, any freestanding light poles shall not exceed a height of 40 feet.
- B.17. No chain link fence is permitted on site where it would be visible from the public right-of-way. Electronically charged, razor wire, barbed wire, integrated corrugated metal, or plain exposed plastic concrete/PCC fences, vinyl slats, and woven fabric fences are not permitted anywhere on site.
- B.18. Prior to approval of a building permit, the applicant shall submit detailed plans that demonstrate the truck loading areas, dock doors, storage areas, and above-ground utilities will be substantially screened from view from the public right-of-way, which includes, but is not limited to, Promontory Parkway, Iron Horse Parkway, and Hopkins Road, to the satisfaction of the Development Services Director.
- B.19. Trash collection shall be done within either trash compactor(s) or trash enclosure(s). Trash compactors shall be screened from view by the building, screen walls, or landscape screens to the satisfaction of the Development Services Director. Trash enclosures shall be designed and appropriately sized for this project, including allowance for recycling collection. The trash and recycling collection enclosure shall include a solid roof structure, solid metal doors, and solid walls sufficiently sized to fully screen the dumpsters. The enclosure, including the roof, shall be architecturally compatible with the building, which includes but is not limited to, design, materials, and colors. A six-inch concrete curb and/or bollards may be installed on the interior of the enclosure for the protection and durability of the enclosure walls. A building permit is required prior to construction of such enclosures for the evaluation of design and location to the satisfaction of the Development Services Director.
- B.20. Before the approval of a building permit, the applicant shall submit detailed plans that show the location and improvements for a high-quality outdoor employee break area to the satisfaction of the Development Services Director. Such area shall be incorporated as part of site design and should include special paving, tables, benches, shade trees and other amenities that support employee events and serve as an informal gathering space.
- B.21. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all mitigation measures identified in the CEQA 15183 Analysis dated October 2014, the Cordes Ranch Specific Plan Environmental Impact Report (EIR), approved by the City Council on September 3, 2013, and the General Plan EIR approved by the City Council on February 1, 2011.
- B.22. Prior to issuance of a building permit, the developer shall provide documentation of compliance with the San Joaquin Valley Air Pollution Control District Rule 9510, Indirect Source Review to the Development Services Department.

- B.23. The Developer shall comply with all applicable provisions of the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan, including Incidental Take Minimization Measures applicable at the time of permit, a pre-construction survey prior to ground disturbance, and payment of all applicable fees, to the satisfaction of San Joaquin Council of Governments.

C. Engineering Division Conditions of Approval

C.1. General Conditions

- C.1.1. Developer shall comply with the applicable requirements of the technical analyses and reports prepared for the Project listed as follows:

- a) "Cordes Ranch Specific Plan" prepared by David Babcock & Associates, dated September 3, 2013 ("Specific Plan").
- b) "Cordes Ranch Specific Plan Final Environmental Impact Report", prepared by The Planning Center | DC&E, dated September 3, 2013 ("FEIR"), adopted by City Council on September 3, 2013 (Resolution No. 2013-143).
- c) "Mitigation Measures and Monitoring Program for the Cordes Ranch Specific Plan", adopted by the City Council September 3, 2013 (Resolution No. 2013-143).
- d) "Cordes Ranch Specific Plan – Storm Drainage Technical Report" prepared by Storm Water Consulting, Inc. and Stantec, Inc., dated December 2012, and any subsequent amendments or updates.
- e) "Cordes Ranch Specific Plan Tier 2 Infrastructure Evaluation of Potable and Recycled Water Systems" prepared by West Yost Associates, Inc. dated July 7, 2014, and any amendments or updates.
- f) "Hydraulic Evaluation of International Park of Commerce (IPC) Building 2 prepared by West Yost Associates, Inc., dated September 21, 2020, as approved by the City Engineer ("Water System Analysis"), and any subsequent amendments or updates.
- g) "Wastewater Master Plan Tier 2 – Cordes Ranch Specific Plan Application Review" prepared by CH2MHill, Inc. dated January 2013, and any subsequent amendments or updates.

- C.1.2. Developer shall comply with applicable requirements of the Development Agreement by and between the City of Tracy and Prologis, L.P., approved by City Council September 3, 2013 (Ordinance Number 1188).

C.2. Grading Permit

All grading work (on-site and off-site) shall require a Grading Plan. All grading work shall be performed and completed in accordance with the recommendation(s) of the Project's Registered Geotechnical Engineer. The City will not accept a Grading Permit application for the Project until Developer provides all documents related to said Grading Permit required by the applicable City Regulations and these Conditions of

Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.2.1. Developer has completed all requirements set forth in this section.
- C.2.2. Developer has obtained the approval (i.e. recorded easements for slopes, drainage, utilities, access, parking, etc.) of all other public agencies and/or private entities with jurisdiction over the required public and/or private facilities and/or property. Written permission from PG&E or affected owner(s) will be required to be submitted to the City prior to the issuance of the Grading Permit.
- C.2.3. Developer has obtained a demolition permit to remove any existing structure located within the project's limits.
- C.2.4. All existing on-site water well(s), septic system(s), and leech field(s), if any, shall be abandoned or removed in accordance with the City and San Joaquin County requirements. Developer shall be responsible for all costs associated with the abandonment or removal of the existing well(s), septic system(s), and leech field(s) including the cost of permit(s) and inspection. Developer shall submit a copy of written approval(s) or permit(s) obtained from San Joaquin County regarding the removal and abandonment of any existing well(s), prior to the issuance of the Grading Permit.
- C.2.5. The Improvement Plans for all improvements to serve the Project (on-site and off-site) including the Grading and Drainage Plans shall be prepared in accordance with the City's Subdivision Ordinance (TMC Chapter 12.36), City Design Documents as defined in Title 12 of the TMC, and these Conditions of Approval.
- C.2.6. On-site Grading/Drainage Plans and Improvement Plans shall be prepared on a 24-inch x 36-inch size 4-millimeter thick polyester film (mylar). These plans shall use the City's Title Block. Improvement Plans shall be prepared under the supervision of, stamped and signed by a Registered Civil Engineer and Registered Geotechnical Engineer. Developer shall obtain all applicable signatures by City departments and outside agencies (where applicable) on the mylars including signatures by the Fire Marshal prior to submitting the mylars to Engineering Division for City Engineer's signature. Erosion control measures shall be implemented in accordance with the Improvement Plans approved by the City Engineer for all grading work. All grading work not completed before October 15 may be subject to additional requirements as applicable. Improvement Plans shall specify all proposed erosion control methods and construction details to be employed and specify materials to be used during and after the construction.
- C.2.7. Payment of the applicable Grading Permit fees which include grading plan checking and inspection fees, and other applicable fees as required by these Conditions of Approval.

- C.2.8. For Projects on property larger than one (1) acre: Prior to the issuance of the Grading Permit, Developer shall submit to the Utilities Department (stephanie.hiestand@cityoftracy.org) one (1) electronic copy and one (1) hard copy of the Storm Water Pollution Prevention Plan (SWPPP) as submitted in Stormwater Multiple Applications and Reporting Tracker System (SMARTS) along with either a copy of the Notice of Intent (NOI) with the state-issued Wastewater Discharge Identification number (WDID) or a copy of the receipt for the NOI. After the completion of the Project, the Developer is responsible for filing the Notice of Termination (NOT) required by SWQCB, and shall provide the City, a copy of the completed Notice of Termination. Cost of preparing the SWPPP, NOI and NOT including the annual storm drainage fees and the filing fees of the NOI and NOT shall be paid by the Developer. Developer shall comply with all the requirements of the SWPPP, applicable Best Management Practices (BMPs) and the Stormwater Post-Construction Standards adopted by the City in 2015 and any subsequent amendment(s).
- C.2.9. Developer shall provide a PDF copy of the Project's Geotechnical Report signed and stamped by a Registered Geotechnical Engineer. The technical report must include relevant information related to soil types and characteristics, soil bearing capacity, compaction recommendations, retaining wall recommendations, if necessary, paving recommendations, slope recommendations, and elevation of the highest observed groundwater level.
- C.2.10. Two (2) sets of Hydrologic and Storm Drainage Calculations for the design of the on-site storm drainage system.
- C.2.11. Minor Retaining – Developer shall use reinforced or engineered masonry blocks for retaining soil when the grade differential exceeds 12-inches. Developer will include construction details of these minor retaining walls with the on-site Grading and Drainage Plan. Developer may use slopes among the lots to address the grade differential but said slope shall not exceed a slope gradient of 3 (horizontal) to 1 (vertical) unless a California licensed geotechnical engineer signs and stamps a geotechnical report letter that supports a steeper slope gradient. Slope easements may be required and will be subject to approval by the City Engineer and if adjacent and affected property(s) owner(s) grants said easements.
- Slopes are an acceptable option as a substitute to engineered retaining walls, where cuts or fills do not match existing ground or final grade with the adjacent property or public right of way, up to a maximum grade differential of two (2) feet, subject to approval by the City Engineer.
- If required, slope easements will be recorded, prior to the issuance of the Grading Permit. The Developer shall be responsible to obtain and record slope easement(s) on private properties, where it is needed to protect private improvements constructed within and outside the Project, and a copy of the recorded easement document must be provided to the City, prior to the issuance of the Grading Permit.

Walls - Developer shall show proposed retaining walls and masonry walls on the on-site Grading and Drainage Plan. The Developer is required to submit improvement plans, construction details, and structural calculations for retaining walls and masonry walls to Building and Safety. Retaining wall and masonry wall design parameters will be included in the geotechnical report.

- C.2.12. Developer shall provide a copy of the approved Incidental Take Minimization Measures (ITMM) habitat survey [San Joaquin County Multi-Species Habitat Conservation & Open Space Plan (SJMSCP)] from San Joaquin Council of Governments (SJCOG).
- C.2.13. A copy of the Approved Fugitive Dust and Emissions Control Plan that meets San Joaquin Valley Air Pollution Control District (SJVAPCD) as required in Mitigation Measure AQ-1 and AQ-2 of the Mitigation Monitoring and Reporting Program of the Cordes Ranch Specific Plan Final Environmental Impact Report (CRSP EIR).
- C.2.14. Documentation of any necessary authorizations from Regional Water Quality Control Board (RWQCB) as required in the applicable mitigation measures identified in the Cordes Ranch Specific Plan EIR.
- C.2.15. If at any point during grading that the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and subsequent Cultural Resource Policy or mitigation in any applicable environmental document.
- C.2.16. Documentation of construction easement(s) or agreement(s) from owners of adjacent properties for any grading work within their parcels, or for grading work impacting their property.
- C.3. Encroachment Permit - No applications for encroachment permit will be accepted by the City as complete until the Developer provides all relevant documents related to said encroachment permit required by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:
- C.3.1. Improvement Plans prepared on a 24" x 36" size 4-mil thick polyester film (mylar) and these Conditions of Approval. Improvement Plans shall be prepared under the supervision of, and stamped and signed by a Registered Civil, Traffic, Electrical, Mechanical Engineer, and Registered Landscape Architect for the relevant work.
- C.3.2. Signed and stamped Engineer's Estimate that summarizes the cost of constructing all the public improvements shown on the Improvement Plans.

- C.3.3. If required, signed and notarized Offsite Improvement Agreement (OIA) and Improvement Security, to guarantee completion of the identified public improvements that are necessary to serve the Project as required by these Conditions of Approval. The form and amount of Improvement Security shall be in accordance with Section 12.36.080 of the Tracy Municipal Code (TMC), and the OIA. The Developer's obligations in the OIA shall be deemed to be satisfied upon City Council's acceptance of the public improvements and release of the Improvement Security.
- C.3.4. If required, signed and notarized Deferred Improvement Agreement (DIA) and Improvement Security, to allow deferment of completion of improvements as required by these Conditions of Approval. The form and amount of Improvement Security shall be in accordance with the DIA and Section 12.36.080 of the TMC. The Developer's obligations in the DIA shall be deemed to be satisfied upon the release of the Improvement Security.
- C.3.5. Check payment for the applicable engineering review fees which include plan checking, permit and agreement processing, testing, construction inspection, and other applicable fees as required by these Conditions of Approval. The engineering review fees will be calculated based on the fee rate adopted by the City Council on May 16, 2017, per Resolution 2017-098.
- C.3.6. Traffic Control Plan signed and stamped by a Registered Civil Engineer or Traffic Engineer licensed in the State of California.
- C.4. Improvement Plans - Improvement Plans shall contain the design, construction details and specifications of public improvements that are necessary to serve the Project. The Improvement Plans shall be drawn on a 24" x 36" size 4-mil thick polyester film (mylar) and shall be prepared under the supervision of, and stamped and signed by a Registered Civil, Traffic, Electrical, Mechanical Engineer, and Registered Landscape Architect for the relevant work. The Improvement Plans shall be completed to comply with City Regulations, these Conditions of Approval, and the following requirements:
 - C.4.1. Grading and Storm Drainage Plans
 - Site Grading
 - a) Include all proposed erosion control methods and construction details to be employed and specify materials to be used. All grading work shall be performed and completed in accordance with the recommendation(s) of the Project's Geotechnical Engineer. A copy of the Project's Geotechnical Report must be submitted with the Grading and Storm Drainage Plans.
 - b) When the grade differential between the Project Site and adjacent property(s) exceeds 12 inches, a reinforced concrete or masonry block, or engineered retaining wall is required for retaining soil. The Grading Plan shall show construction detail(s) of the retaining wall or masonry wall. The entire retaining wall and footing shall be constructed within the Project

Site. A structural calculation shall be submitted with the Grading and Storm Drainage Plans.

- c) An engineered fill may be accepted as a substitute of a retaining wall, if any, subject to approval by the City Engineer. The Grading and Storm Drainage Plans must show the extent of the slope easement(s). The Developer shall be responsible for obtaining permission from owner(s) of the adjacent and affected property(s). The slope easement must be recorded, prior to the issuance of the final building certificate of occupancy.
- d) Grading for the site shall be designed such that the Project's storm water can overland release to either a public street or to a public storm drainage facility.
- e) Prior to approval of a grading permit for the Project, the Developer shall submit a drainage report and drainage calculations for the project site based on the Master Plan criteria and starting water surface elevation for review by City's consultant. The Developer shall be responsible to pay for the review.

Storm Drainage

- f) The existing public 24" Storm drain pipe located on the west side of the IPC Building 2 parcel will need to be relocated and lowered to accommodate the proposed truck drive aisle on the northwest side of the building. The relocated storm drain pipe shall be installed in compliance with City of Tracy Design Standard 5.10(A). (Two feet minimum cover from drive aisle subgrade to top of pipe.)
- g) Temporary retention is required to serve this project until DET LW9A and the downstream outfall system is completed and operational. The Project will utilize a portion of DET LW10B and DET LW9A to satisfy the requirements for temporary retention as set forth in the City Design Standards. Developer shall provide calculations to demonstrate that adequate capacity in DET LW10B and DET LW9A is available to serve the Project. All costs of design and construction of improvements required for temporary storage shall be paid for by the Developer. No fee credits or reimbursements will be applicable for these improvements.
- h) Acceptance of the DET LW10B and DET LW9A basin parcels by the City will be upon completion of the downstream facilities, and upon the determination by the City Engineer that the basin is constructed and operational per the Storm Drainage Master Plan.
- i) Developer shall be responsible for maintenance of the Retention Basin at DET LW10B and RET LW9A until the downstream drainage facilities are installed and accepted by the City. The Developer shall sign an improvement agreement (Deferred Improvement Agreement), to assure

completion of the Developer's obligation to repair and maintain said basin while the storm drainage retention basin is in service and then, if required, to modify storm drainage retention basin to conform to Master Plan requirements at such time they are no longer needed due to the construction of the permanent facilities per the Storm Drainage Master Plan. Prior to the final inspection of the first building to be constructed on the Property, the Developer shall submit a signed and notarized Maintenance Agreement as a guarantee for the performance of Developer's responsibilities towards the repair and maintenance of the retention basin at future DET LW10B and DET LW9A.

- j) Layout and design of drainage easements and access easements to be dedicated to the City shall be per the requirements of Engineering Division and as approved by the City Engineer.
- k) Parcel maps, Grant Deed documents or other instruments for dedication of the LW10B storm drainage basin parcel to the City shall be prepared and executed by the Developer. Acceptance of the basin parcel by the City will be upon completion of the downstream facilities as listed in Condition C.4.1.h above.
- l) Calculations related to the design and sizing of on-site storm water treatment facilities must be submitted with the Grading and Storm Drainage Plans and approved by City's Stormwater Coordinator prior to issuance of the Grading Permit for the Project. The design and construction details of the Project's storm drainage system and treatment facilities shall meet City Regulations and shall comply with the applicable requirements of the Multi-Agency Post-Construction Stormwater Standards Manual, dated June 2015, and any subsequent amendments.
- m) Prior to the final inspection of the building to be constructed on the Property, the Developer shall submit a signed and notarized Stormwater Treatment Facilities Maintenance Agreement (STFMA) as a guarantee for the performance of Developer's responsibility towards the repair and maintenance of on-site storm water treatment facilities.

C.4.2. Sanitary Sewer Improvement Plans

- a) As provided in the *Final Draft Report Wastewater Master Plan Tier 2 – Cordes Ranch Specific Plan Application Review*, the City will allow up to 0.145 MGD (145,000 gallons per day) of Dry Weather Flow from the Cordes Ranch Specific Plan Area to enter the Hansen Trunk Sewer on an interim basis.

To verify available capacity, and to monitor the impacts of the added flows from the Cordes Ranch Specific Plan Area prior to the completion of the Lammers Trunk Sewer, the Developer shall continue to track potable water meter records and provide periodic reports to the City or as directed by the City Engineer.

- b) At the time of application for building permit for the Project, if the City determines that existing capacity in the Hansen Trunk Sewer is not available to serve the Project, then the improvements identified in the Wastewater Master Plan must be constructed as necessary to provide the additional conveyance capacity required.
- c) The Developer shall pay all impact fees for Wastewater Treatment and Wastewater Conveyance. The Prologis I.P.C. Building 2 Project will also be responsible to pay a fair share contribution for the long-term use of the Hansen Trunk Sewer conveyance.
- d) Prior to the issuance of Building Permit for the Project, Developer shall submit improvement plans and secure approval of plans from the City's Building Division, for the design of on-site sewer improvements. The Developer shall design and install sanitary sewer facilities including the Project's sewer connection in accordance with City Regulations and utility improvement plans approved by the City Engineer.

C.4.3. Water Distribution System

- a) Developer shall comply with the recommendations for on-site and off-site infrastructure including storage requirements triggered by the Project as identified in the Water System Analysis for IPC Building 2. If additional improvements beyond the proposed improvements shown on the preliminary plans submitted with the Development Review Application are identified in the Water System Analysis and approved by the City Engineer, the Developer shall comply with the recommendations in the Water Analysis. Developer shall prepare improvement plans and construct required improvements identified in the Water System Analysis.
- b) During the construction phases of the Project, the Developer is responsible for providing water infrastructure (temporary or permanent) capable of delivering adequate fire flows and pressure appropriate to the various stages of construction and as approved by the SSJCFA Fire Marshal.
- c) The Developer shall design and install fire hydrants at the locations approved by the SSJCFA Fire Marshal. Prior to the issuance of a Building Permit, the Developer shall submit calculations and plans as required by the South San Joaquin County Fire Authority (SSJCFA) and obtain written approvals for the proposed fire system for the design, location and construction details of the fire service connection to the Project, and for the location and spacing of fire hydrants that are to be installed to serve the Project.
- d) Prior to issuance of temporary certificate of occupancy (or final certificate of occupancy, if TCO is not requested), the Developer shall demonstrate to the satisfaction of the Fire Marshal that all applicable fire flow parameters are met.
- e) All costs associated with the installation of the Project's permanent water connection(s) as identified in the Water System Analysis including the cost of

removing and replacing asphalt concrete pavement, pavement marking and striping such as crosswalk lines and lane line markings, replacing traffic detecting loops, conduits, and wires, relocating existing utilities that may be in conflict with the water connection(s), and other improvements shall be paid by the Developer.

- f) Interruption to the water supply to the existing businesses and other users within International Park of Commerce or Patterson Pass Business Park will not be allowed to facilitate construction of on-site or off-site improvements related to the Project. The Developer shall be responsible for notifying business owner(s) and users, regarding construction work that involves traffic rerouting or other traffic related and access impacts to the existing businesses. The written notice, as approved by the City Engineer, shall be delivered to the affected residents or business owner(s) at least 72 hours before start of work. Prior to starting the work described in this section, the Developer shall submit a Work Plan acceptable to the City that demonstrates no interruptions to the water supply, and Traffic Control Plan to be used during the installation of the offsite water mains and connections.
- g) The Developer shall design and install domestic and irrigation water service connection, including a remote-read master water meter (the water meter to be located within City's right-of-way) and a Reduced Pressure Type back-flow protection device in accordance with City Regulations. The domestic and irrigation water service connection(s) must be completed before the final inspection of the building. Sub-metering will be allowed within private property. The City will not perform water consumption reading on sub-meters. The Developer will be responsible for relocating or reinstalling water sub-meters. The City shall maintain water lines from the master water meter to the point of connection with the water distribution main (inclusive) only. Repair and maintenance of all on-site water lines, laterals, sub-meters, valves, fittings, fire hydrant and appurtenances shall be the responsibility of the Developer.

C.4.4. Street Improvements

- a) The Developer shall submit a Traffic Control Plan for each phase of work, to show the method and type of construction signs to be used for regulating traffic at the work areas within these streets. The Traffic Control Plan shall be prepared by a Civil Engineer or Traffic Engineer licensed to practice in the State of California.

C.4.5. The Developer shall prepare joint trench plans in compliance with utility companies' requirements and City regulations and obtain approval of the plans. All private utility services to serve Project such as electric, telephone and cable TV to the building must be installed underground, and to be installed at the location approved by the respective owner(s) of the utilities.

C.4.6. The Developer shall submit Joint Utility Trench Plans for the installation of electric, gas, telephone and TV cable main and service lines that are necessary to be installed to serve the Project. These utilities shall be installed within the 10-

feet wide Public Utility Easement (PUE) that will be offered for dedication to the City. The Developer shall coordinate, as feasible, with the respective owner(s) of the utilities for the design of these underground utilities to ensure they can be installed within the 10-foot wide PUE to the extent feasible (and except in the event, that additional space beyond the 10-foot PUE is required, as determined by the utilities owner(s)).

- C.4.7. Pavement cuts or utility trench(s) on existing street(s) for the installation of water distribution main, storm drain, sewer line, electric, gas, cable TV, and telephone will require the application of 2" asphalt concrete overlay and replacement of pavement striping and marking that are disturbed during construction. The limits of asphalt concrete overlay shall be 25 feet from both sides of the trench and shall extend over the entire width of the adjacent travel lane(s) if pavement excavation encroaches to the adjacent travel lane or up to the street centerline or the median curb. If the utility trench extends beyond the street centerline, the asphalt concrete overlay shall be applied over the entire width of the street (to the lip of gutter or edge of pavement, whichever applies).
- C.5. Building Permit - No building permit will be approved by the City until the Developer demonstrates, to the satisfaction of the City Engineer, compliance with all required Conditions of Approval, including, but not limited to, the following:
- C.5.1. Check payment of the applicable City Wide Roadway and Traffic, Water, Recycled Water, Wastewater, Storm Drainage, Public Safety, Public Facilities, and Park Development Impact Fees (adopted by Resolution 2017-098) as these relate to the Project, and as otherwise required by the Cordes Ranch Development Agreement and these Conditions of Approval.
- C.5.2. Check payment of any applicable Regional Transportation Impact Fees (RTIF) as required in Mitigation Measure TRANS-7 of the Mitigation Monitoring and Reporting Program of the Cordes Ranch Final Environmental Impact Report and these Conditions of Approval.
- C.5.3. Check payment of any applicable Agricultural Conversion or Mitigation Fee as required in Chapter 13.28 of the Tracy Municipal Code and Mitigation Measure AG-1 of the Mitigation Monitoring and Reporting Program of the Cordes Ranch Final Environmental Impact Report and these Conditions of Approval.
- C.6. Acceptance of Public Improvements - Public improvements, Public Right-of-Way dedications, and Public Easements will not be accepted by the City Council until after the Developer completes construction of the relevant public improvements, and also demonstrates to the City Engineer satisfactory completion of the following:
- C.6.1. Correction of all items listed in the deficiency report prepared by the assigned Engineering Inspector relating to public improvements subject to City Council's acceptance.
- C.6.2. Certified "As-Built" Improvement Plans (or Record Drawings). Upon completion of the construction by the Developer, the City shall temporarily release the

originals of the Improvement Plans to the Developer so that the Developer will be able to document revisions to show the "As Built" configuration of all improvements.

- C.6.3. Reasonable written permission from irrigation district or affected owner(s), if applicable, as required in Condition C.10.4, below. The cost of relocating and/or removing irrigation facilities and/or tile drains is the sole responsibility of the Developer.
- C.7. Final Building Certificate of Occupancy - No Final Building Certificate of Occupancy will be issued by the City until after the Developer provides reasonable documentation which demonstrates, to the satisfaction of the City Engineer, that:
- C.7.1. The Developer has satisfied all the requirements set forth in Condition C.6 above.
- C.7.2. The Developer has completed construction of all required public facilities for the building for which a certificate of occupancy is requested and all the improvements required in these Conditions of Approval. Unless specifically provided in these Conditions of Approval, or some other applicable City Regulations, the Developer shall use diligent and good faith efforts in taking all actions necessary to construct all public facilities required to serve the Project, and the Developer shall bear all costs related to construction of the public facilities (including all costs of design, construction, construction management, plan check, inspection, land acquisition, program implementation, and contingency).
- C.8. Improvement Security – The Developer shall provide improvement security for all public facilities, as required by the OIA, and these Conditions of Approval. The form of the improvement security may be a surety bond, letter of credit or other form in accordance with section 12.36.080 of the TMC and the Development Agreement. The amount of improvement security shall be as follows:
- C.8.1. Faithful Performance (100% of the estimated cost of constructing the public facilities),
- C.8.2. Labor & Materials (100% of the estimated cost of constructing the public facilities), and
- C.8.3. Warranty (10% of the estimated cost of constructing the public facilities)
- C.9. Release of Improvement Security - Improvement Security(s) described herein shall be released to the Developer after City Council's acceptance of public improvements, and after the Developer demonstrates, to the satisfaction of the City Engineer, compliance of these Conditions of Approval, and completion of the following:
- C.9.1. Improvement Security for Faithful Performance, Labor & Materials, and Warranty shall be released to the Developer in accordance with Section 12.36.080 of the TMC.

- C.9.2. Written request from the Developer and a copy of the recorded Notice of Completion.

C.10. Special Conditions

- C.10.1. All streets and utilities improvements within City's right-of-way shall be designed and constructed in accordance with City Design Standards and the City's Facilities Master Plan for storm drainage, roadway, wastewater and water adopted by the City, or as otherwise specifically approved by the City.
- C.10.2. Prior to beginning of construction, the Developer shall be responsible to obtain any easements, rights-of-way and/or agreements with property owners as applicable for all improvements.
- C.10.3. All existing on-site wells, if any, shall be abandoned or removed in accordance with the City and San Joaquin County requirements. The Developer shall be responsible for all costs associated with the abandonment or removal of the existing well(s) including the cost of permit(s) and inspection. The Developer shall submit a copy of written approval(s) or permit(s) obtained from San Joaquin County regarding the removal and abandonment of any existing well(s), prior to the issuance of the Grading Permit.
- C.10.4. The Developer shall abandon or remove all existing irrigation structures, channels and pipes, if any, as directed by the City after coordination with the irrigation district, if the facilities are no longer required for irrigation purposes. The Developer shall submit report for a site sub-surface investigation for determining the presence of irrigation and drainage tile drains within and around the Project Site, if any, and submit a report prepared and signed by a Geo-technical Engineer. In the event that tile drains exist within and around the Project Site, the Developer has the option to either relocate or abandon the on-site tile drains as required for the proposed development. All existing tile drains and proposed improvements for the relocation or removal of tile drains must be shown on the Grading and Storm Drainage Plans. Any tile drains under the proposed buildings shall be abandoned or relocated as may be required, to the satisfaction of the City. The Developer or the property owner(s) will be responsible for maintenance of tile drains to remain or the relocated tile drains and associated improvements. Additionally, the Developer will be responsible for monitoring the groundwater levels, and for the mitigations, if any, that may be required, by any applicable laws and regulations.
- C.10.5. Any damages to existing improvements within the street right-of-way due to construction related activities shall be repaired or replaced as directed by the City at Developer's cost.
- C.10.6. All improvement plans shall contain a note stating that the Developer (or Contractor) will be responsible to preserve and protect all existing survey monuments and other survey markers. Any damaged, displaced, obliterated or lost monuments or survey markers shall be re-established or replaced by a licensed Land Surveyor at the Developer's (or Contractor's) sole expense. A

corner record must be filed in accordance with the State law for any reset monuments (California Business and Professions Code Section 8871).

- C.10.7. Developer shall comply with the requirements relating to Fire Apparatus Access Roads and other Fire Code requirements to the satisfaction of the South San Joaquin County Fire Authority.
- C.10.8. Nothing contained herein shall be construed to permit any violation of relevant ordinances and regulations of the City of Tracy, or other public agency having jurisdiction. This Condition of Approval does not preclude the City from requiring pertinent revisions and additional requirements to the Grading Permit, Encroachment Permit, Building Permit, Improvement Plans, OIA, and DIA, if the City Engineer finds it necessary due to public health and safety reasons, and it is in the best interest of the City. The Developer shall bear all the cost for the inclusion, design, and implementations of such additions and requirements, without reimbursement or any payment from the City.

D. Building Safety Division Conditions of Approval

- D.1. Because the property line is less than the minimum required 60' yard needed for an unlimited area building the southwest corner of the building per California Building Code (CBC) 507.4, prior to building permit approval, the applicant shall provide the building with 40' yards per CBC 507.2.1, if the all of the following are met:
 - a. The reduced width shall not be allowed for more than 75 percent of the perimeter of the building.
 - b. The exterior walls facing the reduced width shall have a fire-resistance rating of not less than 3 hours.
 - c. Openings in the exterior walls facing the reduced width shall have opening protectives with a fire protection rating of not less than 3 hours.

E. Utilities Department Conditions of Approval

- E1. Prior to issuance of a construction or building permit, applicant shall demonstrate compliance with the 2015 Post-Construction Stormwater Standards (PCSWS) Manual and obtain approval through the following:
 - a. Develop a Project Stormwater Plan (PSP) that identifies the methods to be employed to reduce or eliminate stormwater pollutant discharges through the construction, operation and maintenance of source control measures, low impact development design, site design measures, stormwater treatment control measures and hydromodification control measures.
 - i. Design and sizing requirements shall comply with PCSWS Manual.
 - ii. Demand Management Areas must be clearly designated along with identification of pollutants of concern.

- iii. Calculations of the Stormwater Design Volume and/or Design Flow with results from the Post-Construction Stormwater Runoff Calculator must be submitted in the PSP for approval.
 - iv. Per the PCSWS Manual, include a hydromodification management plan ensuring the post-project runoff flow rate shall not exceed estimated pre-project flow rate for the 2-year, 24-hour storm.
 - v. Submit one (1) hard copy of the PSP and an electronic copy to the Utilities Department (WaterResources@cityoftracy.org), include the project name, address and Project # and/or Permit # in the title or subject line.
 - b. A separate plan sheet(s) designated SW shall be submitted in the plan set that includes the identified methods for pollution prevention outlined in the submitted PSP. You must include all standards, cross sections and design specifications such as landscape requirement in treatment areas including type of irrigation installation and/or height of drain inlet above the flow line, etc. in these SW plan sheets along with legend.
 - c. Develop and electronically submit to the Utilities Department for approval (WaterResources@cityoftracy.org) a preliminary Operations and Maintenance (O & M) Plan that identifies the operation, maintenance, and inspection requirements for all stormwater treatment and baseline hydromodification control measures identified in the approved PSP.
 - d. No later than two (2) months after approval notification of the submitted PSP, applicant shall electronically submit the following information to the Utilities Department (WaterResources@cityoftracy.org) for development of a draft stormwater maintenance access agreement, in accordance with the MAPCSWS;
 - i. Property Owner(s) name and title report; or Corporate name(s) and binding documents (resolutions, etc) designating ability to sign agreement
 - ii. o Property Address
 - iii. o Exhibit A – legal property description
 - iv. o Exhibit B – approved O & M Plan
- E2. Prior to issuance of a grading permit, applicant shall proof of permit coverage under the Construction General Permit shall be required and submittal of an electronic Stormwater Pollution Prevention Plan (SWPPP) shall be submitted to WaterResources@cityoftracy.org.
- E3. Prior to Certificate of Occupancy, applicant shall:
- a. Return to the City Clerk, a legally signed and notarized copy of the final maintenance access agreement including all exhibits and approved O & M plan received from the Utilities Department.
 - b. Obtain final approval by the Utilities Department of the constructed and installed Stormwater pollution prevention methods outlined in the PSP.
 - i. Frequent inspections of the Post-Construction treatment measures should occur during the construction phase by calling 209-831-6333

- c. Upon completion, the project shall be in full compliance with Construction General Permit including 70% stabilization of the project with Notice of Termination approval.

E4. Prior to issuance of a construction or building permit, applicant shall demonstrate compliance with the 2015 Model Water Efficient Landscape Ordinance and obtain approval by the Utilities Department through the following:

- a. Develop and submit electronically and by hard copy, a Landscape Document Package (LDP) that identifies the methods to be employed to reduce water usage through proper landscape design, installation and maintenance. Calculations submitted in a plan set is not acceptable for the LDP. This LDP shall consist of:
 - i. A project information sheet that includes the checklist of all documents in the LDP;
 - ii. The Water Efficient Landscape Worksheets that include a hydrozone information table and the water budget calculations – Maximum Applied Water Allowance and Estimate Total Water Use;
 - iii. A soil management report, after compaction and from various locations throughout the project;
 - iv. A landscape design plan that includes the statement, “I agree to comply with the requirements of the 2015 water efficient landscape ordinance and shall submit for approval a complete Landscape Document Package:
 - v. An irrigation design plan with schedule; and
 - vi. A grading design plan.
- b. A Certificate of Completion must be completed, signed, and submitted to the Utilities Department prior to Final approval for Occupancy.

F. South San Joaquin County Fire Authority (SSJCFA) Conditions of Approval

- F.1. Prior to construction, construction documents shall be submitted to the South San Joaquin County Fire Authority for review and approval prior to any construction. Construction documents shall include the following:
 - a. List construction type and occupancy type.
 - b. List all deferred submittals on the cover sheet, to include, but not limited to, fire sprinkler, fire alarm, fire pump, underground fire service, high piled storage, emergency responder coverage, etc.
 - c. Underground fire service, fire sprinkler design and installations shall be performed by a licensed fire protection agency.
 - d. Provide specifications for fire pump at deferred submittal. If fire pump is electric, auxiliary power is required.
 - e. All exterior doors shall have hardware, accessible by first responders. Doors which are locked, shall have the keys placed in the Knox boxes provided on site.
 - f. Emergency radio responder coverage is required in accordance with CFC §510. If coverage is limited and radio coverage is required, an application and construction documents shall be submitted to the South San Joaquin County Fire

Authority prior to installation. Additionally, any modifications within the shell may require additional testing to be performed.

- g. Security gates shall approved by the Fire Authority prior to installation. Construction documents shall be in accordance with CFC §503, as amended by the Tracy Municipal Code.
 - h. Address identification shall be placed in a position that is visible from the street or road fronting the property, in accordance with CFC §505, as amended by Tracy Municipal Code.
 - i. Traffic calming devices shall not be installed without approval from the Fire Marshal.
 - j. Equipment access shall be provided and maintained for all fire protection equipment to permit immediate safe operation and maintenance of such equipment. Storage, trash and other materials or objects shall not be placed or kept in such a manner that would prevent such equipment from being readily accessible.
- F.2. Prior to construction, contact the South San Joaquin County Fire Authority to obtain information on apply for a fire flow report. Report may be obtained by contacting our offices for more information. Fire flows results are valid for a period of 6 months.
- F.3. Prior to installation of the underground fire services, applicant shall submit construction drawings to the South San Joaquin County Fire Authority for review and approval. Provide locations of fire hydrants, fire risers, fire department connections and other appurtenances. Single loop fire service line shall be designed by a licensed Fire Protection Engineer and must be approved by the Fire Marshal.
- F.4. Prior to construction, all-weather access roads shall be installed and free from obstructions.
- F.5. Prior to construction, all hydrants shall be installed, tested and inspected and in operating condition.
- F.6. Prior to final inspection, Owner is responsible for obtaining any operational fire permits for the building and site. Additional fees may be required.
- F.7. Prior to occupancy, Tenant is responsible for obtaining any operational fire permits for the operation/use of the space. Additional fees may be required.
- F.8. After construction, but prior to opening for business, tenant(s) must contact the South San Joaquin County Fire Authority at 209-831-6707 to schedule a new business inspection.

G. Public Works and Finance Departments Conditions of Approval

Street/Streetlight Replacement and Maintenance. (For Industrial/Commercial development)

No later than October 31, 2021, the applicant shall make a written election, in a form approved by the City, of the funding mechanism by which the applicant will fund, in perpetuity, the costs of the operation and maintenance of the streets (from curb-to-curb, excluding gutters) to a Pavement Management System standard of PCI 70 (seventy), as reasonably determined by the City, and the electric utility costs of operating the streetlights and signals that will serve the Project (collectively, the "Infrastructure"). Prior to October 31, 2021, the City and the applicant may negotiate additional details of the Infrastructure and the funding mechanism, which details may include, without limitation, (a) the scope of the Infrastructure; (b) the geographical scope of the applicant's funding obligation; (c) the costs; (d) the inclusion of third-party owners or developers in such funding mechanism; and (e) any other issues that arise during such negotiations.

The ultimate funding mechanism may include the following options or other options that may arise during the negotiations:

a. Community Facilities District (CFD) or other funding mechanism. An agreement with the City, to be signed by the Finance Director, which may, at the City's option, be recorded against the geographical scope negotiated in the agreement ("Project Site") which stipulates that prior to the City's acceptance of the Infrastructure, the Developer will either (i) form a CFD that includes the Project Site, (ii) annex the Project Site into an existing CFD or (iii) establish another lawful funding mechanism that is reasonably acceptable to the City. If a CFD is used, formation of the CFD must include, but not be limited to, compliance with the Mello – Roos Community Facilities Act of 1982 (Gov. Code, § 53311 et seq.), affirmative votes, and the recordation of a Notice of Special Tax Lien. Developer shall be responsible for all costs associated with the CFD proceedings or the implementation of the other lawful funding mechanism.

Or

b. Direct funding. An agreement with the City, which shall be recorded against the Project Site, which stipulates that prior to the City's acceptance of the Infrastructure, Developer will deposit with the City such funds as are necessary to fund in perpetuity the long-term on-going costs of operation, maintenance and replacement of the Infrastructure, including all costs required to operate the streetlights and signals.

Or

c. POA. Developer shall, at its expense, form a Property Owner's Association (POA) for the entire Project Site that will fund the on-going operation, maintenance and replacement costs of the agreed-upon Infrastructure serving the Project Site, with

CC&Rs reasonably acceptable to the City Attorney. If the POA is the chosen funding mechanism, Developer must also annex into an existing CFD in a “dormant” capacity, with the required funding to be triggered if the POA is not created prior to the City’s acceptance of any Infrastructure, or if the POA becomes, in the City’s reasonable determination, unable to continue to fund the on-going operation, maintenance and replacement of the Infrastructure. If a POA and dormant CFD are the chosen funding mechanism, the CFD tax or assessment must be disclosed to all prospective buyers of all or any portion of the Project Site.

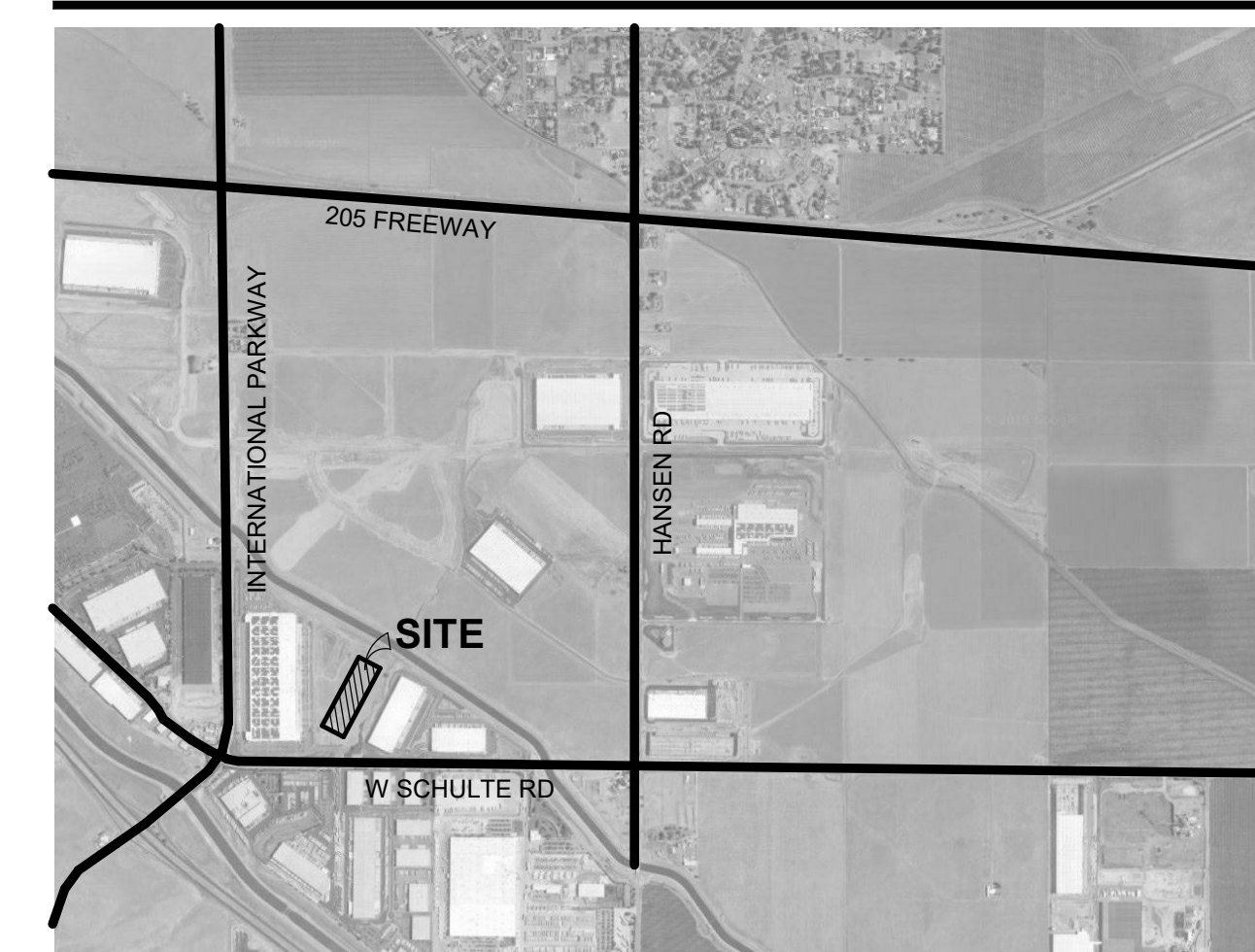
PROLOGIS
 Ahead of what's next

Project:
International Park
of Commerce -
Bldg 2












CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE **Green Design**
FIRE PROTECTION
SOILS ENGINEER

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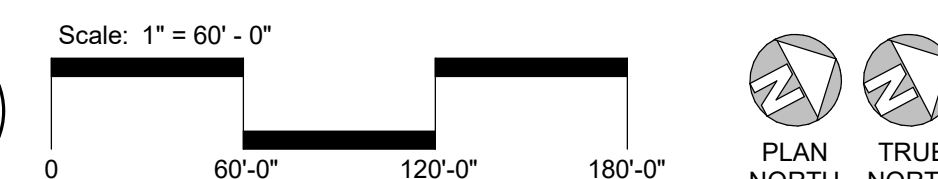
DAB-1.1



| | |
|---|-----------------------|
| <u>SITE AREA</u> | <u>BLDG. 2</u> |
| In s.f. | 1,029,454 |
| In acres | 23.6 |
| <u>BUILDING AREA</u> | |
| Office | 20,000 s.f. |
| Warehouse | <u>355,369</u> s.f. |
| TOTAL | 375,369 s.f. |
| <u>AUTO PARKING REQUIRED</u> | |
| Office @ 1/250 s.f. | 80 stalls |
| Warehouse 1st 20K @ 1/1,000 s.f. | 20 stalls |
| 2nd 20K @ 1/2,000 s.f. | 10 stalls |
| Above 40K @ 1/4,000 s.f. | <u>22</u> stalls |
| TOTAL | 189 stalls |
| <u>AUTO PARKING PROVIDED</u> | |
| Standard (9'x18'-6") | 244 stalls |
| Compacts (9'x16') | 30 stalls |
| Van accessible parking (12'x18'-6"+5' Aisle) | 4 stalls |
| Accessible Standard parking (9'x18'-6") | 4 stalls |
| Clean air/vanpool (9'x18'-6") | 7 stalls |
| EV parking (9'x18'-6") | 19 stalls |
| Accessible EV Van (12'x18'-6"+5' Aisle) | 1 stalls |
| Accessible Standard EV parking (9'x18'-6") | 1 stalls |
| TOTAL | 310 stalls |
| <u>TRAILER PARKING PROVIDED</u> | |
| Trailer (10'x53') | 79 stalls |
| <u>BICYCLE RACK REQUIRED</u> | |
| SHORT TERM (5% OF TOTAL STALLS) | 16 stalls |
| LONG TERM (5% OF TOTAL STALLS) | 16 stalls |
| <u>BICYCLE RACK PROVIDED</u> | |
| SHORT TERM (5% OF TOTAL STALLS) | 16 stalls |
| LONG TERM (5% OF TOTAL STALLS) | 16 stalls |
| <u>MAXIMUM FLOOR AREA RATIO</u> | |
| F.A.R. - 50% | |
| <u>FLOOR AREA RATIO</u> | |
| F.A.R. - 36.5% | |
| <u>ZONING ORDINANCE FOR THE CITY</u> | |
| Zoning Designation - Cordes Ranch Specific Plan | |
| - Business Park Industrial (BPI) | |
| <u>SETBACKS</u> | |
| <u>Building</u> | |
| Old Schulte Rd. - 25' | |
| Side & rear (non street) - 10' | |
| <u>Landscaping</u> | |
| Old Schulte Rd. - 25' | |

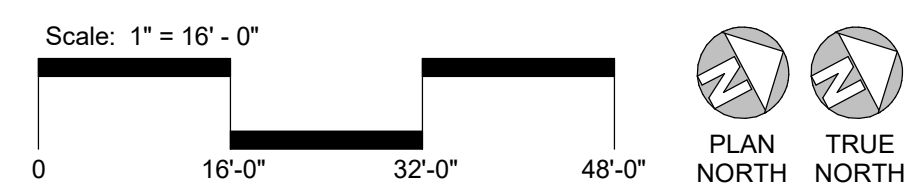
| | | | |
|---|--|---|------------------------|
|  | CONCRETE PAVING SEE "C" DRIVER FOR THICKNESS |  | |
|  | STANDARD PARKING STALL (8' X 15'-0") | | |
|  | TRAILER PARKING | | |
|  | CLEAN AIR/VAPORPOOL EV WITH CONDUIT STUBS FOR FUTURE EV | | |
|  | CLEAN AIR/VAPORPOOL EV WITHOUT CONDUIT STUBS FOR FUTURE EV |  | DOUBLE HEAD POLE LIGHT |
|  | ACCESSIBLE PARKING STALL (8' X 15'-0") = 5' W/ ACCESSIBLE AISLE |  | SINGLE HEAD POLE LIGHT |
|  | ACCESSIBLE PARKING (VAN) STALL (8' X 15'-0") = 8' W/ ACCESSIBLE AISLE |  | WALL MOUNTED LIGHT |

scale: 1" = 60'-0" (A

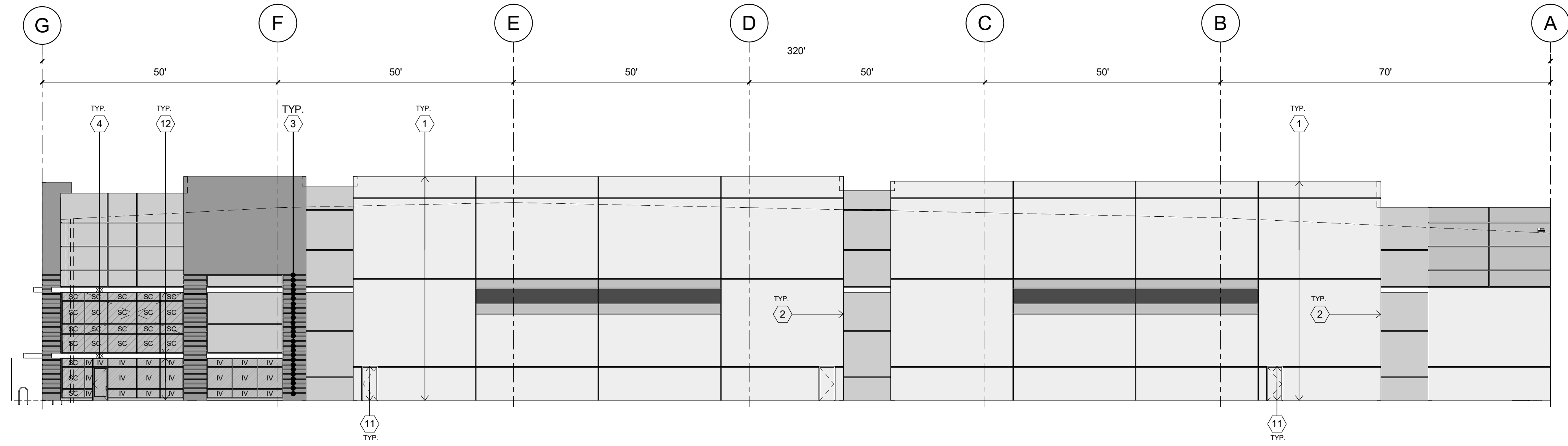




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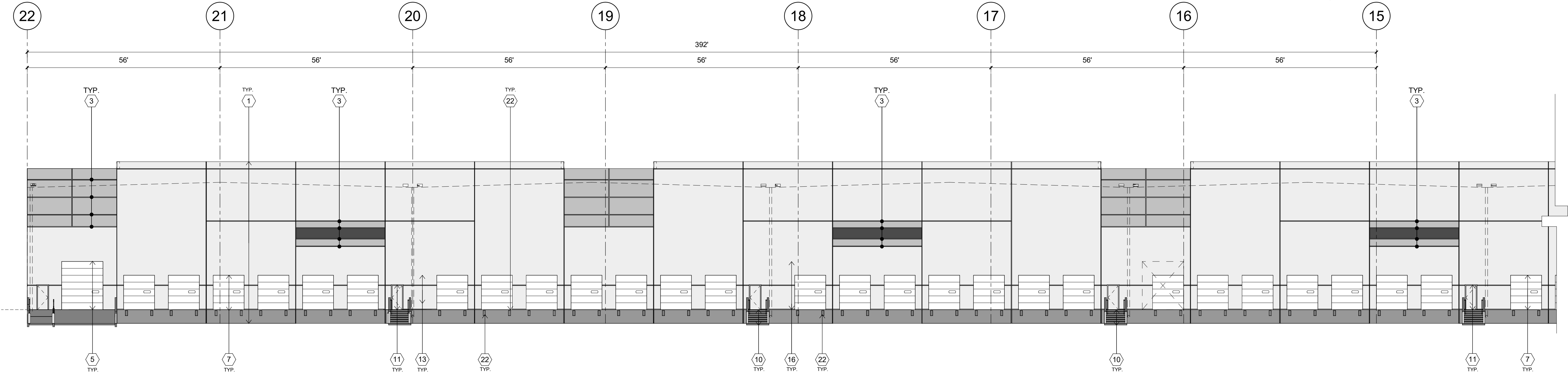
- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP 1/2" 42" HIGH CONCRETE TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- 5 9' X 10' DOCK DOOR, SECTIONAL, O.H., STANDARD GRADE. DESIGN TO RESIST CITY REQUIRED WIND SPEED.
- 6 EXTERIOR CONCRETE STAIR.
- 7 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPE AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12' MAX.
- 8 METAL CANOPY.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU, SECTIONAL, O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 12 CONCRETE FILLED GUARD POST. 6" DIA. U.N.O. 48" HIGH.
- 13 SLIDING DOOR.
- 14 INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- 15 INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- 16 Z GUARD.
- 17 INTERIOR BIKE RACK.
- 18 NOT USED.
- 19 SOFFIT LINE ABOVE.
- 20 KNOCK OUT PANEL.
- 21 ROOF ACCESS LADDER.
- 22 APPROXIMATE LOCATION OF FIRE RISERS.



North Elevation

scale: 1/16" = 1'-0"

A



West Elevation

scale: 1/16" = 1'-0"

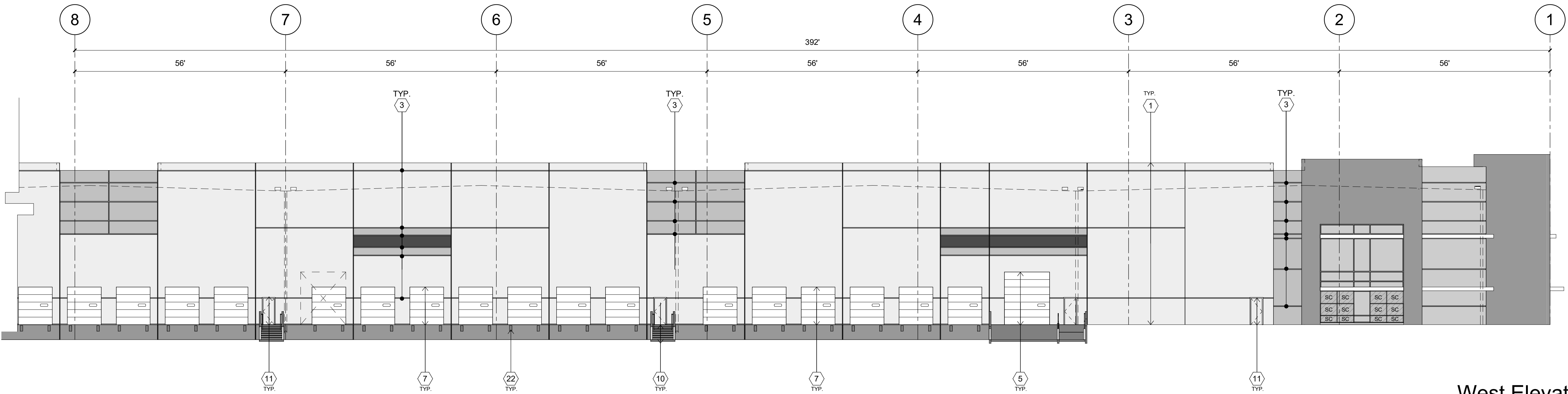
B



West Elevation Cont.

scale: 1/16" = 1'-0"

C



West Elevation Cont..

scale: 1/16" = 1'-0"

D

GENERAL NOTES - ELEVATION

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL. = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST: MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. PROVIDE 1" DIAMETER HOLES AT CONCRETE WALL.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON
11. ALL ROLL-UP DOORS AND SERVICE DOORS TO BE PAINTED TO MATCH BUILDING COLOR.

COLOR SCHEDULE - ELEVATIONS

EXTERIOR CONCRETE WALLS TO HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.

- | | | | |
|---|---|---|---|
| 1 | CONCRETE TILT-UP PANEL. PAINT BRAND SHERWIN WILLIAMS SW 7006 EXTRA WHITE 1-100 EW FLAT 5 GALLON FORMULA | 5 | METAL CANOPY PAINT BRAND SW 7006 EXTRA WHITE @METAL CANOPY |
| 2 | CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7671 ON THE ROCKS 1-100 EW FLAT 5 GALLON FORMULA CCE'COLORANT OZ 32 64 128 B1-BLACK - 4/132 - 1/128 R2-MAROON - 3/32 1/64 1/128 Y3-DEEP GOLD - 20/32 - - | 6 | GLAZING COLOR EVER GREEN GLAZING |
| 3 | CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7672 KNITTING NEEDLES A-100 EW FLAT 5 GALLON FORMULA CCE'COLORANT OZ 32 64 128 B1-BLACK 2Y 17/32 - 1/128 R2-MAROON - 7/32 1/64 - Y3-DEEP GOLD - 31/32 - 1/128 | 7 | MULLIONS PAINT BRAND CLEAR ANODIZED |
| 4 | CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7673 PEWTER CAST 1-100 EW FLAT 5 GALLON FORMULA CCE'COLORANT OZ 32 64 128 W1-WHITE 18Y 52/32 1/64 1/128 B1-BLACK 6Y 45/32 1/64 - R2-MAROON - 18/32 1/64 1/128 Y3-DEEP GOLD 2Y 11/32 - - | 8 | CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS PLD - 5 NEW DARK GREEN 1-100 EW FLAT 5 GALLON FORMULA CCE'COLORANT OZ 32 64 128 W1-WHITE 6Y 4/32 - G2-NEW GREEN 34Y 33/32 - 1/128 L1-BLUE 8Y 7/32 1/64 1/128 R2-MAROON - 58/32 1/64 1/128 Y3-DEEP GOLD 4Y 48/32 - 1/128 |
| | | 9 | DOCK DOORS PAINT BRAND FACTORY FINISHED WHITE @DOCK DOORS |

*SEE SEPERATE MATERIAL BOARD FOR PAINT AND MATERIAL LOCATIONS

GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLZING SHALL BE TEMPERED.

- | | | | |
|--|--------------------------|--|-------------------------------------|
| | INSULATED VISION GLASS | | SPANDREL GLASS WITH CONCRETE BEHIND |
| | SINGLE LITE VISION GLASS | | SPANDREL GLASS |
- IV: INSULATED VISION GLASS
1/4" ATLANTICA + 1/4" SUNGATE 400 CLEAR 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.35 VLT: 58%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
- SC: SPANDREL WITH CONCRETE BEHIND
1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE. INSTALLED ON CONCRETE.
- V: VISION GLASS
1/4" ATLANTICA
- S: SPANDREL
1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE. INSTALLED ON OPENINGS
- MULLIONS: ANODIZED CLEAR.

KEYNOTES - ELEVATIONS

1. CONCRETE TILT-UP PANEL (PAINTED).
2. PANEL JOINT.
3. PANEL REVEAL. ALL REVEALS TO HAVE A MAXIMUM OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
4. METAL TUBE STEEL CANOPY.
5. OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER STRIPPING PROTECTION ALL AROUND.
6. 42" HIGH CONCRETE RETAINING WALL.
7. OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER STRIPPING PROTECTION ALL AROUND.
8. NOT USED.
9. BUILDING ADDRESS PER FIRE DEPARTMENT REQUIREMENTS. 18" HIGH X 2" THICK HIGH DENSITY FOAM "HELVETICA BOLD" LETTER W/ 1/16" PVC FACES EPOXY TO WALL. COLOR TO BE SELECTED BY ARCHITECT. BUILDING ADDRESS TO BE CONFIRMED BY CITY.
10. EXTERIOR CONCRETE STAIR.
11. HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
12. ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
13. METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
14. NOT USED.
15. ROOF LINE BEYOND.
16. KNOCK-OUT PANEL.
17. TRELLIS
18. 5'-6" X 5'-6" CONCRETE LANDING PAD.
19. BIKE RACK.
20. OUTDOOR BREAK AREA
21. NOT USED.
22. DOCK BUMPER.
23. CONCRETE LANDING WITH PIPE RAIL.
24. INTERIOR DOWN SPOUTS & 2 OVERFLOW SOUPPERS.
25. WALL MOUNTED LIGHTING FIXTURES.
26. APPROXIMATE LOCATION OF KNOX-BOX.



hpa, inc.
18831 bardeen avenue - ste.
#100 irvine, ca 92612
tel: 949 863 1770
fax: 949 863 0851
email: hpa@hparchs.com



Owner:



3353 Gateway Boulevard
Fremont, California 94538
tel: (510) 656-1900
fax: (510) 656-4320

Project:
International Park
of Commerce -
Bldg 2

6751 W Schulte Road
Tracy, CA

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

K&W
Green Design

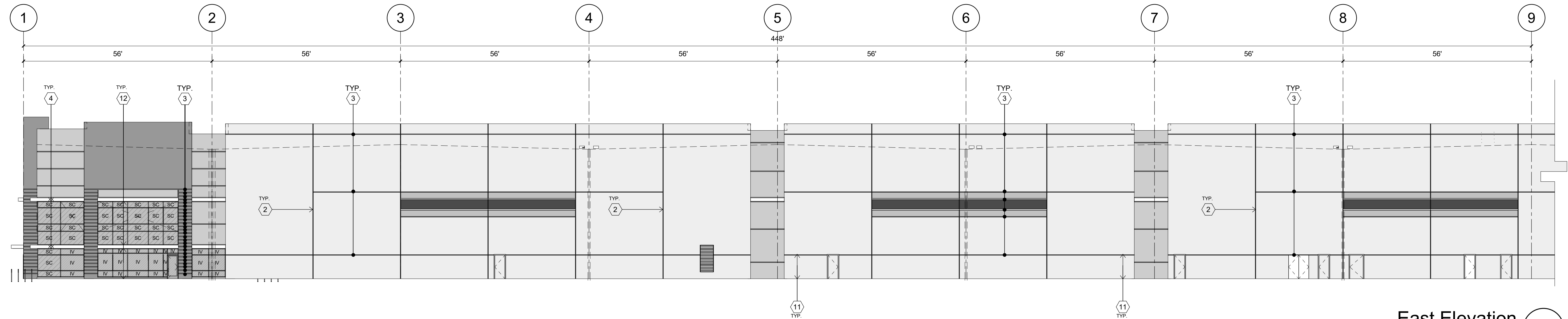
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Project Number: 19451
Drawn by: SPT
Date: 08/11/2020
Revision:

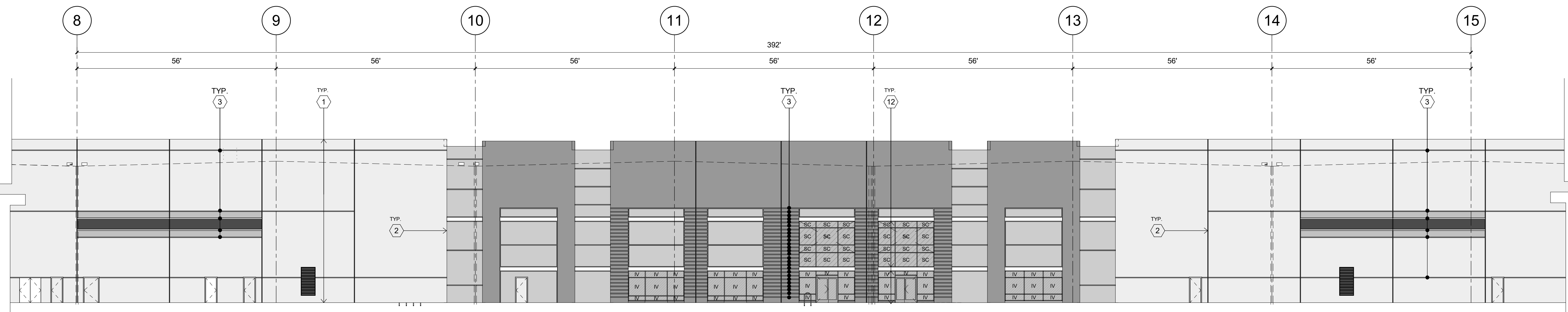
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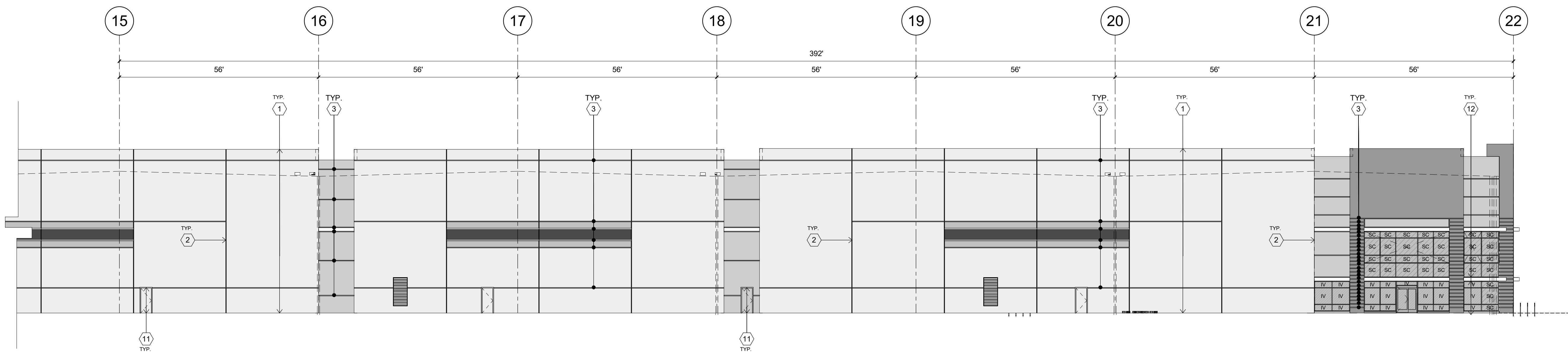
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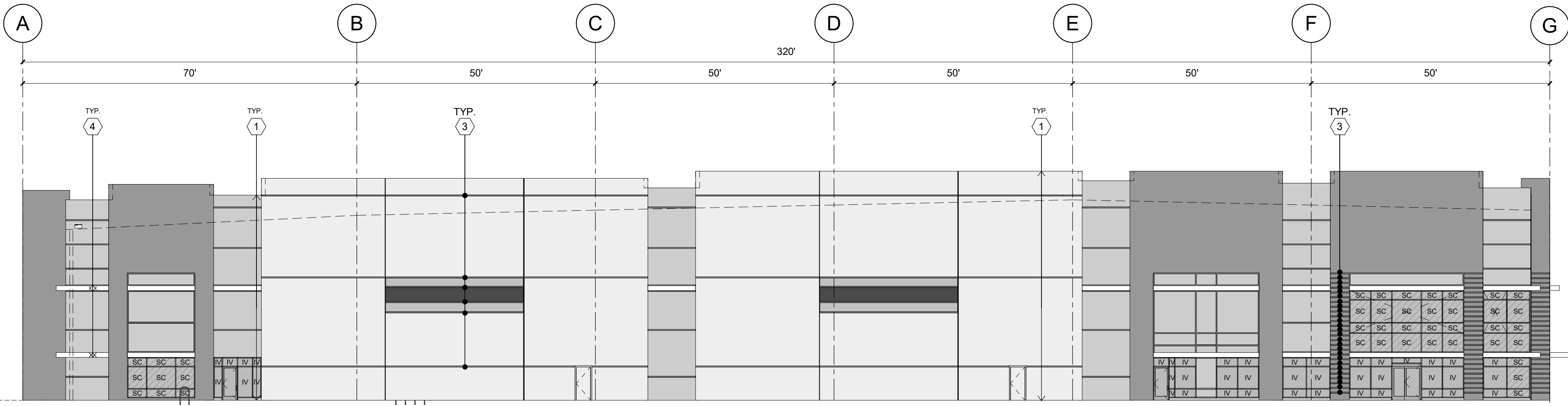
East Elevation
scale: 1/16" = 1'-0" A



East Elevation Cont.
scale: 1/16" = 1'-0" B



East Elevation Cont..
scale: 1/16" = 1'-0" C



South Elevation
scale: 1/16" = 1'-0" D

GENERAL NOTES - ELEVATION

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST - MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. PROVIDE 1" DIAMETER HOLES AT CONCRETE WALL.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON
11. ALL ROLL-UP DOORS AND SERVICE DOORS TO BE PAINTED TO MATCH BUILDING COLOR.

COLOR SCHEDULE - ELEVATIONS

EXTERIOR CONCRETE WALLS TO HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.

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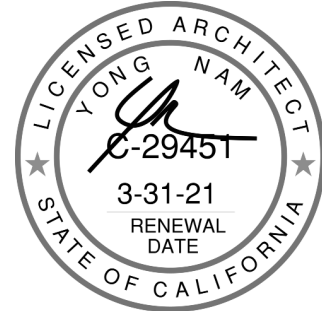
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- 25 WALL MOUNTED LIGHTING FIXTURES.
- 26 APPROXIMATE LOCATION OF KNOX-BOX.



hpa, inc.
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tel: 949 863 1770
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email: hpa@hparchs.com



Owner:



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tel: (510) 656-1900
fax: (510) 656-4320

Project:
International Park
of Commerce -
Bldg 2

6751 W Schulte Road
Tracy, CA

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

K&W

Green Design

Title: ELEVATIONS

Project Number: 19451
Drawn by: SPT
Date: 08/11/2020
Revision:

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Sheet:

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PROLOGIS
Ahead of what's next

3353 Gateway Boulevard
Fremont, California 94538
tel: (510) 656-1900
fax: (510) 656-4320

PROLOGIS

IPC 2

751 W Schulte Road
Tracy, CA

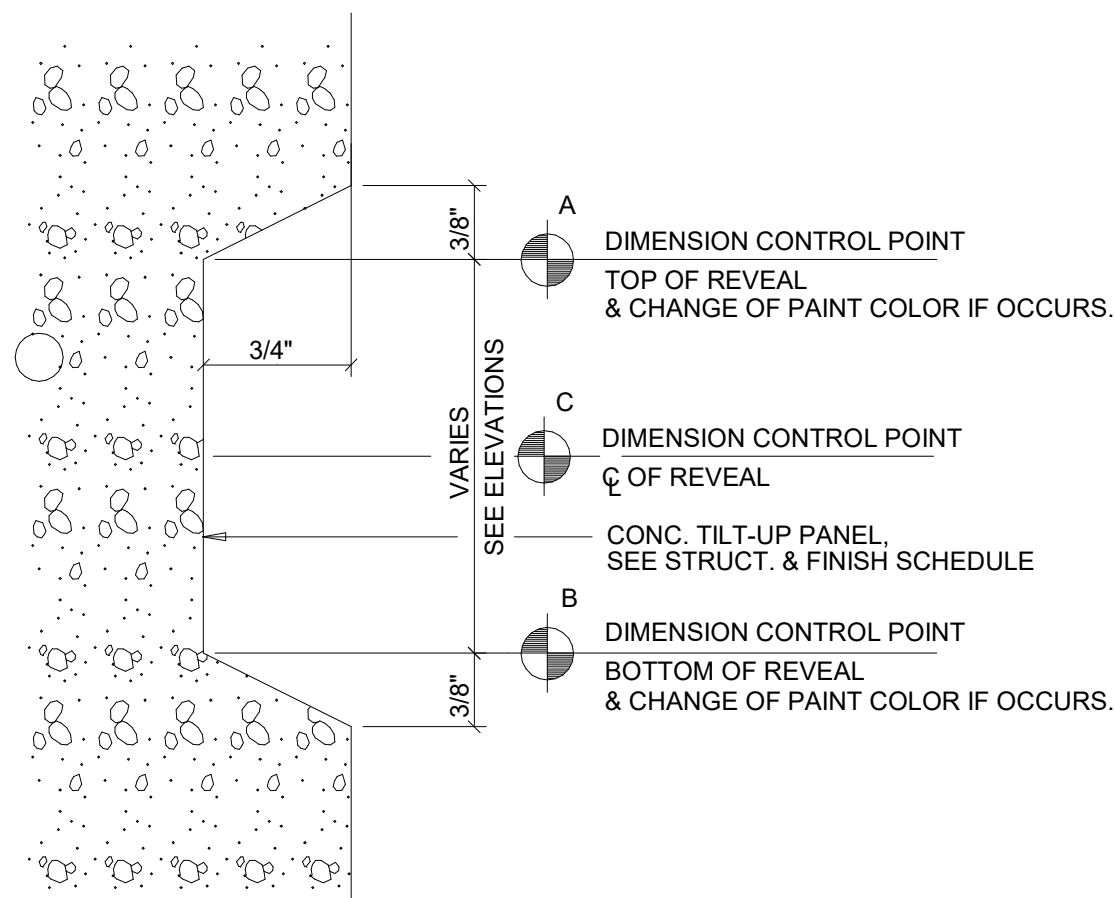
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| CIVIL | K&W |
| STRUCTURAL | BTI |
| MECHANICAL | RPM |
| PLUMBING | RPM |
| ELECTRICAL | RPM |
| LANDSCAPE | Green Design |
| FIRE PROTECTION | HGI |
| BOILERS ENGINEER | Kleinfelder |

Project Number: 19451
Drawn by: SPT
Date: 05/11/2020
Revision:

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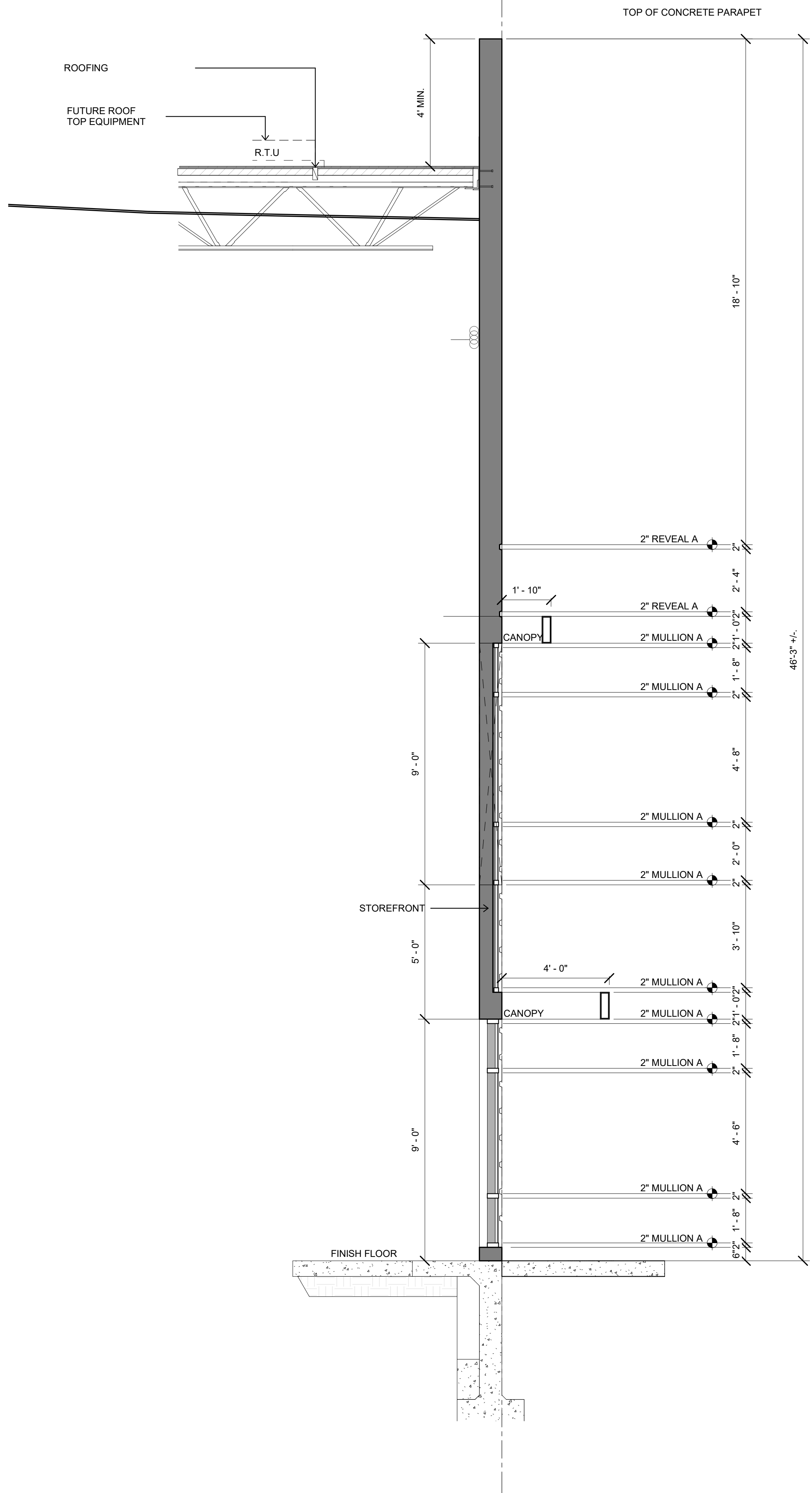
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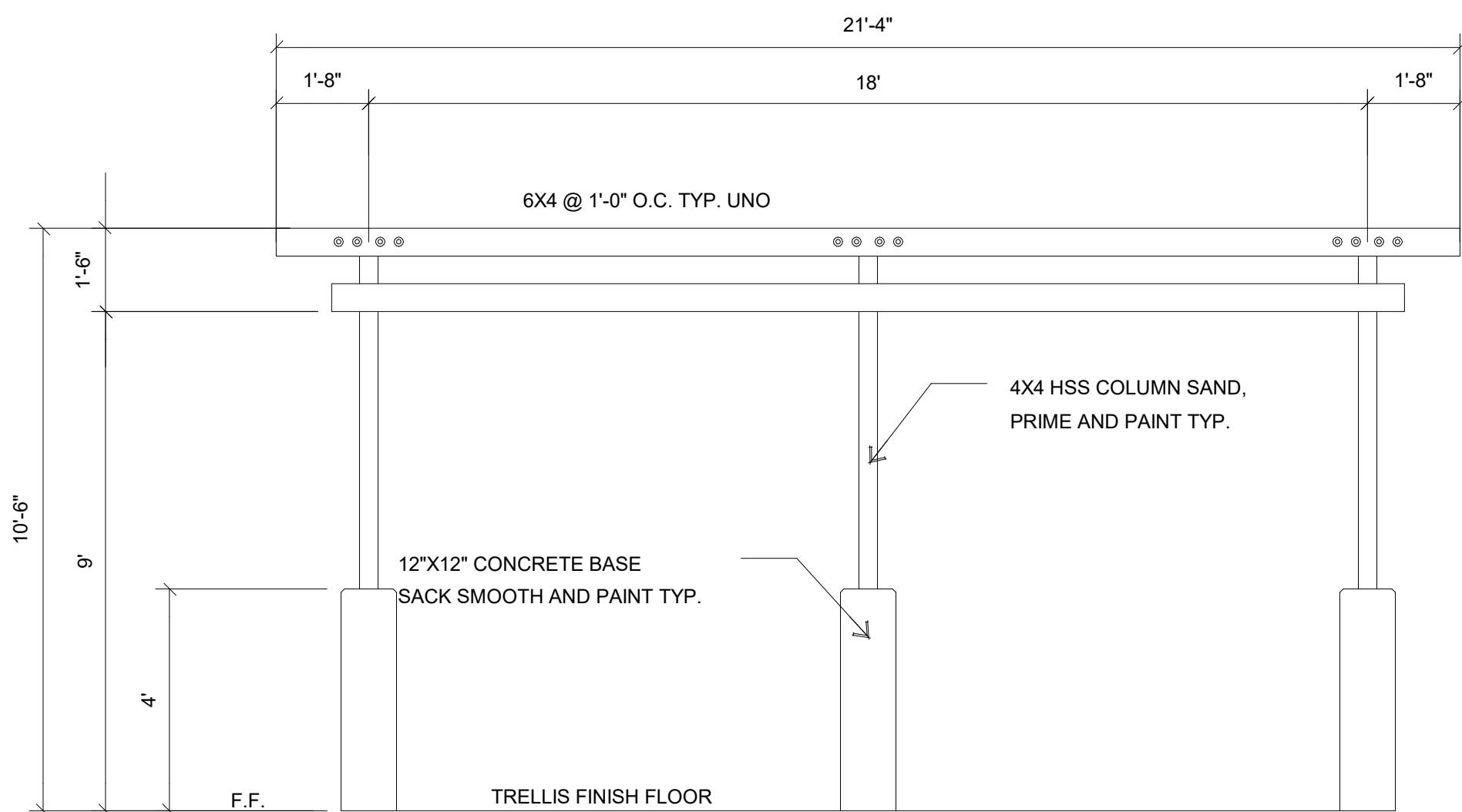
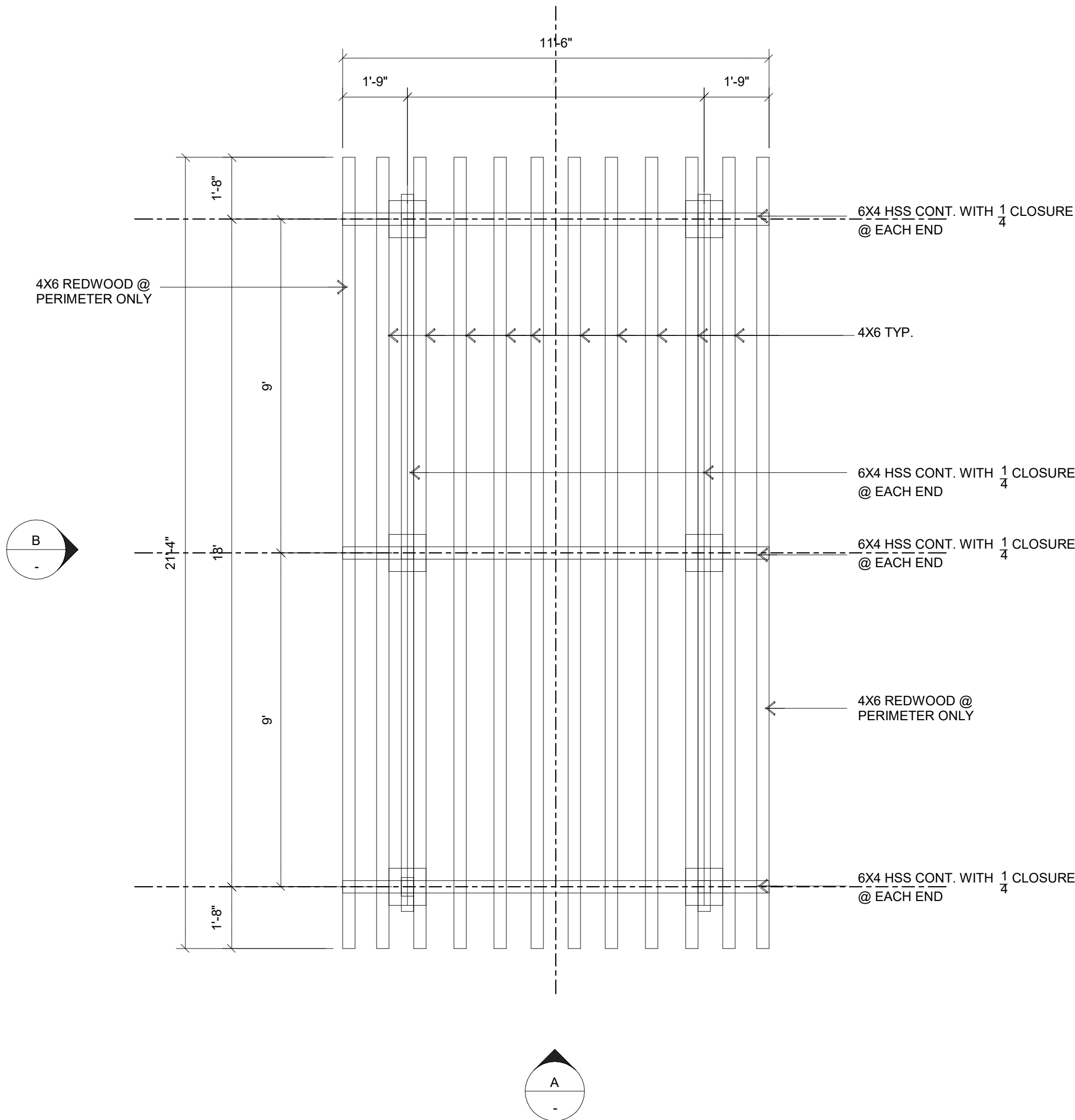
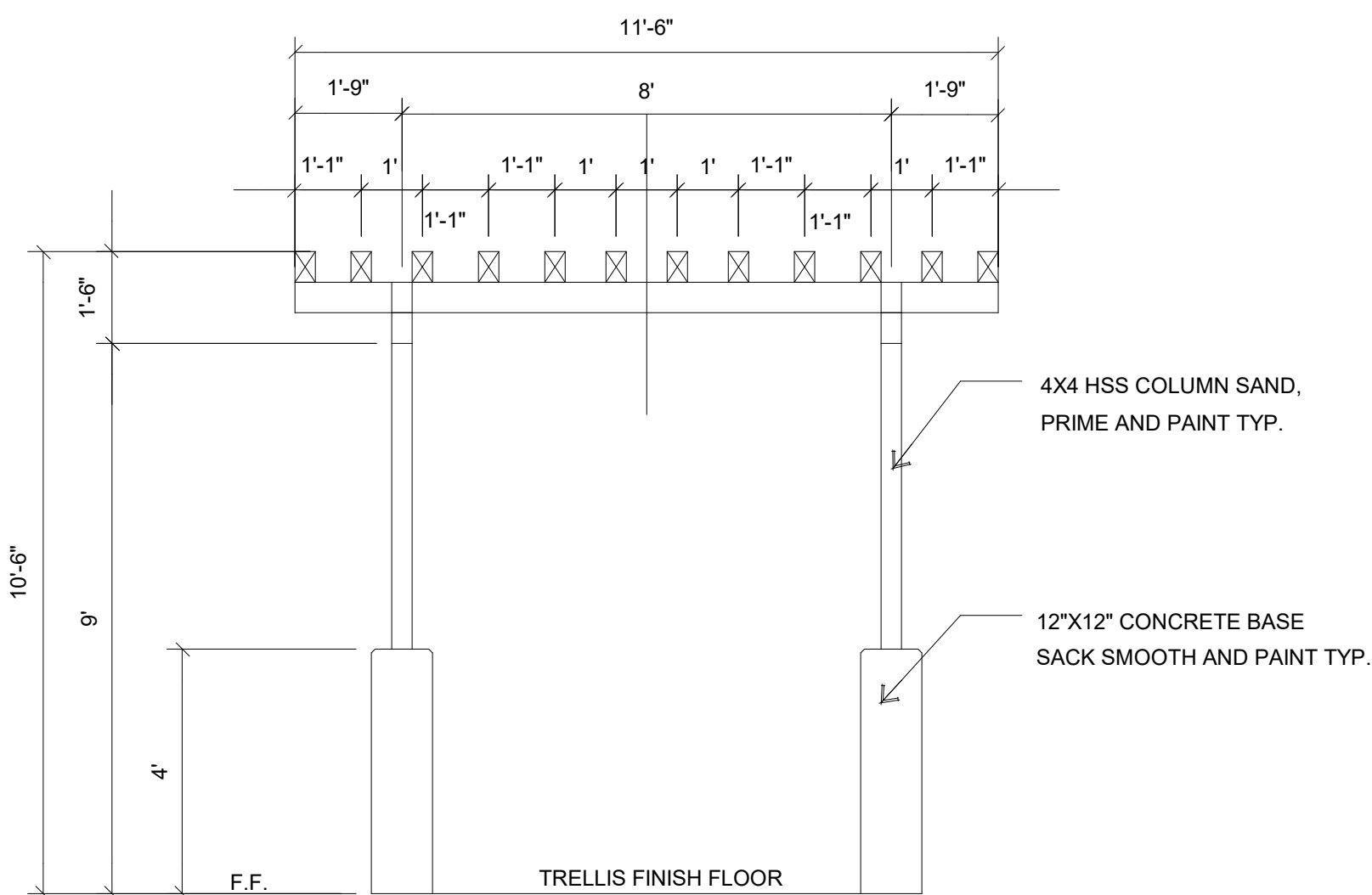
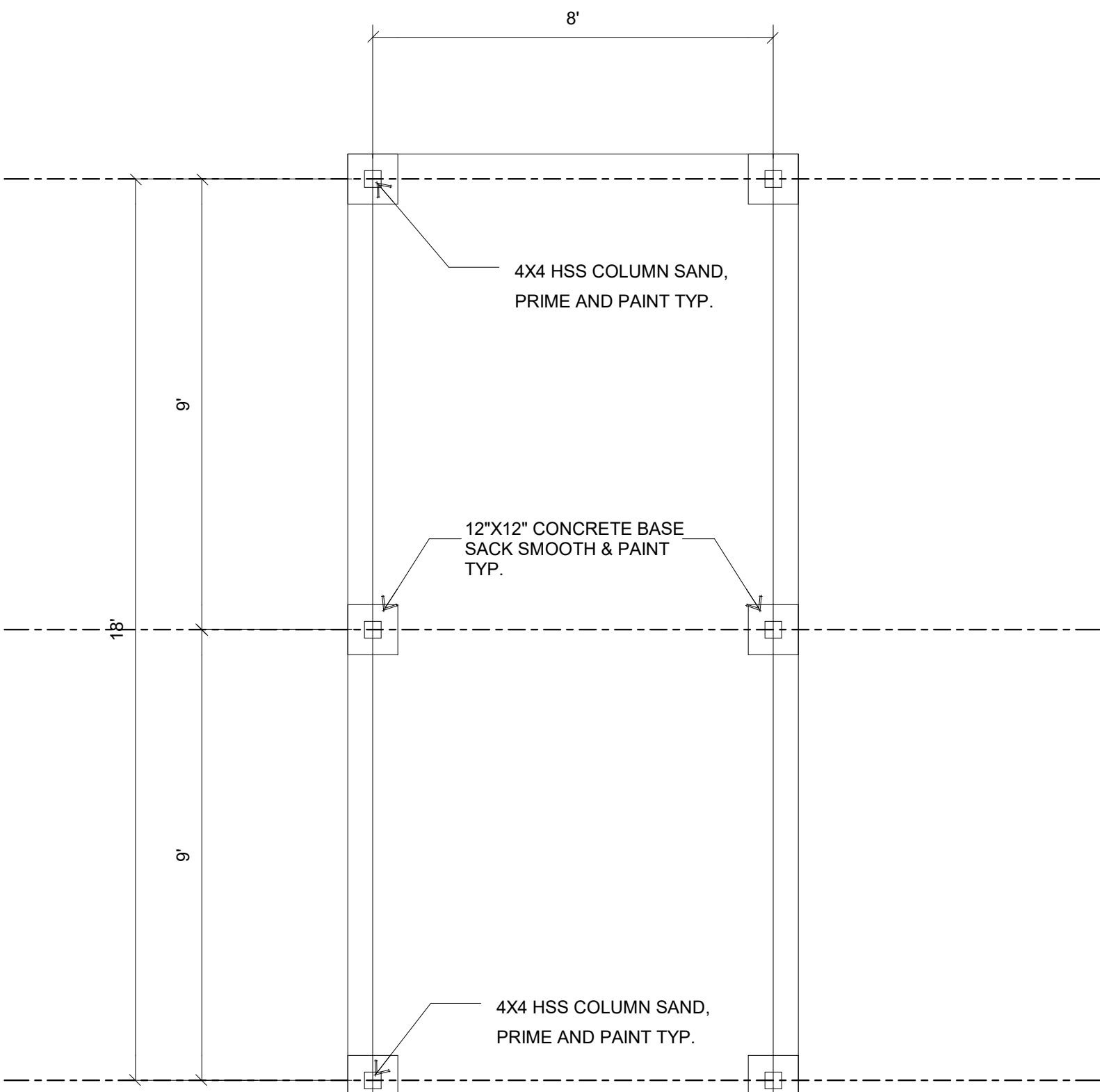
NOTES:

1. DIMENSION CONTROL POINTS AT REVEALS AND EDGE OF CONCRETE OPENINGS WHERE OCCUR, SEE WALL SECTIONS.
2. PAINT COLOR CHANGES TO ALWAYS OCCUR AT CONTROL POINT "A" OR "B"

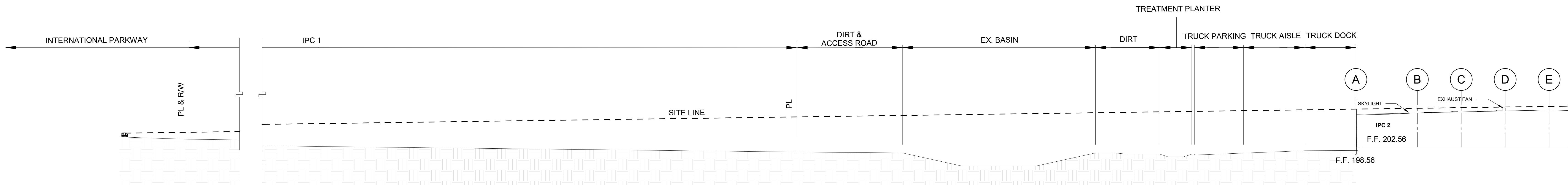
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scale: $3/8" = 1'-0"$



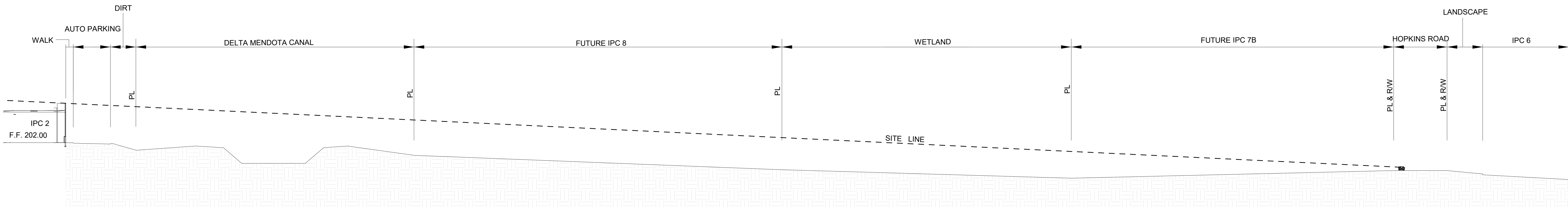
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SITE LINE SECTION A

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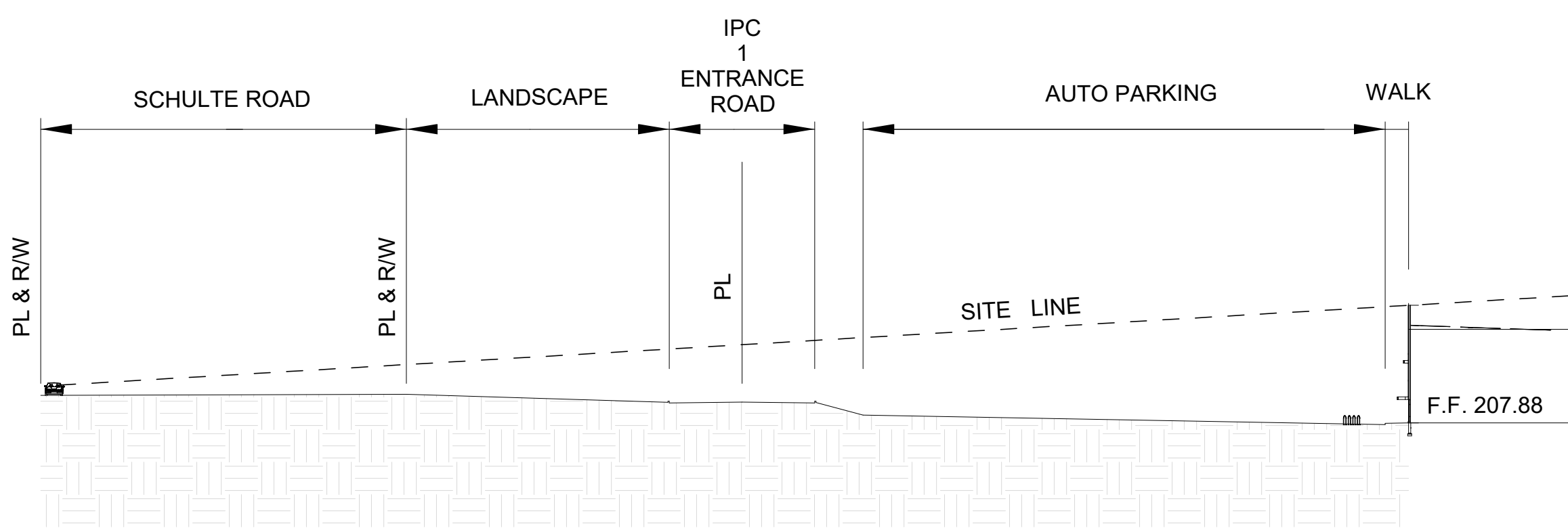
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SITE LINE SECTION B

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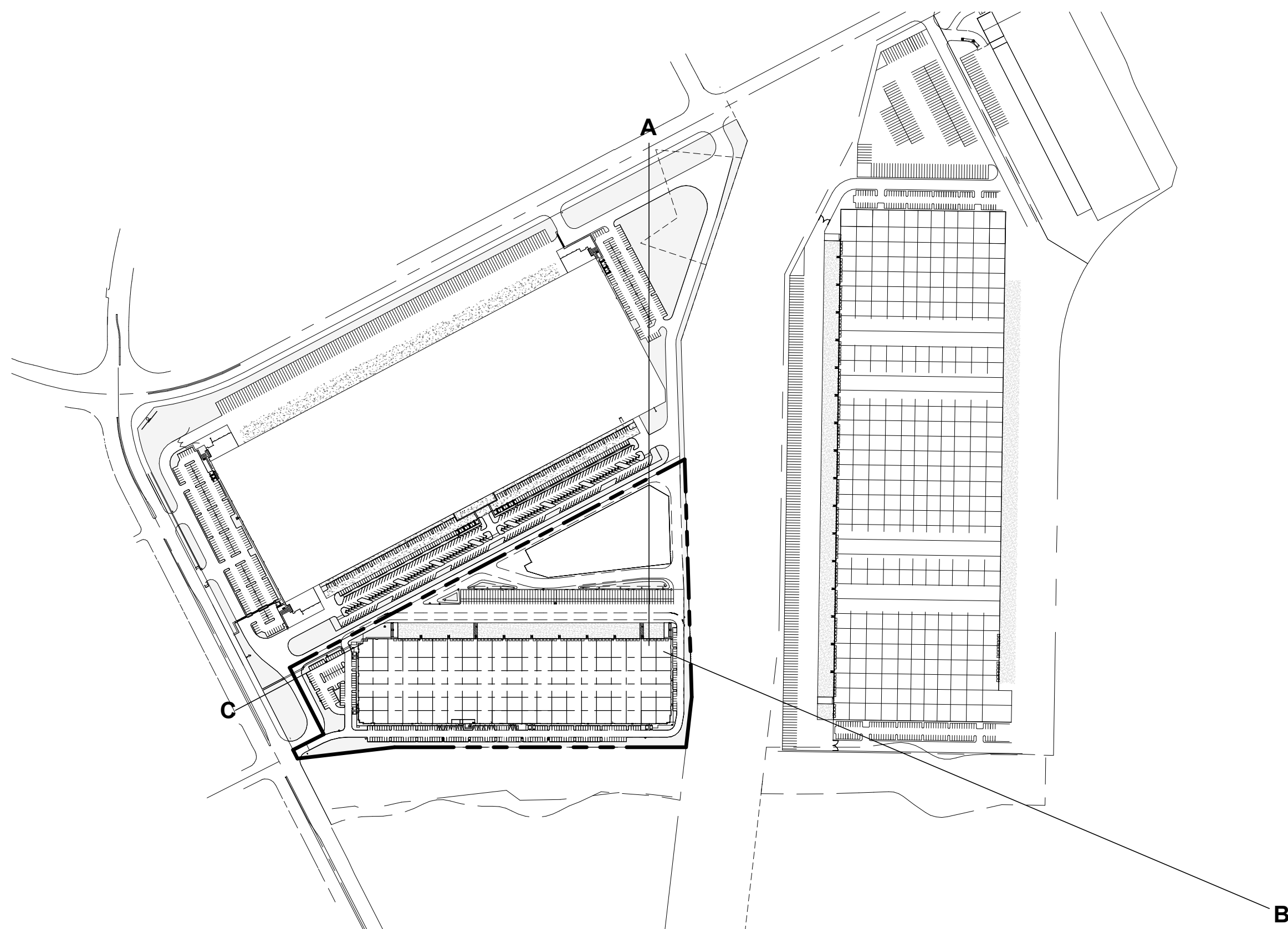
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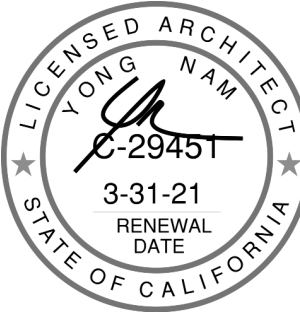
SITE LINE SECTION C

scale: 1" = 50'-0"

C



hpa, inc.
18831 bardeen avenue - ste.
#100 irvine, ca
92612
tel: 949 863 1770
fax: 949 863 0851
email: hpa@hparchs.com



Owner:



3353 Gateway Boulevard
Fremont, California 94538
tel: (510) 656-1900
fax: (510) 656-4320



Project:

PROLOGIS IPC 2

6751 W Schulte Road
Tracy, CA



Consultants:

| | |
|-----------------|--------------|
| CIVIL | K&W |
| STRUCTURAL | BTI |
| MECHANICAL | RPM |
| PLUMBING | RPM |
| ELECTRICAL | RPM |
| LANDSCAPE | Green Design |
| FIRE PROTECTION | HGI |
| SOILS ENGINEER | Kleinfelder |



Title: SITE LINE SECTION

Project Number: 19451
Drawn by: SPT
Date: 05/11/2020
Revision:

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Sheet:

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INTERNATIONAL PARK OF COMMERCE
BUILDING 2

PROLOGIS
SCHULTE ROAD
TRACY, CALIFORNIA

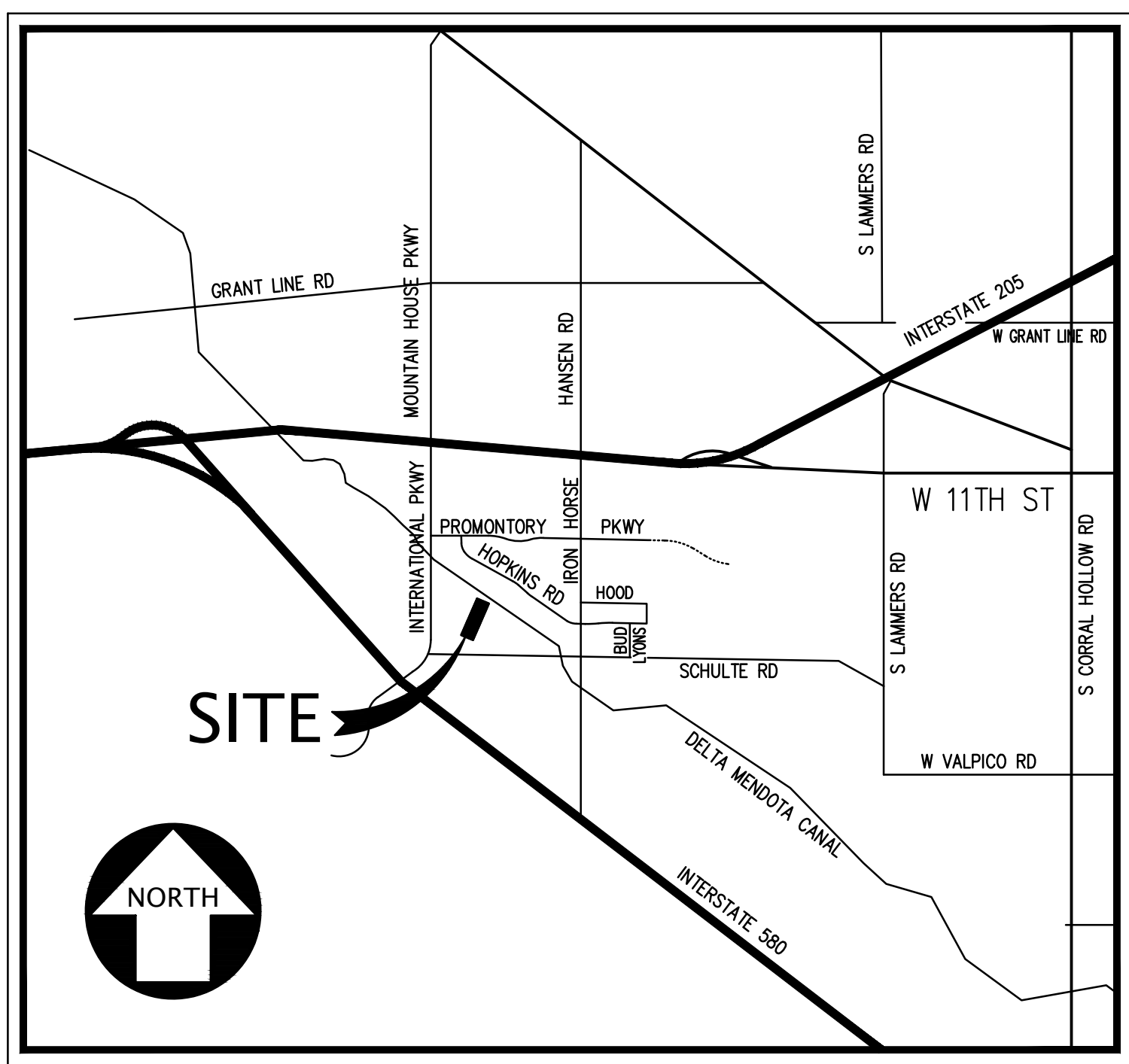
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EARTHWORK SUMMARY

CUT: 59,000± CY (RAW)
FILL: 59,000± CY (RAW)

NOTE:

THE EARTHWORK QUANTITIES LISTED ON THESE PLANS ARE STATED ONLY FOR CALCULATION OF GRADING AND BUILDING PERMIT FEES. THESE QUANTITIES DO NOT INCLUDE TRENCH OR FOOTING SPOILS, SHRINK OR SWELL FROM COMPACTING EFFORTS OR OTHER VARIABLES. THE ENGINEER MAKES NO REPRESENTATION THIS SITE WILL BALANCE. THE CONTRACTOR SHALL DETERMINE HIS OWN EARTHWORK QUANTITIES AND BASE HIS BID ACCORDINGLY.



VICINITY MAP
N.T.S.

REQUIRED GEOTECHNICAL TESTING & OBSERVATIONS

- OBSERVATION AND TESTING DURING SOIL STABILIZATION ACTIVITIES OF PARKING AREAS.
- OBSERVATION AND TESTING DURING SOIL STABILIZATION ACTIVITIES OF BUILDING PAD AREAS
- COMPACTION TESTING AND OBSERVATION DURING EARTHWORK FILL OPERATIONS.
- FOOTING EXCAVATION OBSERVATION.
- COMPACTION TESTING AND BACKFILL OBSERVATION OF NEW PROJECT SERVICING UNDERGROUND UTILITIES.
- COMPACTION TESTING AND OBSERVATION DURING SUBGRADE PREPARATION AND AGGREGATE BASE PLACEMENT FOR AREAS OF EXTERIOR CONCRETE FLATWORK.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT AND THEN POT-HOLING ALL EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

BEFORE EXCAVATING
CALL U.S.A.
811
48-HOURS BEFORE ALL
PLANNED WORK OPERATIONS



PROLOGIS

3353 Gateway Boulevard
Fremont, CA 94538
Phone: 510.661.4013
Fax: 510.661.4033

LEGEND

| PROPOSED | EXISTING | PROPOSED | EXISTING |
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SHEET INDEX

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| C.1.1 | TITLE SHEET |
| C.1.2 | NOTES |
| C.2.1 | TOPOGRAPHIC SURVEY |
| C.3.1 | GRADING AND DRAINAGE PLAN |
| C.3.2 | PUBLIC STORM DRAIN PLAN AND PROFILE |
| C.4.1 | UTILITY PLAN |
| C.4.2 | SANITARY SEWER PUMP DETAILS |
| C.5.1 | EROSION CONTROL PLAN |
| C.6.1 | STORMWATER QUALITY CONTROL PLAN |
| C.7.1 | HORIZONTAL CONTROL PLAN |
| C.8.1 | DETAILS |
| C.8.2 | DETAILS |
| C.8.3 | GRADING & DETAILS SECTIONS |

BENCHMARK

BENCHMARK: TOP OF A STEEL PIN IN A MONUMENT WELL AT THE INTERSECTION OF SCHULTE ROAD AND HANSEN ROAD.

ELEVATION = 180.32 FEET (CITY OF TRACY NAVD 1988 DATUM)

GEOTECHNICAL ENGINEERS
(FOR CONFORMANCE WITH THE GEOTECHNICAL REPORT)

BY: _____ DATE: _____

APPROVED: SOUTH SAN JOAQUIN COUNTY FIRE AUTHORITY (FOR FIRE SERVICE LOCATION)

BY: _____ DATE: _____

CITY OF TRACY

APPROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS PUBLIC INTEREST REQUIRES MODIFICATION OF OR A DEPARTURE FROM THE SPECIFICATIONS AND DETAILS OF THE CITY OF TRACY OR THESE PLANS, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATIONS OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE AT NO COST TO THE CITY. APPROVED AS TO DESIGN ONLY BASED ON THE INFORMATION SUBMITTED HEREON. APPROVED FOR THE CITY OF TRACY

SEE GRADING PERMIT SET

ROBERT ARMJO CITY ENGINEER DATE: _____

| NO. | REVISION | BY | NO. | REVISION | BY |
|-----|------------------------|------------|-----|----------|----|
| 1 | 1ST PLANNING SUBMITTAL | 10/28/2019 | 1 | | |
| 2 | 40% PROGRESS SET | 12/06/2019 | 2 | | |
| 3 | 80% PROGRESS SET | 01/08/2020 | 3 | | |
| 4 | 2nd PLANNING SUBMITTAL | 02/18/2020 | 4 | | |
| 5 | 3rd PLANNING SUBMITTAL | 05/11/2020 | 5 | | |



2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
www.kierwright.com



TRACY

TITLE SHEET
I.P.C. - BUILDING 2
PROLOGIS

CALIFORNIA

| | |
|----------|------------|
| DATE | 08/06/2020 |
| SCALE | - |
| DESIGNER | M.C. |
| JOB NO. | A09500-175 |
| SHEET | C.1.1 |
| OF | 12 SHEETS |

CITY OF TRACY STANDARD NOTES:

1. ALL WORK SHALL CONFORM TO THE CITY OF TRACY SPECIFICATIONS AND STANDARD PLANS. THE WORK IS SUBJECT TO THE CITY ENGINEER, AND THE ENGINEERING DIVISION INSPECTORS. CONTACT: ENGINEERING DIVISION CONSTRUCTION MANAGEMENT AT (209)-831-4600, TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF ANY WORK TO ARRANGE FOR INSPECTION.
2. THESE PLANS HAVE BEEN CHECKED BY THE CITY OF TRACY FOR CONFORMANCE WITH THE CITY'S MINIMUM STANDARDS, BUT SUCH CHECKING BY THE CITY DOES NOT RELIEVE THE DEVELOPER FROM ITS RESPONSIBILITY TO FIND AND CORRECT ERRORS, OMISSIONS OR MAKE CHANGES REQUIRED BY CONDITIONS DISCOVERED IN THE FIELD DURING THE COURSE OF CONSTRUCTION. ANY REQUEST BY THE DEVELOPER TO CHANGE THESE PLANS SHALL BE SUBMITTED IN WRITING TO THE CITY ENGINEER.
3. REFER TO THE FINAL MAP OF THIS TRACT FOR PROPERTY LINE DATA.
4. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND SIGNED BY THE CITY ENGINEER PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
5. ALL CONSTRUCTION STAKING FOR CURB, GUTTER, SIDEWALK, SANITARY SEWERS, STORM DRAINS, WATER LINES, FIRE HYDRANTS, AND ELECTROLIERS, ETC., SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
6. THE EXISTING UTILITIES ARE PLOTTED FROM AVAILABLE RECORDS. THE DEVELOPER SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THESE UTILITIES. THE DEVELOPER SHALL PERFORM NO EXCAVATION UNTIL ALL UTILITY AGENCIES AND THE CITY OF TRACY HAVE BEEN NOTIFIED AND HAVE BEEN GIVEN THE OPPORTUNITY TO MARK THEIR FACILITIES IN THE FIELD. NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
7. HOUSE SERVICES, FIRE HYDRANT LATERALS, GAS AND TELEPHONE LINES, AND ALL OTHER UNDERGROUND UTILITIES SHALL BE INSTALLED PRIOR TO CURB, GUTTER, AND SIDEWALK CONSTRUCTION AND STREET PAVING.
8. SURVEY MONUMENTS SHALL BE FURNISHED AND INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN. SUBMIT A LETTER OF CERTIFICATION FROM THE LICENSED LAND SURVEYOR CERTIFYING THAT ALL MONUMENTS ARE CENTERLINE MONUMENTS AND ARE INSTALLED AND TAGGED IN ACCORDANCE WITH THE APPROVED FINAL MAP PRIOR TO TRACT ACCEPTANCE.
9. ALL LINES ABANDONED DURING CONSTRUCTION SHALL BE REMOVED.
10. ALL SANITARY SEWER MAINS SHALL BE TELEVISION INSPECTED (TAPES SHALL BE GIVEN TO THE CITY OF TRACY), FLUSHED WITH AN APPROVED SEWER BALL AND PASS A LEAKAGE TEST IN CONFORMANCE WITH CITY OF TRACY STANDARD SPECIFICATIONS PRIOR TO ACCEPTANCE BY THE CITY. ALL TESTING SHALL BE PERFORMED AFTER THE COMPACTION OF STREET BASE ROCK AND PRIOR TO PAVING.
11. ALL WATER LINES SHALL BE PRESSURE-TESTED, DISINFECTED, FLUSHED, AND TESTED FOR BACTERIA IN CONFORMANCE WITH THE CITY OF TRACY DESIGN STANDARDS AND STANDARD SPECIFICATIONS PRIOR TO FINAL ACCEPTANCE BY THE CITY.
12. TESTING
(A) ALL INDEPENDENT LABORATORY INSPECTION CALLED FOR BY THE CITY ENGINEER WILL BE PAID FOR BY THE DEVELOPER.
(B) ROADWAY SUB-BASE, BASE AND TRENCH BACKFILL COMPACTION TESTING SHALL BE PERFORMED BY A SOILS LAB CONTRACTING WITH THE CITY OF TRACY.
(C) TESTS FOR R-VALUES ARE REQUIRED PRIOR TO THE INSTALLATION OF BASE ROCK.
(D) A MINIMUM OF 48 HOURS NOTICE IS REQUIRED TO SCHEDULE ALL SOILS TESTING SERVICES.
13. STREET SIGNS SHALL BE INSTALLED AT ALL INTERSECTIONS PER CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS.
14. TRAFFIC SIGNS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND MUTCD CALIFORNIA SUPPLEMENTAL AT LOCATIONS SPECIFIED BY CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS.
15. STREET STRIPING SHALL INCLUDE STOP BARS, CENTERLINE STRIPING OR MARKERS, CROSSWALKS AND ALL OTHER MARKINGS REQUIRED BY THE CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS. STRIPING SHALL BE DONE WITH THERMOPLASTIC AND REFLECTIVE MARKERS. STRIPING ON MAJOR ROADS SHALL BE CAT-TRACKED AND APPROVED PRIOR TO FINAL INSTALLATION.
16. ALL TRENCHES SHALL BE BACK-FILLED IN ACCORDANCE WITH CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS. COMPACTION SHALL BE ACHIEVED BY MECHANICAL MEANS. NO FLOODING, PONDING OR JETTING SHALL BE PERMITTED.
17. WHEN WIDENING THE PAVEMENT ON AN EXISTING ROAD, THE EXISTING PAVEMENT SHALL BE CUT TO A NEAT LINE AND REMOVED BACK TO AN EXISTING ADEQUATE STRUCTURAL SECTION, OR TO THE ORIGINAL ROAD SECTION. AN EXPLORATORY TRENCH, OR POT HOLING, MAY BE REQUIRED TO DETERMINE THE LIMITS OF PAVEMENT REMOVAL.
18. EXISTING CURB AND SIDEWALK WITHIN THE PROJECT LIMITS THAT ARE DAMAGED OR DISPLACED, EVEN THOUGH THEY WERE NOT TO BE REMOVED, SHALL BE REPAIRED OR REPLACED PER CITY STANDARD PLANS EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED BY THE DEVELOPER.
19. AT THE INTERSECTION OF TWO STREETS, THE FULL STRUCTURAL SECTION OF THE MOST PROMINENT STREET SHALL BE CONTINUED THROUGH THE INTERSECTION.
20. THE THICKNESS OF SUB-BASE, BASE AND SURFACING SHALL BE DETERMINED BY THE CITY ENGINEER BASED ON TRAFFIC INDEX AND SOIL TEST FOR "R" VALUE TAKEN AFTER ROUGH GRADING AT THE LEVEL OF THE STREET SUB-GRADE.
21. ASBESTOS CEMENT PIPE (ACP) OR FITTINGS SHALL NOT BE USED WITHIN THE CITY OF TRACY.
22. ALL STREET MONUMENTS, LOT CORNER, AND OTHER PERMANENT PIPE OR MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BEFORE ACCEPTANCE OF IMPROVEMENTS BY THE CITY OF TRACY.
23. THE DEVELOPER SHALL CONTROL DUST AT ALL TIMES DURING CONSTRUCTION AS REQUIRED BY THE CITY OF TRACY.
24. PRIOR TO TRENCHING FOR ANY SEWER, WATER, OR STORM DRAIN PIPE, THE DEVELOPER SHALL VERIFY, IN THE FIELD, THE SIZE AND LOCATION OF THE EXISTING PIPE AT THE POINT OF CONNECTION. ANY DEVIATION FROM THE PLANS SHALL BE RESOLVED BY THE DESIGN ENGINEER PRIOR TO TRENCHING.
25. MANHOLES, VALVES, CLEANOUTS, ETC., SHALL BE BROUGHT TO FINISH GRADE BY THE DEVELOPER AFTER THE FINAL PAVING COURSE IS PLACED.
26. THE INSTALLATION OF EROSION CONTROL FACILITIES SHALL BE COMPLETED PRIOR TO OCTOBER 15 AND SHALL BE MAINTAINED DAILY UNTIL APRIL 15. THESE FACILITIES SHALL CONTROL AND CONTAIN EROSION CAUSED SILT DEPOSITS AND PROVIDE FOR SAFE DISCHARGE OF SILT-FREE STORM WATER INTO EXISTING STORM DRAIN FACILITIES. DESIGN OF THESE FACILITIES MUST BE UPDATED EACH YEAR PRIOR TO SEPTEMBER 30 AND SHALL BE APPROVED BY THE CITY ENGINEER.
27. IF, DURING CONSTRUCTION, ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED, CONSTRUCTION IN THE VICINITY SHALL BE HALTED, AN ARCHAEOLOGIST CONSULTED, AND THE CITY COMMUNITY DEVELOPMENT DEPARTMENT NOTIFIED. IF, IN THE OPINION OF THE ARCHAEOLOGIST, THE REMAINS ARE SIGNIFICANT, MEASURES AS MAY BE REQUIRED BY THE COMMUNITY DEVELOPMENT DIRECTORS, SHALL BE TAKEN TO PROTECT THEM.
28. WORK SHALL BE RESTRICTED TO WEEKDAYS BETWEEN 7:30AM AND 7:00PM AND WEEKENDS BETWEEN 9:00AM AND 5:00PM. WORK WHICH REQUIRES ANY TRAFFIC LANE CLOSURES OR RESTRICTION OF THE TRAVELED WAY SHALL BE LIMITED TO 9:00AM TO 3:30PM IN THE COMMUTE DIRECTION AND 8:00 AM TO 4:30 PM IN THE NON-COMMUTE DIRECTION. COMMUTE DIRECTIONS SHALL BE AS DETERMINED BY THE CITY ENGINEER.
29. THE OVERTIME COST FOR INSPECTING WORK REQUIRING CITY INSPECTION, PERFORMED BEFORE 8:00AM AND 5:00PM, SHALL BE PAID BY THE DEVELOPER BEFORE THE WORK IS AUTHORIZED.
30. CONSTRUCTIONS EQUIPMENT WHICH OPERATES AT A NOISE LEVEL IN EXCESS OF 85 DECIBELS (MEASURED ON THE A-WEIGHTED SCALE DEFINED IN ANSI S-1.4) AT A DISTANCE OF 100 FEET FROM THE EQUIPMENT IS PROHIBITED.
31. THE DEVELOPER SHALL KEEP EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 2 FEET BELOW BOTTOM OF EXCAVATIONS TO MAINTAIN UNDISTURBED STATE OF NATURAL SOILS AND ALLOW PLACEMENT OF ANY FILL TO SPECIFIED DENSITY. DISPOSAL OF WATER SHALL NOT DAMAGE PROPERTY OR CREATE A PUBLIC NUISANCE.
32. DISPOSAL OF WATER INTO THE CITY SANITARY SEWER SYSTEM IS STRICTLY PROHIBITED. DISPOSAL OF WATER IN TO EXISTING STORM DRAIN SYSTEM MUST BE APPROVED IN WRITING BY THE CITY ENGINEER.
33. DEVELOPER SHALL MAINTAIN ALL STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION THROUGHOUT THE COURSE OF CONSTRUCTION. ALL SPILLS OF SOIL, ROCK, CONSTRUCTION DEBRIS, ETC., SHALL BE REMOVED IMMEDIATELY FROM PUBLICLY OWNED PROPERTY, ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION. THE DEVELOPER SHALL PROVIDE FOR SAFE, UNOBSTRUCTED ACCESS TO PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.

GENERAL NOTES:

1. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION PREPARED FOR THIS SITE BY KLEINFELDER, DATED NOVEMBER 19, 2019, PROJECT NO. 20201920.001A.
2. BENCHMARK: TOP OF A STEEL PIN IN A MONUMENT WELL AT THE INTERSECTION OF SCHULTE ROAD AND HANSEN ROAD, ELEVATION = 180.32 FEET (CITY OF TRACY NAVD 1988 DATUM).
3. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE CITY'S PUBLIC WORKS DEPARTMENT AT (209) 831-6460 AND REQUEST A PRE CONSTRUCTION CONFERENCE.
4. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE DEVELOPMENT AND ENGINEERING SERVICE DEPT. PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS SIGNED BY THE CITY ENGINEER.
5. ALL STREET IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE CODE, STATE STANDARD SPECIFICATIONS, AND CITY OR COUNTY STANDARD PLANS. THE IMPROVEMENTS ARE SUBJECT TO INSPECTION AND APPROVAL OF THE DEVELOPMENT AND ENGINEERING SERVICE DEPARTMENT. CONTACT PUBLIC WORKS CONSTRUCTION INSPECTION AT 209-831-4600 AT LEAST TWO WORKING DAYS PRIOR TO THE START OF ANY WORK TO ARRANGE FOR INSPECTION.
6. NOTIFY UNDERGROUND SERVICE ALERT 800-227-2600 AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
7. THE CONTRACTOR IS REQUIRED BY STATE LAW TO ACTIVELY RESEARCH WORK AREA PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REFERENCE MONUMENTS AND REPLACE THOSE DAMAGED OR REMOVED DURING CONSTRUCTION.
8. SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
9. NO TREES SHALL BE REMOVED UNLESS THEY ARE SHOWN AND NOTED TO BE REMOVED ON THE IMPROVEMENT PLANS. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED AND PROPERLY GRADED AND SEALED. THE DRIP LINE OF TREES TO BE SAVED WILL BE FENCED, AND NO GRADING SHALL TAKE PLACE WITHIN THIS FENCED AREA.
10. THE THICKNESS OF SUBBASE, BASE, AND SURFACING SHALL BE BASED ON TRAFFIC INDEX AND SOIL TEST FOR "R" VALUE = 5.
11. ALL LINES ABANDONED DURING CONSTRUCTION SHALL BE REMOVED (UNLESS OTHERWISE NOTED AND APPROVED BY CITY OF TRACY INSPECTOR).
12. CONTRACTOR SHALL CONTROL DUST AT ALL TIMES DURING CONSTRUCTION AS REQUIRED BY CITY OF TRACY.
13. MANHOLES, VALVES, CLEANOUTS ETC. SHALL BE BROUGHT TO FINISH GRADE PER TRACY STD. 11.4 AFTER THE FINAL PAVING COURSE IS PLACED. PER TRACY STD. 301 MANHOLES SHALL HAVE GRADE RINGS OF 18" MIN TO 24" MAXIMUM.
14. RECORDING EXISTING CONDITIONS - EXISTING CONDITIONS THROUGHOUT THE PROJECT SITE THAT ARE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY OR CITY MAINTAINED EASEMENTS SHALL BE PHOTOGRAPHED AND VIDEO-TAPED BY THE CONTRACTOR BEFORE STARTING CONSTRUCTION. RECORDING SHALL INCLUDE AND SHOW EVERY DETAIL OF EXISTING IMPROVEMENTS, INCLUDING THE CURRENT CONDITION OF THE CURB, GUTTER, SIDEWALK, SIGNS, LANDSCAPING, STREETLIGHTS, STRUCTURES NEAR THE PROJECT INCLUDING THE FACE OF BUILDINGS, CANOPIES, SHADES, FENCES, AND ANY OTHER FEATURES WITHIN THE LIMITS OF WORK. PHOTOS AND VIDEOTAPE SHALL BE DELIVERED TO THE ENGINEER.
15. PRIOR TO CONSTRUCTION ACTIVITY AND WITHIN 30 DAYS OF PROJECT AWARD, ALL SURVEY MONUMENTS THAT MAY POTENTIALLY BE DISTURBED DURING CONSTRUCTION, MUST BE LOCATED AND REFERENCED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD OR RECORD OF SURVEY MUST BE FILED WITH THE COUNTY SURVEYOR. ANY SURVEY MONUMENTS DISTURBED DURING THE COURSE OF CONSTRUCTION MUST BE REESTABLISHED BY A LICENSED LAND SURVEYOR, A NEW MONUMENT SET, AND ANOTHER CORNER RECORD OR RECORD OF SURVEY FILED WITH THE COUNTY SURVEYOR (LAND SURVEYORS' ACT SECTION 8771). CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT AND RECORDING OF SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH CITY OF TRACY OR SAN JUAQUIN COUNTY STANDARD PLANS AND SPECIFICATIONS, WHICHEVER IS APPLICABLE.

CITY OF TRACY UTILITY NOTES:

1. ALL WATER VALVES 10" AND SMALLER SHALL BE GATE VALVES AND ALL WATER VALVES 12" AND LARGER SHALL BE BUTTERFLY VALVES AS REQUIRED BY CITY OF TRACY DESIGN STANDARD 6.08(B) AND STANDARD PLAN NO. 402.
2. DOUBLE POLY WRAP ALL DUCTILE IRON PIPE FITTINGS AND VALVES PER CITY STANDARDS AND PER CITY STANDARD SPECIFICATION 207.04, POLY WRAP SHALL BE 8 MIL THICK AND SHALL BE SECURED WITH 10 MIL CHRISTY TAPE.
3. MANHOLES OUTSIDE PAVED AREAS SHALL HAVE BOLT DOWN LIDS AND CONCRETE COLLARS.
4. HYDROSTATIC WATER PRESSURE AND BACTERIA TESTS ON CONSTRUCTED WATER MAINS MUST BE PERFORMED IN THE PRESENCE OF THE CITY ENGINEERING INSPECTOR, AND MUST PASS THE TEST PRIOR TO CONNECTING TO THE CITY'S EXISTING WATER DISTRIBUTION SYSTEM.
5. ALL PIPE SHALL CONFORM TO THE PROVISIONS IN SECTION 207 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) AS MODIFIED BY THE CITY OF TRACY STANDARD SPECIFICATIONS. WHENEVER A CONFLICT EXISTS BETWEEN THE SSPWC AND THE CITY STANDARD SPECIFICATIONS, THE CITY STANDARD SPECIFICATIONS SHALL GOVERN.
6. SANITARY SEWER PIPE. SANITARY SEWER PIPE SHALL BE EITHER VITRIFIED CLAY PIPE (VCP), OR DUCTILE IRON PIPE (DIP) AND SHALL CONFORM TO SECTION 207-8 "VITRIFIED CLAY PIPE" AND SECTION 207-9.2 "DUCTILE IRON PIPE FOR WATER AND OTHER LIQUIDS" OF SSPWC RESPECTIVELY.
7. STORM DRAIN PIPE: STORM DRAIN PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO SECTION 207-2 "REINFORCED CONCRETE PIPE" OF SSPWC.
8. RECYCLED WATER PIPE: ALL MAINS TO BE P.V.C. C-900.
9. WATER PIPE: ALL WATER MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE AND SHALL CONFORM TO SECTION 207-9.2 "DUCTILE IRON PIPE FOR WATER AND OTHER LIQUIDS" AS MODIFIED BELOW:
- ALL PIPE FOR WATER MAINS SHALL BE DUCTILE IRON PIPE, THICKNESS CLASS 51 FOR 4" AND CLASS 50 FOR ALL OTHER SIZES, CEMENT MORTAR LINED, AND SHALL CONFORM TO THE PROVISIONS OF AWWA C151 AND C104 AND SHALL HAVE "TYTON" TYPE JOINTS. STANDARD BITUMINOUS COATING SHALL BE APPLIED TO OUTSIDE OF PIPE BY MANUFACTURER.
- UNLESS OTHERWISE SPECIFIED, FITTINGS FOR DUCTILE IRON PIPE SHALL BE CLASS 250 FOR 3-INCH SIZE AND LARGER, MECHANICAL JOINTS CONFORMING TO THE REQUIREMENTS OF AWWA C110. FITTINGS SHALL BE CEMENT MORTAR LINED IN ACCORDANCE WITH AWWA C104. THE OUTSIDE OF THE FITTINGS SHALL BE BITUMINOUS COATED. NUTS AND BOLTS SHALL CONFORM TO THE PROVISIONS OF ANSI SPECIFICATIONS B18.2. FITTINGS FOR 2-INCH DIAMETER AND SMALLER SHALL BE OF BRASS CONSTRUCTION.
- ALL BURIED FERROUS METAL SHALL BE PROTECTED FROM CORROSION, INCLUDING BUT NOT LIMITED TO VALVES, FITTINGS, PIPE, FLEXIBLE COUPLINGS AND HYDRANT PIPING WITH POLYWRAP IN ACCORDANCE WITH AWWA C105. POLYETHYLENE PROTECTIVE WRAPPING (POLYWRAP) SHALL BE 8 MIL THICK SHEETS CUT FROM TUBES SUPPLIED BY U.S. PIPE AND FOUNDRY COMPANY OR APPROVED EQUAL. THE EDGES SHALL BE SECURED WITH 8 MIL THICK 1-INCH WIDE SCOTCHWRAP AS MANUFACTURED BY MINNESOTA MINING AND MANUFACTURING CO., OR APPROVED EQUAL.
10. EXISTING MANHOLE RIMS ARE TO BE ADJUSTED, PER STANDARD PLAN 114. LIMITS THE USE OF GRADE RINGS TO 18" MINIMUM AND 24" MAXIMUM.
11. ALL SANITARY SEWER MANHOLES INTERIOR SURFACES SHALL BE EPOXY LINED WITH NEPOXY NPRS300, NOVOCOAT SP-200R, SAVEREISEN SEWERCARD 201, OR EQUAL.

GRADING NOTES

1. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION PREPARED FOR THIS SITE BY KLEINFELDER, DATED NOVEMBER 19, 2019, PROJECT NO. 20201920.001A.
2. CONTRACTOR SHALL DETERMINE HIS OWN EARTH QUANTITIES AND BASE HIS BID ACCORDINGLY.
3. TOP OF CURB ELEVATION IS 0.5' ABOVE THE A.C. PAVING AND SPOT ELEVATIONS ARE TO FINISHED SURFACE (UNLESS OTHERWISE NOTED).
4. COMPACTION TO BE DETERMINED USING ASTM D1557, LATEST EDITION LABORATORY TEST PROCEDURE
5. ALL STORM DRAIN PIPE 12" OR SMALLER IN DIAMETER SHALL BE SDR 35 PVC, CLASS III RCP OR BLUE SEAL HDPE AS MANUFACTURED BY HANCOR WITH WATERTIGHT JOINTS MEETING ASTM F477 AND ASTM D3212. (UNLESS OTHERWISE NOTED)
- ALL STORM DRAIN PIPE GREATER THAN 24" IN DIAMETER SHALL BE CLASS III RCP OR APPROVED EQUAL. (UNLESS OTHERWISE NOTED) IF CONTRACTOR WISHES TO SUBSTITUTE ANY OF THE ABOVE PIPE MATERIALS THEY MUST PROVIDE THE ENGINEER WITH CALCULATIONS SHOWING THE SUBSTITUTED MATERIAL WILL MEET OR EXCEED THE PERFORMANCE OF SPECIFIED MATERIAL. CALCULATIONS SHALL BE STAMPED AND SIGNED BY A REGISTERED ENGINEER. NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE (DIP).
6. ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC VAULTS, AND PULL BOXES, THAT LIE WITHIN THE PUBLIC RIGHT-OF-WAY EASEMENTS OR AREAS AFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY FOR WHICH THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
7. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN NOT ASSUME RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THEIR DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT ARE NOT SHOWN ON THESE DRAWINGS.
8. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED, ABOVE OR BELOW, BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. PIPE SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
9. THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR TO TRENCHING OR PLACEMENT OF CONCRETE.
10. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
11. ALL WORK, ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO THE CITY OF TRACY STANDARDS AND REQUIREMENTS.
12. CONTRACTOR SHALL OBTAIN LATEST CITY STANDARD DETAILS AND SPECIFICATIONS FROM THE CITY OF TRACY.
13. KLEINFELDER SHALL BE RETAINED FOR REVIEW OF PLANS, SPECIFICATIONS, FIELD OBSERVATIONS, AND TESTING AS OUTLINED BY THE GEOTECHNICAL REPORT.

UTILITY NOTES

1. BACKFILLING AND COMPACTION FOR ALL TRENCHES SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
2. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO ANY SITE WORK. ALL WORK FOR STORM DRAIN AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
3. ALL WORK ON-SITE AND IN THE PUBLIC RIGHT OF WAY, SHALL CONFORM TO THE CITY OF TRACY STANDARDS AND REQUIREMENTS.
4. GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND UTILITIES. PROVIDE 6" MINIMUM CLEARANCE BETWEEN PIPES CROSSING ELECTRICAL LINES VERTICALLY AND 12" MINIMUM CLEARANCE BETWEEN PIPES RUNNING PARALLEL TO ELECTRICAL LINES HORIZONTALLY.
5. CONTRACTOR SHALL COORDINATE WITH MEP PLANS FOR EXACT LOCATION OF ROOF DRAINS AND RAIN WATER LEADERS
6. FOR UTILITY MATERIALS AND TYPES, SEE THE PROJECT SPECIFICATIONS.
7. WATER LINES SHALL BE 12" MINIMUM ABOVE SANITARY SEWER LINE AT ALL CROSSINGS.
8. MINIMUM COVER FOR WATER LINES IS 3.0 FEET.
9. MINIMUM COVER FOR FIRE SERVICE LINES IS 4.0 FEET.
10. GRAVITY SANITARY SEWER SHALL BE PVC SDR 26 EXCEPT WHERE DUCTILE IRON PIPE (DIP) IS NOTED. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 50. PRESSURE SEWER SHALL BE PVC C900 DR25 UNLESS OTHERWISE NOTED.
11. DOMESTIC WATER LINES SHALL BE ASTM D 1785-2004a SDR SCHEDULE 80 PVC PIPE, J-M RING TITE OR APPROVED EQUAL.
12. CONSTRUCTION OF UTILITES SHALL COMPLY WITH 609.2 2016 CPC.
13. CONTRACTOR SHALL PROVIDE ENGINEER OF RECORD SUBMITTALS FOR PROJECT MATERIALS DETAILED ON THESE PLANS THAT OUTSIDE PUBLIC MAINTENANCE OR JURISDICTION. CONTRACTOR SHALL NOT INSTALL ANY ITEM WITHOUT RECEIVING APPROVED SUBMITTAL FROM THE ENGINEER OF RECORD. SUBMITTAL SHALL INCLUDE PLAN REFERENCE FOR THE SUBMITTED MATERIAL. ANY DEVIATION OR SUBSTITUTION FROM THE MATERIALS SPECIFIED ON THE PLANS SHALL BE FORMALLY REQUESTED WITH A DESCRIPTION OF THE SUBSTITUTION INCLUDING THE MATERIAL BEING REPLACED. FOR MATERIALS WITHIN PUBLIC MAINTENANCE OR JURISDICTION THE CONTRACTOR SHALL DIRECTLY SUBMIT MATERIALS TO APPROPRIATE MUNICIPAL/PUBLIC DEPARTMENT FOR REVIEW AND APPROVAL AS REQUIRED.

UNDERGROUND FIRE PROTECTION SYSTEM NOTES

1. THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THIS DRAWING IS SCHEMATIC AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. FOR CONSTRUCTION NOTES AND DETAILS, SEE FIRE PROTECTION PLANS PREPARED BY HARRINGTON GROUP.
2. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUESTED BY SPECIFICATIONS, NFPA 13, 24 AND THE LOCAL FIRE MARSHAL.
3. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL SUBMIT SHOP DRAWINGS TO THE LOCAL FIRE MARSHAL/BUILDING OFFICIAL AND THE OWNER'S REVIEWING AGENT FOR PERMIT AND APPROVAL/ACCEPTANCE.
4. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT, ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK. REQUIREMENTS FOR SHOP DRAWINGS SUBMITTAL ARE LISTED IN SPECIFICATIONS.
5. SHOP DRAWINGS, APPROVED BY THE LOCAL FIRE MARSHAL AND OWNER'S REVIEWING AGENT, SHALL BE SUBMITTED BY THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER, TO THE ARCHITECT, PRIOR TO REQUESTING FINAL APPROVAL AND PAYMENT. REQUIREMENTS FOR SHOP DRAWINGS SUBMITTAL ARE LISTED IN SPECIFICATIONS.
6. REFER TO SPECIFICATIONS FOR UNDERGROUND FIRE PROTECTION SYSTEM REQUIREMENTS. SPECIFICATIONS ARE PART OF THE CONTRACT DOCUMENTS AND APPLIES TO THE GENERAL CONTRACTOR AND THE FIRE PROTECTION SYSTEM INSTALLER.
7. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF COMPLIANCE OF THE SHOP DRAWINGS TO THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTAL.
8. GENERAL CONTRACTOR SHALL NOT DIVIDE THE WORK SPECIFIED UNDER THIS SECTION BETWEEN SUBCONTRACTORS.
9. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL DRAWINGS.
10. SEE ARCHITECTURAL FLOOR PLANS FOR DIMENSIONED AUTOMATIC SPRINKLER RISER (ASR) LOCATIONS.

| NO. | REVISION | BY | NO. | REVISION | BY |
|-----|------------------------|------------|-----|----------|----|
| | 1ST PLANNING SUBMITTAL | 10/28/2019 | | | |
| | 40% PROGRESS SET | 12/06/2019 | | | |
| | 80% PROGRESS SET | 01/08/2020 | | | |
| | 2nd PLANNING SUBMITTAL | 02/18/2020 | | | |
| | 3rd PLANNING SUBMITTAL | 05/11/2020 | | | |



KIER+WRIGHT

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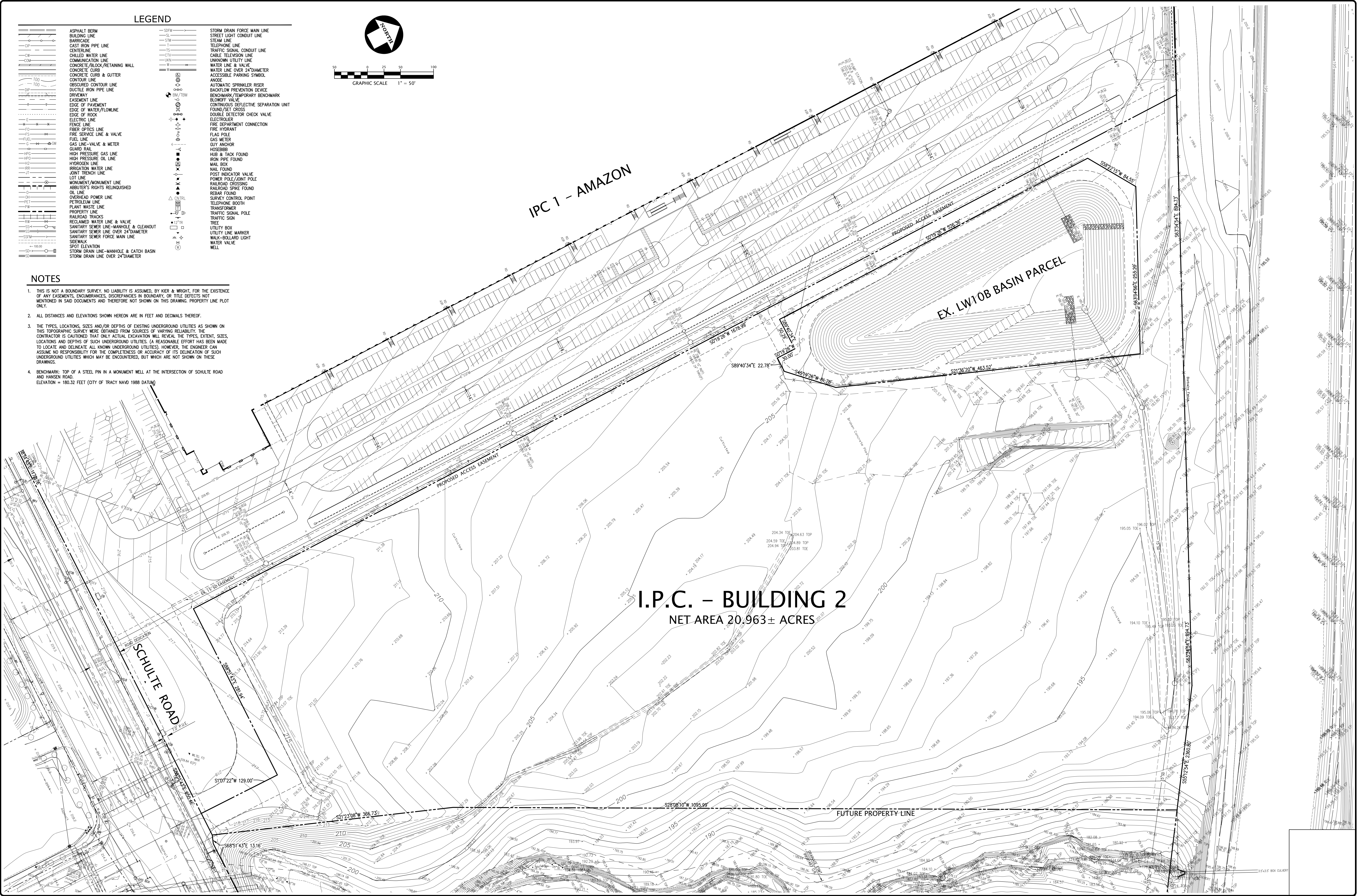


TRACY

NOTES
I.P.C. – BUILDING 2
PROLOGIS

CALIFORNIA

| | |
|----------|------------|
| DATE | 08/06/2020 |
| SCALE | - |
| DESIGNER | M.C. |
| JOB NO. | A09500-175 |
| SHEET | C.1.2 |
| OF | 12 SHEETS |



NOTES

- THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING. PROPERTY LINE PLOT ONLY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- BENCHMARK: TOP OF A STEEL PIN IN A MONUMENT WELL AT THE INTERSECTION OF SCHULTE ROAD AND HANSEN ROAD.
ELEVATION = 180.32 FEET (CITY OF TRACY NAVD 1988 DATUM)

| NO. | REVISION | BY | NO. | REVISION | BY |
|-----|------------------------|------------|-----|----------|----|
| 1 | 1ST PLANNING SUBMITTAL | 10/28/2019 | 1 | | |
| 2 | 40% PROGRESS SET | 12/06/2019 | 2 | | |
| 3 | 80% PROGRESS SET | 01/08/2020 | 3 | | |
| 4 | 2nd PLANNING SUBMITTAL | 02/18/2020 | 4 | | |
| 5 | 3rd PLANNING SUBMITTAL | 05/11/2020 | 5 | | |

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TOPOGRAPHIC SURVEY
I.P.C. - BUILDING 2
PROLOGIS

TRACY

CALIFORNIA

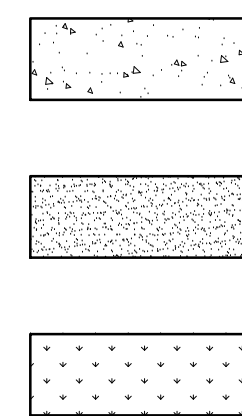
| | |
|----------|------------|
| DATE | 08/06/2020 |
| SCALE | 1"=40' |
| DESIGNER | M.G. |
| JOB NO. | A09500-175 |
| SHEET | C.2.1 |
| OF | 12 SHEETS |

PAVEMENT LEGEND

AUTO PAVEMENT: 3.5" AC OVER
4" CLASS II AB OVER 12" LIME TREATED SOIL
AUTO PAVEMENT (T.I.=5.0)

TRUCK PAVEMENT: 5" AC OVER
4" CLASS II AB OVER 17" LIME TREATED SOIL
TRUCK PAVEMENT (T.I.=8.0)

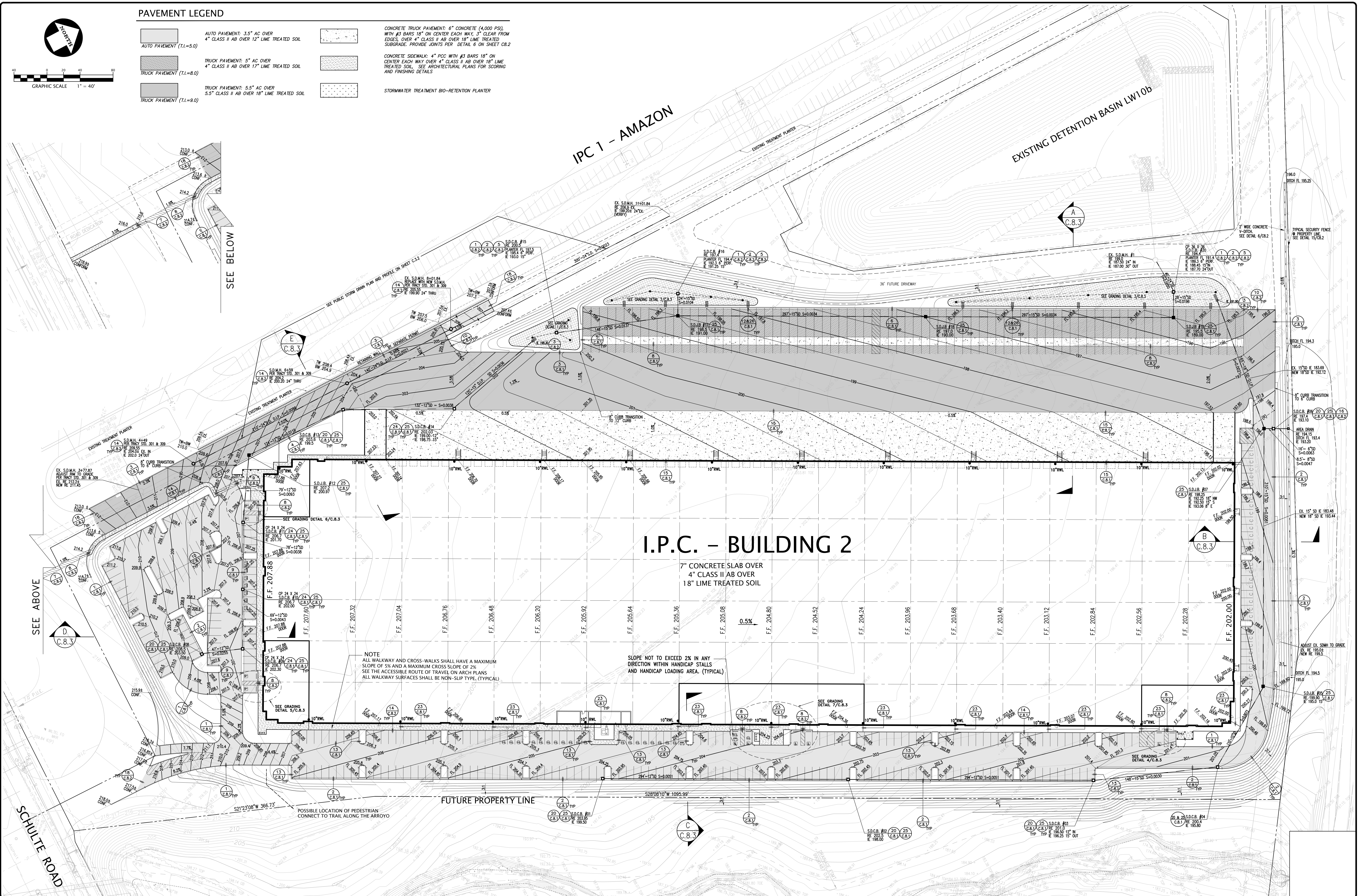
TRUCK PAVEMENT: 5.5" AC OVER
5.5" CLASS II AB OVER 18" LIME TREATED SOIL
TRUCK PAVEMENT (T.I.=9.0)



CONCRETE TRUCK PAVEMENT: 6" CONCRETE (4,000 PSI),
WITH #3 BARS 18" ON CENTER EACH WAY, 3" CLEAR FROM
EDGES, OVER 4" CLASS II AB OVER 18" LIME TREATED
SUBGRADE. PROVIDE JOINTS PER DETAIL 6 ON SHEET C8.2

CONCRETE SIDEWALK: 4" PCC WITH #3 BARS 18" ON
CENTER EACH WAY OVER 4" CLASS II AB OVER 18" LIME
TREATED SOIL. SEE ARCHITECTURAL PLANS FOR SCORING
AND FINISHING DETAILS

STORMWATER TREATMENT BIO-RETENTION PLANTER



| NO. | REVISION | BY | NO. | REVISION | BY |
|-----|------------------------|------------|-----|----------|----|
| 1 | 1ST PLANNING SUBMITTAL | 10/28/2019 | 1 | | |
| 2 | 40% PROGRESS SET | 12/06/2019 | 2 | | |
| 3 | 80% PROGRESS SET | 01/08/2020 | 3 | | |
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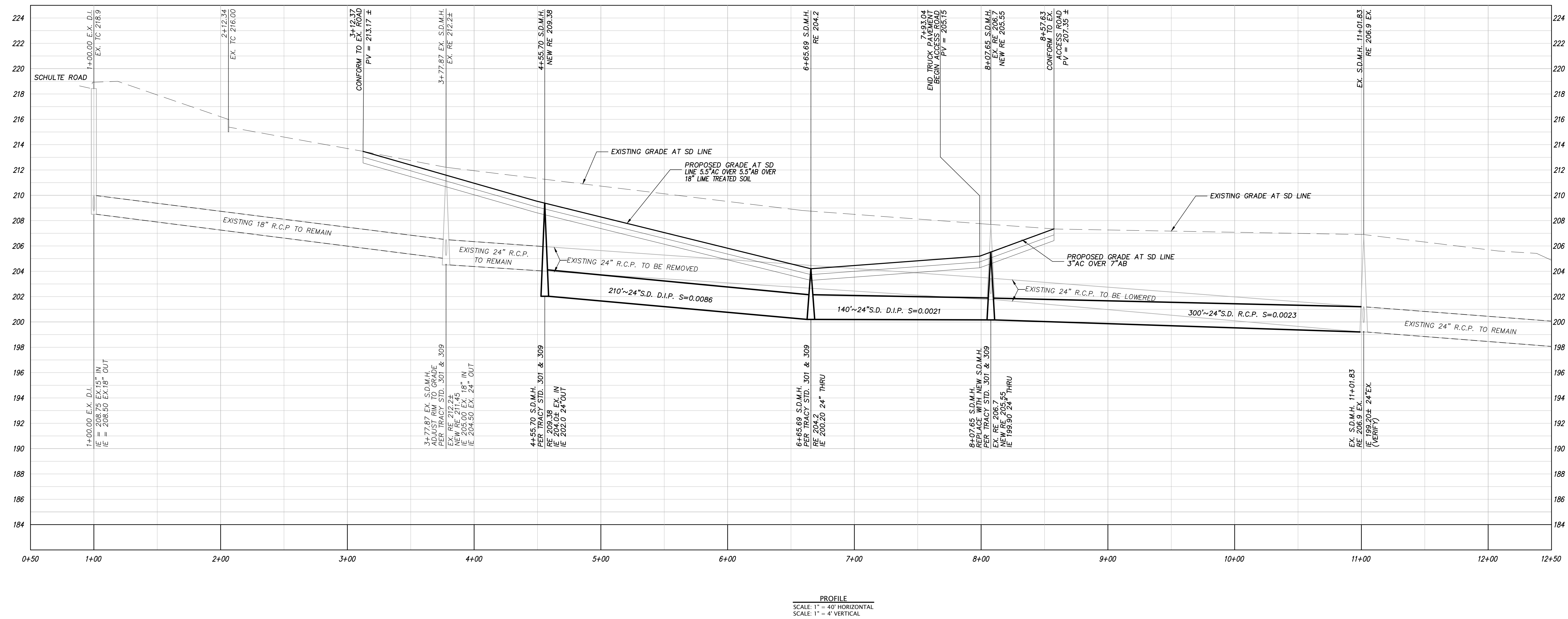
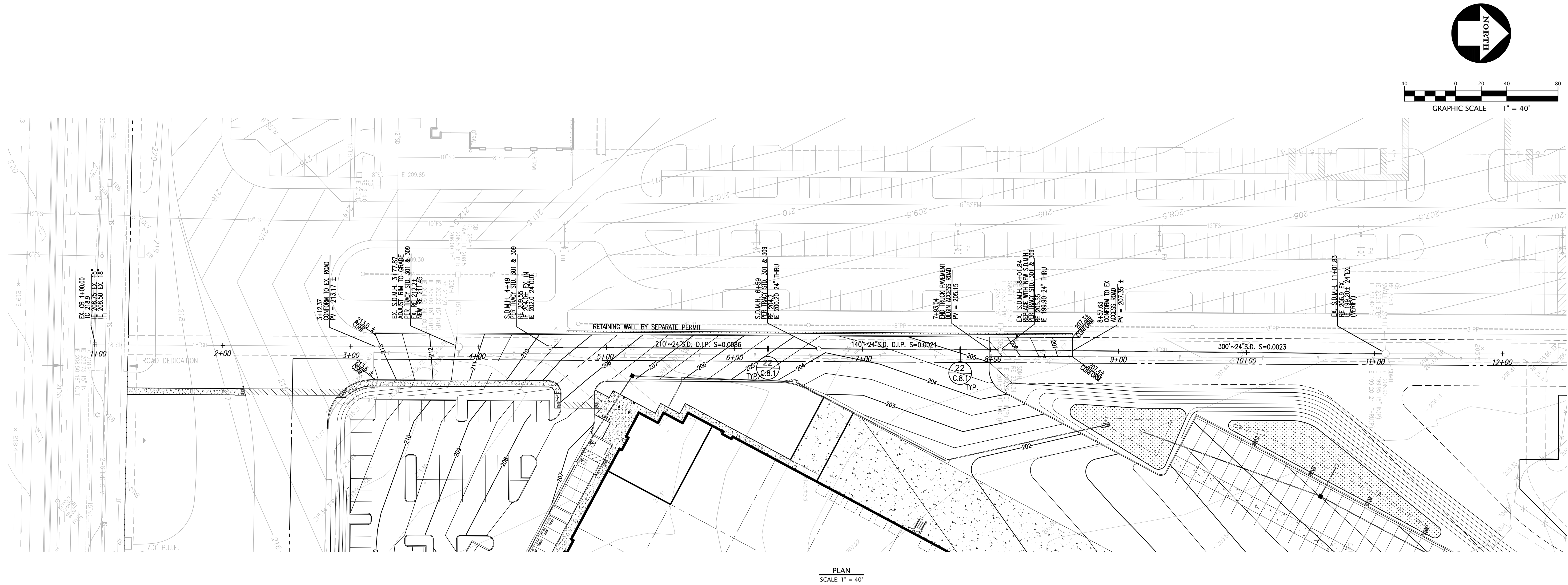


TRACY

GRADING AND DRAINAGE PLAN
I.P.C. - BUILDING 2
PROLOGIS

CALIFORNIA

| | |
|----------|--------------|
| DATE | 08/06/2020 |
| SCALE | 1"=40' |
| DESIGNER | M.C. |
| JOB NO. | A09500-175 |
| SHEET | C.3.1 |
| OF | 12 SHEETS |



| NO. | REVISION | BY | NO. | REVISION | BY |
|-----|------------------------|------------|-----|----------|----|
| 1 | 1ST PLANNING SUBMITTAL | 10/28/2019 | 1 | | |
| 2 | 40% PROGRESS SET | 12/06/2019 | 2 | | |
| 3 | 80% PROGRESS SET | 01/08/2020 | 3 | | |
| 4 | 2nd PLANNING SUBMITTAL | 02/18/2020 | 4 | | |
| 5 | 3rd PLANNING SUBMITTAL | 05/11/2020 | 5 | | |



PUBLIC STORM DRAIN PLAN AND PROFILE
I.P.C. - BUILDING 2
PROLOGIS

TRACY

CALIFORNIA

| | |
|----------|------------|
| DATE | 08/06/2020 |
| SCALE | 1" = 40' |
| DESIGNER | M.G. |
| JOB NO. | A09500-175 |
| SHEET | C.3.2 |
| OF | 12 SHEETS |

PROTECTION OF UNDERGROUND INSTALLATION NOTE:

"CORROSION PROTECTION / WRAPPING IS REQUIRED ON ALL UNDER-SLAB OR UNDERGROUND FERROUS ELECTRICAL CONDUIT, WATER PIPING, BUILDING DRAINS, BUILDING SEWERS, FLOOR SINKS, FLOOR DRAINS, TRAP PRIMERS, WASTE DRAINS AND OTHER FERROUS PIPING, INCLUDING ALL ZINC-COATED GALVANIZED PIPING AND FITTINGS. CORROSION PROTECTION / WRAPPING IS REQUIRED ON COPPER WATER PIPING PER THE 2016 CPC, SEC. 312.4 CORROSION PROTECTION SHALL BE INSPECTED AND APPROVED BEFORE COVERING"

UNDERGROUND FIRE PROTECTION SYSTEM NOTE:

THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THIS DRAWING IS SCHEMATIC AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. FOR CONSTRUCTION NOTES AND DETAILS, SEE FIRE PROTECTION PLANS.

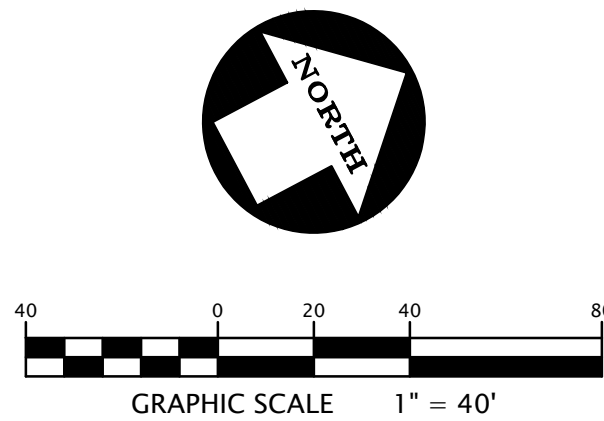
UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT AND THEN POT-HOLING ALL EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

BEFORE EXCAVATING
CALL U.S.A.
811
48-HOURS BEFORE ALL
PLANNED WORK OPERATIONS



Know what's below.
Call before you dig.



IPC 1 - AMAZON

EXISTING DETENTION BASIN LW10b

I.P.C. - BUILDING 2

7" CONCRETE SLAB OVER
4" CLASS II AB OVER
18" LIME TREATED SOIL

FUTURE PROPERTY LINE

NOTE
ALL WALKWAY AND CROSS-WALKS SHALL HAVE A MAXIMUM
SLOPE OF 5% AND A MAXIMUM CROSS SLOPE OF 2%
SEE THE ACCESSIBLE ROUTE OF TRAVEL ON ARCH PLANS
ALL WALKWAY SURFACES SHALL BE NON-SLIP TYPE, (TYPICAL)

SLOPE NOT TO EXCEED 2% IN ANY
DIRECTION WITHIN HANDICAP STALLS
AND HANDICAP LOADING AREA. (TYPICAL)

SEWER PUMP STATION CONTROL PANEL
SEE SHEET C4.2
2" CONDUIT FOR POWER AND ALARM CONNECTION
SEE ELECTRICAL PLANS FOR DETAILS

11" ~ 6" S.S.
S= 0.0273
S.S. PUMP STATION
SEE SHEET C4.2
RE 203.2
IE 198.0 6" S.S.F.M.
IE 193.2 6" IN
IE 190.0 BOTTOM OF SUMP

2-6" GATE VALVES
SEW MH
SEE SHEET C4.2
RE 202.9
IE 198.1 6" S.S.F.M.

15" SD IE 195.12
12" F.S. IE 192.37

15" SD IE 195.78
12" F.S. IE 193.03

15" SD IE 195.12
12" F.S. IE 192.37

15" SD IE 195.12
12" F.S. IE 192.37

15" SD IE 195.12
12" F.S. IE 192.37

15" SD IE 195.12
12" F.S. IE 192.37

15" SD IE 195.12
12" F.S. IE 192.37

15" SD IE 195.12
12" F.S. IE 192.37

15" SD IE 195.12
12" F.S. IE 192.37

| NO. | REVISION | BY | NO. | REVISION | BY |
|-----|------------------------|------------|-----|----------|----|
| 1 | 1ST PLANNING SUBMITTAL | 10/28/2019 | 1 | | |
| 2 | 40% PROGRESS SET | 12/06/2019 | 2 | | |
| 3 | 80% PROGRESS SET | 01/08/2020 | 3 | | |
| 4 | 2nd PLANNING SUBMITTAL | 02/18/2020 | 4 | | |
| 5 | 3rd PLANNING SUBMITTAL | 05/11/2020 | 5 | | |



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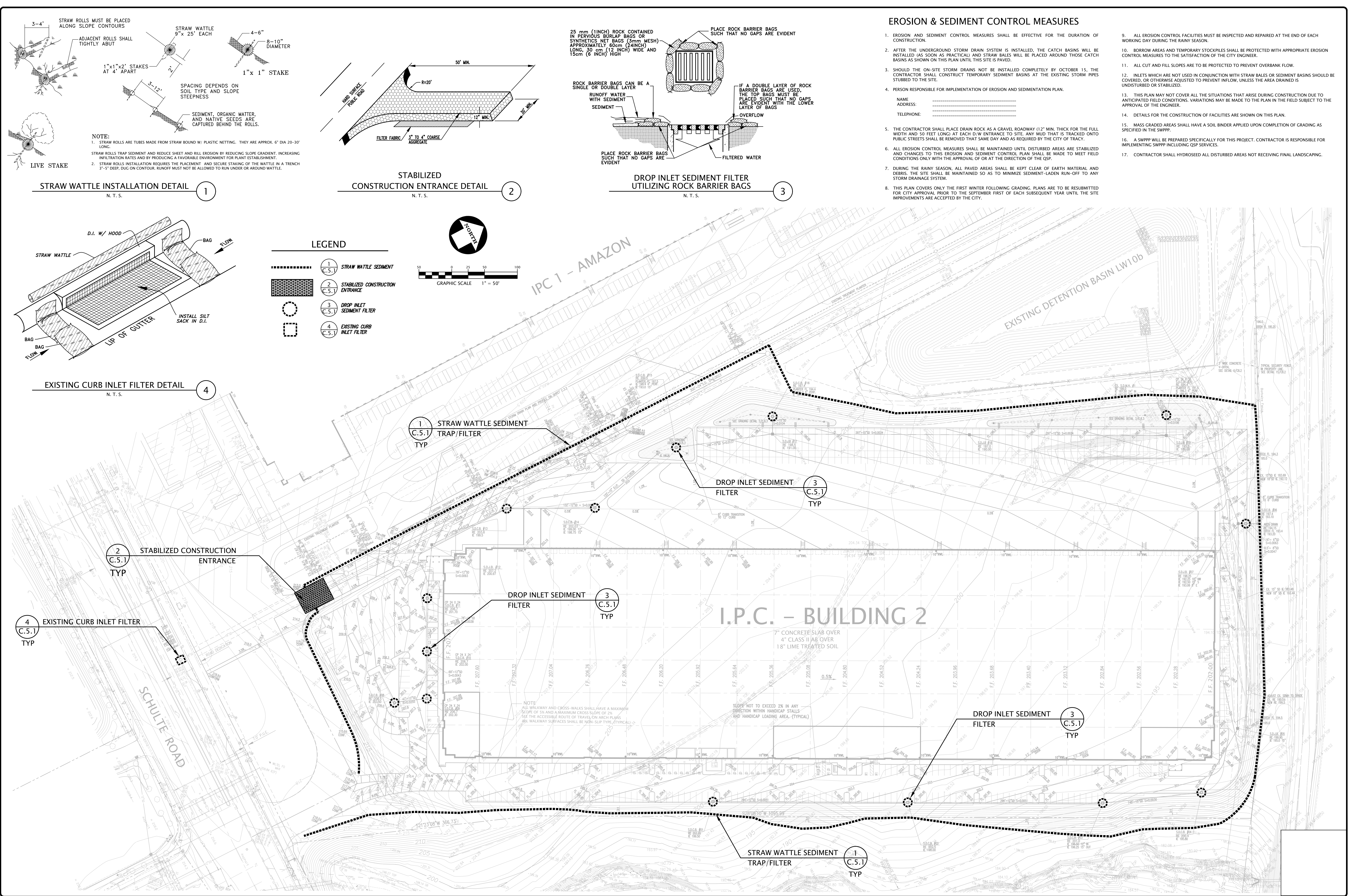


TRACY

UTILITY PLAN
I.P.C. - BUILDING 2
PROLOGIS

CALIFORNIA

| | |
|----------|------------|
| DATE | 08/06/2020 |
| SCALE | 1"=40' |
| DESIGNER | M.C. |
| JOB NO. | A09500-175 |
| SHEET | C.4.1 |
| OF | 12 SHEETS |



| NO. | REVISION | BY | NO. | REVISION | BY |
|-----|------------------------|------------|-----|----------|----|
| 1 | 1ST PLANNING SUBMITTAL | 10/28/2019 | 1 | | |
| 2 | 40% PROGRESS SET | 12/06/2019 | 2 | | |
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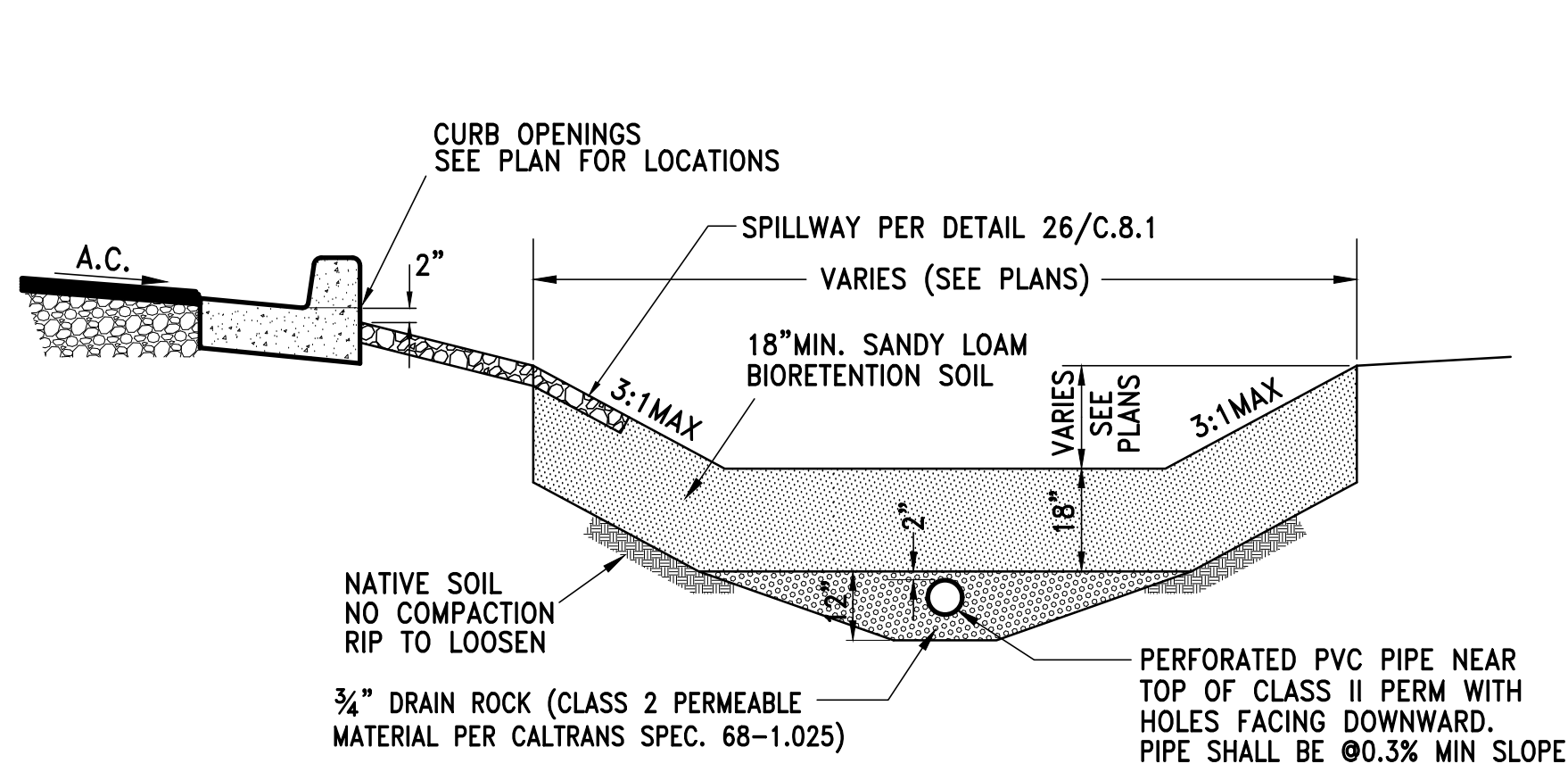


TRACY

EROSION CONTROL PLAN
I.P.C. - BUILDING 2
PROLOGIS

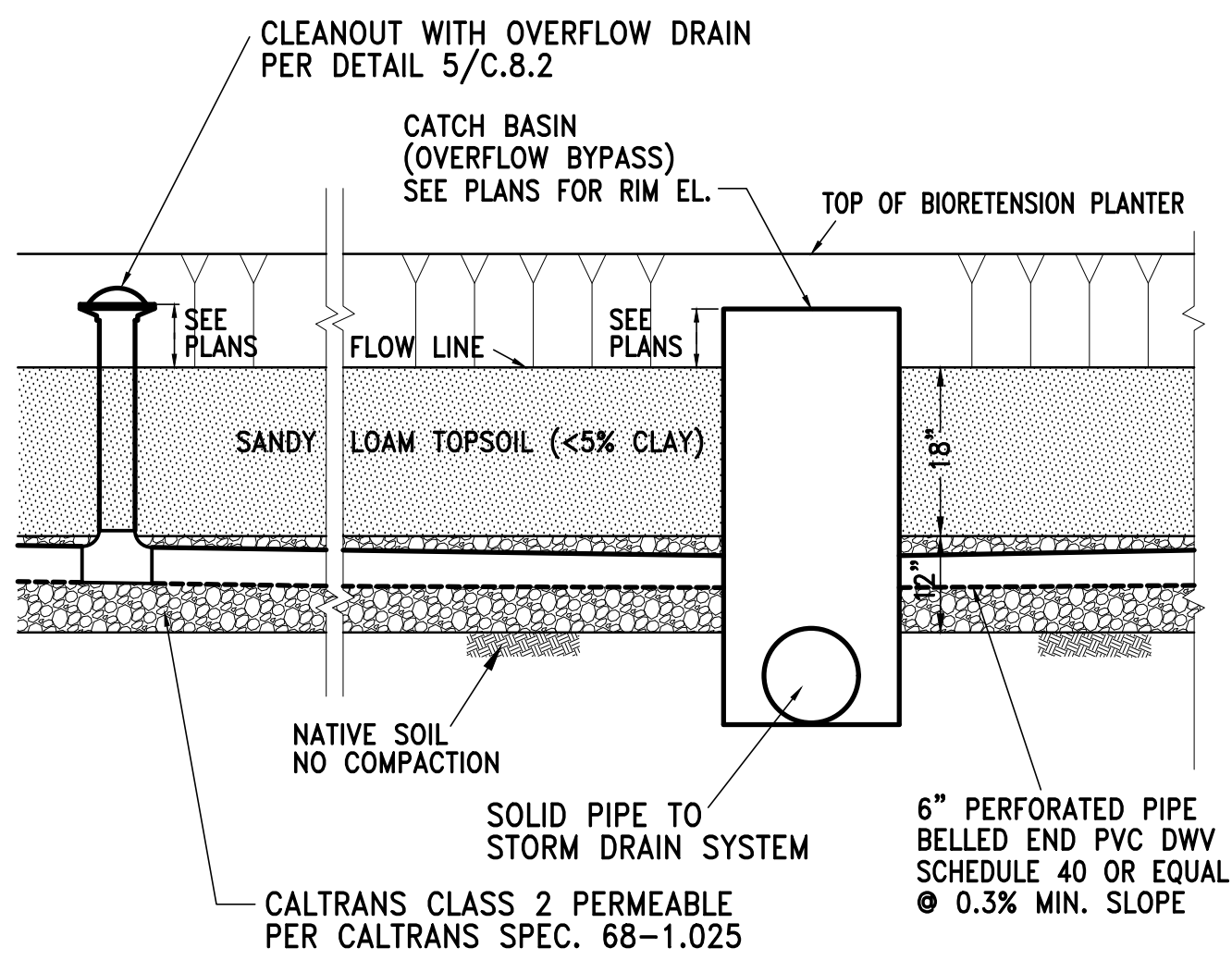
CALIFORNIA

| | |
|----------|------------|
| DATE | 08/06/2020 |
| SCALE | 1"=50' |
| DESIGNER | M.C. |
| JOB NO. | A09500-175 |
| SHEET | C.5.1 |
| OF | 12 SHEETS |



- NOTES:
1. PLANTER SHALL BE GRADED TO DRAIN TOWARD OUTLET AT A MINIMUM SLOPE OF 0.3%
 2. ALL PERFORATED PIPES SHALL HAVE TWO 5/8" DIA. HOLES AT 8" MAX. SPACING.
 3. BIO-RETENTION SOIL SHALL BE PER APPENDIX B OF C.3 GUIDEBOOK.
 4. BIORETENTION SOIL SHALL ACHIEVE A LONG-TERM INFILTRATION RATE OF AT MIN. 5"/HR
 5. COBBLES SHALL BE PLACED AT ALL CURB CUTS AND DOWNSPOUT LOCATIONS.

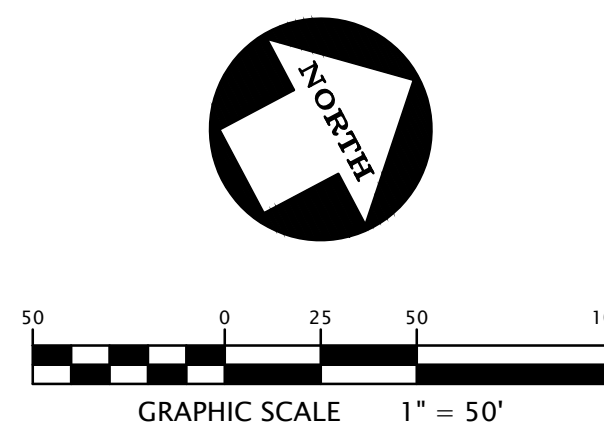
TYPICAL SECTION
STORM WATER TREATMENT PLANTER
N. T. S.



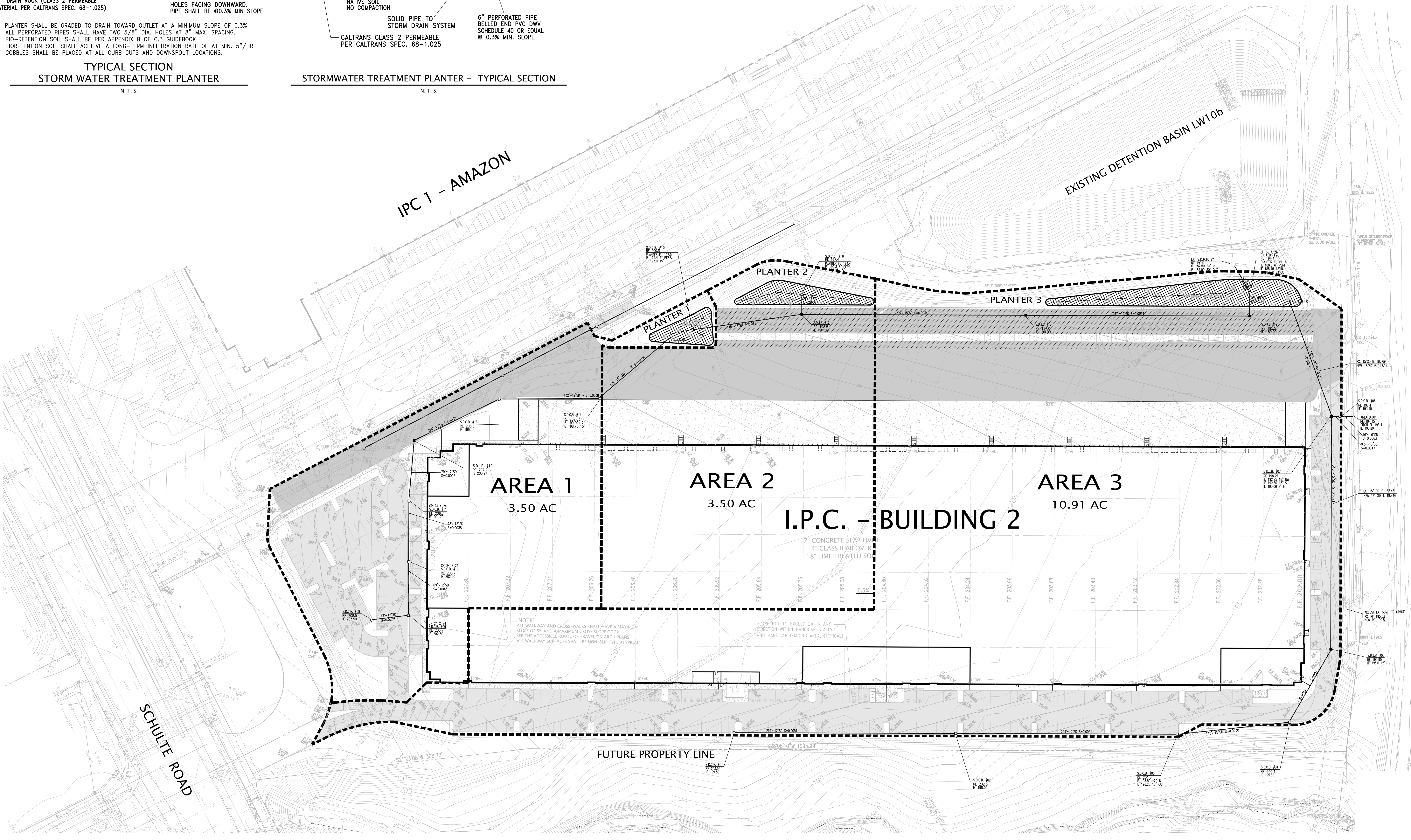
STORMWATER TREATMENT PLANTER - TYPICAL SECTION
N. T. S.

STORMWATER TREATMENT PLANTER SIZING CALCULATIONS

| DRAINAGE AREA | TOTAL TRIBUTARY AREA (AC) | IMPERVIOUS AREA | | PERVIOUS AREA | | IMPERVIOUSNESS RATIO "I" | STORMWATER RUNOFF COEF. "C" | UNIT STORMWATER VOL. "P ₀ " | SQDV (CF) REQUIRED | SQDV (CF) PROVIDED |
|---------------|---------------------------|-----------------|--------------|----------------|--------------|--------------------------|-----------------------------|--|--------------------|--------------------|
| | | ROOF (AC) | AC/CONC (AC) | LANDSCAPE (AC) | PLANTER (AC) | | | | | |
| 1 | 3.50 | 1.308 | 1.468 | 0.664 | 0.060 | 0.79 | 0.59 | 0.38 | 4,867 | 5,050 |
| 2 | 3.50 | 1.846 | 1.406 | 0.158 | 0.090 | 0.93 | 0.77 | 0.50 | 6,370 | 6,450 |
| 3 | 10.91 | 5.485 | 4.618 | 0.606 | 0.201 | 0.93 | 0.77 | 0.50 | 19,734 | 19,800 |
| TOTAL | 17.91 | 8.64 | 7.49 | 1.43 | 0.35 | | | | 30,971 | 31,300 |



LEGEND
--- TRIBUTARY AREA LIMIT



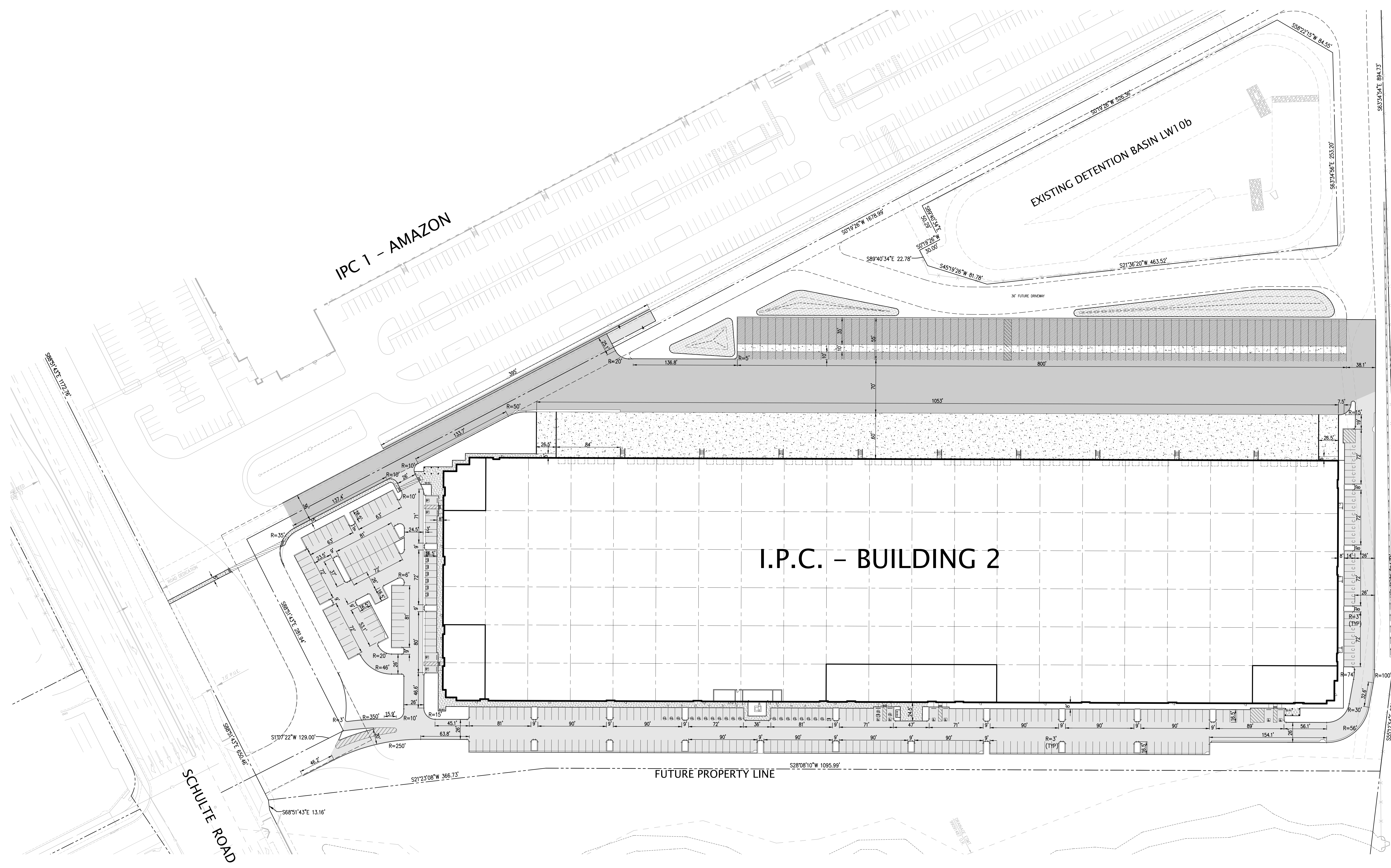
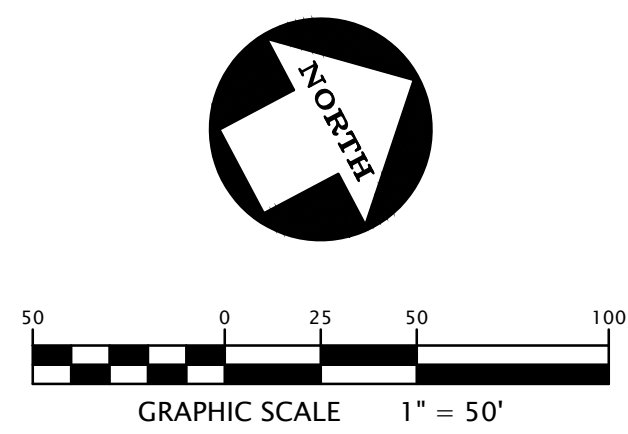
| NO. | REVISION | BY | NO. | REVISION | BY |
|-----|------------------------|------------|-----|----------|----|
| 1 | 1ST PLANNING SUBMITTAL | 10/28/2019 | 1 | | |
| 2 | 40% PROGRESS SET | 12/06/2019 | 2 | | |
| 3 | 80% PROGRESS SET | 01/08/2020 | 3 | | |
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| 5 | 3rd PLANNING SUBMITTAL | 05/11/2020 | 5 | | |

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STORMWATER QUALITY CONTROL PLAN
I.P.C. - BUILDING 2
PROLOGIS
TRACY, CALIFORNIA

| | |
|----------|------------|
| DATE | 08/06/2020 |
| SCALE | 1"=40' |
| DESIGNER | M.C. |
| JOB NO. | A09500-175 |
| SHEET | C.6.1 |
| OF | 12 SHEETS |



| NO. | REVISION | BY | NO. | REVISION | BY |
|-----|------------------------|------------|-----|----------|----|
| 1 | 1ST PLANNING SUBMITTAL | 10/28/2019 | 1 | | |
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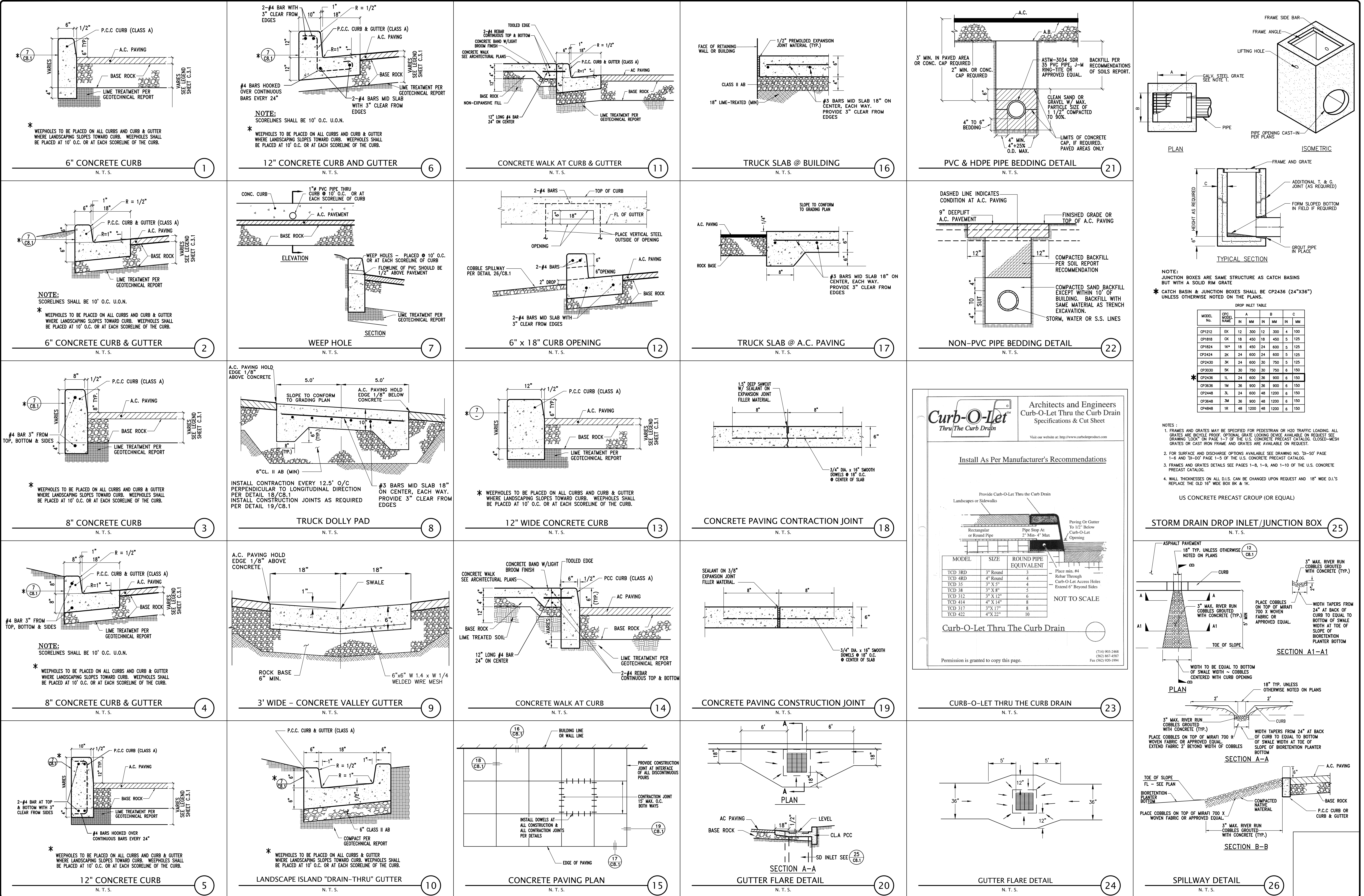


TRACY

HORIZONTAL CONTROL PLAN
I.P.C. - BUILDING 2
PROLOGIS

CALIFORNIA

| | |
|----------|------------|
| DATE | 08/06/2020 |
| SCALE | 1"=50' |
| DESIGNER | M.C. |
| JOB NO. | A09500-175 |
| SHEET | C.7.1 |
| OF | 12 SHEETS |



| NO. | REVISION | BY | NO. | REVISION | BY |
|-----|------------------------|------------|-----|----------|----|
| 1 | 1ST PLANNING SUBMITTAL | 10/28/2019 | 1 | | |
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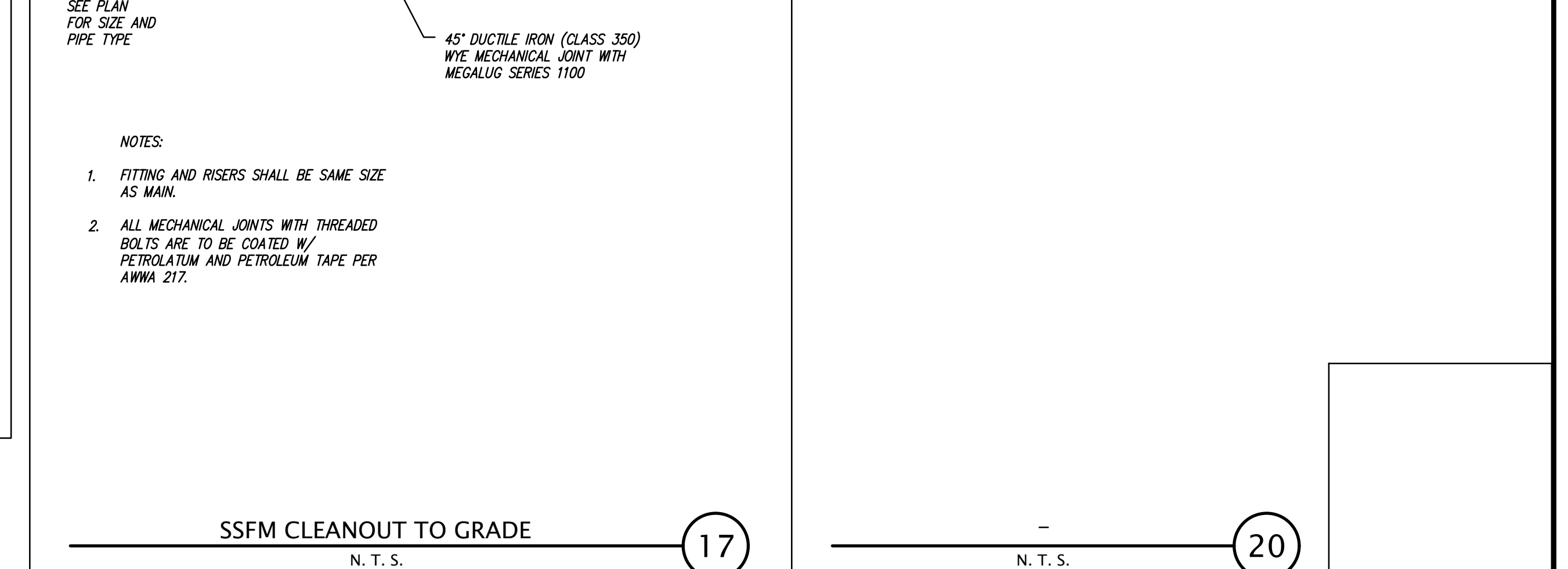
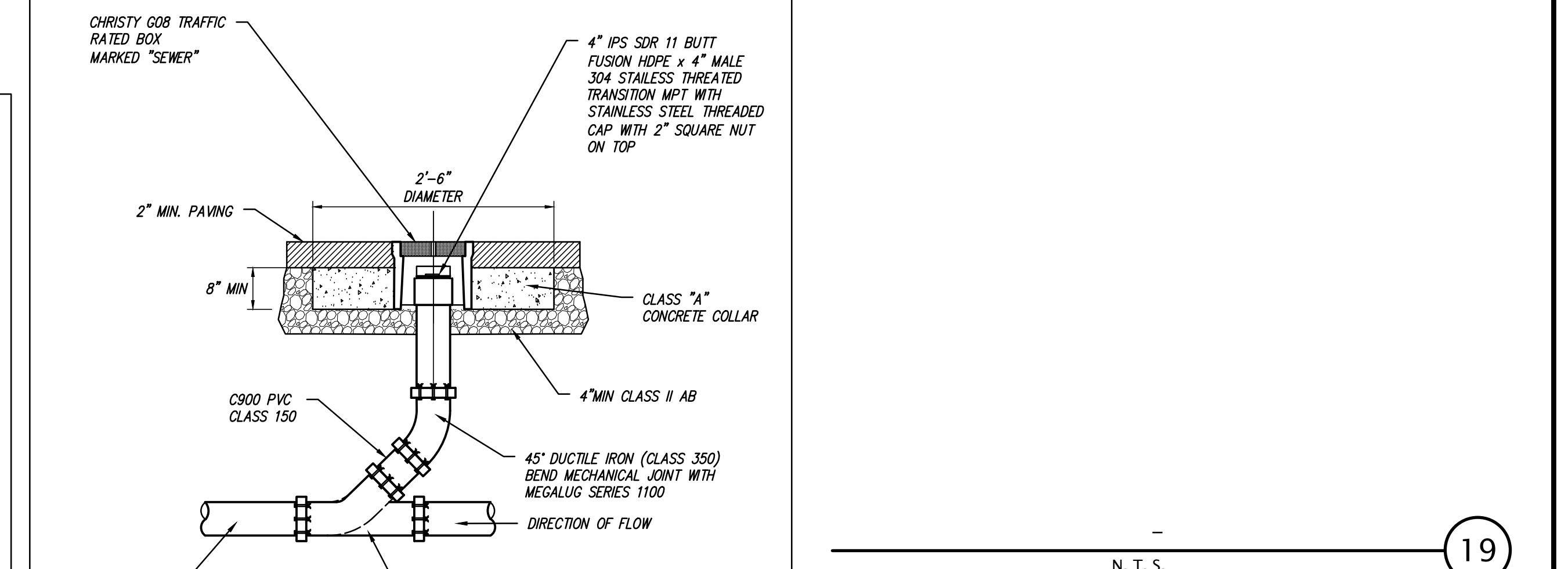
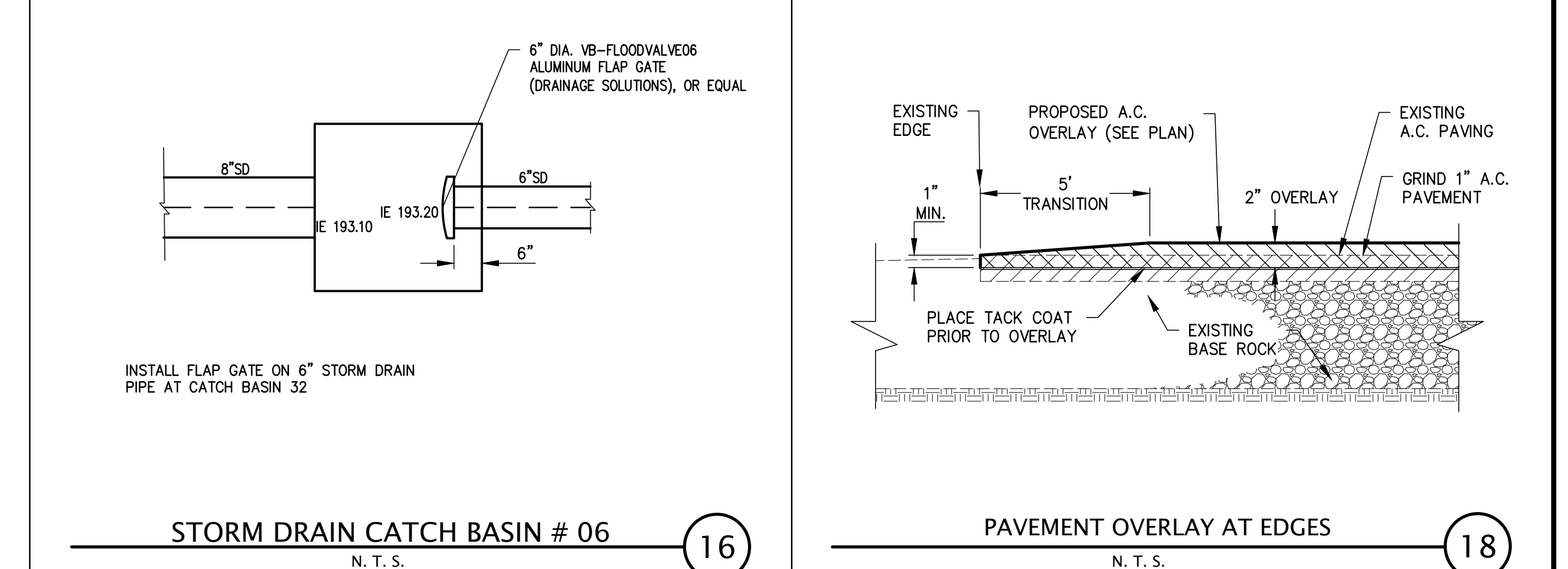
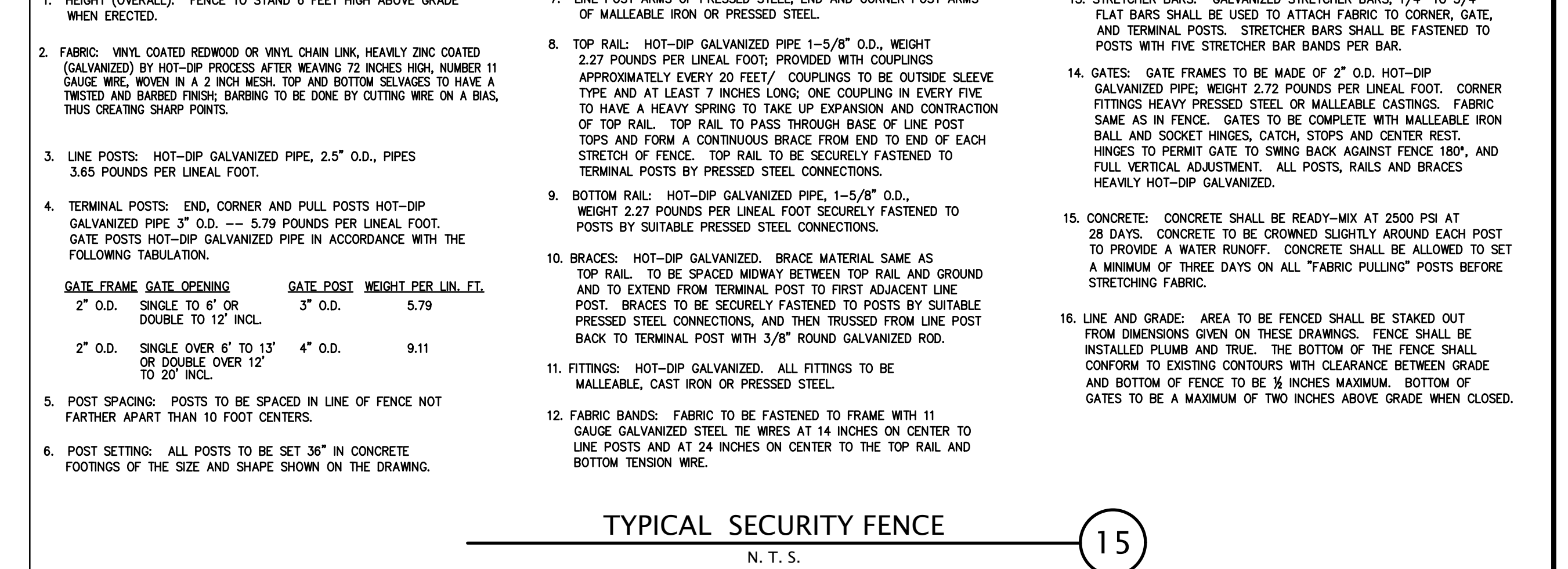
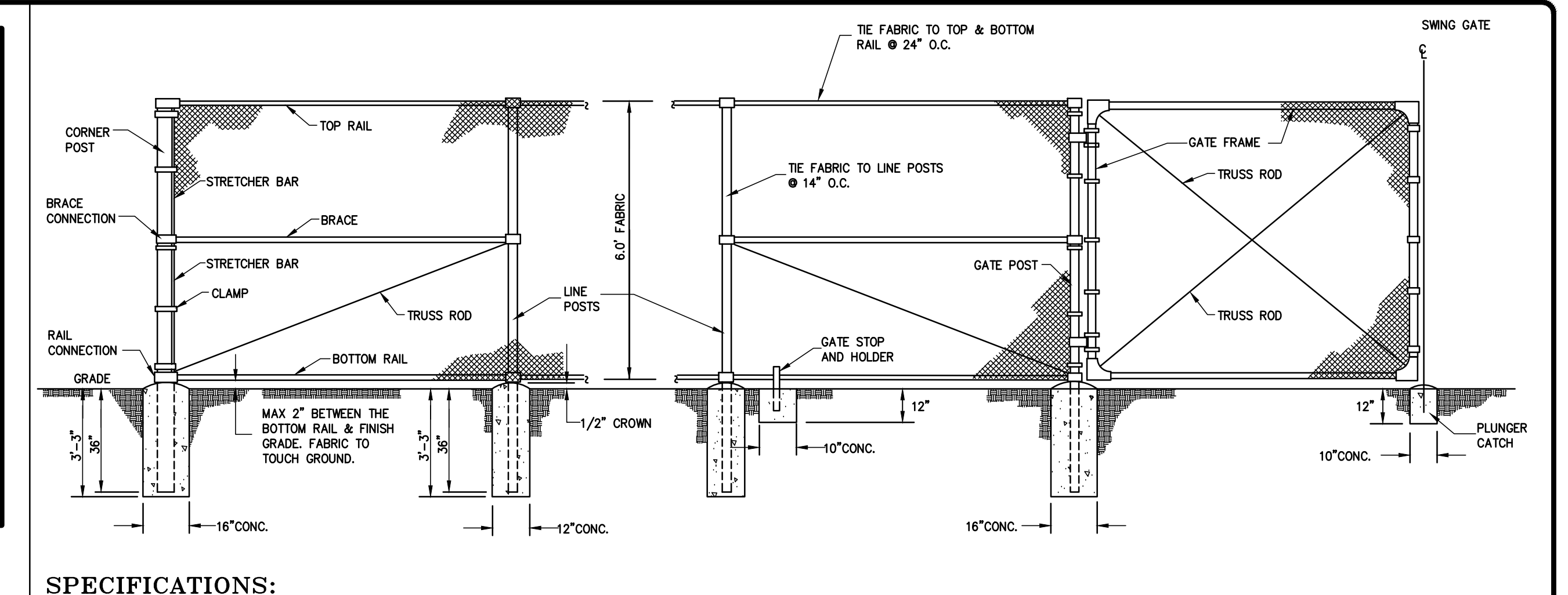
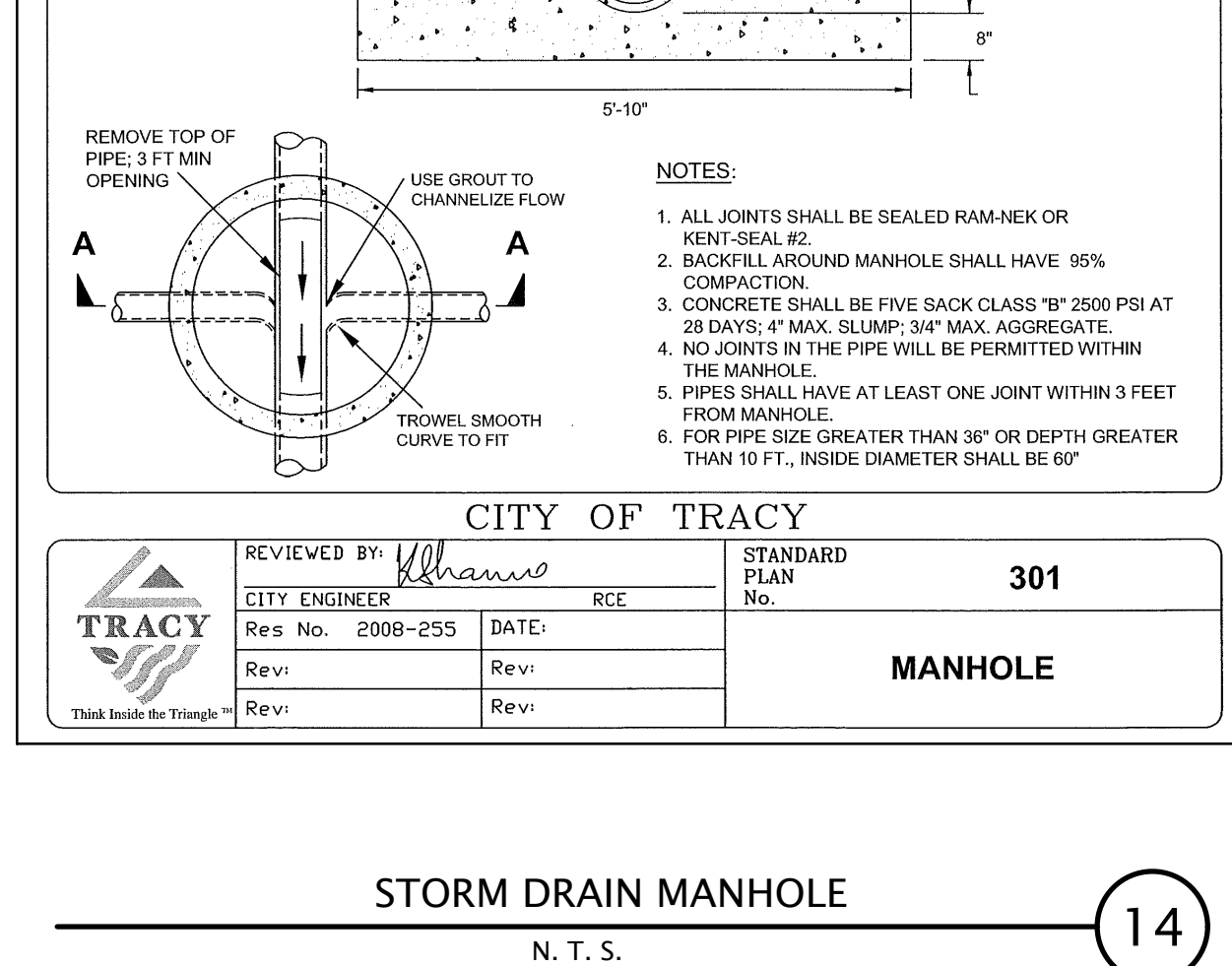
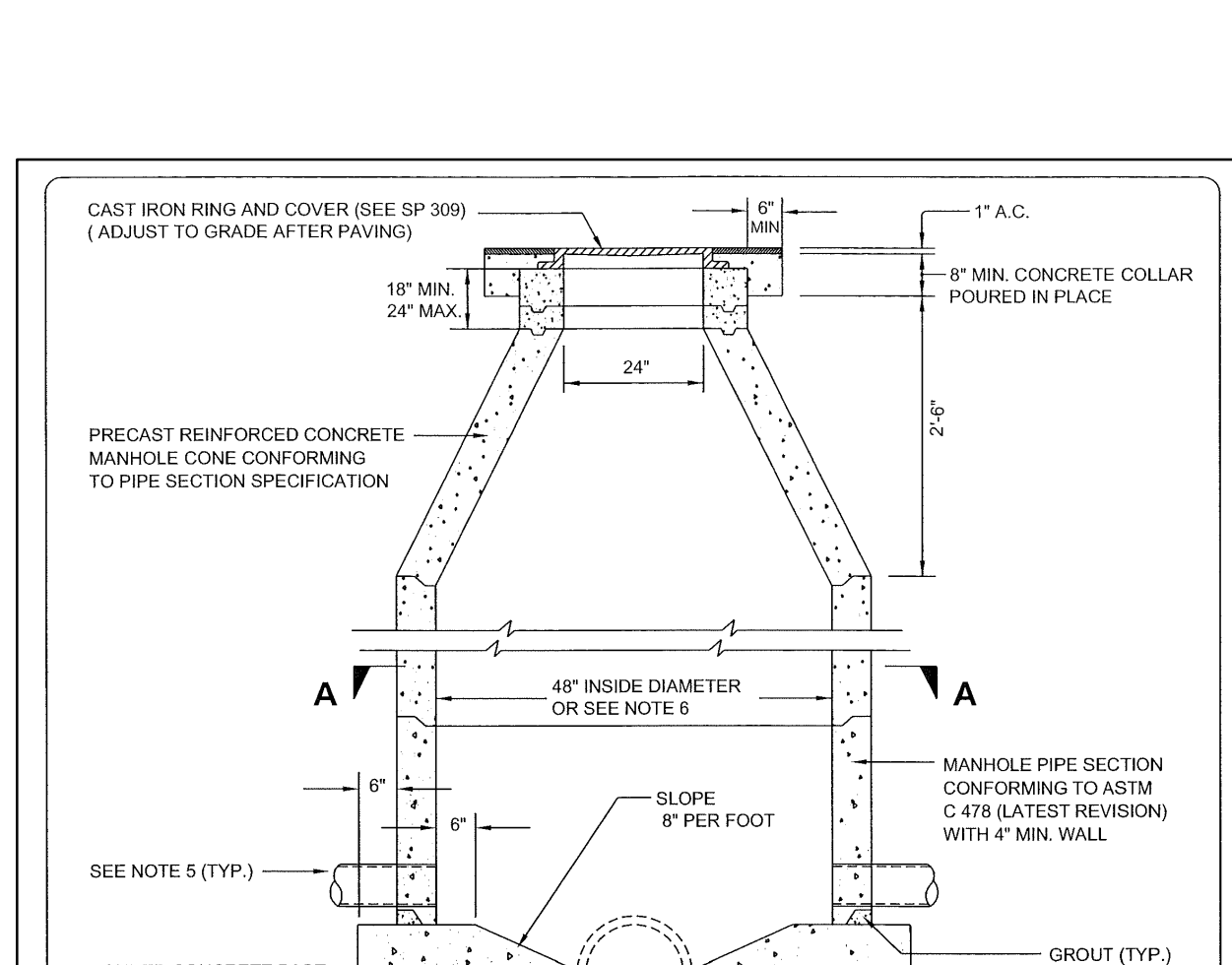
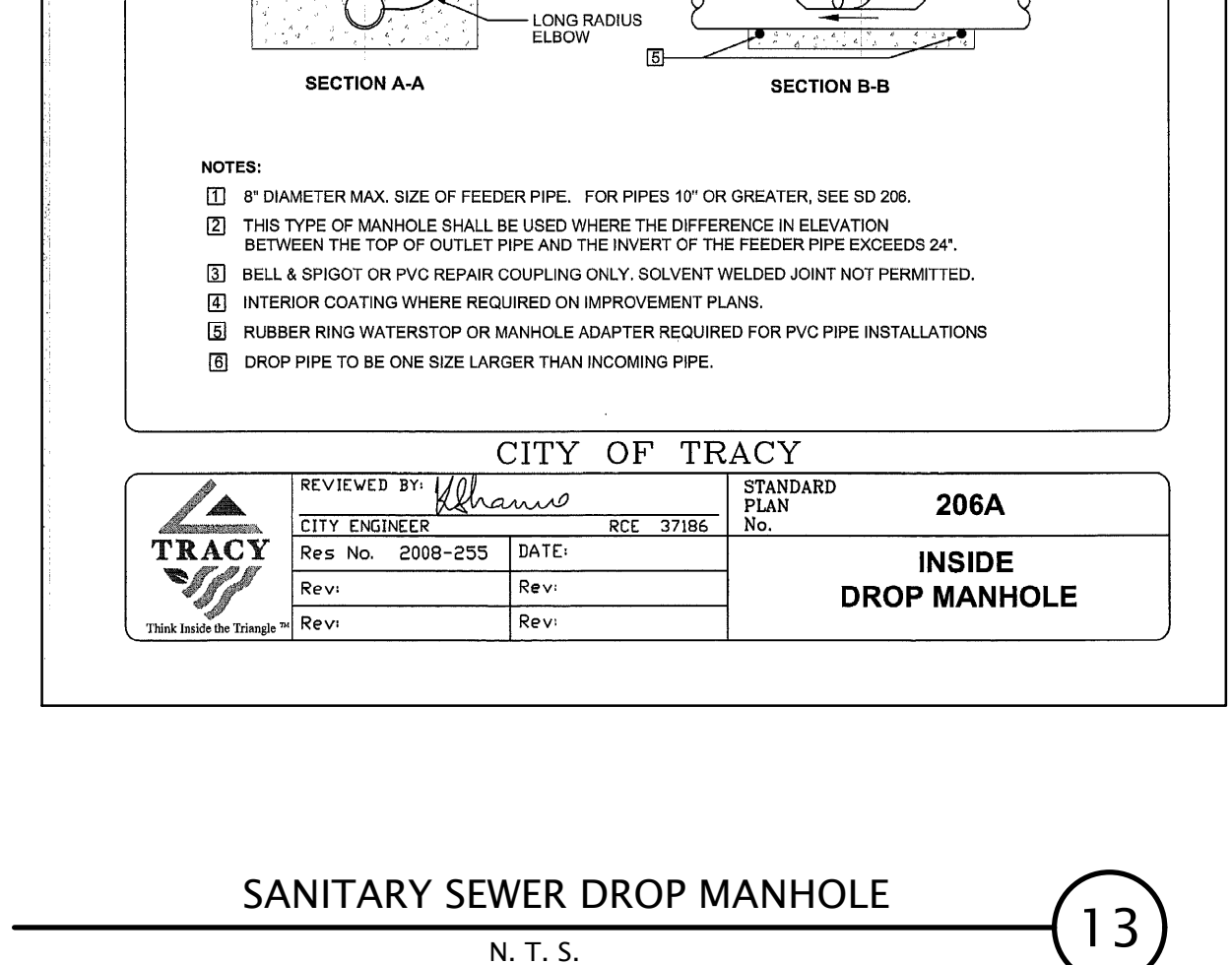
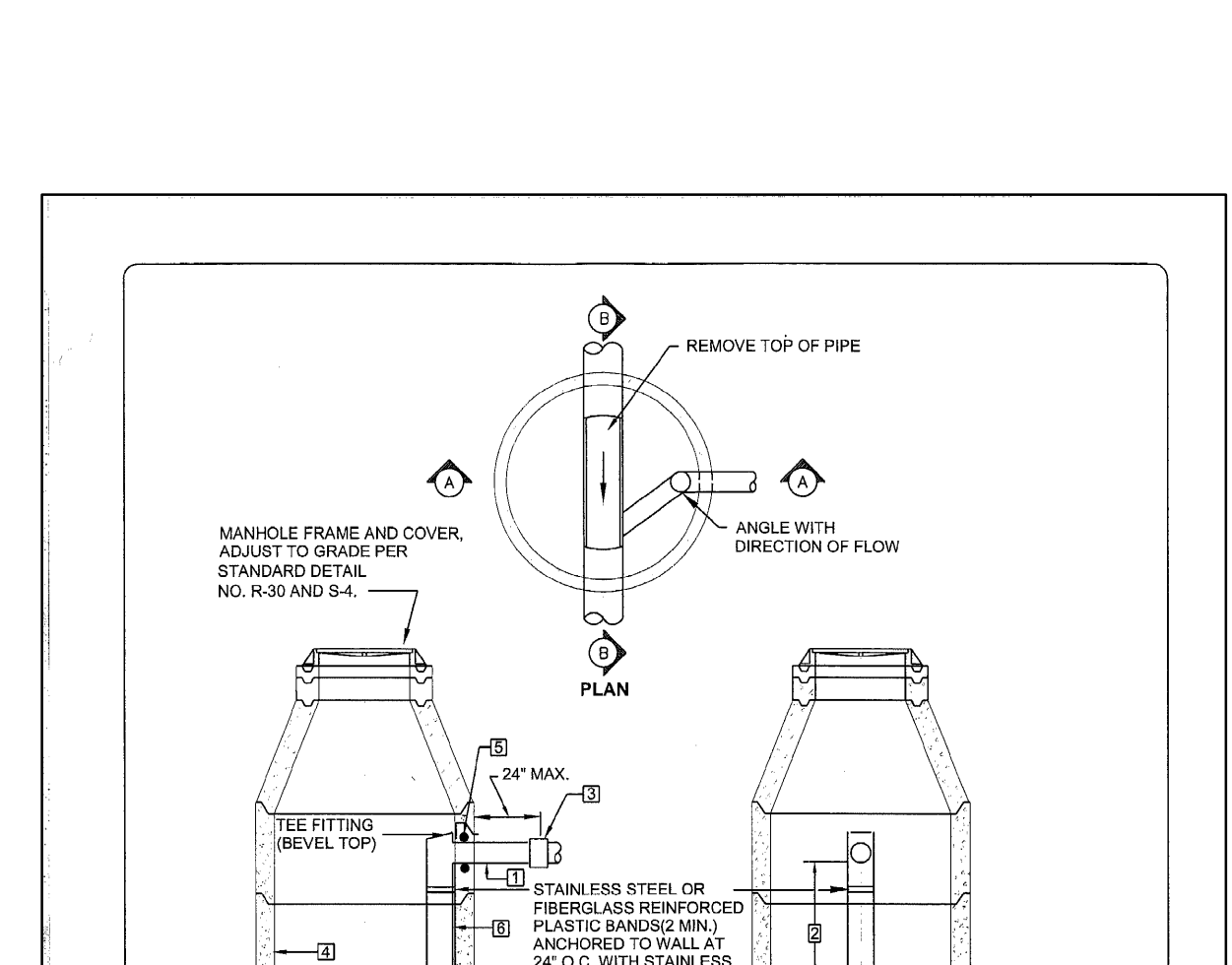
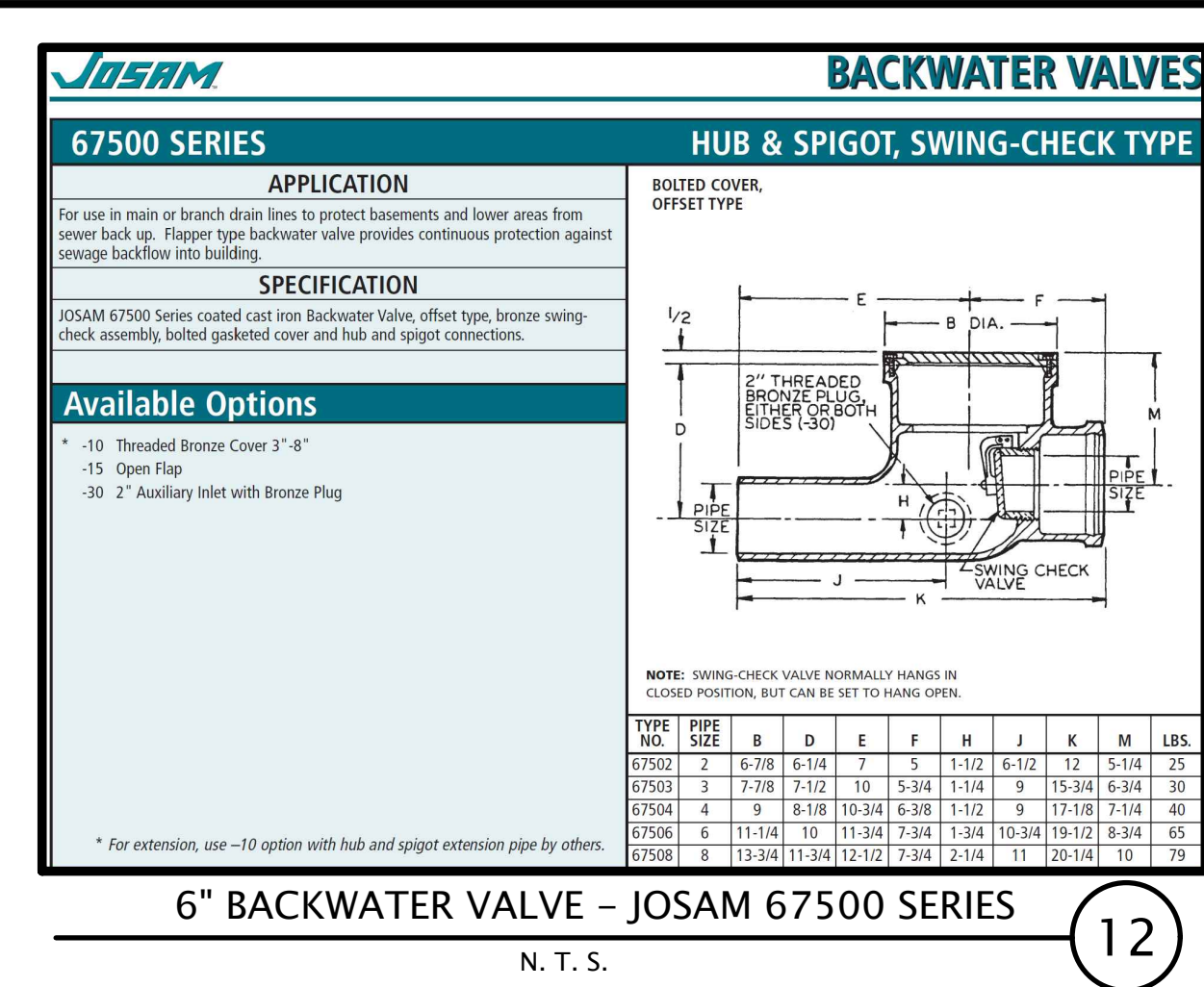
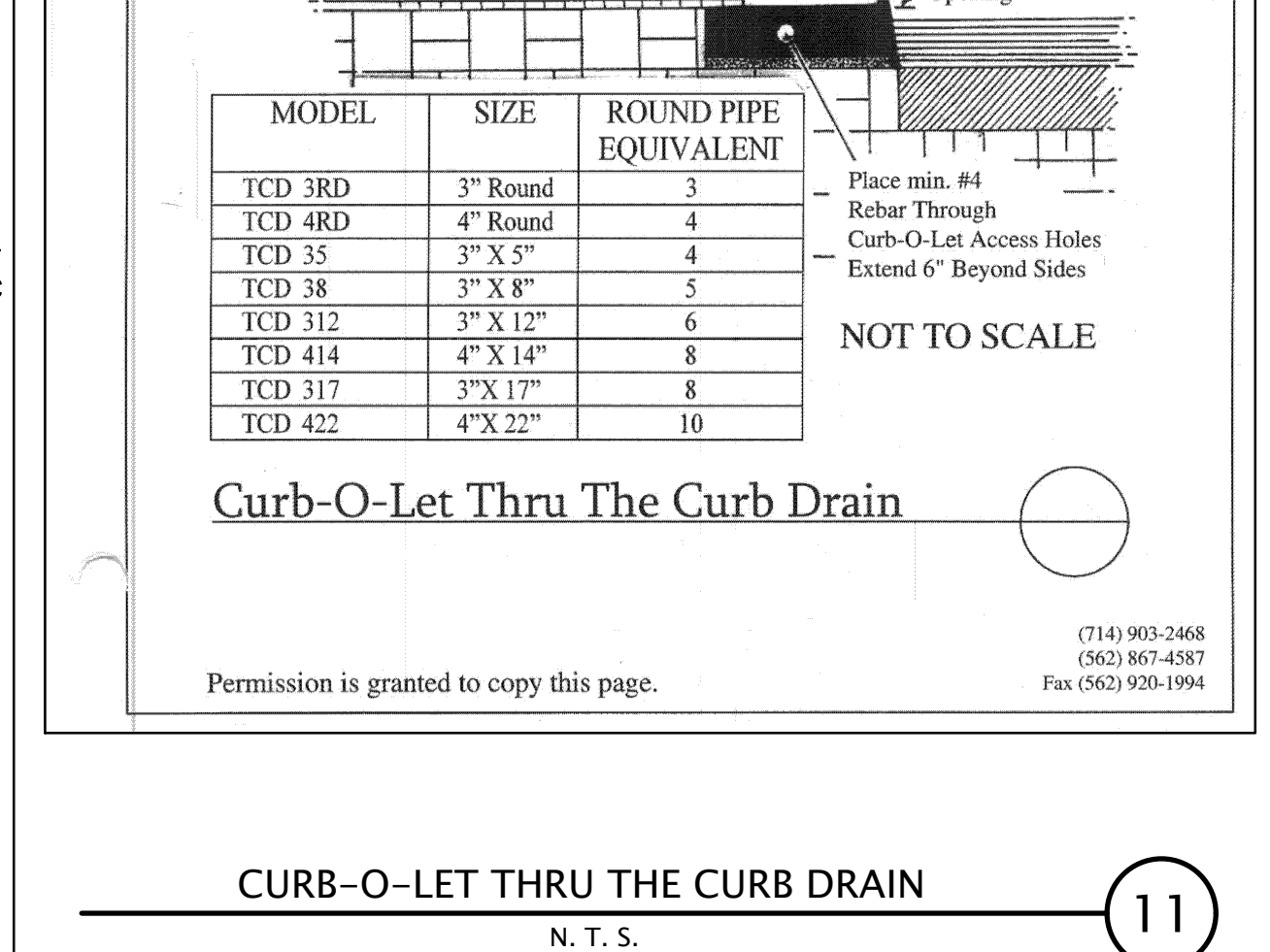
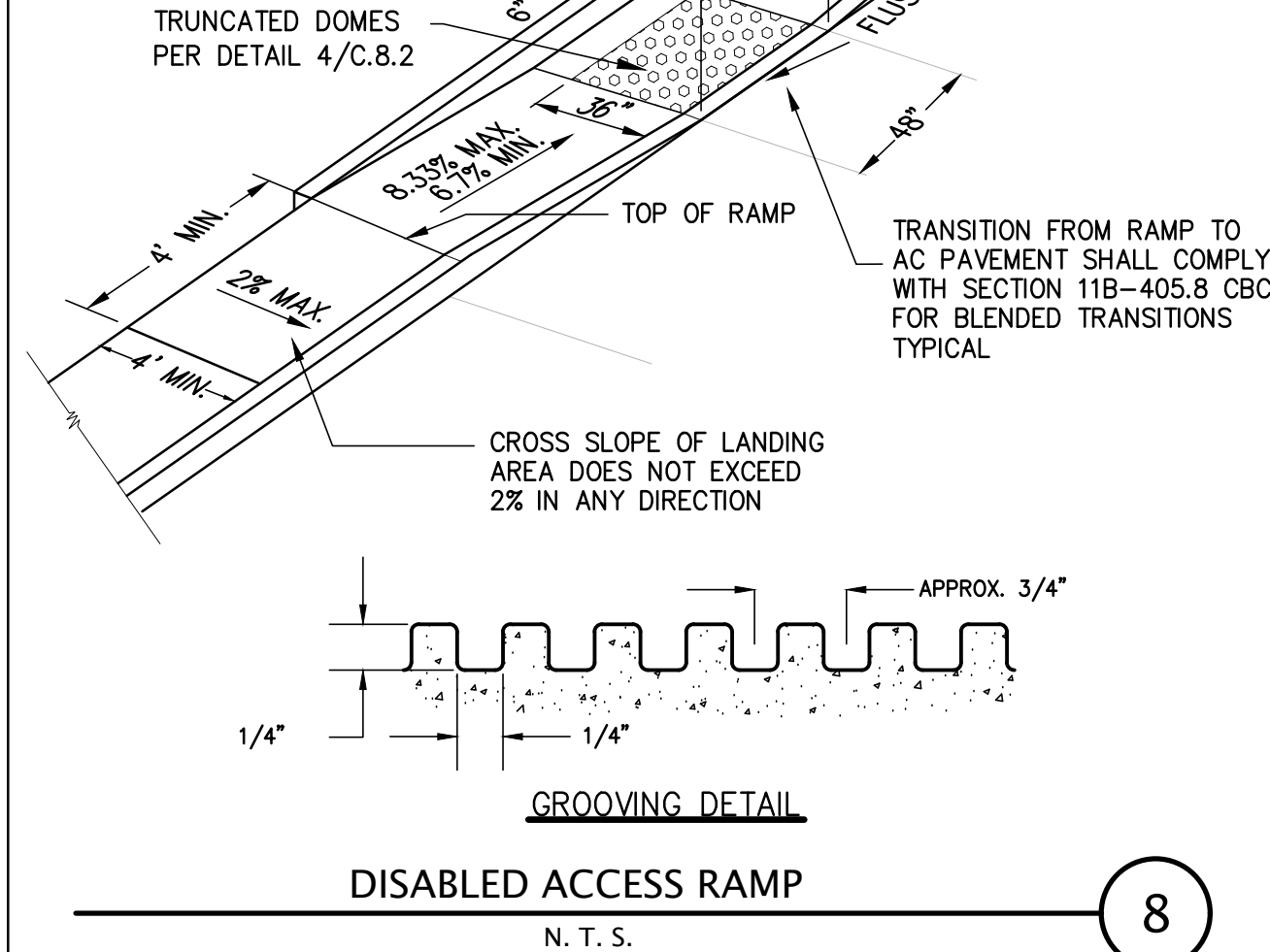
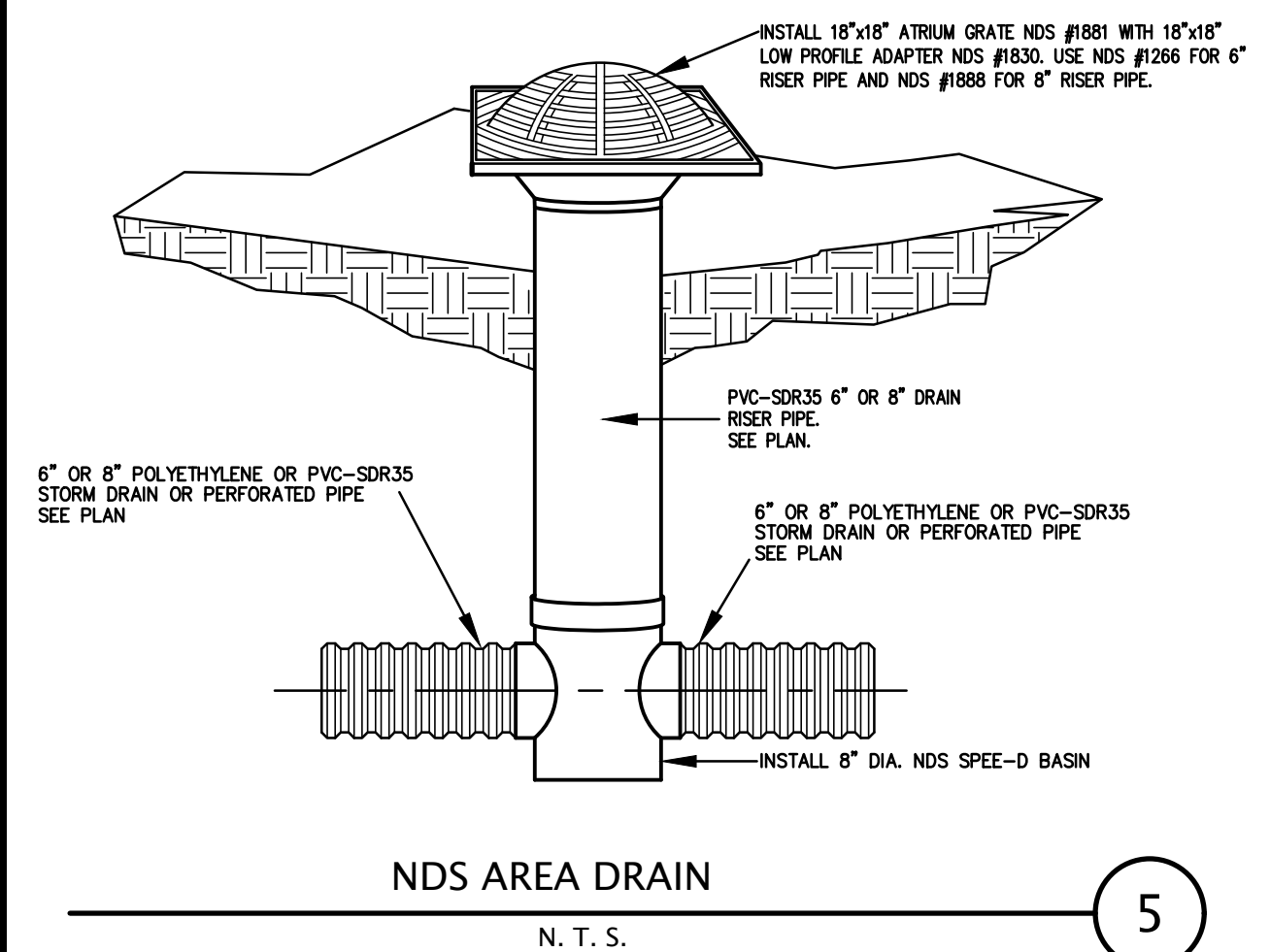
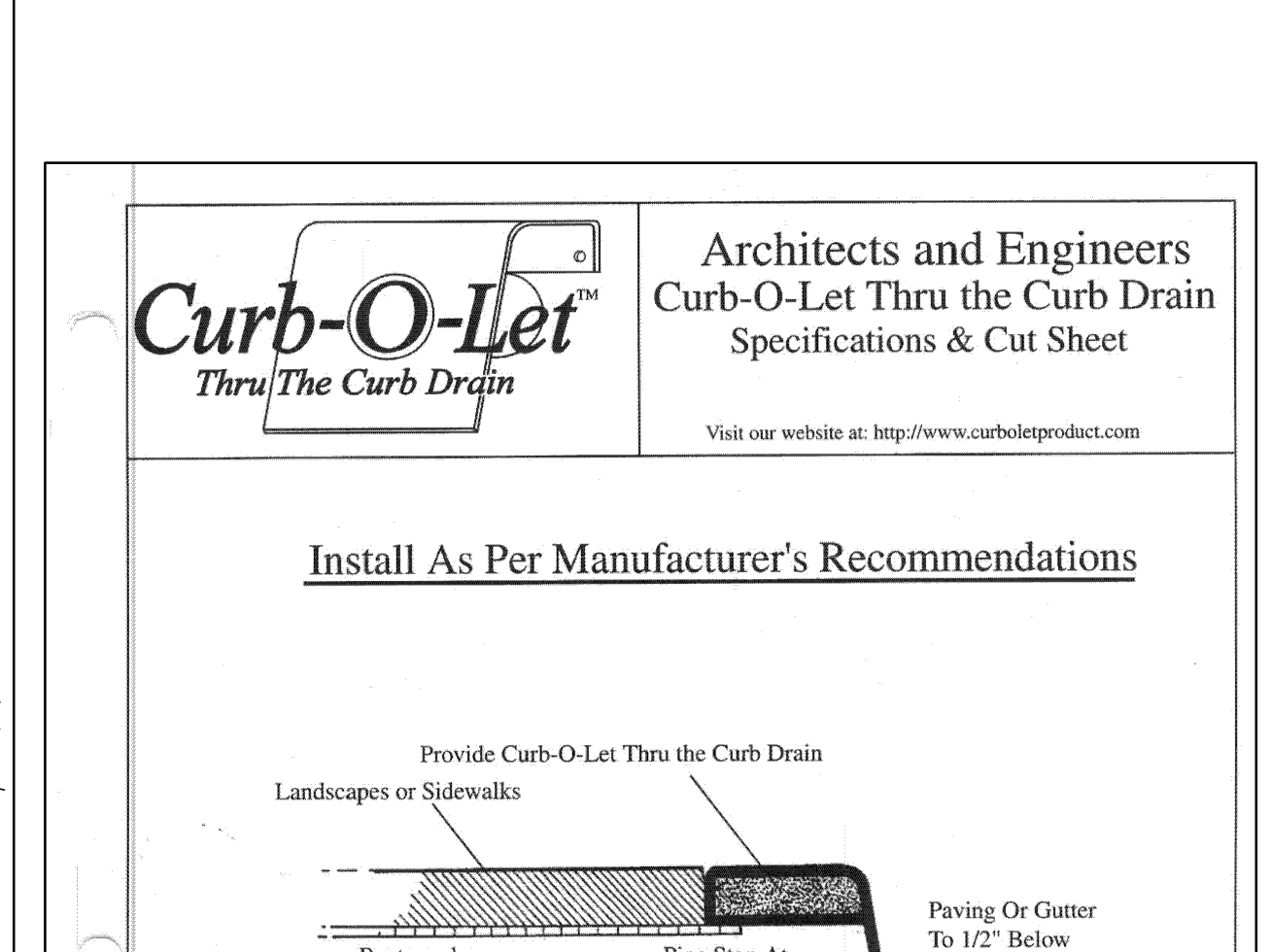
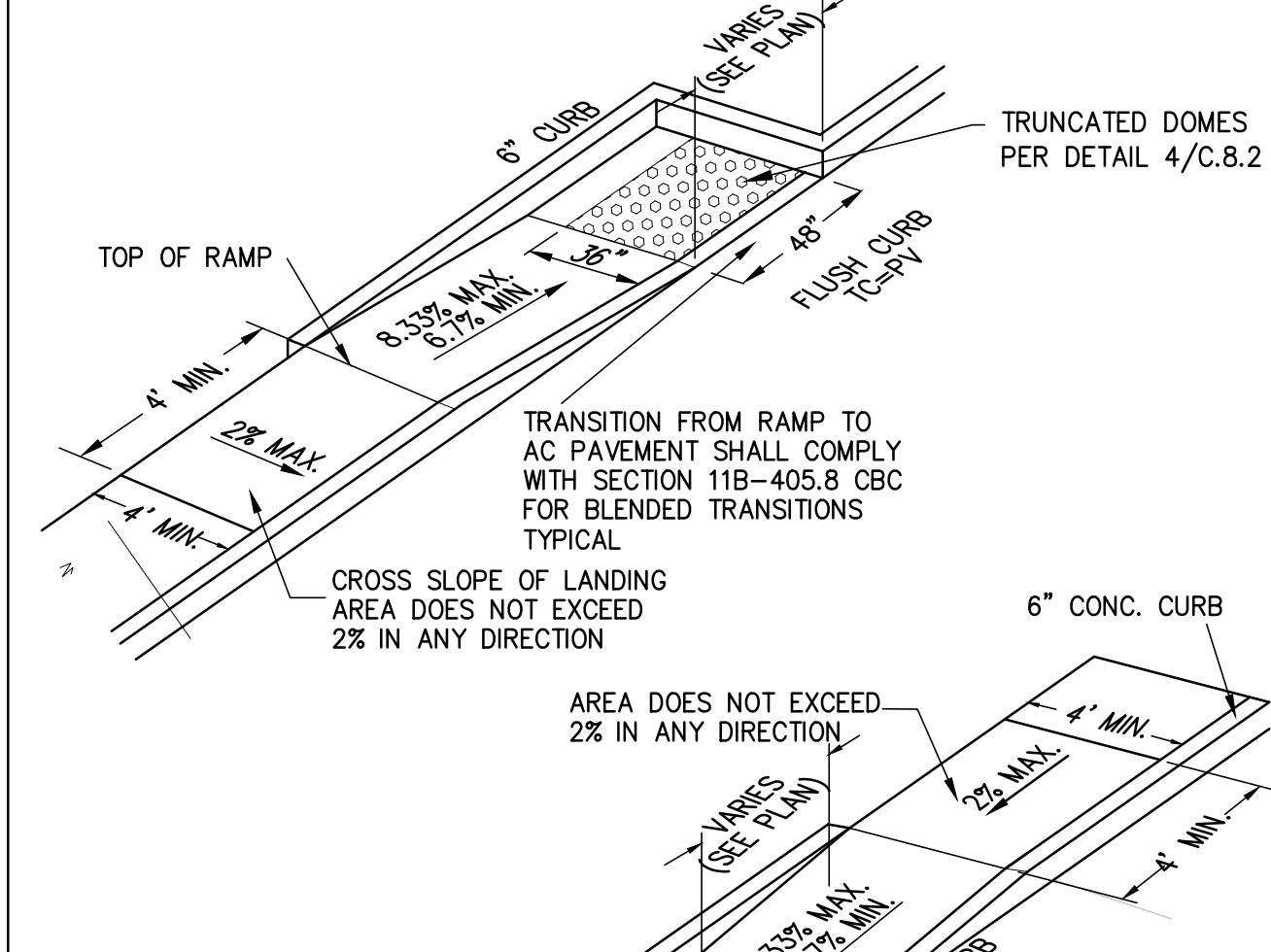
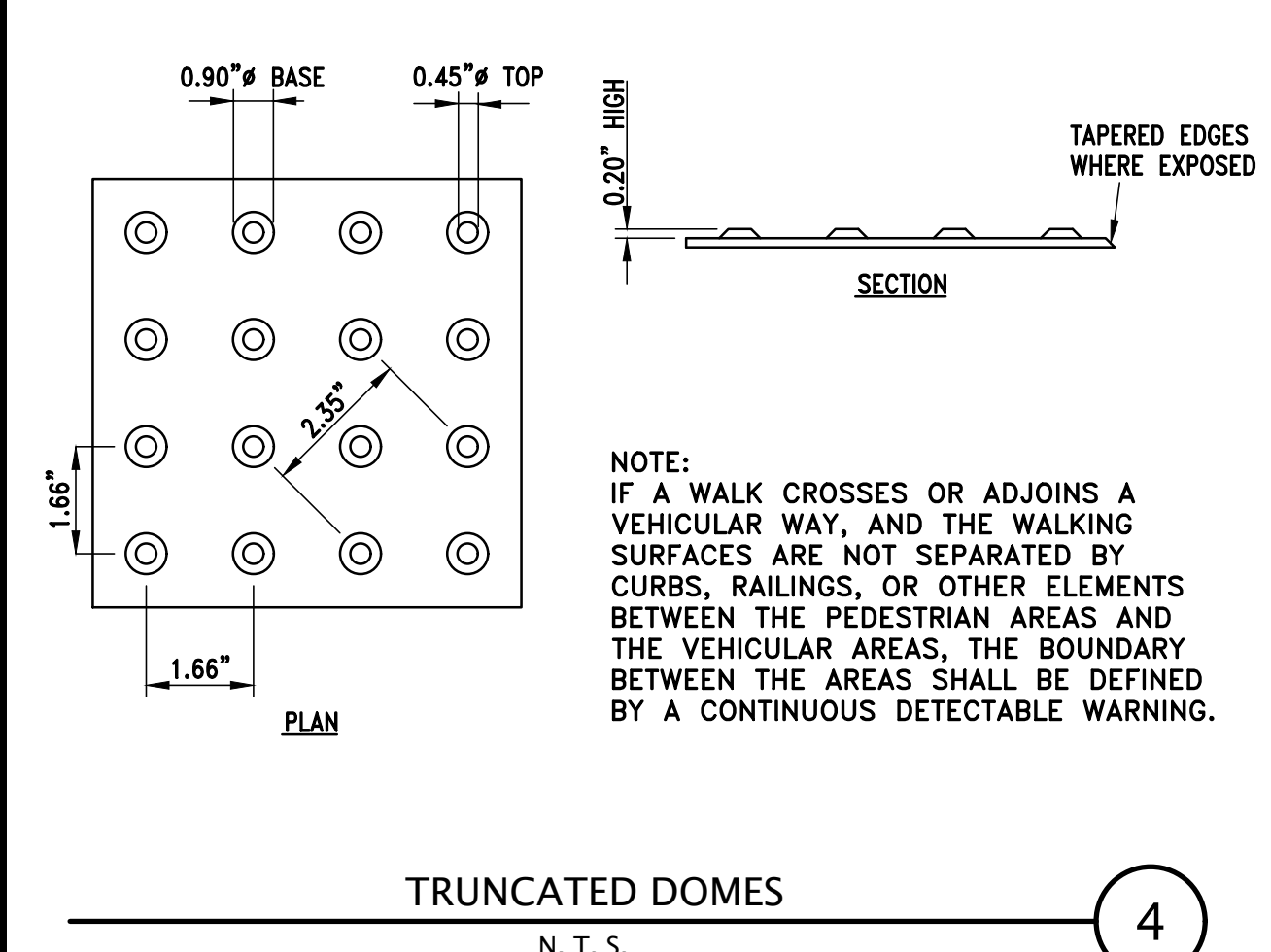
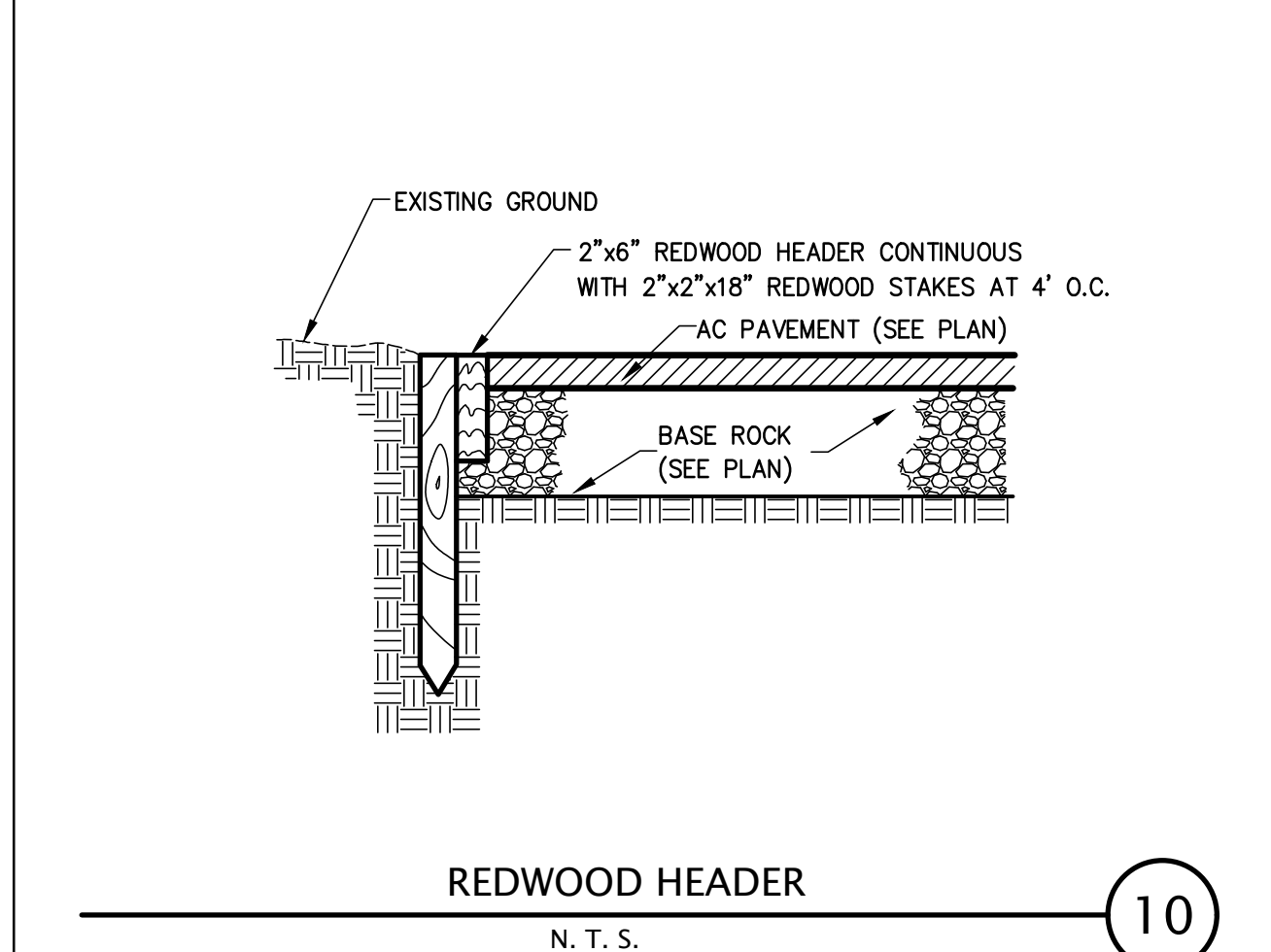
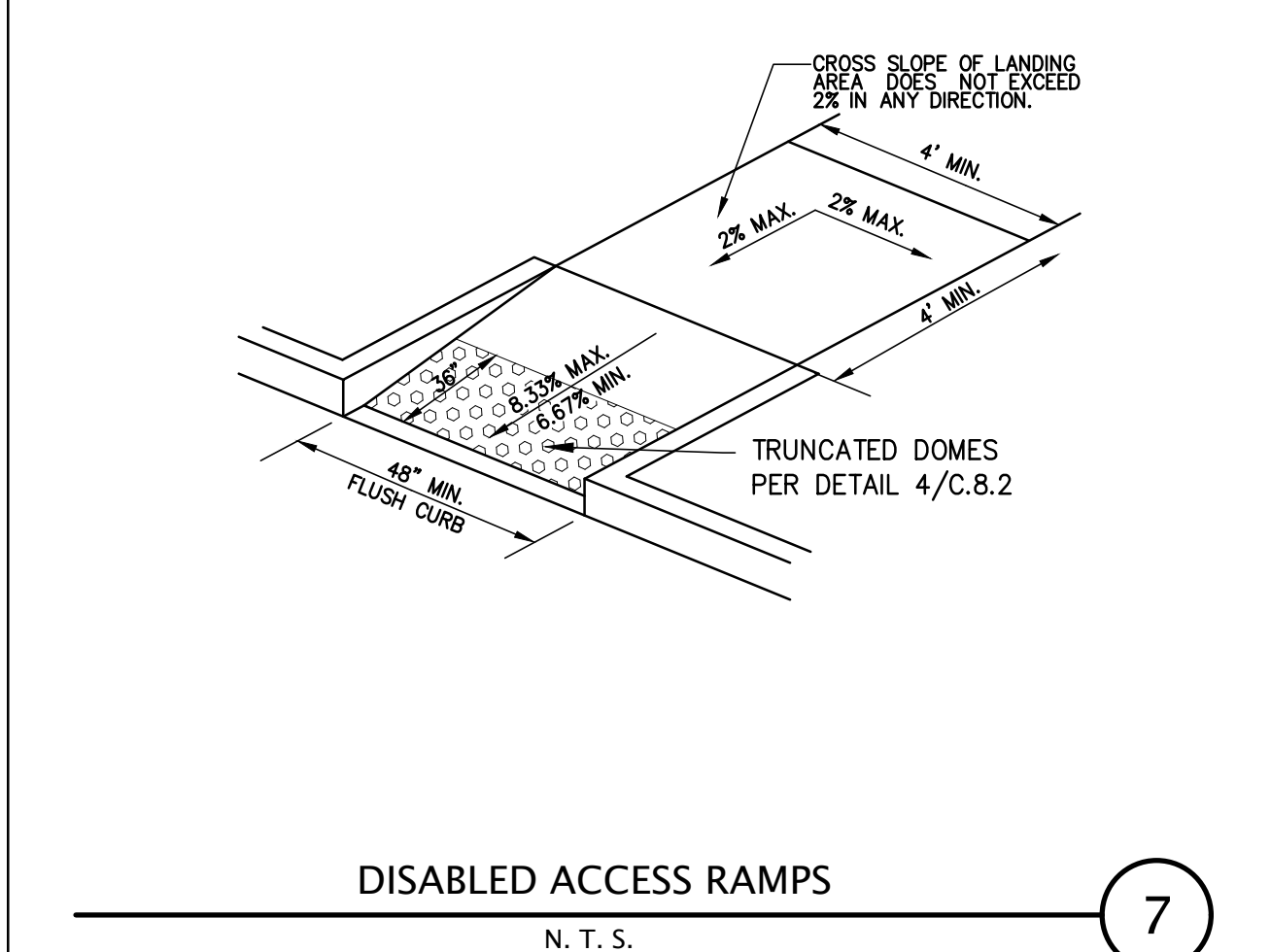
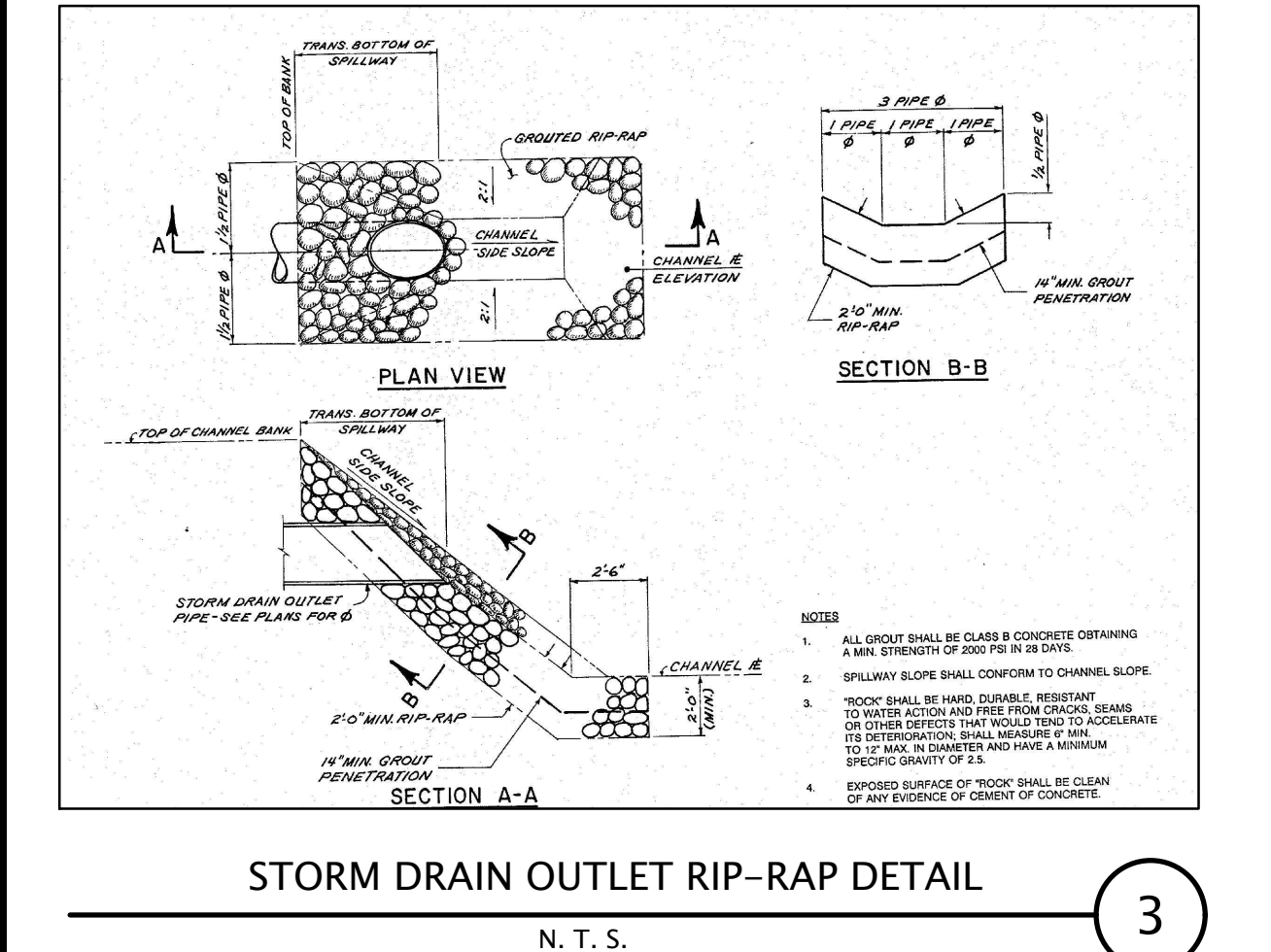
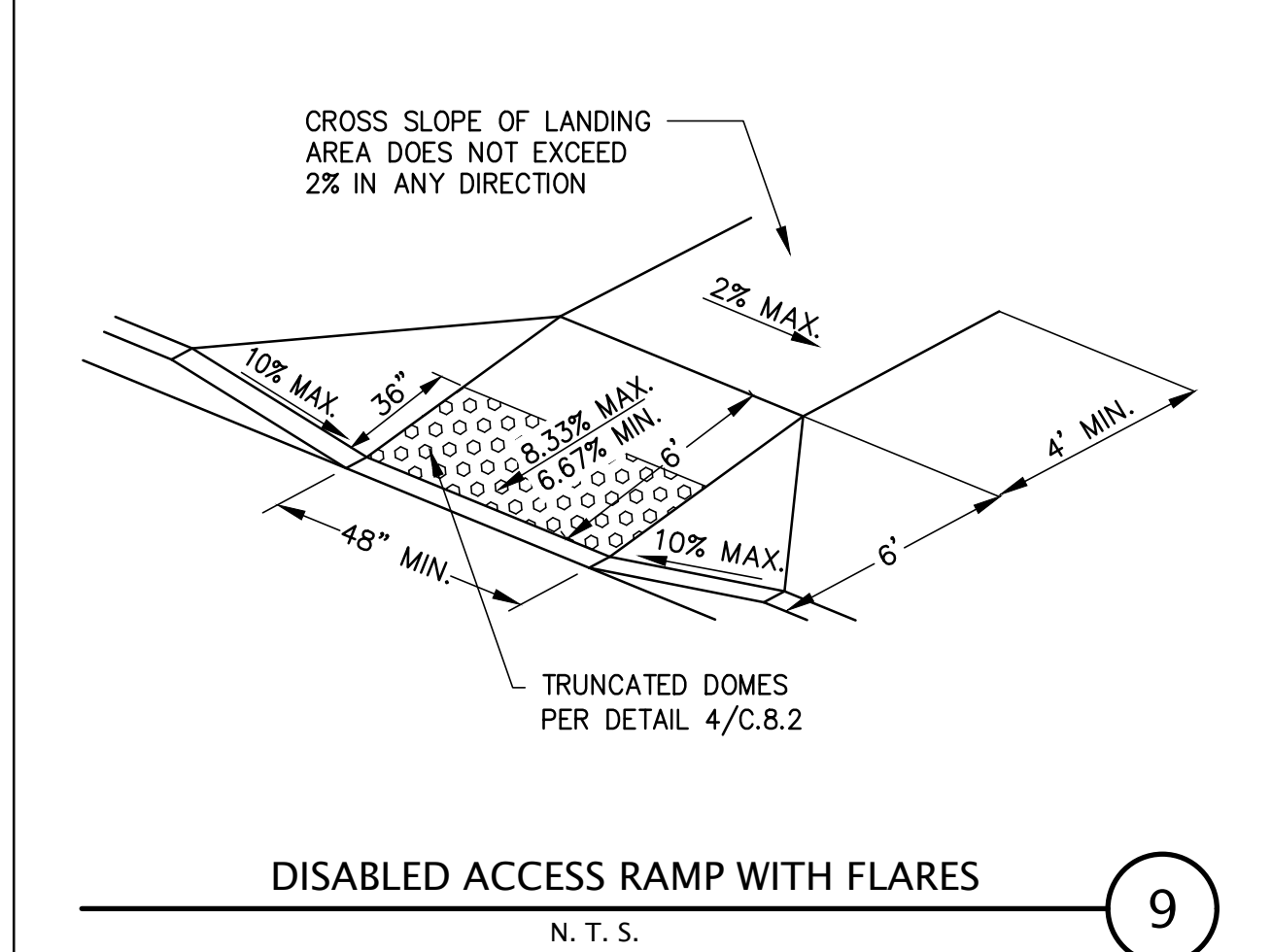
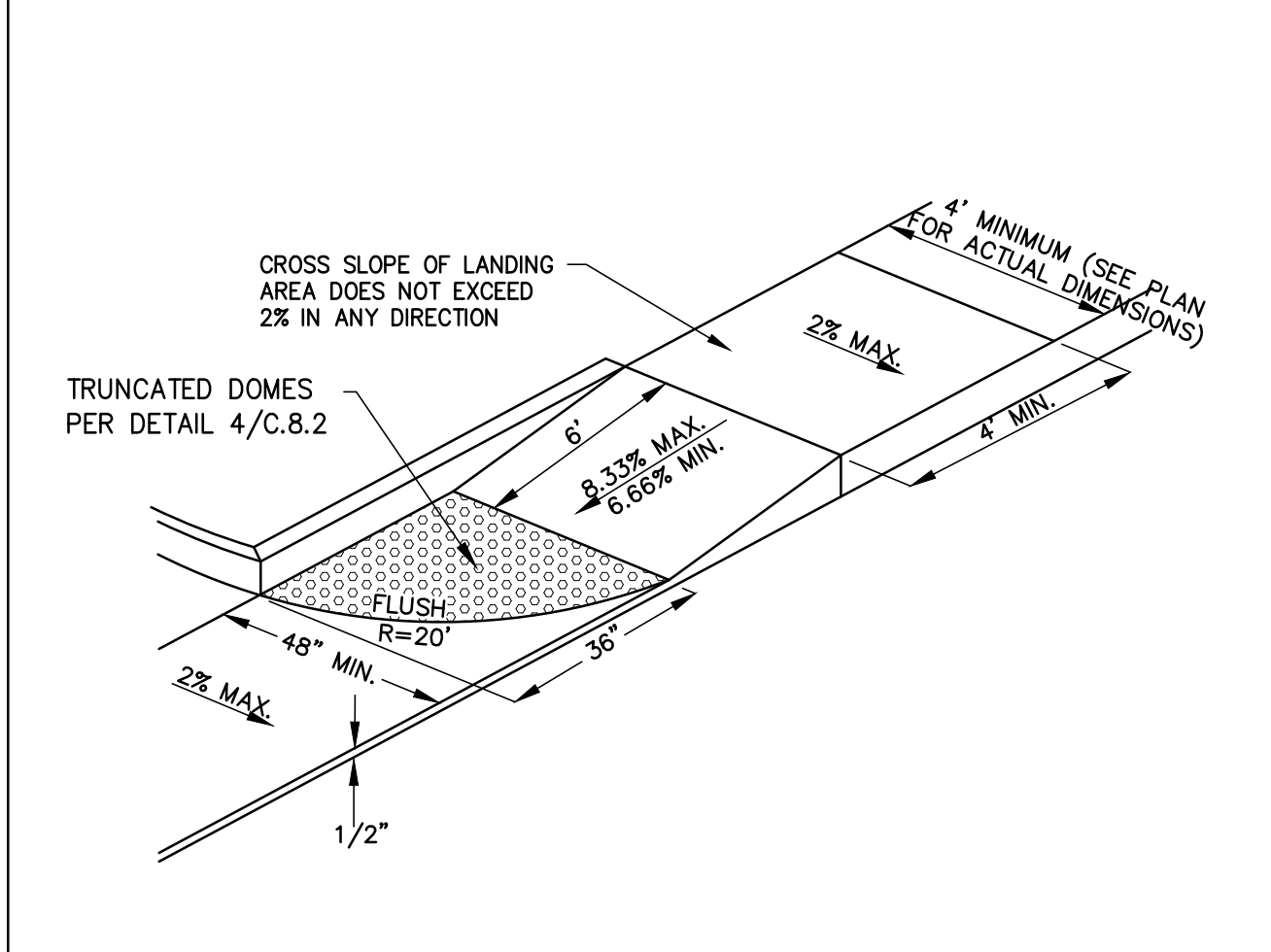
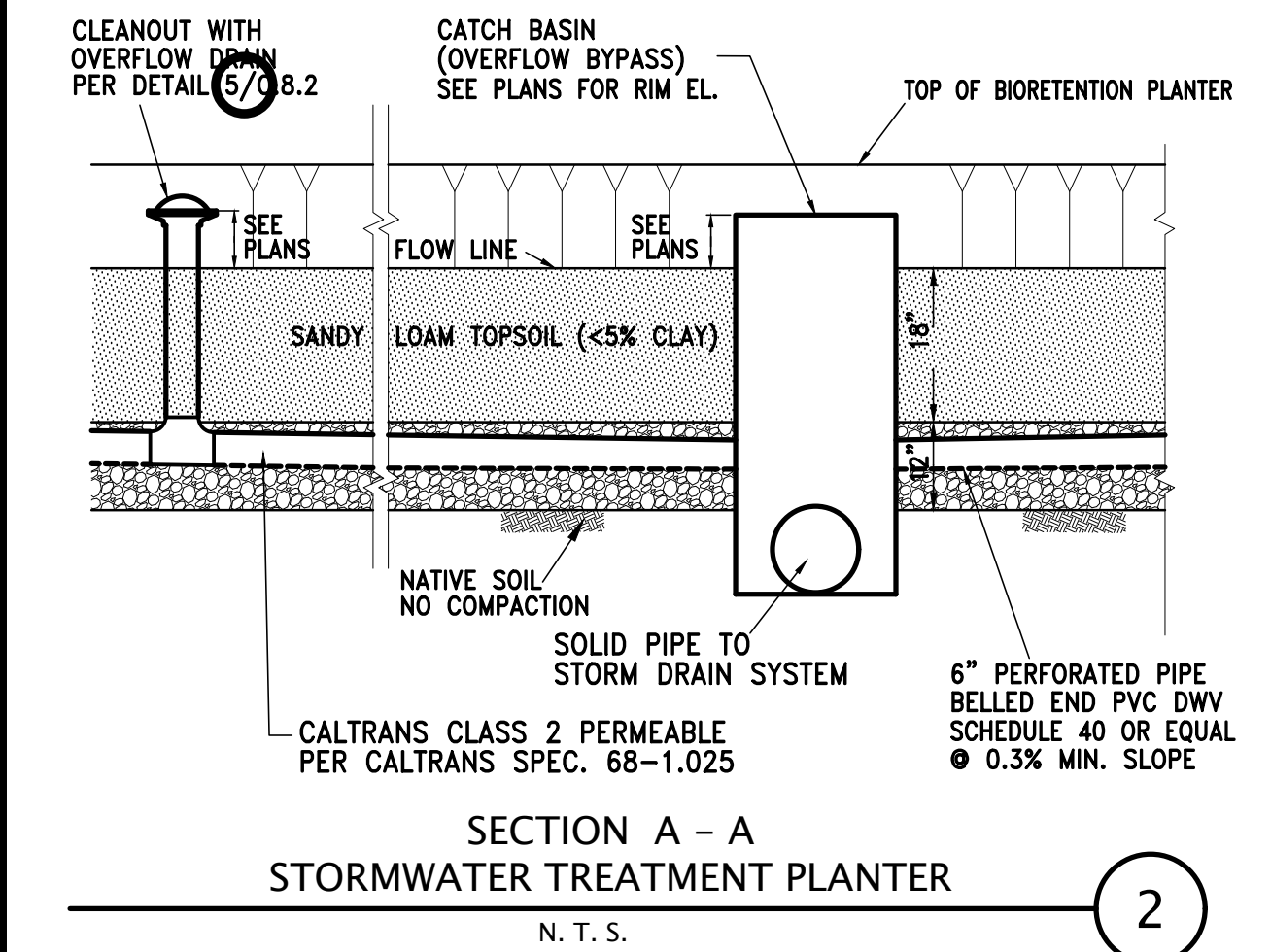
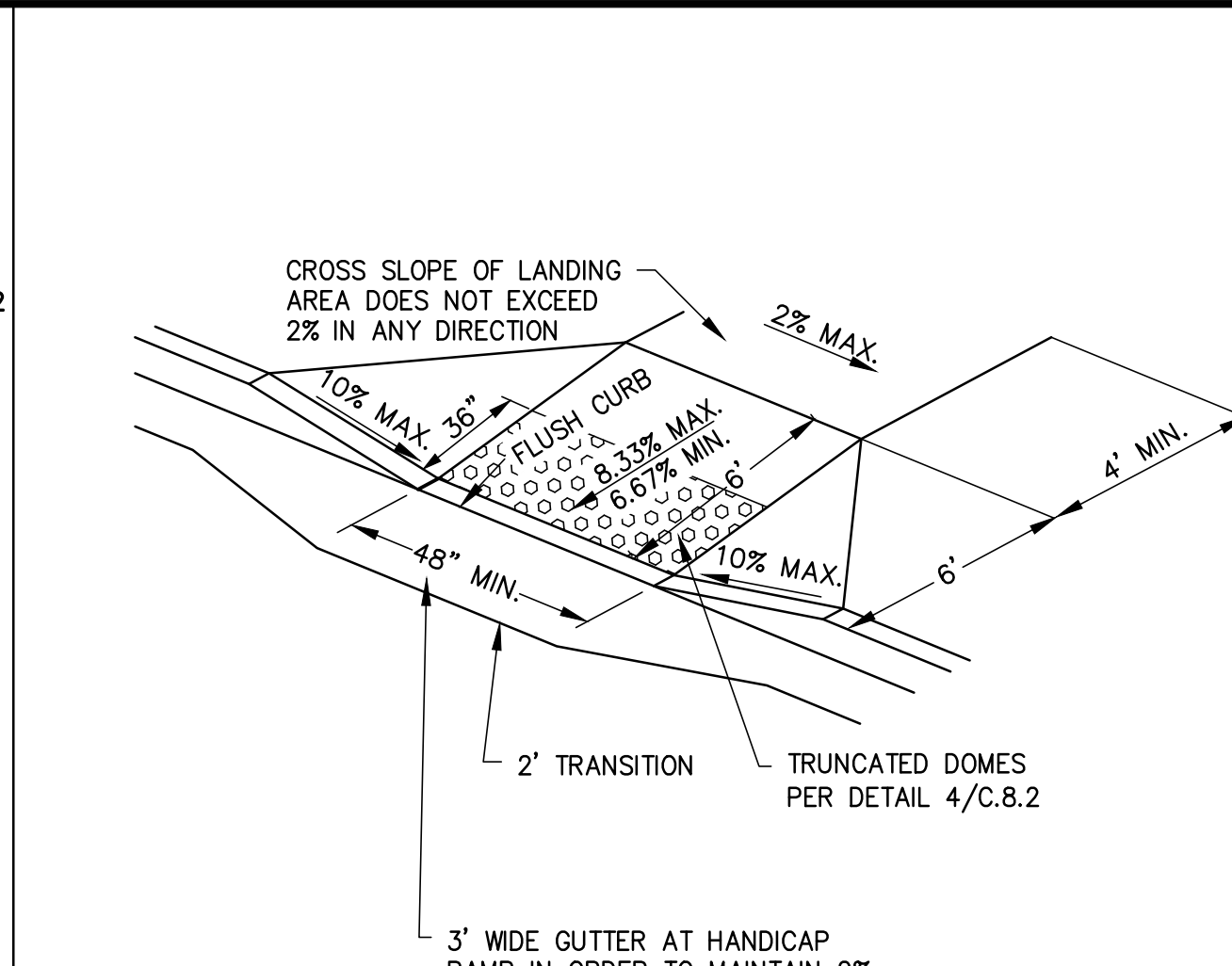
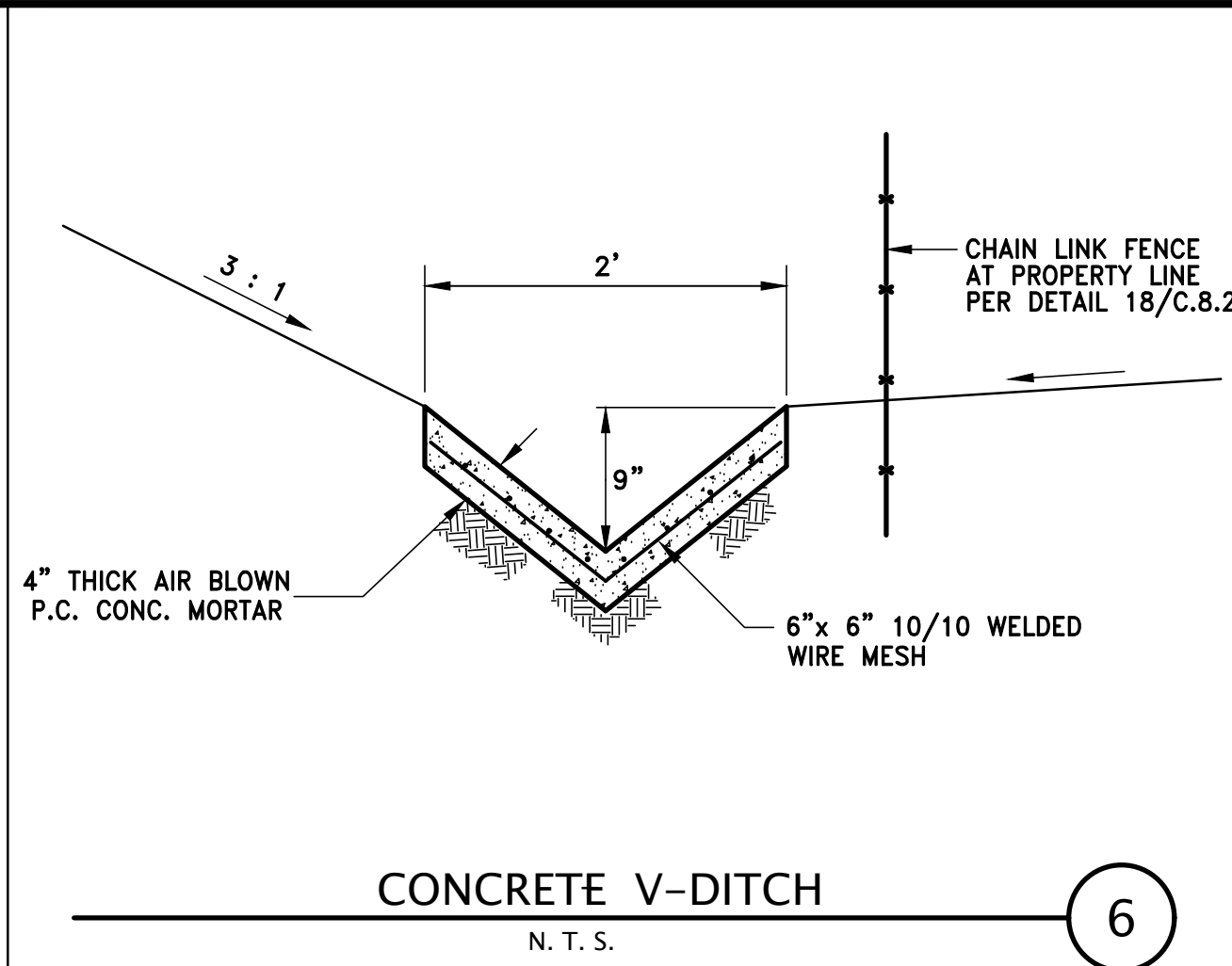
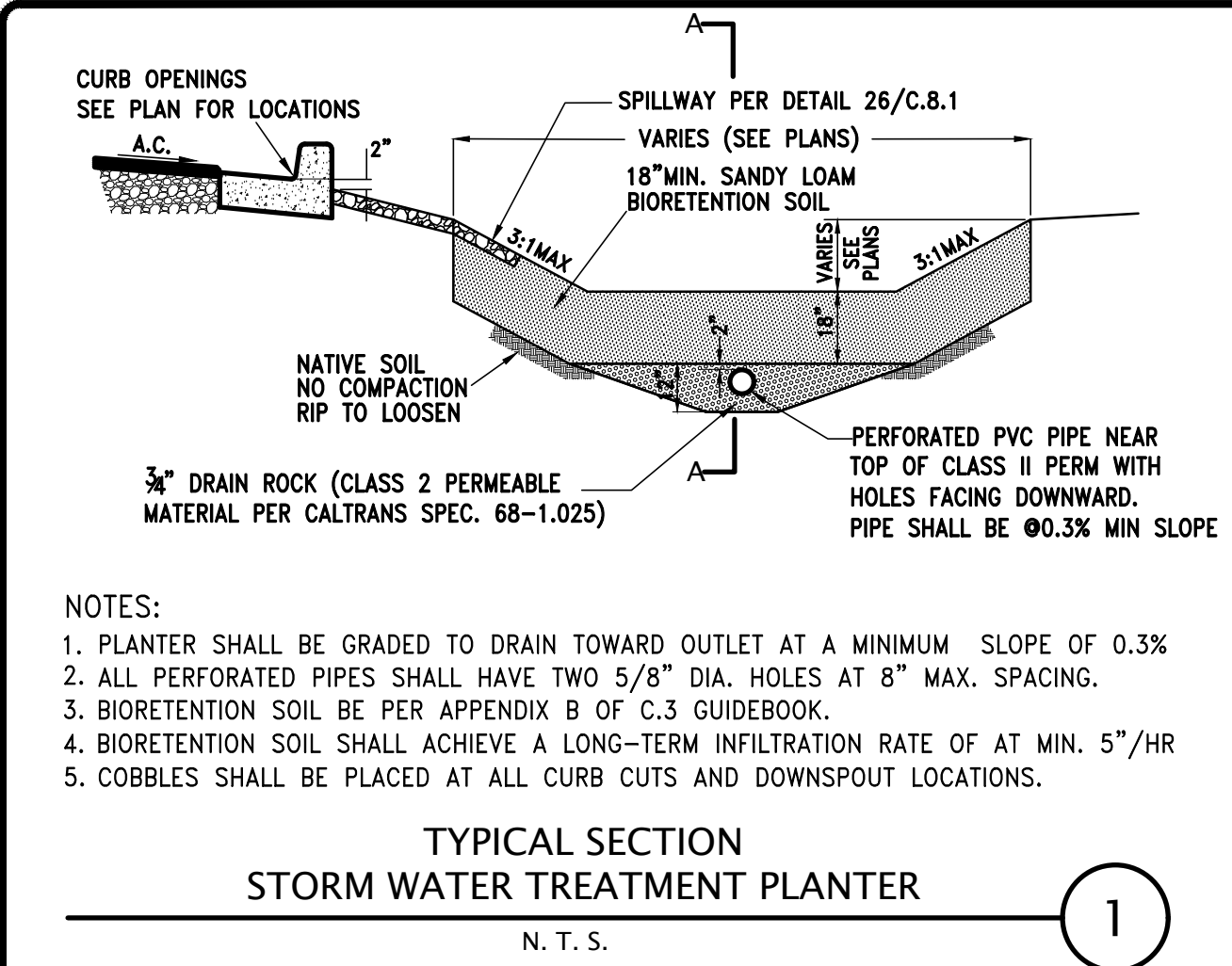


TRACY

DETAILS
I.P.C. - BUILDING 2
PROLOGIS

CALIFORNIA

| | |
|----------|------------|
| DATE | 08/06/2020 |
| SCALE | N.T.S. |
| DESIGNER | M.C. |
| JOB NO. | A09500-175 |
| SHEET | C.8.1 |
| OF | 12 SHEETS |



| NO. | REVISION | BY | NO. | REVISION | BY |
|-----|------------------------|------------|-----|----------|----|
| 1 | 1ST PLANNING SUBMITTAL | 10/28/2019 | 1 | | |
| 2 | 40% PROGRESS SET | 12/06/2019 | 2 | | |
| 3 | 80% PROGRESS SET | 01/08/2020 | 3 | | |
| 4 | 2nd PLANNING SUBMITTAL | 02/18/2020 | 4 | | |
| 5 | 3rd PLANNING SUBMITTAL | 05/11/2020 | 5 | | |

KIER+WRIGHT

2850 Collier Canyon Road
Livermore, California 94551

Phone (925) 245-8788
www.kierwright.com

REGISTERED PROFESSIONAL ENGINEER
No. 21814
CIVIL
STATE OF CALIFORNIA

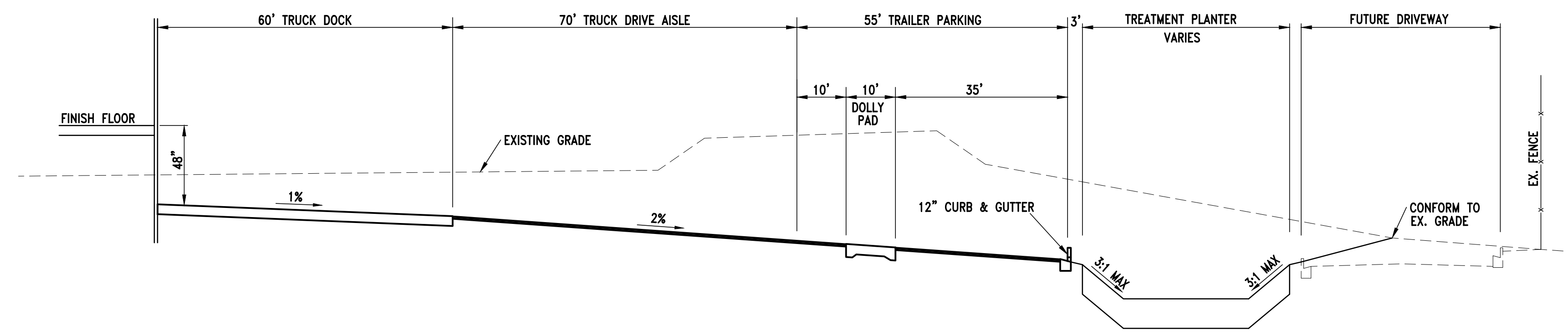
TRACY

DATE 08/06/2020
SCALE N.T.S.
DESIGNER M.C.
JOB NO. A09500-175
SHEET C.8.2
OF 12 SHEETS

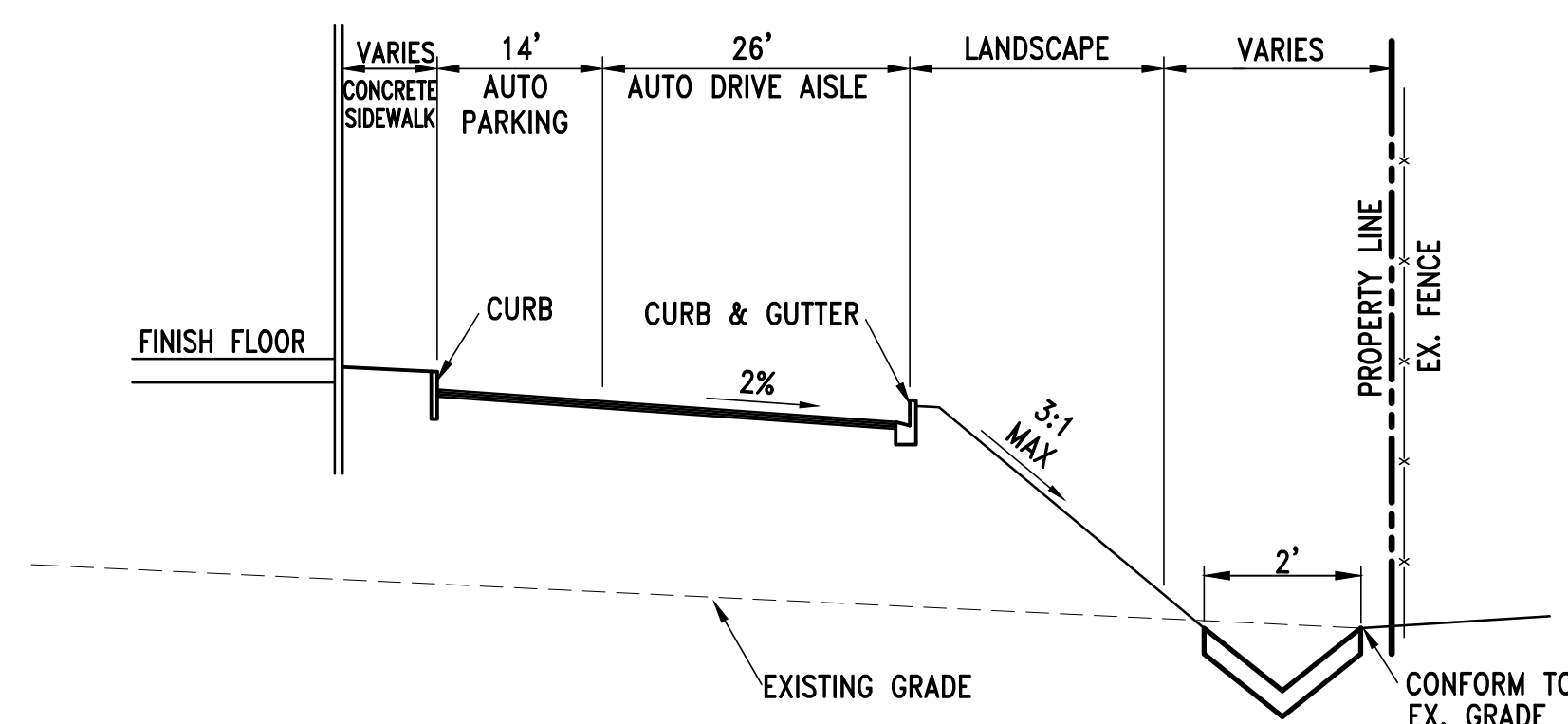
**DETAILS
I.P.C. - BUILDING 2
PROLOGIS**

CALIFORNIA

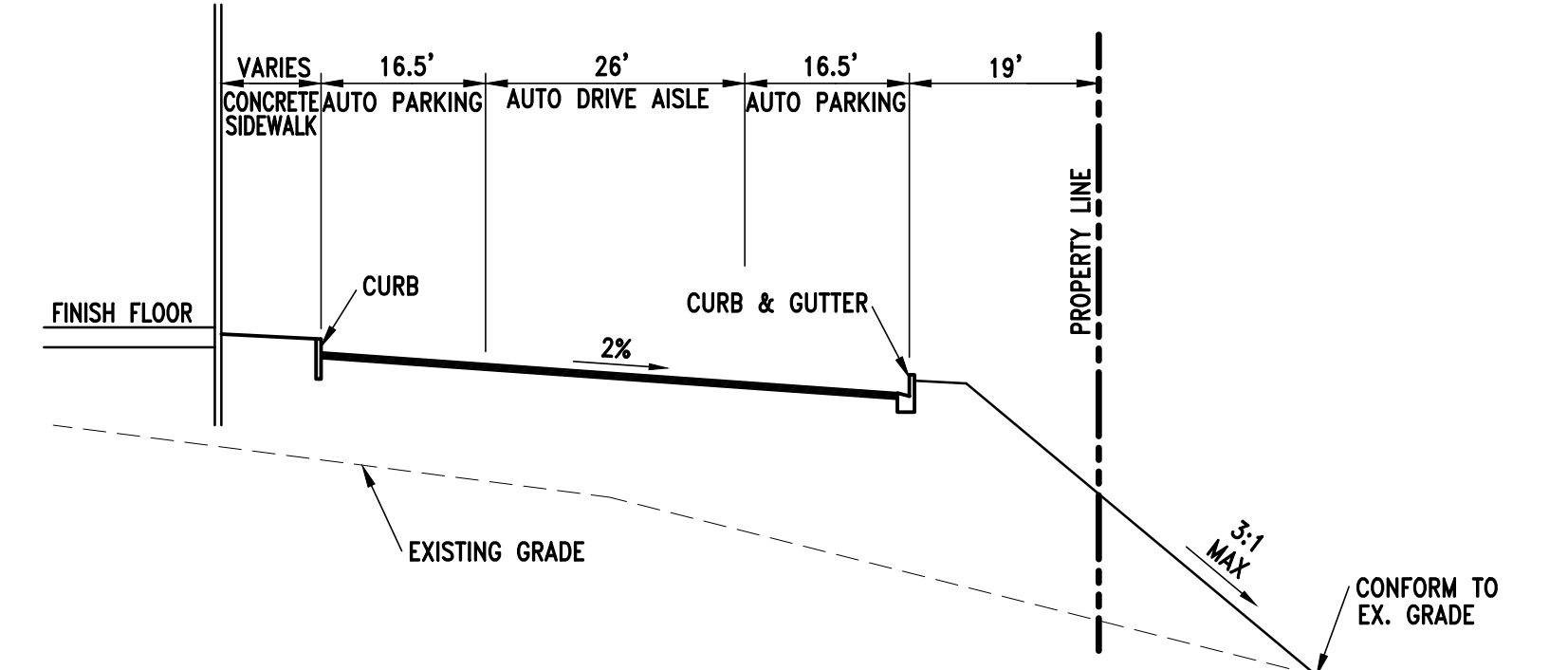
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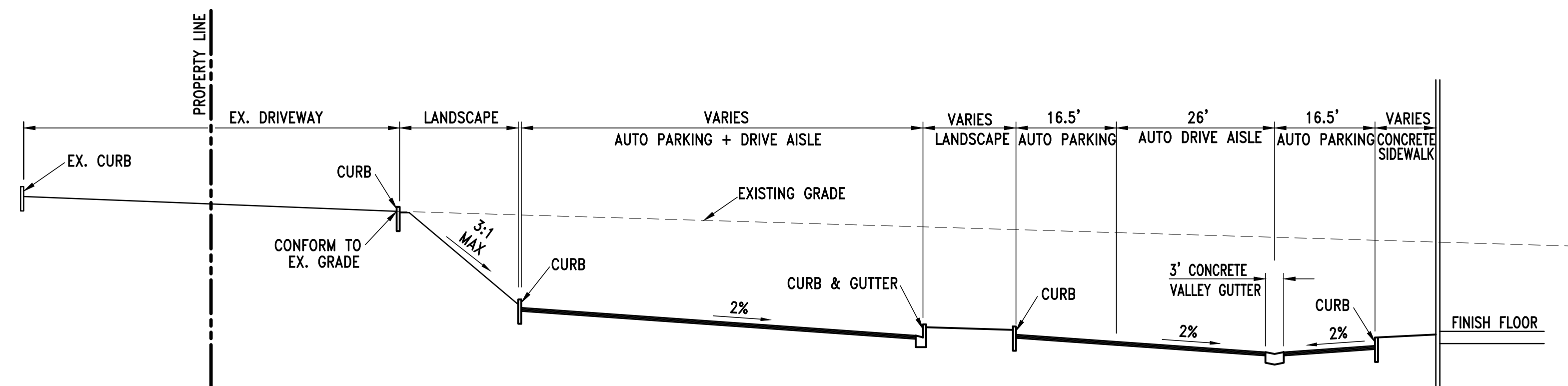
SECTION A-A WEST SIDE - NORTHERLY
N.T.S.



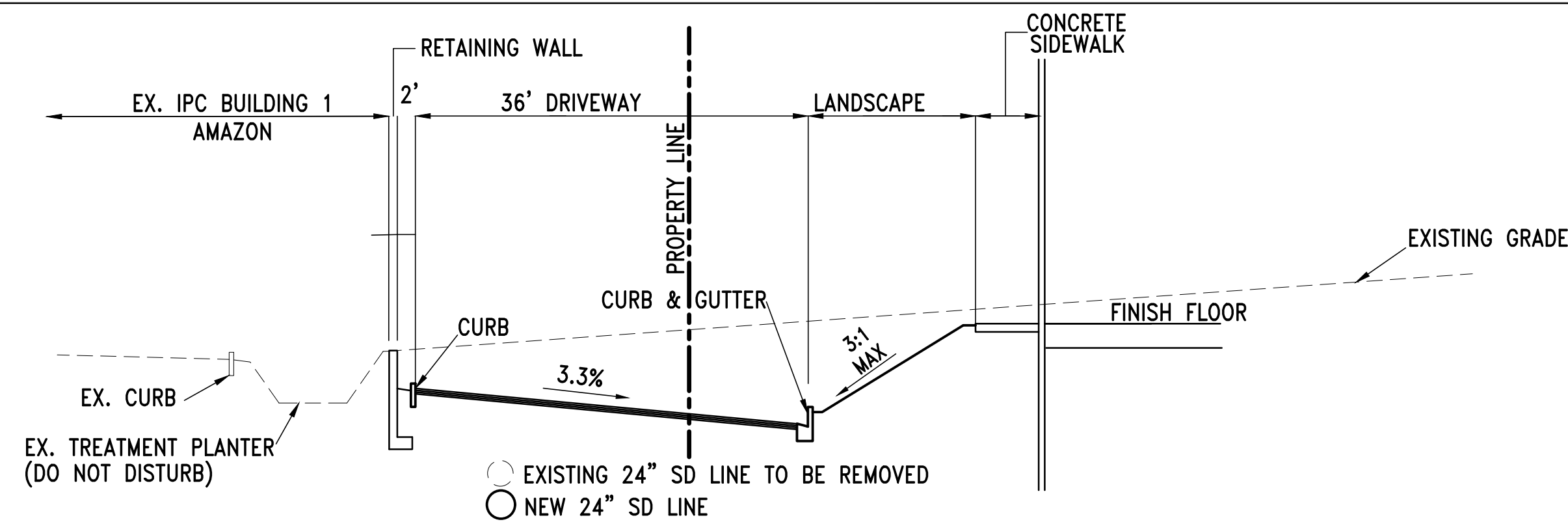
SECTION B-B NORTH SIDE - EASTERLY
N.T.S.



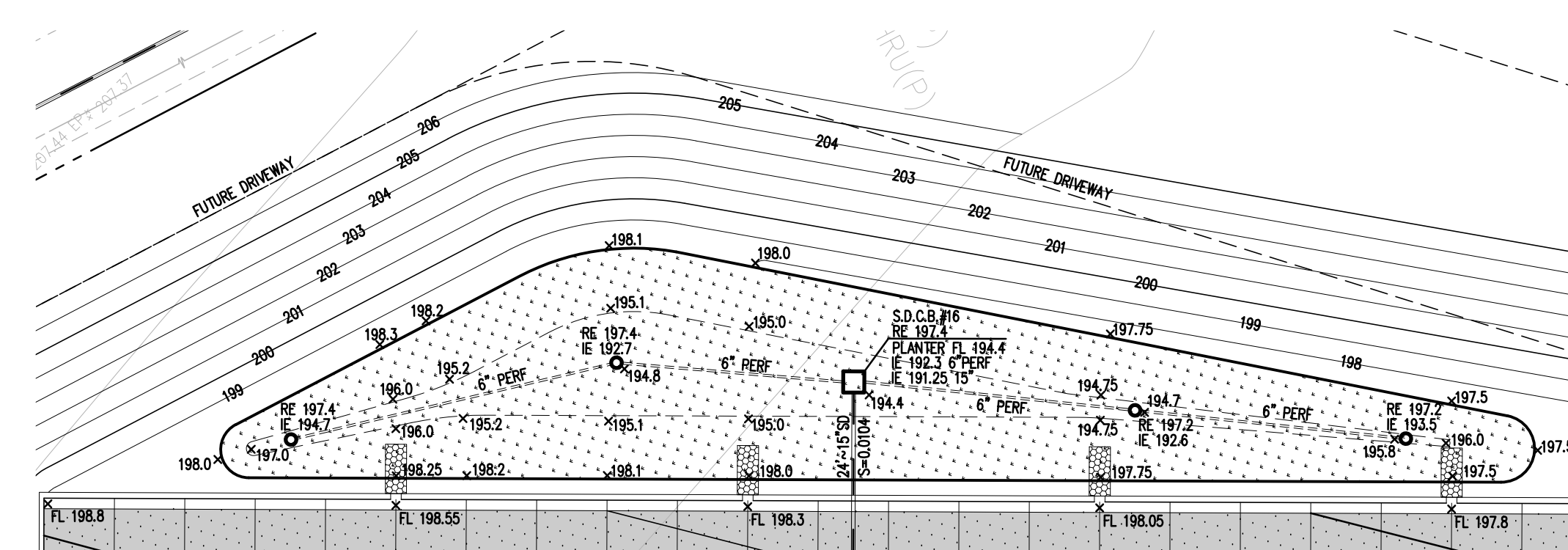
SECTION C-C EAST SIDE - SOUTHERLY
N.T.S.



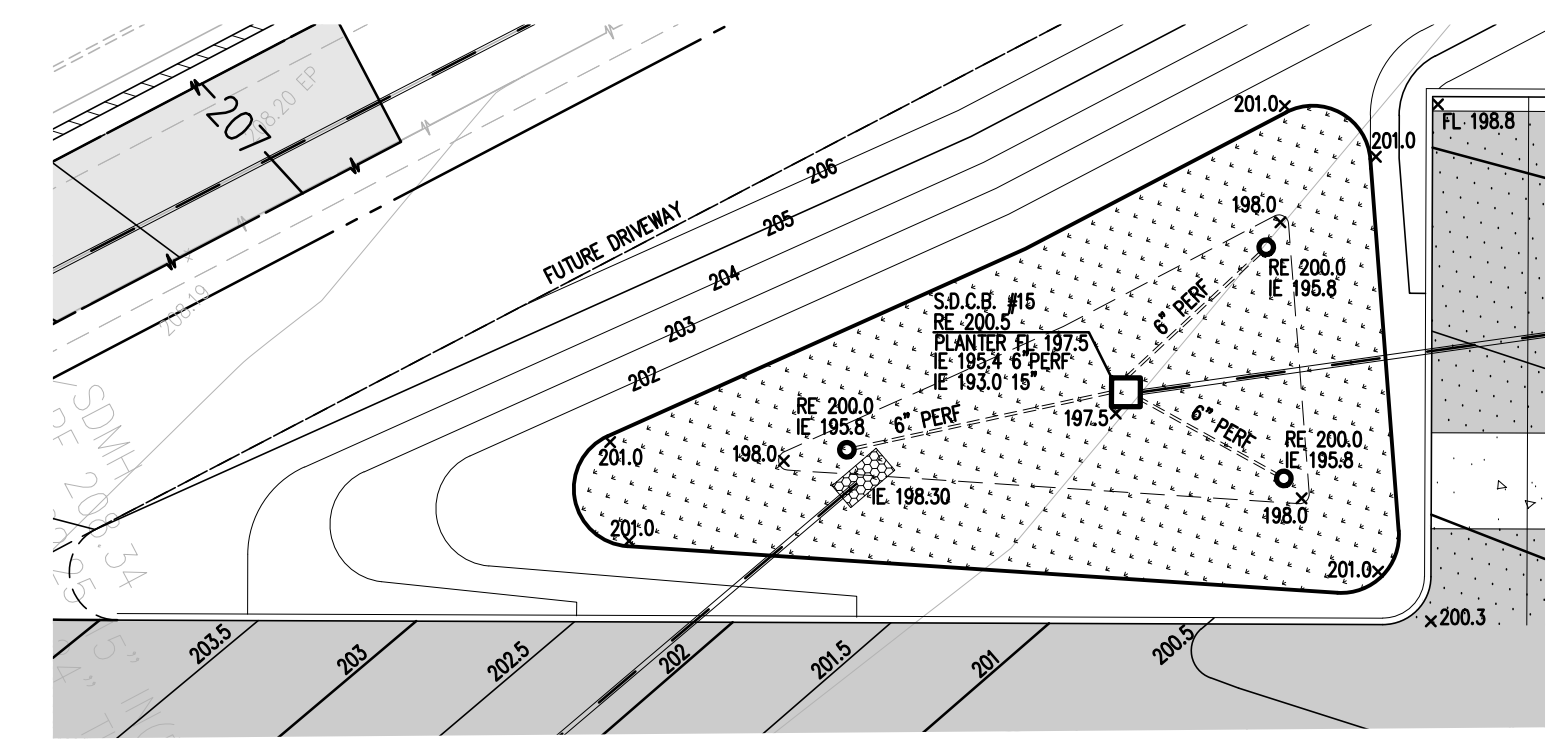
SECTION D-D SOUTH SIDE - WESTERLY
N.T.S.



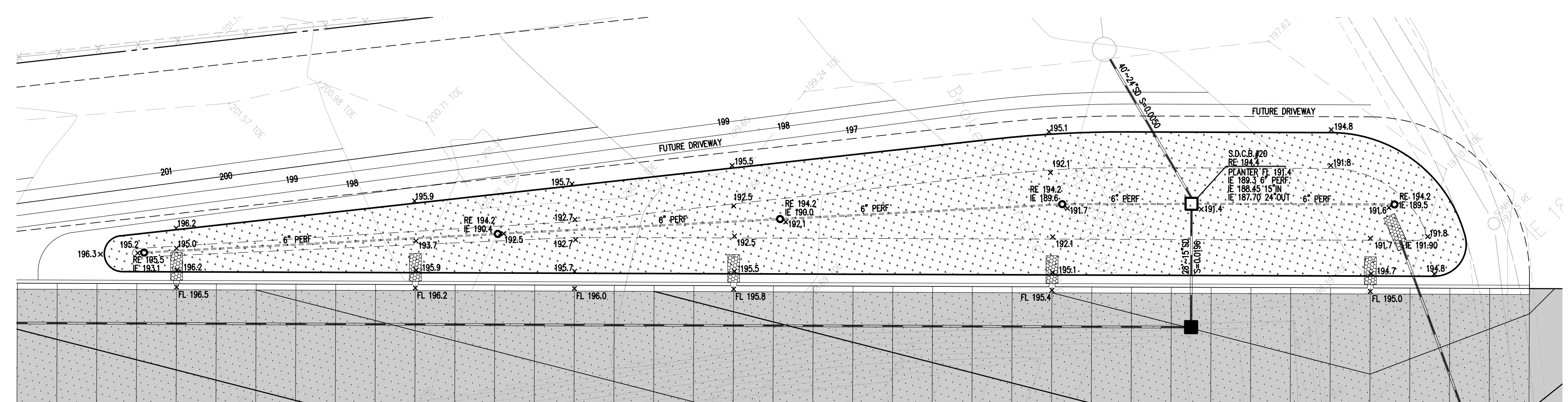
SECTION E-E NORTH SIDE - WESTERLY
N.T.S.



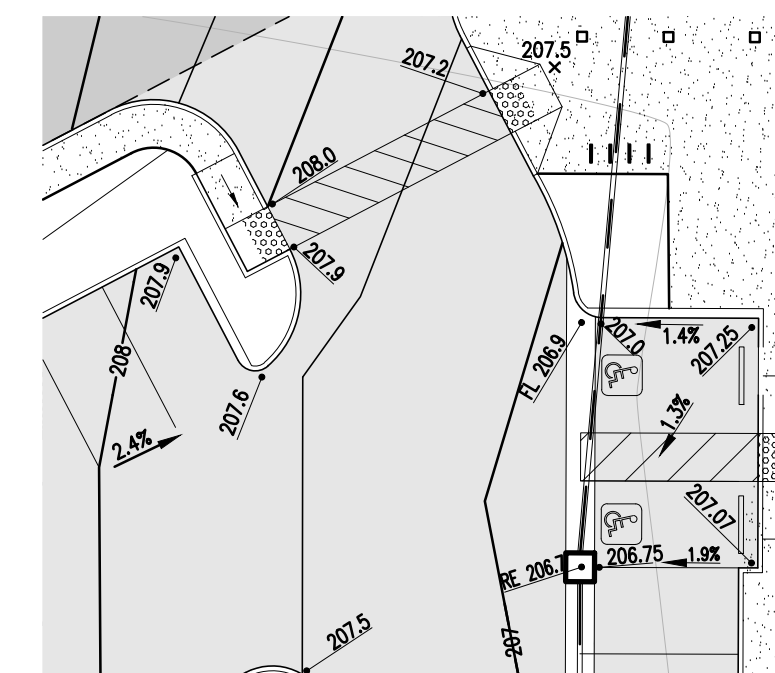
PLANTER GRADING DETAIL 2
SCALE 1" = 20'



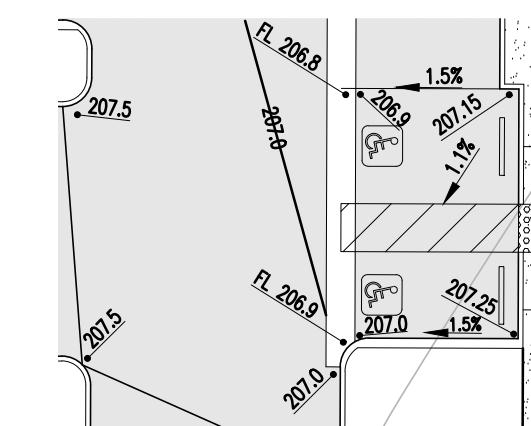
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SCALE 1" = 20'



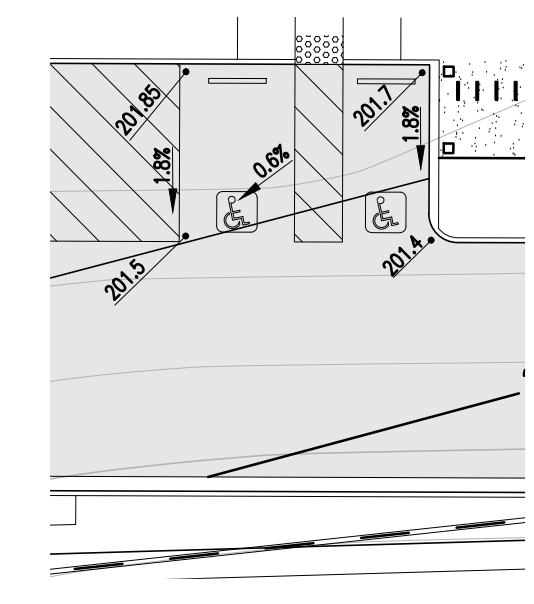
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SCALE 1" = 20'



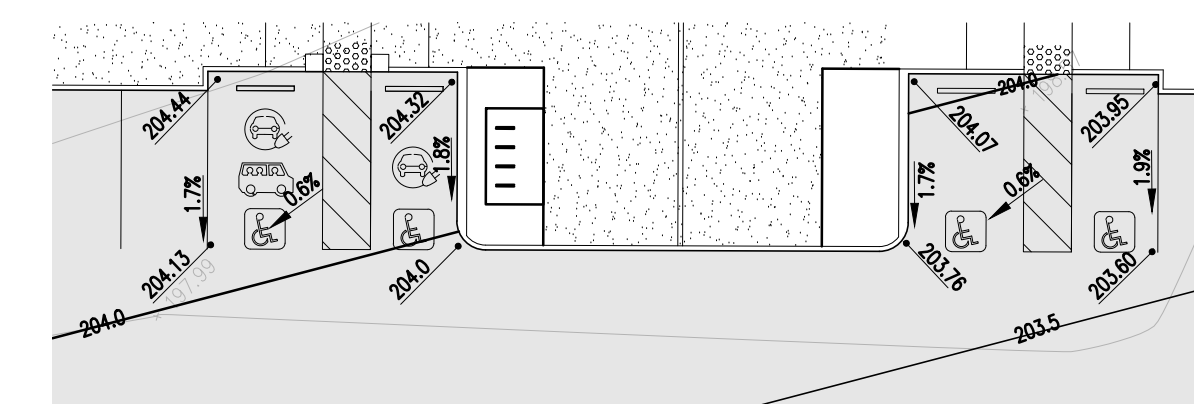
GRADING DETAIL 6
SCALE 1" = 20'



GRADING DETAIL 5
SCALE 1" = 20'

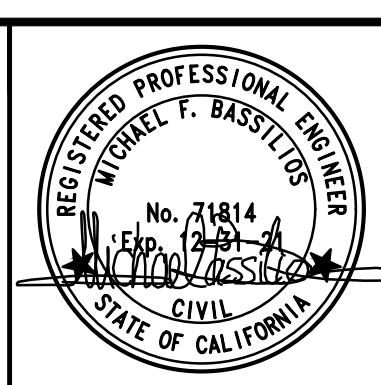


GRADING DETAIL 4
SCALE 1" = 20'



GRADING DETAIL 7
SCALE 1" = 20'

| NO. | REVISION | BY | NO. | REVISION | BY |
|-----|------------------------|------------|-----|----------|----|
| 1 | 1ST PLANNING SUBMITTAL | 10/28/2019 | 1 | | |
| 2 | 40% PROGRESS SET | 12/06/2019 | 2 | | |
| 3 | 80% PROGRESS SET | 01/08/2020 | 3 | | |
| 4 | 2nd PLANNING SUBMITTAL | 02/18/2020 | 4 | | |
| 5 | 3rd PLANNING SUBMITTAL | 05/11/2020 | 5 | | |

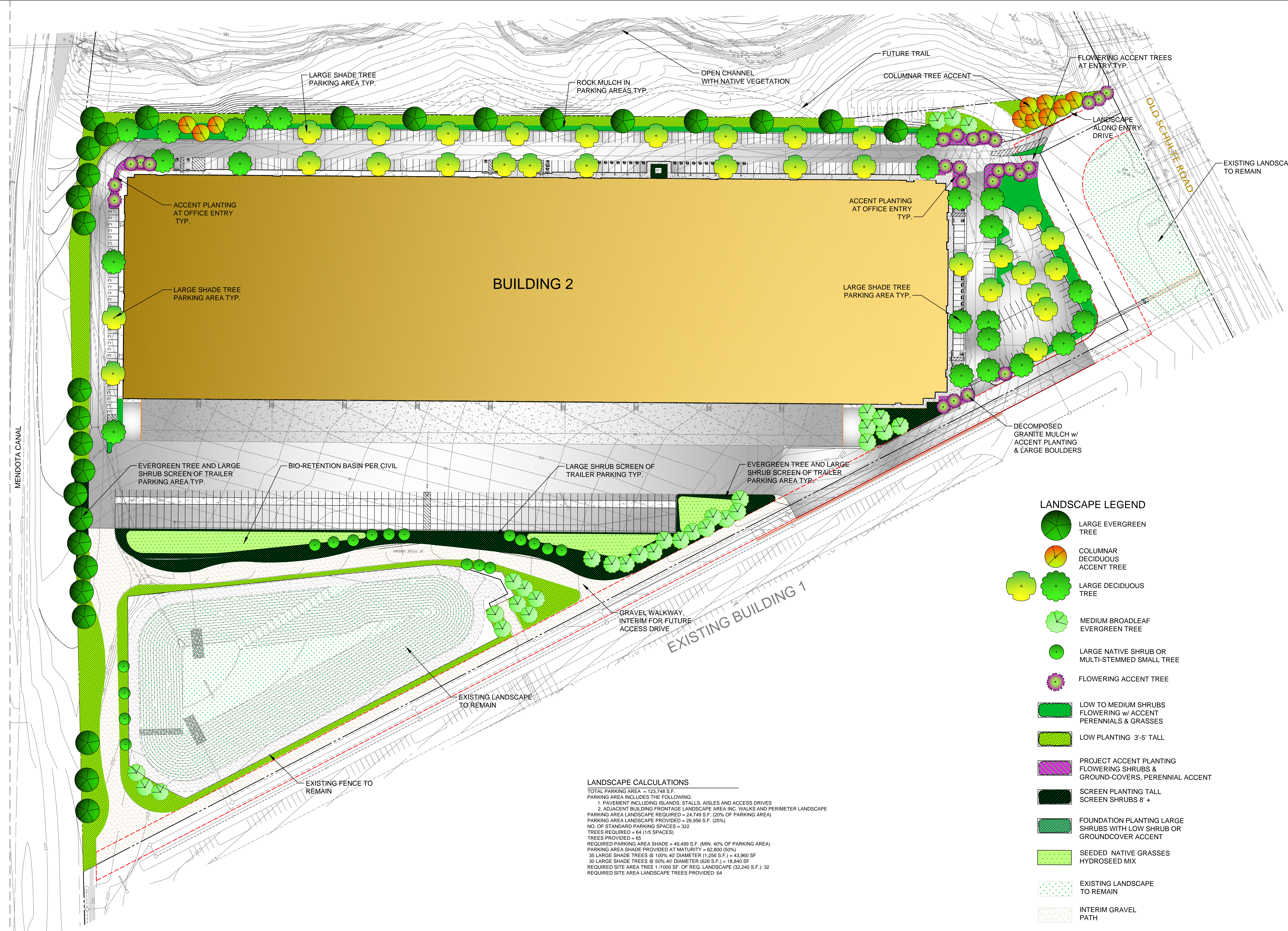


TRACY

GRADING DETAILS & SECTIONS I.P.C. - BUILDING 2 PROLOGIS

CALIFORNIA

| | |
|----------|------------|
| DATE | 08/06/2020 |
| SCALE | AS NOTED |
| DESIGNER | M.C. |
| JOB NO. | A09500-175 |
| SHEET | C.8.3 |
| OF | 12 SHEETS |



MENDOTA CANAL

OLD SCHULTE ROAD

BUILDING 2

EXISTING BUILDING 1

LANDSCAPE CALCULATIONS

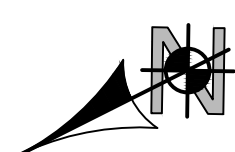
TOTAL PARKING AREA = 123,748 S.F.
PARKING AREA INCLUDES THE FOLLOWING:
1. PAVEMENT INCLUDING ISLANDS, STALLS, AISLES AND ACCESS DRIVES
2. ADJACENT BUILDING FRONTAGE LANDSCAPE AREA INC. WALKS AND PERIMETER LANDSCAPE
PARKING AREA LANDSCAPE REQUIRED = 24,749 S.F. (20% OF PARKING AREA)
PARKING AREA LANDSCAPE PROVIDED = 28,956 S.F. (25%)
NO. OF STANDARD PARKING SPACES = 322
TREES REQUIRED = 64 (1/5 SPACES)
TREES PROVIDED = 65
REQUIRED PARKING AREA SHADE = 49,499 S.F. (MIN. 40% OF PARKING AREA)
PARKING AREA SHADE PROVIDED AT MATURITY = 62,800 (50%)
35 LARGE SHADE TREES @ 100% 40' DIAMETER (1,256 S.F.) = 43,960 SF
30 LARGE SHADE TREES @ 50% 40' DIAMETER (628 S.F.) = 19,840 SF
REQUIRED SITE AREA TREE 1/1000 SF. OF REQ. LANDSCAPE (32,240 S.F.): 32
REQUIRED SITE AREA LANDSCAPE TREES PROVIDED: 64

LANDSCAPE LEGEND

- LARGE EVERGREEN TREE
- COLUMNAR DECIDUOUS ACCENT TREE
- LARGE DECIDUOUS TREE
- MEDIUM BROADLEAF EVERGREEN TREE
- LARGE NATIVE SHRUB OR MULTI-STEMMED SMALL TREE
- FLOWERING ACCENT TREE
- LOW TO MEDIUM SHRUBS FLOWERING w/ ACCENT PERENNIALS & GRASSES
- LOW PLANTING 3'-5' TALL
- PROJECT ACCENT PLANTING FLOWERING SHRUBS & GROUND-COVERS, PERENNIAL ACCENT
- SCREEN PLANTING TALL SCREEN SHRUBS 8' +
- FOUNDATION PLANTING LARGE SHRUBS WITH LOW SHRUB OR GROUND COVER ACCENT
- SEEDED NATIVE GRASSES HYDROSEED MIX
- EXISTING LANDSCAPE TO REMAIN
- INTERIM GRAVEL PATH

PRELIMINARY LANDSCAPE PLAN BUILDING 2

SCALE: 1" = 50'-0"



REFER TO PLANT LIST SHEET LC1.2



HPA, Inc.
383 4th Street, Suite 101
Oakland, CA 94607
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com



Landscape Architects, Inc.
1464 Popinjay Drive
Reno, NV.
p: 775 829 1364
email: bhatch00@charter.net

Owner:



3353 Gateway Blvd.
Fremont, CA 94538
tel: (510) 656-1900

Project:

PROLOGIS
IPC 2

6751 W Schulte Road
Tracy, CA

Consultants:

| | |
|-----------------|--------------|
| CIVIL | K&W |
| STRUCTURAL | BTI |
| MECHANICAL | RPM |
| PLUMBING | RPM |
| ELECTRICAL | RPM |
| LANDSCAPE | Green Design |
| FIRE PROTECTION | HGI |
| SOILS ENGINEER | Kleinfelder |

Title:

PRELIMINARY LANDSCAPE
PLAN

Project Number: 19451

Drawn by: BH

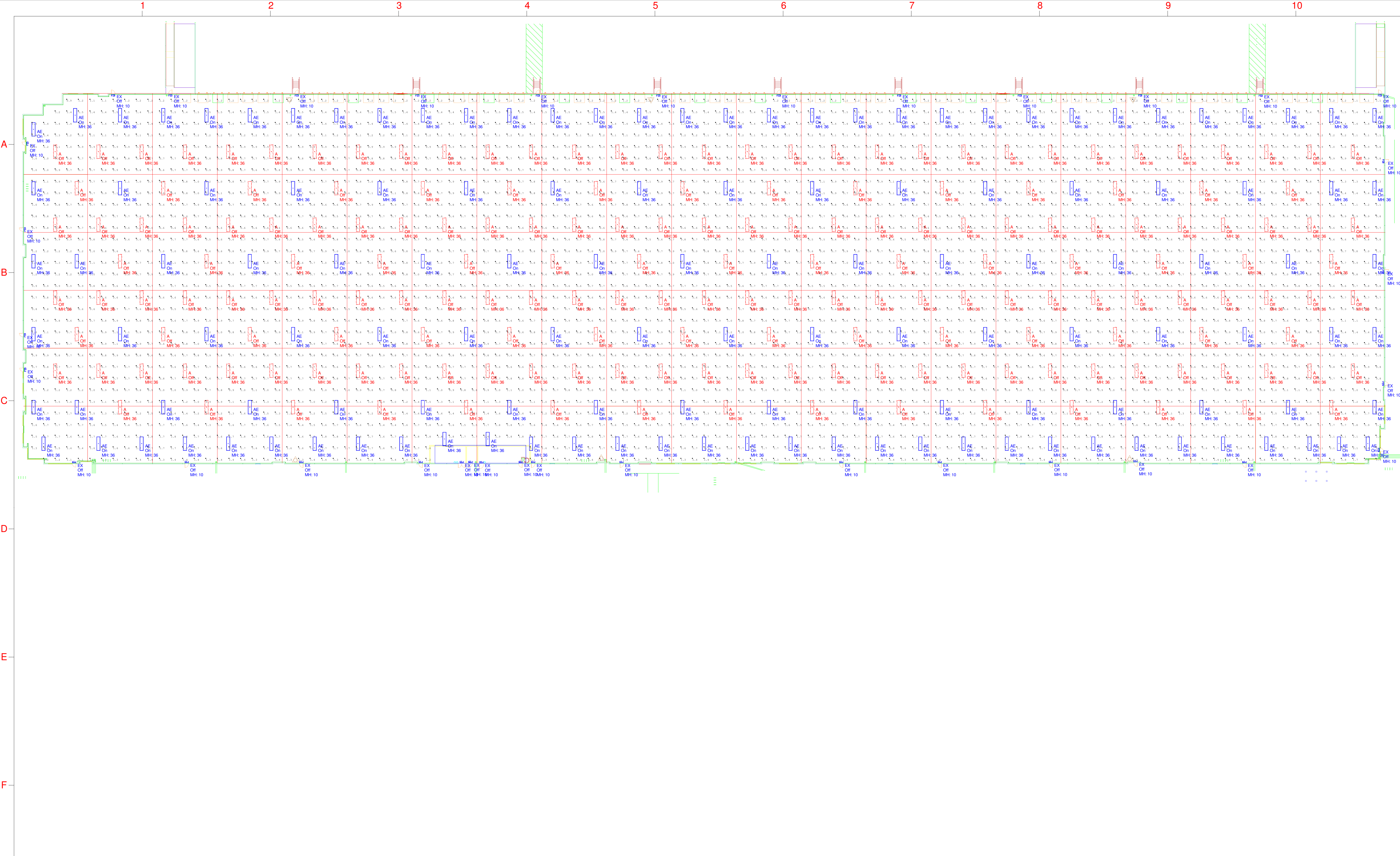
Date: 1-7-19

Revision:

REVISED 5-5-20
REVISED 8-11-20

Sheet:

LC1.1



| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|-----|-----|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| BLDG_Workplane | Illuminance | Fc | 1.0 | 2.2 | 0.5 | 1.92 | 4.40 |

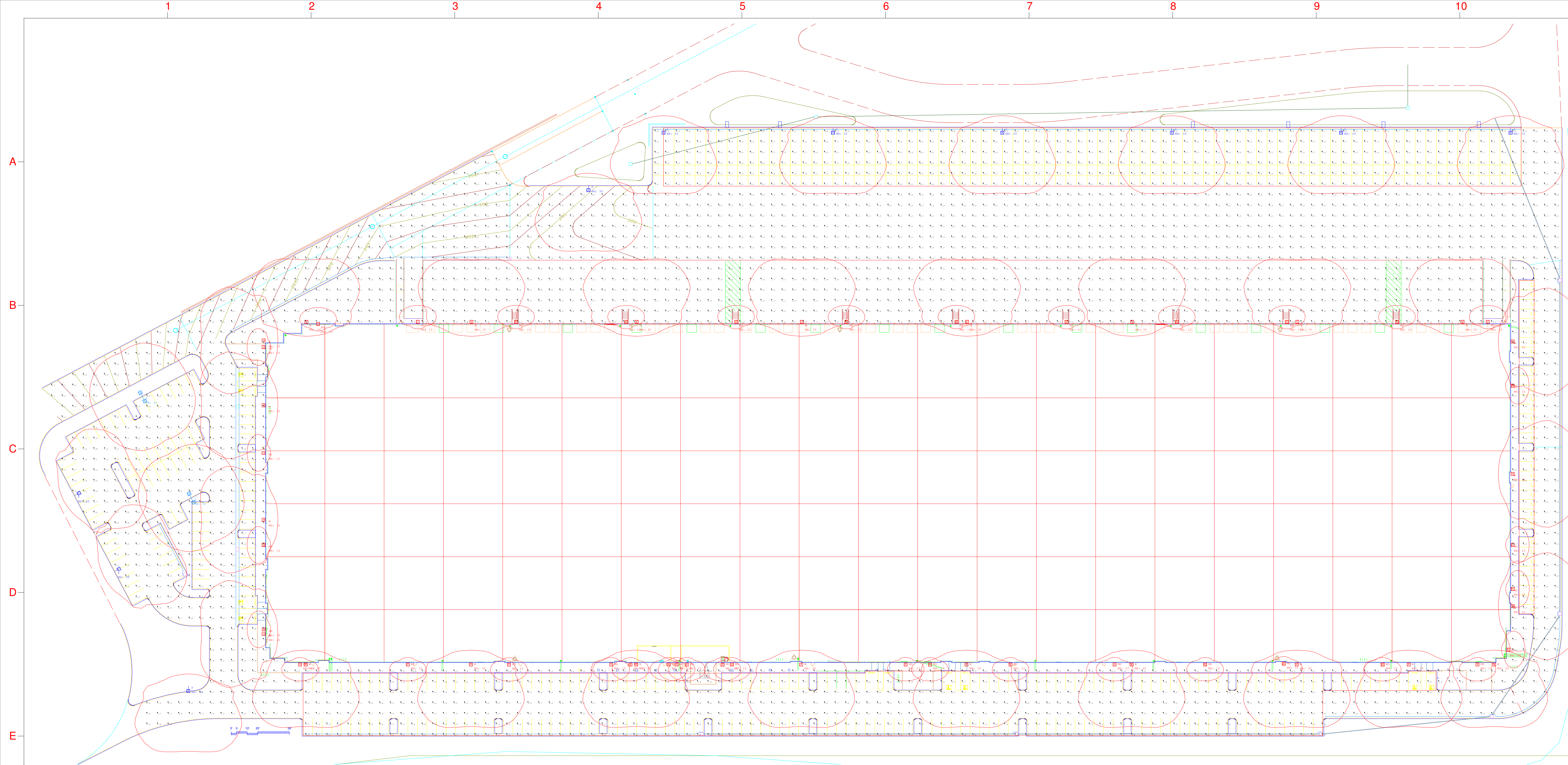
| Luminaire Schedule | | | | | | | |
|--------------------|-----|-------|-------------|-------------------|-------|--|------------|
| Symbol | Qty | Label | Arrangement | Total Lamp Lumens | LLF | Description | |
| | 35 | EX | SINGLE | N.A. | 1.000 | LHQM LED | BUG Rating |
| | 184 | A | SINGLE | N.A. | 0.900 | PLD L24 36000LM SEF AFL GND 277V GZ10 50K 80CRI DWH | Lum. Watts |
| | 132 | AE | SINGLE | N.A. | 0.088 | PLD L24 36000LM SEF AFL GND 277V GZ10 50K 80CRI DWH W/ E20WLCP | |

| | |
|-------------------|---|
| DRAWING NUMBER : | MG102119PRO-OLD SCHULTE ROAD TRACY CA-05 EM |
| LAYOUT DESIGNER : | MICHAEL GONZALES |
| DESIGNER EMAIL : | michaelg@performanceltg.com |
| PROJECT DATE : | 01/22/2020 |
| REVISION DATE : | 05/12/2020 |
| REP : | RYAN LIEBER |
| ADDRESS: | - |





DISCLAIMER
BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE PROJECT ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS. THE LIGHTING DATA REPRESENTS ILLUMINATION LEVELS TAKEN FROM A LABORATORY SETTING UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL PERFORMANCE MAY VARY DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, INSTALLATION, TOLERANCE LEVELS, BUILDINGS, OTHER LIGHTING, AND OTHER VARIABLES THAT WERE NOT CONSIDERED WHEN THIS PHOTOMETRIC REPORT WAS CREATED. IT IS THE RESPONSIBILITY OF THE OWNER OR PROJECT ENGINEER TO ENSURE COMPLIANCE OF ALL STANDARDS IN EFFECT. THIS PHOTOMETRIC LAYOUT IS THE PROPERTY OF PERFORMANCE LIGHTING AND IT CANNOT BE USED FOR INSTALLATION OF PRODUCTS OTHER THAN SPECIFIED.
***ALL PHOTOMETRIC LAYOUTS, SUBMITTALS, AND QUOTES BY PERFORMANCE LIGHTING SYSTEMS AND OTHERS MUST BE PROVIDED AT THE TIME OF PURCHASE ORDER ENTRY. PERFORMANCE LIGHTING SYSTEM IS NOT RESPONSIBLE FOR ANY DISCREPANCIES IN PROVIDED PRODUCT DOCUMENTS ARE NOT

www.performanceltg.com
Phone: (949) 878-9000 Fax: (949) 878-9001
5 Jenner Suite 130 Irvine, CA 92618
POINT-BY-POINT CALCULATION
Illuminance at 2.5ft AFF (Footcandles), unless otherwise specified.





| Calculation Summary | | | | | | | |
|--------------------------|-------------|-------|------|------|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| CALC AREA TAKEN AT GRADE | Illuminance | Fc | 1.73 | 27.7 | 0.0 | N.A. | N.A. |
| DOCK AREA | Illuminance | Fc | 1.88 | 14.6 | 0.5 | 3.76 | 29.20 |
| EAST CAR PARKING STALLS | Illuminance | Fc | 2.36 | 7.2 | 1.1 | 2.15 | 6.55 |
| SOUTH CAR PARKING STALLS | Illuminance | Fc | 1.29 | 3.9 | 0.3 | 4.30 | 13.00 |
| TRUCK PARKING AREA | Illuminance | Fc | 1.33 | 3.0 | 0.4 | 3.33 | 7.50 |

| Luminaire Schedule | | | | | | | | |
|---|-----|-------|-----------------|-------------------|-------|---|------------|------------|
| Symbol | Qty | Label | Arrangement | Total Lamp Lumens | LLF | Description | BUG Rating | Lum. Watts |
|  | 38 | MD | SINGLE | N.A. | 0.900 | WST LED P2 40K VW HVOLT @ 10FT | B1-U0-G0 | 31 |
|  | 24 | W | SINGLE | N.A. | 0.900 | DSX2 LED P2 40K TFTM 480V HS @ 30FT MTG.HT. | B2-U0-G3 | 185 |
|  | 10 | P | SINGLE | N.A. | 0.900 | DSX2 LED P2 40K TFTM 480V HS @ 26FT POLE + 4FT BASE | B2-U0-G3 | 185 |
|  | 2 | A | 2 @ 180 DEGREES | N.A. | 0.900 | DSX2 LED P1 40K T5VS 480V @ 26FT POLE + 4FT BASE | B4-U0-G1 | 140 |

DISCLAIMER
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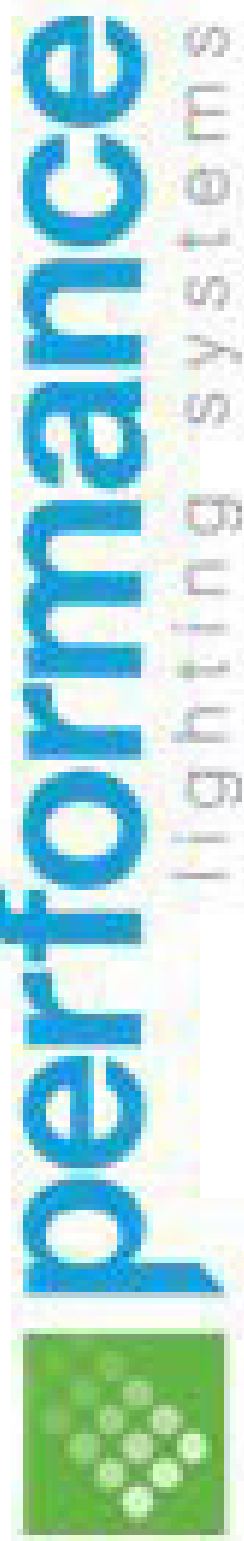
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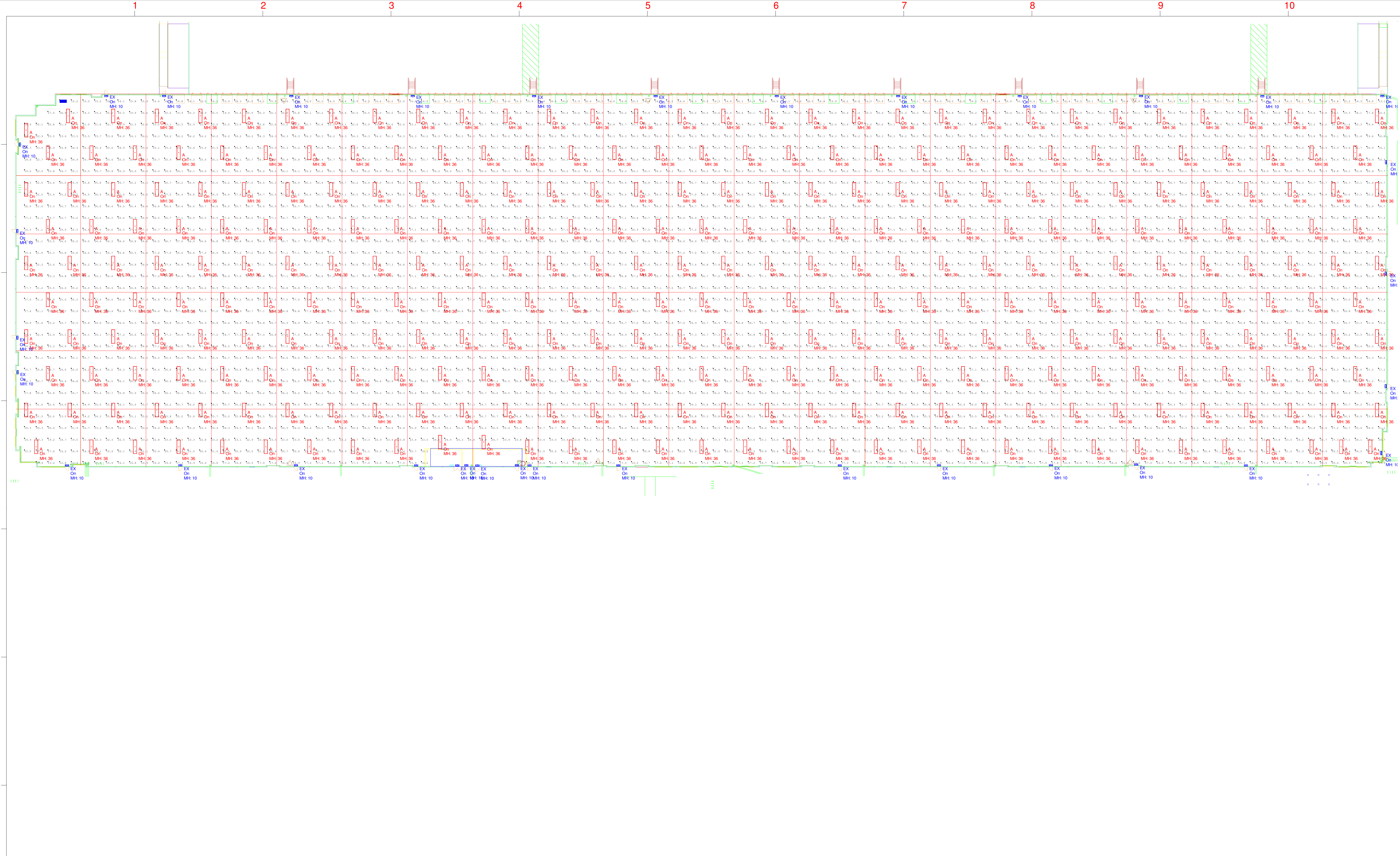
5 Jenner Suite 130 Irvine, CA 92618

POINT-BY-POINT CALCULATION

Illuminance taken at Grade (Footcandles), unless otherwise specified.



| | |
|-------------------|--|
| DRAWING NUMBER : | MG102119PRO-OLD SCHULTE ROAD TRACY CA-05 EXT |
| LAYOUT DESIGNER : | MICHAEL GONZALES |
| DESIGNER EMAIL : | michaelg@performanceltg.com |
| PROJECT DATE : | 10/21/19 |
| REVISION DATE : | 05/12/2020 |
| REP : | RYAN LIEBER |
| ADDRESS: | - |



| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|-------|------|------|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| BLDG_Workplane | Illuminance | Fc | 25.05 | 27.8 | 12.5 | 2.00 | 2.22 |

| Luminaire Schedule | | | | | | | |
|--------------------|-----|-------|-------------|-------------------|-------|---|------------|
| Symbol | Qty | Label | Arrangement | Total Lamp Lumens | LLF | Description | BUG Rating |
| | 35 | EX | SINGLE | N.A. | 1.000 | LHQM LED | N.A. |
| | 316 | A | SINGLE | N.A. | 0.900 | PLD L24 36000LM SEF AFL GND 277V GZ10 50K 80CRI DWH | B5-U4-G3 |

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| | |
|-------------------|--|
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| LAYOUT DESIGNER : | MICHAEL GONZALES |
| DESIGNER EMAIL : | michaeltg@performanceltg.com |
| PROJECT DATE : | 01/22/2020 |
| REVISION DATE : | 05/12/2020 |
| REP : | RYAN LIEBER |
| ADDRESS: | - |

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POINT-BY-POINT CALCULATION
Illuminance at 2.5ft AFF (Footcandles), unless otherwise specified.



