

CITY OF TRACY
DETERMINATION OF THE DEVELOPMENT SERVICES DEPARTMENT DIRECTOR
Application Number D20-0016

A determination of the Development Services Department Director approving Development Review Permit application number D20-0016 for an approximately one-story 10,020 sq ft multi-tenant medical office building with associated parking and landscaping improvements (Triad Medical Office Building). This project is located on an approximately 1.06-acre site located on Orchard Parkway, between Grant Line Road and Joseph Damon Drive, Assessor's Parcel Number 238-190-23, located within the Grant Line Center office complex. Applicant and Property Owner are Triad Tracy II, L.P.

The following considerations were relevant in evaluating this application:

1. Design of architecture, landscaping, parking, and circulation
2. Relationship with adjacent developments and properties
3. Visibility from Orchard Parkway and common access drives in Grant Line Center

Staff has reviewed the application and determined that the following regulations apply:

1. Tracy Municipal Code
2. City of Tracy Standard Plans
3. City of Tracy Design Goals and Standards
4. California Building Code
5. California Fire Code
6. Multi-Agency Post-Construction Stormwater Standards

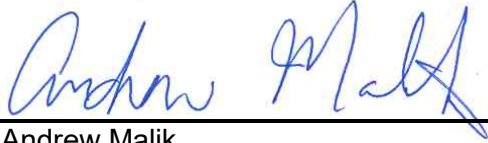
The Development Services Department Director has determined that the project is categorically exempt from CEQA pursuant to Guidelines Section 15332, pertaining to in-fill development projects. The project occurs within city limits, is consistent with the general plan and zoning, is no more than five acres in size substantially surrounded by urban uses, has no value as habitat for endangered, rare, or threatened species, and would not result in any significant effects relating to traffic, noise, air quality, or water quality beyond what was analyzed and mitigated in the General Plan environmental impact report. No further environmental assessment is required.

THE DEVELOPMENT SERVICES DEPARTMENT DIRECTOR, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY APPROVES A DEVELOPMENT REVIEW PERMIT FOR THE TRIAD MEDICAL OFFICE BUILDING (APPLICATION NUMBER D20-0016), SUBJECT TO THE ATTACHED CONDITIONS (EXHIBIT "1") AND BASED ON THE FOLLOWING FINDINGS BELOW.

1. The proposal increases the quality of the project site and enhances the property in a manner that therefore improves the property in relation to the surrounding area and the citizens of Tracy. This development will build out the remaining undeveloped pad site in the Grant Line Center. The new building will match and complement other medical and consumer service buildings in the vicinity. The building is comprised of high quality design through the use of variation in building massing and building planes, use of stone, glass, and stucco materials, dark metal awnings throughout each side of the building. The project site will connect to existing drive aisles and continue through-

circulation and landscaping throughout its new parking area.

2. The proposal, as conditioned, conforms to the Tracy Municipal Code, the City of Tracy General Plan, the Citywide Design Goals and Standards, applicable City Standards, California Building Codes, and California Fire Codes, including land use, building design, off-street parking and circulation, and landscaping design.



Andrew Malik
Assistant City Manager/Development Services Department Director

04.06.2021

Date of Action

City of Tracy
Conditions of Approval
Triad MOB
Application Number D20-0016

A. General Provisions and Definitions.

A.1. General. These Conditions of Approval apply to:

The Project: An approximately 10,020 sq ft multi-tenant medical office building with associated parking and landscaping improvements (Triad MOB)

The Property: An approximately 1.06-acre site located on Orchard Parkway, between Grant Line Road and Joseph Damon Drive, Assessor's Parcel Number 238-190-23

A.2. Definitions.

- a. "Applicant" means any person, or other legal entity, defined as a "Developer."
- b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed Engineer designated by the City Manager, or the Development Services Director, or the City Engineer to perform the duties set forth herein.
- c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code ordinances, resolutions, policies, procedures, , and the City's Design Documents (including the Standard Plans, Standard Specifications, and relevant Public Facility Master Plans).
- d. "Development Services Director" means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
- e. "Conditions of Approval" shall mean the conditions of approval applicable to the Project, Application Number D20-0016. The Conditions of Approval shall specifically include all conditions set forth herein.
- f. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.

A.3. Compliance with submitted plans. Except as otherwise modified herein, the project shall be constructed in substantial compliance with the plans received by the Development Services Department on February 9, 2021, which include the site, civil, floor, roof, elevations, and landscape plans, as well as color and material details.

A.4. Payment of applicable fees. The applicant shall pay all applicable fees for the project, including, but not limited to, development impact fees, building permit fees, plan check

fees, grading permit fees, encroachment permit fees, inspection fees, school fees, or any other City or other agency fees or deposits that may be applicable to the project.

- A.5. Compliance with laws. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to:
- the Planning and Zoning Law (Government Code sections 65000, et seq.)
 - the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and
 - the Guidelines for California Environmental Quality Act (California Administrative Code, title 14, sections 1500, et seq., "CEQA Guidelines").
 - California State Title 24 and Title 19
- A.6. Compliance with City regulations. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City regulations, including, but not limited to, the Tracy Municipal Code (TMC), Standard Plans, the I-205 Corridor Specific Plan, and Design Goals and Standards.
- A.7. Protest of fees, dedications, reservations, or other exactions. Pursuant to Government Code section 66020, including section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

B. Development Services Department, Planning Division Conditions

Contact: Kimberly Matlock (209) 831-6430 kimberly.matlock@cityoftracy.org

- B.1. North elevation awnings. Before the approval of a building permit, the applicant shall submit details for window awnings above the windows on the north elevation to match those on the other elevations to the satisfaction of the Development Services Director.
- B.2. Parking area. Before the approval of a building permit, the applicant shall submit the following to the satisfaction of the Development Services Director:
- B.2.1 Site plans and construction details that demonstrate 12-inch wide concrete curbs along the perimeter of landscape planters where such planters are parallel and adjacent to vehicular parking spaces to provide access to vehicles without stepping into the landscape planters.
 - B.2.2 Detailed plans that demonstrate the parking stalls are striped in accordance with Standard Plan 141.
 - B.2.3 Detailed plans that demonstrate sidewalk, landscape planters, and bio-retention areas perpendicular to parking stalls overhang up to 24 inches into the parking stall in place of wheel stops where feasible. Any landscape planter

overhang may not be double-counted toward the required amount of parking area landscaping.

- B.2.4 Bicycle parking spaces shall be provided in accordance with Tracy Municipal Code Section 10.08.3510.
- B.3. Landscaping & irrigation plans. Before the approval of a building permit, the applicant shall provide detailed landscape and irrigation plans consistent with the following to the satisfaction of the Development Services Director:
 - B.3.1. Said plans shall demonstrate compliance with the Tracy Municipal Code Section 10.08.3560 for parking area landscaping. Said plans shall include a planting legend indicating, at minimum, the quantity, planting size, and height and width at maturity and calculations for landscape and canopy tree shading areas.
 - B.3.2. Each planter shall contain a combination of trees, shrubs, and groundcover. Trees shall be a minimum of 24" box size, shrubs shall be a minimum size of 5 gallon, and groundcover shall be a minimum size of 1 gallon at planting.
 - B.3.3. Where trees are planted ten feet or less from a sidewalk or curb, root barriers dimensioned 8 feet long by 24 inches deep shall be provided adjacent to such sidewalk and curb, centered on the tree.
 - B.3.4. Landscape & Irrigation Maintenance. Prior to the issuance of a building permit, the Developer shall execute a two-year landscape and irrigation maintenance agreement and submit financial security, such as a performance bond, to ensure the success of all on-site landscaping for the term of the agreement. The security amount shall be equal to \$2.50 per square foot of the landscaped area or equal to the actual labor and material installation cost of all on-site landscaping and irrigation.
- B.4. Landscaping & irrigation installation. Prior to final inspection or certificate of occupancy, all landscaping and irrigation substantially conforming with the development review permit plans dated February 9, 2021 and the approved building permit construction plans shall be installed to the satisfaction of the Development Services Director.
- B.5. Lighting. Before the issuance of a building permit, the applicant shall submit detailed plans that demonstrate a minimum of one foot candle throughout the parking area as defined in TMC Section 10.08.3450.
- B.6. Screening utilities and equipment. Before the approval of a building permit, the applicant shall submit detailed plans that demonstrate the following:
 - B.6.1. No roof mounted equipment, including, but not limited to, HVAC units, vents, fans, antennas, sky lights and dishes, whether proposed as part of this application, potential future equipment, or any portion thereof, shall be readily visible. The plans shall demonstrate that such equipment is fully screened

from view behind parapet walls equal to or higher than the height of the mounted equipment to the satisfaction of the Development Services Director.

B.6.2. All vents, gutters, downspouts, flashing, and electrical conduits shall be internal to the structures and other ground-mounted, wall-mounted, or building-attached utilities, including bollards, shall be painted to match the color of the adjacent surfaces or otherwise designed in harmony with the building exterior to the satisfaction of the Development Services Director.

B.6.3. All PG&E transformers, phone company boxes, Fire Department connections, backflow preventers, irrigation controllers, and other on-site utilities, shall be vaulted or substantially screened from view behind structures or landscaping, to the satisfaction of the Development Services Director.

B.7. Signs. Prior to the installation of any signs requiring a sign permit, the applicant shall obtain applicable sign and building permits in accordance with the Tracy Municipal Code.

C. Development Services Department, Engineering Division Conditions

Contact: Majeed Mohamed (209) 831-6425 majeed.mohamed@cityoftracy.org

C.1. General Conditions

Developer shall comply with the applicable sections of approved documents and/or recommendations of the technical analyses/reports prepared for the Project listed as follows:

- 1) Traffic Memorandum prepared by Kimley Horn and Associates dated February 24, 2021.
- 2) Storm Drain Memorandum by Wood Rodgers dated February 24, 2021.
- 3) Water Supply Memorandum by Black Water Consulting Engineers dated December 11, 2020.
- 4) Sanitary Sewer Memorandum by Black Water Consulting Engineers dated January 15, 2021.

C.2. RESERVED

C.3. RESERVED

C.4. Grading Permit

All grading work (on-site and off-site) shall require a Grading Plan. All grading work shall be performed and completed in accordance with the recommendation(s) of the Project's Registered Geotechnical Engineer. Prior to release of a Grading Permit, Developer shall provide all documents related to said Grading Permit required by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

C.4.1 Developer has completed all requirements set forth in this section.

- C.4.2 Developer has obtained the approval (i.e. recorded easements for slopes, drainage, utilities, access, parking, etc.) of all other public agencies and/or private entities with jurisdiction over the required public and/or private facilities and/or property. Written permission from affected owner(s) will be required to be submitted to the City prior to the issuance of the Grading Permit.
- C.4.3 Developer has obtained a demolition permit to remove any existing structure located within the project's limits.
- C.4.4 All existing on-site water well(s), septic system(s), and leech field(s), if any, shall be abandoned or removed in accordance with the City and San Joaquin County requirements. Developer shall be responsible for all costs associated with the abandonment or removal of the existing well(s), septic system(s), and leech field(s) including the cost of permit(s) and inspection. Developer shall submit a copy of written approval(s) or permit(s) obtained from San Joaquin County regarding the removal and abandonment of any existing well(s), prior to the issuance of the Grading Permit.
- C.4.5 The Improvement Plans for all improvements to serve the Project (on-site and off-site) including the Grading and Drainage Plans shall be prepared in accordance with the City's Subdivision Ordinance (Tracy Municipal Code (TMC) Chapter 12.36), City Design Documents as defined in Title 12 of the TMC, and these Conditions of Approval.
- C.4.6 On-site Grading/Drainage Plans and Improvement Plans shall be prepared on a twenty-four (24) inch x thirty-six (36) inch size four (4) millimeter thick polyester film (mylar). These plans shall use the City's Title Block. Improvement Plans shall be prepared under the supervision of, stamped and signed by a Registered Civil Engineer and Registered Geotechnical Engineer. Developer shall obtain all applicable signatures by City departments and outside agencies (where applicable) on the mylars including signatures by the Fire Marshal prior to submitting the mylars to Engineering Division for City Engineer's signature. Erosion control measures shall be implemented in accordance with the Improvement Plans approved by the City Engineer for all grading work. All grading work not completed before October 15 may be subject to additional requirements as applicable. Improvement Plans shall specify all proposed erosion control methods and construction details to be employed and specify materials to be used during and after the construction.
- C.4.7 Payment of the applicable Grading Permit fees which include grading plan checking and inspection fees, and other applicable fees as required by these Conditions of Approval.
- C.4.8 For Projects on property larger than one (1) acre: Prior to the issuance of the Grading Permit, Developer shall submit to the Utilities Department (stephanie.hiestand@cityoftracy.org) one (1) electronic copy and one (1) hard copy of the Storm Water Pollution Prevention Plan (SWPPP) as submitted in Stormwater Multiple Applications and Reporting Tracker System (SMARTS) along with either a copy of the Notice of Intent (NOI) with the state-issued

Wastewater Discharge Identification number (WDID) or a copy of the receipt for the NOI. After the completion of the Project, the Developer is responsible for filing the Notice of Termination (NOT) required by SWQCB, and shall provide the City, a copy of the completed Notice of Termination. Cost of preparing the SWPPP, NOI and NOT including the annual storm drainage fees and the filing fees of the NOI and NOT shall be paid by the Developer. Developer shall comply with all the requirements of the SWPPP, applicable Best Management Practices (BMPs) and the Stormwater Post-Construction Standards adopted by the City in 2015 and any subsequent amendment(s).

For Projects on property smaller than one (1) acre: Prior to the issuance of the Grading Permit, the Developer shall submit to the Utilities Department (stephanie.hiestand@cityoftracy.org) one (1) electronic copy and 1 hard copy of the City of Tracy Erosion and Sediment Control Plan (ESCP) for approval. Cost of preparing the ESCP including any annual storm drainage fees shall be paid by the Developer. Developer shall comply with all the requirements of the ESCP, applicable BMPs and the Post-Construction Stormwater Standards adopted by the City in 2015 and any subsequent amendment(s).

- C.4.9 Developer shall provide a PDF copy of the Project's Geotechnical Report signed and stamped by a Registered Geotechnical Engineer. The technical report must include relevant information related to soil types and characteristics, soil bearing capacity, compaction recommendations, retaining wall recommendations, if necessary, paving recommendations, paving calculations such as gravel factors, gravel equivalence, etc., slope recommendations, and elevation of the highest observed groundwater level.
- C.4.10 Minor Retaining – Developer shall use reinforced or engineered masonry blocks for retaining soil at property lines when the grade differential among the in-tract lots exceeds twelve (12) inches. Developer will include construction details of these minor retaining walls with the on-site Grading and Drainage Plan. Developer may use slopes among the lots to address the grade differential but said slope shall not exceed a slope gradient of 3 (horizontal) to 1 (vertical) unless a California licensed geotechnical engineer signs and stamps a geotechnical report letter that supports a steeper slope gradient. Slope easements may be required and will be subject to approval by the City Engineer.

Minor Retaining along Project Perimeter – Developer shall use reinforced or engineered masonry blocks for retaining soil along the Project boundary and adjacent property(s) when the grade differential exceeds 12-inches. Developer will include construction details for these minor retaining walls with the on-site Grading and Drainage Plan. Developer may use slopes to address the grade differential but said slope shall not exceed a slope gradient of 3 (horizontal) to 1 (vertical). Slope easements may be subject to approval by the City Engineer and if adjacent and affected property(s) owner(s) grants said easements.

Slopes are an acceptable option as a substitute to engineered retaining walls, where cuts or fills do not match existing ground or final grade with the adjacent

property or public right of way, up to a maximum grade differential of two (2) feet, subject to approval by the City Engineer.

Slope easements will be recorded, prior to the issuance of the Grading Permit. The Developer shall be responsible to obtain and record slope easement(s) on private properties, where it is needed to protect private improvements constructed within and outside the Project, and a copy of the recorded easement document must be provided to the City, prior to the issuance of the Grading Permit.

Walls - Developer shall show proposed retaining walls and masonry walls on the on-site Grading and Drainage Plan. The Developer is required to submit improvement plans, construction details, and structural calculations for retaining walls and masonry walls to Building and Safety. Retaining wall and masonry wall design parameters will be included in the geotechnical report.

C.4.11 RESERVED

C.4.12 Developer shall provide a copy of the approved Air Impact Assessment (AIA) with an Indirect Source Review (ISR) from San Joaquin Valley Air Pollution Control District (SJVAPCD).

C.4.13 Developer shall abandon or remove all existing irrigation structures, channels and pipes, if any, as directed by the City after coordination with the irrigation district, if the facilities are no longer required for irrigation purposes. If irrigation facilities including tile drains, if any, are required to remain to serve existing adjacent agricultural uses, the Developer will design, coordinate and construct required modifications to the facilities to the satisfaction of the affected agency and the City. Written permission from irrigation district or affected owner(s) will be required to be submitted to the City prior to the issuance of the Grading Permit. The cost of relocating and/or removing irrigation facilities and/or tile drains is the sole responsibility of the Developer.

C.4.14 If the Project contains overhead utilities, the Developer shall underground existing overhead utilities such as electric, TV cable, telephone, and others. Each dry utility shall be installed at the location approved by the respective owner(s) of dry utility and the Developer shall coordinate such activities with each utility owner. All costs associated with the undergrounding shall be the sole responsibility of the Developer and no reimbursement will be due from the City. Developer shall submit undergrounding plans.

C.4.15 If at any point during grading that the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and subsequent Cultural Resource Policy or mitigation in any applicable environmental document.

C.5. Encroachment Permit

All construction activity involving public improvements will require an approved encroachment permit in conjunction with a City Engineer signed improvement plans. Any construction activity involving public improvements without an approved encroachment permit or City Engineer signed improvement plans is prohibited. All public improvements shall be performed and completed in accordance with the recommendation(s) of the Project's Registered Civil Engineer. Prior to the release of an encroachment permit, the Developer shall provide all documents related to said improvements required by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

C.5.1. Public Infrastructure Improvement Plans prepared on a twenty-four (24) inch x thirty-six (36) inch size four (4) millimeter thick mylar that incorporate all requirements described in the documents described in these Conditions of Approval, the City's Design Documents as defined in Title 12 of the Tracy Municipal Code. Developer shall use the latest title block and, if necessary, contain a signature block for the Fire Marshal. Improvement Plans shall be prepared under the supervision of, and stamped and signed by a Registered Civil, Traffic, Electrical, Mechanical Engineer, and Registered Landscape Architect for the relevant work. Developer shall obtain all applicable signatures by City departments and outside agencies (where applicable) on the mylars including signatures by Fire Marshal to submitting the mylars to Engineering Division for City Engineer's signature. The improvement plans shall be prepared to specifically include, but not be limited to, the following items:

C.5.1.a. All existing and proposed utilities such as domestic water line, irrigation service, fire service line, storm drain, and sanitary sewer, including the size and location of the pipes.

C.5.1.b. All supporting engineering calculations, materials information or technical specifications, cost estimate, and technical reports. All improvement plans shall contain a note stating that the Developer (or Contractor) will be responsible to preserve and protect all existing survey monuments and other survey markers such as benchmarks.

C.5.1.c. A PDF copy of the Project's approved Geotechnical/Soils Report that was prepared for the grading permit submittal.

C.5.1.d. Storm Water - The Project's on-site storm water drainage connection to the City's storm water system shall be approved by the City Engineer. Drainage calculations for the sizing of the on-site storm drainage system. Improvement Plans to be submitted with the hydrology and storm water.

Storm drainage release point is a location at the boundary of the Project adjacent public right-of-way where storm water leaves the Property, in a storm event and that the Property's on-site storm drainage system fails to function or it is clogged. Site grading shall be designed such that the Project's storm drainage overland

release point will be directly to an adjacent public street with a functional storm drainage system and the existing storm drainage line has adequate capacity to drain storm water from the Property. The storm drainage release point is recommended to be at least 0.70-feet lower than the building finish floor elevation and shall be designed and improved to the satisfaction of the City Engineer.

The Project's permanent storm drainage connection(s) shall be designed and constructed in accordance with City Regulations. The design of the permanent storm drainage connection shall be shown on the Grading and Drainage Plans with calculations for the sizing of the storm drain pipe(s), and shall comply with the applicable requirements of the City's storm water regulations adopted by the City Council in 2012 and any subsequent amendments.

The storm water treatment system shall be located on private property and shall be at least off-set from the right-of-way by one (1) foot.

- C.5.1.e. Sanitary Sewer - It is the Developer's responsibility to design and construct the Project's permanent on-site sanitary sewer (sewer) improvements including the Project's sewer connection in accordance with the City's Design Standards, City Regulations and Standard Specifications. Sewer improvements shall include but not limited to, replacing asphalt concrete pavement, reconstructing curb, gutter and sidewalk, restoring pavement marking and striping, and other improvements that are disturbed as a result of installing the Project's permanent sewer connection. Developer shall submit improvement plans that include the design of the sewer line from the Property to the point of connection.

Developer is hereby notified that the City will not provide maintenance of the sewer lateral within the public right-of-way unless the sewer cleanout is located and constructed in conformance with Standard Plans. The City's responsibility to maintain on the sewer lateral is from the wye/onsite sewer manhole at the right-of-way line/property line/wye fitting to the point of connection with the sewer main.

- C.5.1.f. Water Distribution - Developer shall design and construct domestic and irrigation water service that comply with the City Regulations. Water line sizing, layout and looping requirements for this Project shall comply with City Regulations. During the construction of the Project, the Developer is responsible for providing water infrastructure (temporary or permanent) capable of delivering adequate fire flows and pressure appropriate to the various stages of construction and as approved by the Fire Marshal.

Interruption to the water supply to the existing businesses and other users will not be allowed to facilitate construction of improvements related to the Project. Developer shall be responsible for notifying business owner(s) and users, regarding construction work. The written notice, as approved by the City Engineer, shall be delivered to the affected residents or business owner(s) at least seventy-two (72) hours before start of work. Prior to starting the work described in this section, the Developer shall submit a Work Plan acceptable to the City that demonstrates no interruptions to the water supply, and Traffic Control Plan to be used during the installation of the off-site water mains and connections.

The Project's water service connections shall use a remote-read (radio-read) master water meter (the water meter to be located within City's right-of-way) and a Reduced Pressure Type back-flow protection device in accordance with City Regulations. The domestic and irrigation water service connection(s) must be completed before the inspection of the building. The location of the meters shall be approved by the City Engineer.

After final inspection of the improvements constructed via an encroachment permit, repair and maintenance of the water service from the water meter to the point of connection with the water distribution main in the street shall be the responsibility of the City. Water service repairs after the water meter is the responsibility of the Developer or individual lot owner(s).

Prior to improvement acceptance, repair and maintenance of all on-site water lines, laterals, sub-water meters, valves, fittings, fire hydrant and appurtenances shall be the responsibility of the Developer or the individual lot owner(s).

All costs associated with the installation of the Project's water connection(s) including the cost of removing and replacing asphalt concrete pavement, pavement marking and striping such as crosswalk lines and lane line markings on existing street or parking area(s) that may be disturbed with the installation of the permanent water connection(s), or domestic water service, and other improvements shall be paid by the Developer.

C.5.1.g. Streets – Developer shall construct the project's frontage improvements. Frontage improvements include but are not limited to the following: curb, gutter, sidewalk, street widening, landscaping, street lighting, undergrounding of overhead utilities and other improvements. All streets and utilities improvements within City right-of-way shall be designed and constructed in accordance with City Regulations, and City's Design Standards including the City's Facilities Master Plan for storm drainage, roadways, wastewater,

and water as adopted, amended, and updated by the City, or as otherwise specifically approved by the City.

In terms of the Project's utility connections, Developer shall use existing utility stubs. If the stubs are not present or additional utility connections are required, the pavement restoration shall conform to C.8.1 of these Conditions.

Along the project frontage, Developer shall landscape and irrigate the existing parkways per current adopted City landscape standards. Landscape and irrigation plans shall be prepared on a 24-inch x 36-inch size 4-millimeter thick mylar that incorporate all requirements described in the documents described in these Conditions of Approval, the City's Design Documents as defined in Title 12 of the Tracy Municipal Code. Developer shall use the latest title block. Said landscape and irrigation plan shall be prepared by a California licensed landscape architect. Developer can either protect-in-place the existing sidewalk and repair any cracked, settled, and/or damaged sidewalk or remove and replace the sidewalk so long as the replacement sidewalk is similar to the current sidewalk, i.e. similar width, meanders, etc. Developer shall also install street trees in the landscaped area between the existing meandering sidewalk and the curb and gutter. On the opposite side of the sidewalk, Developer shall install additional street trees, shrubs, ground cover, and other landscaping as required. The landscaping and irrigation shall conform to MWEL0 standards. If recommended, Developer shall use structural soil if the street trees' well is narrower than five (5) feet wide. Developer shall also remove existing sign monument and its appurtenances, and any other existing items such as bollards, mailboxes, etc.

C.5.2. Joint Trench Plans and Composite Utility Plans, prepared on a twenty-four (24) inch x thirty-six (36) inch size four (4) millimeter thick mylar for the installation of dry utilities such as electric, gas, TV cable, telephone, and others that will be located within the twenty-four (24) feet wide to forty-six (46) feet wide [the width varies) PUE to be installed to serve the Project. All private utility services to serve Project must be installed underground or relocated to be underground, and to be installed at the location approved by the respective owner(s) of the utilities from the street or an existing or proposed utility easement to the building(s). If necessary, the Developer shall dedicate ten (10) feet wide PUE for access to these new utilities for re-installation, replacement, repair, and maintenance work to be performed by the respective utility owner(s) in the future.

C.5.3. Signed and stamped Engineer's Estimate that summarizes the cost of constructing all the public improvements shown on the Improvement Plans. The cost estimate shall show the cost of designing the public improvements.

Payment of applicable fees required by these Conditions of Approval and City Regulations, including but not limited to, plan checking, grading and

encroachment permits and agreement processing, construction inspection, and testing fees. The engineering review fees will be calculated based on the fee rate adopted by the City Council on September 2, 2014, per Resolution 2014-141 and on May 16, 2017, per Resolution 2017-098. Developer shall submit payment in the form of a check for the aforementioned fees.

- C.5.4. Traffic Control Plan - Prior to starting the work for any work within City's right-of-way, the Developer shall submit a Traffic Control Plan (TCP). TCP can be split among the different construction phases. TCP will show the method and type of construction signs to be used for regulating traffic at the work areas within these streets. TCP shall conform to the Manual on Uniform Traffic Control Devices as amended by the State of California, latest edition (MUTCD-CA). TCP shall be prepared under the supervision of, signed and stamped by a Registered Civil Engineer or Registered Traffic Engineer.

Access and Traffic Circulation to Existing Businesses/Residents - Developer shall take all steps necessary to plan and construct site improvements such that construction operations do not impact safety and access (including emergency vehicles) to the existing businesses and residents throughout the duration of construction. Developer shall coordinate with the owners and cooperate to minimize impacts on existing businesses. All costs of measures needed to provide safe and functional access shall be borne by the Developer.

- C.5.5. No street trench shall be left open, uncovered, and/or unprotected during night hours and when the Developer's contractor is not performing construction activities. Appropriate signs and barricades shall be installed on the street and on all trenches during such times. If the Developer or its contractor elects to use steel plates to cover street trenches, said steel plates will be skid-resistance, and shall be ramped on all sides. Ramps will be a minimum two-foot wide and will run the entire length of each side.
- C.5.6. If at any point during utility installation or construction in general that the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and subsequent Cultural Resource Policy or mitigation in any applicable environmental document.
- C.5.7 RESERVED
- C.5.8 Off-site Public Improvements - Prior to the Developer commencing construction of off-site public improvements, Developer, if required, shall possess a fully executed Encroachment Permit. Developer shall also complete all of the following requirements to the satisfaction of the City Engineer:

Developer has received City signed improvement plans.

Developer has paid all required processing fees including plan check and inspection fees.

Improvement Security - Developer shall provide improvement security for all public facilities, as required by the Improvement Agreement. The form of the improvement security may be a bond, or other form in accordance with the Government Code, and the TMC. The amount of the improvement security shall be in accordance with Title 12 of the TMC.

Insurance – Developer shall provide written evidence of insurance coverage that meets the terms of the Improvement Agreement.

C.6. Building Permit

Prior to the release of a building permit within Project boundaries, the Developer shall demonstrate, to the satisfaction of the City Engineer, compliance with all required Conditions of Approval, including, but not limited to, the following:

C.6.1 Developer has completed all requirements set forth in Condition C.1, through C.5, above.

C.6.2 Developer pays the applicable development impact fees as required in the TMC, these Conditions of Approval, and City Regulations.

C.6.3 RESERVED

C.6.4 Developer has completed all requirements set forth Condition C.8

C.7 Acceptance of Public Improvements

Prior to the consideration of City Council's acceptance of public improvements, the Developer shall demonstrate to the reasonable satisfaction of the City Engineer, completion of the following:

C.7.1 Developer has satisfied all the requirements set forth in these Conditions of Approval.

C.7.2 Developer submitted the Storm water Treatment Facilities Maintenance Agreement (STFMA) to the Utilities Department.

C.7.3 Developer has satisfactory completed construction of all required/conditioned improvements. Unless specifically provided in these Conditions of Approval, or some other applicable City Regulations, the Developer shall use diligent and good faith efforts in taking all actions necessary to construct all public facilities required to serve the Project, and the Developer shall bear all costs related to construction of the public facilities (including all costs of design, construction, construction management, plan check, inspection, land acquisition, program implementation, and contingency).

- C.7.4 Certified "As-Built" Improvement Plans (or Record Drawings). Upon completion of the construction by the Developer, the City, at its sole discretion, temporarily release the original mylars of the Improvement Plans to the Developer so that the Developer will be able to document revisions to show the "As-Built" configuration of all improvements.
- C.7.5 Developer shall be responsible for any repairs or reconstruction of street pavement, curb, gutter and sidewalk and other public improvements along the frontage of the Project, if determined by the City Engineer to be in poor condition or damaged by construction activities related to the Project.
- C.7.6 Developer has completed the ninety (90) day public landscaping maintenance period.
- C.7.7 Per Section 21107.5 of the California Vehicle Code, Developer shall install signs at all entrance(s) of the Project stating that the streets are privately owned and maintained and are not subject to the public traffic regulations or control. Said signs must be conspicuously placed, plainly visible, and legible during daylight hours from a distance of one hundred (100) feet.
- C.7.8 Survey Monuments – Any altered, damaged, or destroyed survey monuments and/or benchmarks shall be re-established. Developer shall submit centerline tie sheets or a record of survey for the following: new public streets; re-established survey monuments, and/or benchmarks. If the Developer destroyed, altered, and/or reconstructed any existing curb returns, Developer shall also submit corner records. Any survey document will be submitted the City and to the San Joaquin County Surveyor to comply with California Business and Professions Code Section 8771(c). Said work shall be executed by a California licensed Land Surveyor at the Developer's sole expense.

C.8 Special Conditions

- C.8.1 When street cuts are made for the installation of utilities, the Developer shall conform to Section 3.14 of the 2020 Design Standards and is required install a two (2) inch thick asphalt concrete (AC) overlay with reinforcing fabric at least twenty-five (25) feet from all sides of each utility trench. A two (2) inch deep grind on the existing AC pavement will be required where the AC overlay will be applied and shall be uniform thickness in order to maintain current pavement grades, cross and longitudinal slopes. This pavement repair requirement is when cuts/trenches are perpendicular and parallel to the street's direction.
- C.8.2 Nothing contained herein shall be construed to permit any violation of relevant ordinances and regulations of the City of Tracy, or other public agency having jurisdiction. This Condition of Approval does not preclude the City from requiring pertinent revisions and additional requirements to the improvement plans, prior to the City Engineer's signature on the improvement plans, and prior to issuance of Grading Permit, Encroachment Permit, Building Permit, if the City Engineer finds it necessary due to public health

and safety reasons, and it is in the best interest of the City. The Developer shall bear all the cost for the inclusion, design, and implementations of such additions and requirements, without reimbursement or any payment from the City.

- C.8.3 Prior to the release of the Grading Permit, if water is required for the project, the Developer shall obtain an account for the water service and register the water meter with the Finance Department. Developer shall pay all fees associated with obtaining the account number for the water service.
- C.8.4 Prior to the release of the Certificate of Occupancy, Developer shall obtain an account for the water service to the Project and register the water meter with the Finance Department. Developer shall prepare and submit a map depicting the location of the water meter on a 8.5-inch X 11-inch sheet to Finance Department.
- C.8.5 Prior to the release of the Grading Permit, if required, Developer shall design or purchase and then construct or install a storm water treatment device and shall be located entirely within private property. Said installation shall be in a manner that does not impose any additional downstream maintenance burdens to the City. Said design and construction methods shall be to the satisfaction of the City Engineer.

D. Utilities Department, Water Resources Division Conditions

Contact: Stephanie Hiestand (209) 831-6333 stephanie.hiestand@cityoftracy.org

- D.1. Compliance with Codes. Before the approval of a grading or building permit, the applicant shall demonstrate compliance with Tracy Municipal Code Chapter 11.34 Stormwater Management and Discharge Control and Chapter 11.28 Water Management and with the California Green Building Standards Code Chapter 4 for Residential occupancies. A Stormwater Pollution Prevention Plan (SWPPP) and WDID number will be required prior to a grading permit issuance.
- D.2. Stormwater Quality. Before the approval of a grading or building permit, the applicant shall demonstrate compliance with the Multi-Agency Post-Construction Stormwater Standards (MAPCSWS) adopted July 1, 2015, and obtain approval of an electronically submitted Project Stormwater Plan (PSP) including an operations and maintenance plan from the Water Resources Division in the Utilities Department. The plans shall clearly call out the approximate location and type of stormwater post-construction treatment on a separate Stormwater page, as well as state, "I agree to comply with the requirements of the 2015 Multi-Agency Post-Construction Stormwater Standards and shall submit a complete Project Stormwater Plan to the Water Resources Division of the Utilities Department for approval" to the satisfaction of the Utilities Director. Prior to final inspection for occupancy, the applicant shall have completed the Stormwater Access and Maintenance Agreement for final approval and recording.
- D.3. Landscape plans. Before the approval of a building permit, the applicant shall submit detailed landscape and irrigation plans that demonstrate compliance with the Water

Efficient Landscape Ordinance to the satisfaction of the Utilities Director by submitting electronically for approval a partial landscape document package that includes all but the soils management report and Certificate of Completion. The plans shall include a preliminary landscape and irrigation design as well as state, "I agree to comply with the requirements of the Water Efficient Landscape Ordinance and shall submit a complete Landscape Documentation Package with construction documents" on said page. The applicant shall also submit an owner signed Project Information Sheet to the Utilities Department. Prior to final inspection for occupancy, the applicant shall electronically submit a complete Landscape Document Package for final approval.

E. Development Services Department, Building & Fire Safety Conditions

Contact: Chrystle Takehara (209) 831-6486 chrystle.takehara@cityoftracy.org

- E.1. At time of building permit submittal, applicant to clearly identify proposed anticipated occupancy and use (I2.1 for Ambulatory Health Facility for 6 or more patients) for areas to comply with applicable requirements in CBC 422, CBC1226 and CBC 1224 for OSHPD 3.
- E.2. At time of building permit submittal, applicant to clarify where addressing will be provided to meet requirements of Tracy Municipal Code for addressing. If a 3rd tenant is provided in the triangular area, the addressing must be visible along Orchard Parkway for emergency vehicles to respond.
- E.3. At time of building permit submittal, applicant to provide illumination along the path of travel for the exit discharge from each exit to the public way as per 1008.2. The means of egress illumination level shall be not less than 1 footcandle.
- E.4. At time of building permit submittal, applicant to specify the number of control areas, types of hazardous materials, maximum amount of storage of hazardous materials and storage methods meet CBC Table 307.1 and CBC Section 406.8.
- E.5. At time of building permit submittal, applicant to update and provide analysis for CalGreen requirements to match current CalGreen requirements for cold dark shell. Provided version references the 2013 codes. Provide commissioning for new buildings 10,000 square feet and over as per CalGreen 5.410 for phased projects per 303.1 for building components and systems considered to be new construction such as the HVAC equipment.
- E.6. At time of building permit submittal, applicant to provide an accessible path of travel as per 11B-202.4 to all accessible facilities on site, including the accessible trash enclosure. Also, per sheet E1.0, the property line extends beyond what was shown in A1.1.
- E.7. At time of building permit submittal, applicant to show shared use access agreements for utilities.

- E.8. At time of building permit submittal, applicant to provide calculation for new proposed gas line, including existing connections to existing building B, facilities, and equipment.
- E.9. At time of building permit submittal, applicant to indicate PG&E easement for transformer due to proposed location within the property.
- E.10. At time of building permit submittal, applicant shall show the passenger drop-off and loading meet requirements of CBC 11B-503.4. Section B indicates a gutter along the passenger drop-off and loading zone. This area should be restricted to a 1:48 slope.
- E.11. Applicant shall submit a building permit application along with all pertinent construction documents such as plans, specifications, and/or calculations to the Building Safety Division prior to the construction of Type II Construction building shell for one-story 10,000 SF Medical Office Building. Construction documents shall conform to the Title 24 California Code of Regulations edition effective on the date of application for a building permit.

F. South San Joaquin County Fire Authority Conditions

Contact: Courtney Wood

(209) 831-6700

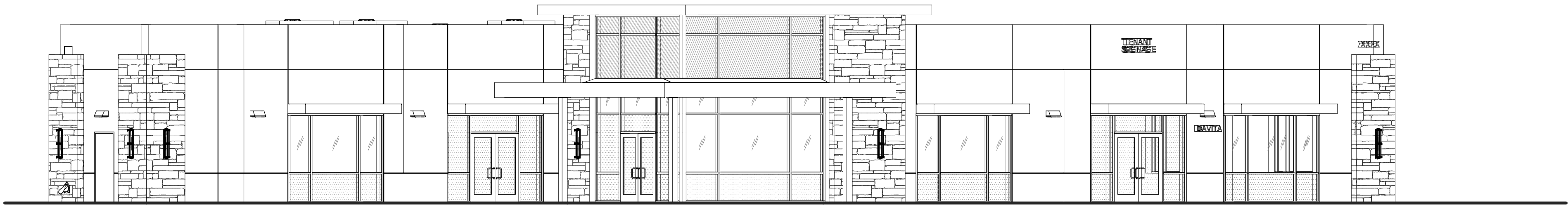
courtney.wood@sjcfire.org

- F.1. Prior to construction, applicant shall submit construction documents to the South San Joaquin County Fire Authority (SSJCFA) for review and approval.
 - a. Construction documents shall be designed to the current edition of the California Code of Regulations, Title 24, as amended by the City of Tracy Municipal Code.
 - b. Construction documents shall list South San Joaquin County Fire Authority as the local fire district, in lieu of City of Tracy.
 - c. Deferred submittals shall be listed on the coversheet of each page. Each deferred submittal shall be submitted, reviewed and approved by SSJCFA prior to installation.
 - i. Fire Sprinklers
 - ii. Fire Alarm
 - iii. Underground Fire Service
 - d. Indicate on the construction plans if fire sprinklers are proposed. If proposed, the following items will be required:
 - i. A request for fire flow shall be submitted to the South San Joaquin County Fire Authority and results shall be approved by the Fire Marshal prior to construction. Fire flow requirements shall be in accordance with CFC Appendix B.
 - ii. Fire protection water supply must be submitted separately from construction permit. All piping and installation shall be in accordance with CFC §507 & NFPA standards. Approval of grading and/or on-site improvements does not grant installation of underground fire service.
 - iii. Fire sprinklers shall be designed by a licensed fire protection contractor or engineer. Hydraulic calculations, specifications and plans shall be submitted for review and approval prior to installation of the fire sprinklers.
- F.2. Construction applications received by our offices are subject to the current fee schedule for South San Joaquin County Fire Authority.

- a. Application processing fees and minimum plan review fees are due at time of submittal of construction documents.
 - b. Additional plan review fees, minimum inspection fees and administrative fees are calculated on approval of project and shall be paid prior to issuance of permit.
 - c. Permit holder is responsible for any additional inspection fees incurred, and shall be paid prior to final inspection.
- F.3. Prior to occupancy of each new business, the tenant shall contact South San Joaquin County Fire Authority for a new business inspection. Additional fees may be required for New Business, Annual and Operational Fire Permits. All fees shall be paid prior to approval of inspections.
- F.4. Prior to construction, all-weather fire apparatus access roads shall be installed. Fire apparatus access roads during construction shall have a minimum 20' unobstructed width in accordance with CFC §503.
- F.5. All hydrants shall be installed, inspected and tested prior to bringing combustible materials onsite, including storage.
- F.6. Knox boxes shall be required. Each tenant shall have keys placed in the key box. The operator of the building shall immediately notify the Fire Authority and provide the new key where a lock is changed or rekeyed. The key to such shall be secured in the key box.
- F.7. Building and each tenant space shall be provided with approved address identification in accordance with CFC §505.
- F.8. Prior to final inspection, emergency radio responder coverage shall be tested to confirm coverage areas. It is beneficial for the applicant to conduct testing at foundation as retrofitting for the conduit is costly. If coverage is inadequate, a separate permit for emergency radio responder coverage shall be submitted to SSJCFA for review and approval prior to installation.
Additional improvements may warrant additional testing to be performed. Testing shall be the determination of the fire code official.

ONE-STORY MEDICAL OFFICE BUILDING

ORCHARD PARKWAY
TRACY, CALIFORNIA 95377



SHEET INDEX

ARCHITECTURAL

- A0.1 COVER SHEET
- A0.4 CAL GREEN NOTES
- A0.4a CAL GREEN NOTES
- A0.5 PERSPECTIVES
- A1.1 SITE PLAN
- A1.2 SITE SECTION
- A2.1 FLOOR PLAN
- A3.1 ROOF PLAN
- A4.1 EXTERIOR ELEVATIONS
- A4.2 EXTERIOR ELEVATIONS_RENDERED
- A5.0 BUILDING SECTIONS
- A8.1 SITE DETAILS
- A8.1a SITE DETAILS

ARCHITECTURAL SHEET COUNT: 13

CIVIL

- C1.0 COVER SHEET
- C2.0 EXISTING CONDITIONS
- C2.1 DEMOLITION PLAN
- C3.0 GRADING & DRAINAGE PLAN
- C4.0 UTILITY PLAN
- C4.1 FIRE SERVICE PLAN
- C4.1a FIRE SERVICE PLAN
- C5.0 DETAILS & SECTIONS
- C6.0 PRELIMINARY PROJECT STORMWATER PLAN
- C6.1 PRELIMINARY PROJECT STORMWATER PLAN DETAILS

CIVIL SHEET COUNT: 10

MECHANICAL

- M3.0 MECHANICAL ROOF PLAN

MECHANICAL SHEET COUNT: 1

ELECTRICAL

- E1.0 ELECTRICAL PHOTOMETRIC PLAN
- E1.2 LIGHTING CUTSHEET AND DETAILS
- E1.3 LIGHTING CUTSHEET AND DETAILS

ELECTRICAL SHEET COUNT: 3

LANDSCAPE

- L1.1 PRELIMINARY PLAN
- L1.2 PLANT IMAGES & WELO CALCS
- L1.3 PARKING LOT SHADE PLAN

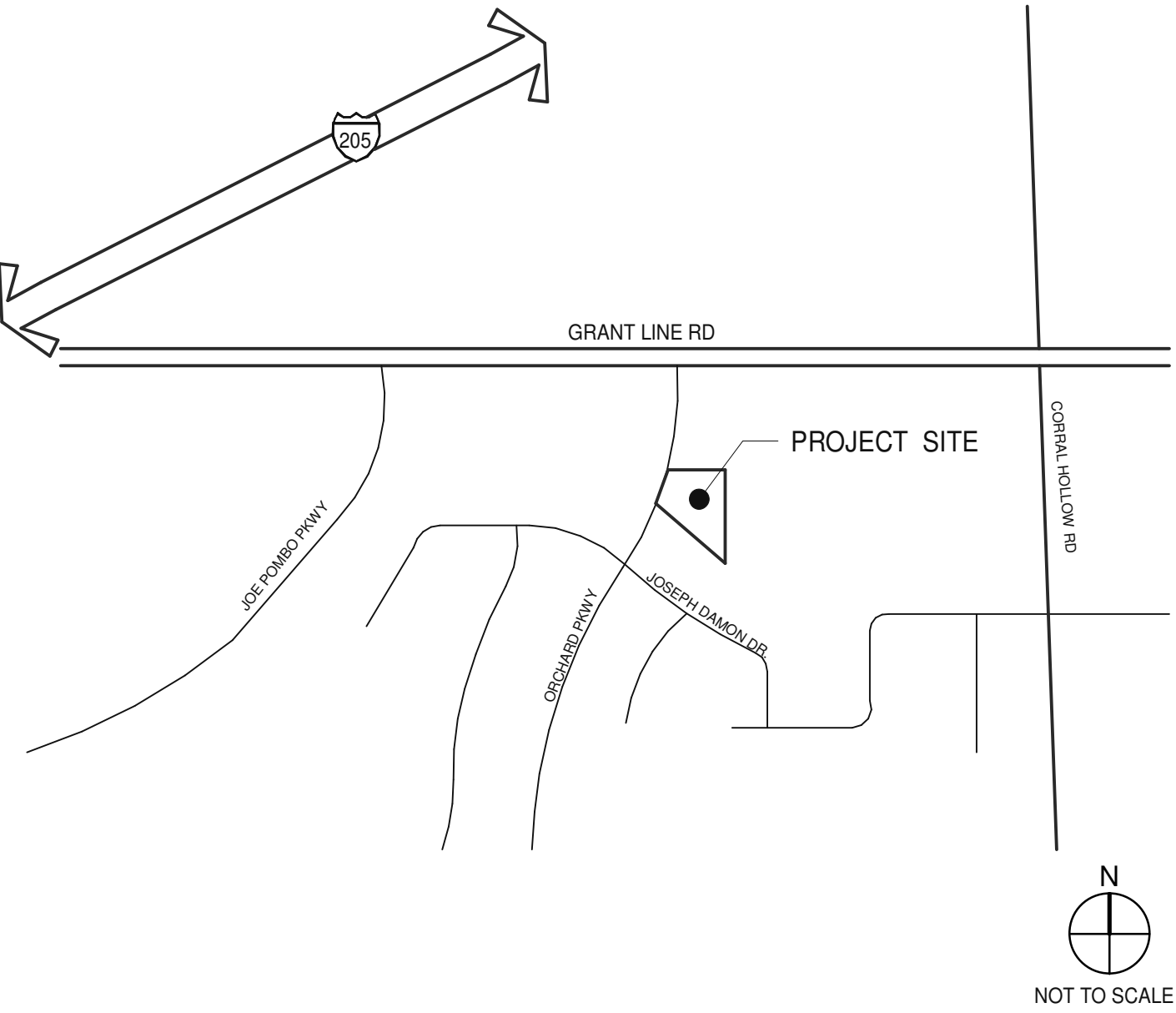
LANDSCAPE SHEET COUNT: 3

DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEERS OF RECORD WHO SHALL REVIEW AND PROVIDE NOTATION INDICATING DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE BUILDING DESIGN. SUBMITTAL MATERIALS SHALL INCLUDE PLANS, DETAILS AND CALCULATIONS PREPARED AND SIGNED BY A STATE REGISTERED ENGINEER. CONTRACTOR SHALL SUBMIT ARCHITECT AND ENGINEER REVIEWED SUBMITTAL MATERIALS TO THE BUILDING OFFICIAL FOR REVIEW AND PERMIT APPROVAL. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED PRIOR TO OBTAINING THE BUILDING OFFICIAL'S APPROVAL OF THE SUBMITTAL.

1. AUTOMATIC FIRE SPRINKLER SYSTEM.
2. FIRE ALARM SYSTEM.
3. STEEL JOISTS, TRUSSES AND GIRDERS CONFORMING TO SJI STANDARDS SPECIFICATIONS.
4. EXTERIOR BUILDING SIGNAGE.
5. ANCHORAGE DESIGN FOR ALL ELECTRICAL EQUIPMENT REQUIRED.
6. STOREFRONT AND CURTAIN WALL GLAZING SYSTEMS.

VICINITY MAP



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TBD

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ONE-STORY MEDICAL OFFICE
BUILDING
ORCHARD PARKWAY
TRACY, CALIFORNIA 95377

COVER SHEET

DATE	REMARKS
02/28/2020	PLANNING SUBMITTAL
02/09/2021	PLANNING DEPT SUBMITTAL #3

PA/PM:	C. BOSHART
DRAWN BY.:	N.M./E.S.
JOB NO.:	SNR19-0079-00

SHEET
A0.1

SECTION 5.410 BUILDING MAINTENANCE AND OPERATION
5.410.1 RECYCLING BY OCCUPANTS.

PROVIDE READILY ACCESSIBLE AREAS THAT SERVE THE ENTIRE BUILDING AND ARE IDENTIFIED FOR THE DEPOSITING, STORAGE AND COLLECTION OF NON-HAZARDOUS MATERIALS FOR RECYCLING, INCLUDING (AT A MINIMUM) PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS AND METALS OR MEET A LAWFULLY ENACTED LOCAL RECYCLING ORDINANCE, IF MORE RESTRICTIVE.

5.410.1.1 ADDITIONS. [A]

ALL ADDITIONS CONDUCTED WITHIN A 12-MONTH PERIOD UNDER SINGLE OR MULTIPLE PERMITS, RESULTING IN AN INCREASE OF 30 PERCENT OR MORE IN FLOOR AREA, SHALL PROVIDE RECYCLING AREAS ON SITE.

EXCEPTION:
ADDITIONS WITHIN A TENANT SPACE RESULTING IN LESS THAN A 30-PERCENT INCREASE IN THE TENANT SPACE FLOOR AREA.

5.410.1.2 SAMPLE ORDINANCE.

SPACE ALLOCATION FOR RECYCLING AREAS SHALL COMPLY WITH CHAPTER 18, PART 3, DIVISION 30 OF THE PUBLIC RESOURCES CODE. CHAPTER 18 IS KNOWN AS THE CALIFORNIA SOLID WASTE REUSE AND RECYCLING ACCESS ACT OF 1991 (ACT).

NOTE:
A SAMPLE ORDINANCE FOR USE BY LOCAL AGENCIES MAY BE FOUND IN 5.410.1 RECYCLING BY OCCUPANTS.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.410.2 COMMISSIONING.

FOR NEW BUILDINGS 10,000 SQUARE FEET AND OVER, BUILDING COMMISSIONING SHALL BE INCLUDED IN THE DESIGN AND CONSTRUCTION PROCESS OF THE BUILDING PROJECT TO VERIFY THAT THE BUILDING SYSTEMS AND COMPONENTS MEET THE OWNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS. COMMISSIONING SHALL BE PERFORMED IN ACCORDANCE WITH THIS SECTION BY TRAINED PERSONNEL WITH EXPERIENCE ON PROJECTS OF COMPARABLE SIZE AND COMPLEXITY. COMMISSIONING REQUIREMENTS SHALL INCLUDE: ITEMS 1 THROUGH 7 LISTED IN THIS SECTION.

EXCEPTIONS:

1. UNCONDITIONED WAREHOUSES OF ANY SIZE
 2. AREAS UNDER 10,000 SQUARE FEET USED FOR OFFICES OR OTHER CONDITIONED ACCESSORY SPACES WITHIN UNCONDITIONED WAREHOUSES
 3. TENANT IMPROVEMENTS UNDER 10,000 SQUARE FEET AS DESCRIBED IN SECTION 303.1.1
 4. COMMISSIONING REQUIREMENTS FOR ENERGY SYSTEMS COVERED BY THE 2013 CALIFORNIA ENERGY CODE.
- ALL BUILDING OPERATING SYSTEMS COVERED BY TITLE 24, PART 6, AS WELL AS PROCESS EQUIPMENT AND CONTROLS, AND RENEWABLE ENERGY SYSTEMS SHALL BE INCLUDED IN THE SCOPE OF THE COMMISSIONING REQUIREMENTS.

5.410.2.1 OWNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS (OPR).

THE EXPECTATIONS AND REQUIREMENTS OF THE BUILDING APPROPRIATE TO ITS PHASE SHALL BE DOCUMENTED BEFORE THE DESIGN PHASE OF THE PROJECT BEGINS. THIS DOCUMENTATION SHALL INCLUDE ITEMS 1 THROUGH 6 LISTED IN THIS SECTION.

5.410.2.2 BASIS OF DESIGN (BOD).

A WRITTEN EXPLANATION OF HOW THE DESIGN OF THE BUILDING SYSTEMS MEETS THE OPR SHALL BE COMPLETED AT THE DESIGN PHASE OF THE BUILDING PROJECT. THE BASIS OF DESIGN DOCUMENT SHALL COVER ITEMS 1 THROUGH 6 LISTED IN THIS SECTION.

5.410.2.3 COMMISSIONING PLAN

A COMMISSIONING PLAN DESCRIBING HOW THE PROJECT WILL BE COMMISSIONED SHALL INCLUDE ITEMS LISTED IN SECTION 5.410.2.3.

5.410.2.4 FUNCTIONAL PERFORMANCE TESTING.

FUNCTIONAL PERFORMANCE TEST SHALL DEMONSTRATE THE CORRECT INSTALLATION AND OPERATION OF EACH COMPONENT, SYSTEM AND SYSTEM-TO-SYSTEM INTERFACE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. FUNCTIONAL PERFORMANCE TESTING REPORTS SHALL CONTAIN INFORMATION ADDRESSING EACH OF THE BUILDING COMPONENTS TESTED, THE TESTING METHODS UTILIZED, AND INCLUDE ANY READINGS AND ADJUSTMENTS MADE.

5.410.2.5 DOCUMENTATION AND TRAINING.

A SYSTEM MANUAL AND SYSTEMS OPERATIONS TRAINING ARE REQUIRED INCLUDING OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) REQUIREMENTS IN CALIFORNIA CODE OF REGULATIONS, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS

5.410.2.5.1 SYSTEMS MANUAL.

THE SYSTEMS MANUAL SHALL BE DELIVERED TO THE BUILDING OWNER OR REPRESENTATIVE AND FACILITIES OPERATOR AND SHALL INCLUDE ITEMS LISTED IN SECTION 5.410.2.5.1.

5.410.2.5.2 SYSTEMS OPERATIONS TRAINING.

A PROGRAM FOR TRAINING OF THE APPROPRIATE MAINTENANCE STAFF FOR EACH EQUIPMENT TYPE AND/OR SYSTEM SHALL BE DEVELOPED AND SHALL INCLUDE ITEMS LISTED IN SECTION 5.410.2.5.2.

5.410.2.6 COMMISSIONING REPORT.

A REPORT OF COMMISSIONING PROCESS ACTIVITIES UNDERTAKEN THROUGH THE DESIGN AND CONSTRUCTION PHASES OF THE BUILDING PROJECT SHALL BE COMPLETED AND PROVIDED TO THE OWNER OR REPRESENTATIVE.

5.410.4 TESTING AND ADJUSTING.

TESTING AND ADJUSTING OF SYSTEMS SHALL BE REQUIRED FOR BUILDINGS LESS THAN 10,000 SQUARE FEET OR NEW SYSTEMS TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 303.1

5.410.4.2 SYSTEMS.

DEVELOP A WRITTEN PLAN OF PROCEDURES FOR TESTING AND ADJUSTING SYSTEMS. SYSTEMS TO BE INCLUDED FOR TESTING AND ADJUSTING SHALL INCLUDE, AS APPLICABLE TO THE PROJECT, THE SYSTEMS LISTED IN SECTION 5.410.4.2

SECTION 5.304 OUTDOOR WATER USE
5.304.2 OUTDOOR WATER USE IN LANDSCAPE AREAS EQUAL TO OR GREATER THAN 500 SF.

5.304.3 OUTDOOR WATER USE IN REHABILITATED LANDSCAPE PROJECTS EQUAL TO OR GREATER THAN 2,500 SF.

5.304.4 OUTDOOR WATER USE IN LANDSCAPE AREAS OF 2,500 SF OR LESS.

5.304.5 GRAYWATER OR RAINWATER USE IN LANDSCAPE AREAS.

5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.

SEE SHEET LX.X FOR APPLICABLE OUTDOOR WATER USE DESIGN INFORMATION.

PROVIDE A WEATHER-RESISTANT EXTERIOR WALL AND FOUNDATION ENVELOPE AS REQUIRED BY CALIFORNIA BUILDING CODE SECTION 1403.2 AND CALIFORNIA ENERGY CODE SECTION 150, MANUFACTURER'S INSTALLATION INSTRUCTIONS, OR LOCAL ORDINANCE, WHICHEVER IS MORE STRINGENT.

SEE SHEETS A2.1 THROUGH A3.1, AND SHEETS A8.2 AND 8.4, SEE ALSO DETAILS ON SHEET A8.1 FOR ENVELOPE WEATHER RESISTANCE.

5.407.2 MOISTURE CONTROL

EMPLOY MOISTURE CONTROL MEASURES BY THE FOLLOWING METHODS:

5.407.2.1 SPRINKLERS

PREVENT IRRIGATION SPRAY ON STRUCTURES.

SEE IRRIGATION NOTES "HEADS" SHEET L-4

5.407.2.2 ENTRIES AND OPENINGS

DESIGN EXTERIOR ENTRIES AND OPENINGS TO PREVENT WATER INTUSION INTO BUILDING.

SEE SHEETS A2.1 THROUGH A3.1, AND SHEETS A8.2 AND A8.4

5.407.2.2.1 EXTERIOR DOOR PROTECTION.

PRIMARY EXTERIOR ENTRIES SHALL BE COVERED TO PREVENT WATER INTRUSION BY USING NONABSORBENT FLOOR AND WALL FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO SUCH OPENINGS PLUS AT LEAST ONE OF THE ITEMS 1 THROUGH 4 LISTED IN THIS SECTION.

5.407.2.2.2 FLASHING.

INSTALL FLASHINGS INTEGRATED WITH A DRAINAGE PLANE.

5.408.1 CONSTRUCTION WASTE MANAGEMENT.

RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 5.408.1.1, 5.408.1.2 OR 5.408.1.3; OR MEET LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY PRIOR TO THE START OF CONSTRUCTION.

5.408.1.1 CONSTRUCTION WASTE MANAGEMENT PLAN. (MANDATORY)

WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE THAT IS MORE STRINGENT, SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT COMPLIES WITH ITEMS 1 THROUGH 4 OF THIS SECTION.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY PRIOR TO THE START OF CONSTRUCTION.

5.408.1.2 WASTE MANAGEMENT COMPANY.

UTILIZE A WASTE MANAGEMENT COMPANY THAT CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLIES WITH THIS SECTION EXCEPTIONS TO SECTION 5.408.1.1 AND 5.408.1.2:

1. EXCAVATED SOIL AND LAND-CLEARING DEBRIS
2. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST.
3. DEMOLITION WASTE MEETING LOCAL ORDINANCE OR CALCULATED IN CONSIDERATION OF LOCAL RECYCLING FACILITIES AND MARKETS.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY PRIOR TO THE START OF CONSTRUCTION.

5.408.1.3 WASTE STREAM REDUCTION ALTERNATIVE.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY PRIOR TO THE START OF CONSTRUCTION.

5.408.1.4 DOCUMENTATION.

DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTIONS 5.408.1.1 THROUGH 5.408.1.3. THE WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE ACCESSIBLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY PRIOR TO THE START OF CONSTRUCTION.

5.408.2 UNIVERSAL WASTE. [A]

GENERAL CONTRACTOR TO PROPERLY DISPOSE OF AND DIVERT FROM LANDFILLS UNIVERSAL WASTE ITEMS SUCH AS FLUORESCENT LAMPS AND BALLAST AND MERCURY CONTAINING THERMOSTATS AS WELL AS OTHER CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS AS MENTIONED IN THE CALIFORNIA UNIVERSAL WASTE RULE DOCUMENT:
HTTP://WWW.DTSC.CA.GOV/LAWSREGSPOLICIES/REGS/UPLOAD/DEARA_REGS_UWR_FINALTEXT.PDF

5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS.

100 PERCENT OF TREES, STUMPS, ROCKS AND ASSOCIATED VEGETATION AND SOILS RESULTING PRIMARILY FROM LAND CLEARING SHALL BE REUSED OR RECYCLED. FOR A PHASED PROJECT, SUCH MATERIAL MAY BE STICKPILED ON SITE UNTIL THE STORAGE SITE IS DEVELOPED.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY PRIOR TO THE START OF CONSTRUCTION.

SECTION 5.303 INDOOR WATER USE
5.303.1 METERS.

SEPARATE SUBMETERS SHALL BE INSTALLED FOR THE USES DESCRIBED IN SECTION 5.303.1.1 AND 5.303.1.2.

SEE PLUMBING AND CIVIL SHEETS FOR METER LOCATION. NO ADDITIONAL SUBMETERING PROVIDED AT THIS TIME FOR COLD SHELL SCOPE.

5.303.1.1 BUILDINGS IN EXCESS OF 50,000 SF.

- SEPARATE SUBMETERS SHALL BE INSTALLED AS FOLLOWS:
1. FOR EACH INDIVIDUAL LEASED, RENTED OR OTHER TENANT SPACE WITHIN THE BUILDING PROJECTED TO CONSUME MORE THAN 100 GAL/DAY.
 2. WHEN SEPARATE SUBMETERS FOR INDIVIDUAL BUILDING TENANTS ARE UNFEASIBLE, FOR WATER SUPPLIED TO THE FOLLOWING SUBSYSTEMS:
 - A. MAKEUP WATER FOR COOLING TOWERS WHERE FLOW THROUGH IS GREATER 500 GPM (30US)
 - B. MAKEUP WATER FOR EVAPORATIVE COOLERS GREATER THAN 6GPM (0.04US)
 - C. STEAM AND HOT-WATER BOILERS WITH ENERGY INPUT MORE THAN 500,000 BTU/H (147 KW)

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.303.1.2 EXCESS CONSUMPTION.

A SEPARATE SUBMETER OR METERING DEVICE SHALL BE PROVIDED FOR ANY TENANT WITHIN A BUILDING OR WITHIN AN ADDITION THAT IS PROJECTED TO CONSUME MORE THAN 1,000 GAL/DAY (3800 LDAY).

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.303.2 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS

PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING:

5.303.3.1 WATER CLOSETS.

THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.303.3.2 URINALS.

5.303.3.2.1 WALL-MOUNTED URINALS.

THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH

5.303.3.2.2 FLOOR-MOUNTED URINALS.

THE EFFECTIVE FLUSH VOLUME OF ALL FLOOR-MOUNTED URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.303.3.3 SHOWERHEADS.

5.303.3.3.1 SINGLE SHOWERHEADS.

SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.

5.303.3.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER.

WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OULETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OULET TO BE IN OPERATION AT A TIME.

TABLE NOT SHOWN AS THE MEASURE IS NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.303.3.4 FAUCETS AND FOUNTAINS.

5.303.3.4.1 NONRESIDENTIAL LAVATORY FAUCETS.

LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.5 GALLONS PER MINUTE AT 60 PSI.

5.303.3.4.2 KITCHEN FAUCETS.

KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 60PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

5.303.3.4.3 WASH FOUNTAINS.

WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE/20 [RIM SPACE (INCHES)] AT 60 PSI).

5.303.3.4.4 METERING FAUCETS

METERING FAUCETS SHALL NOT DELIVER MORE THAN 0.20 GALLONS PER CYCLE.

5.303.3.4.5 METERING FAUCETS FOR WASH FOUNTAINS

METERING FAUCETS FOR WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.20 GALLONS PER MINUTE/20 [RIM SPACE (INCHES)] AT 60 PSI).

NOTE:
WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

5.303.4 COMMERCIAL KITCHEN EQUIPMENT.

5.303.4.1 FOOD WASTE DISPOSER

DISPOSERS SHALL EITHER MODULATE THE USE OF WATER TO NO MORE THAN 1 GPM WHEN THE DISPOSER IS NOT IN USE (NOT ACTIVELY GRINDING FOOD WASTE/NO-LOAD) OR SHALL AUTOMATICALLY SHUT OFF AFTER NO MORE THAN 10 MINUTES OF INACTIVITY. DISPOSERS SHALL USE NO MORE THAN 8 GPM OF WATER.

5.303.5 AREAS OF ADDITION OR ALTERATION.

FOR THOSE OCCUPANCIES WITHIN THE AUTHORITY OF CALIFORNIA BUILDING STANDARDS COMMISSION AS SPECIFIED IN SECTION 103, THE PROVISIONS OF SECTION 5.303.3 SHALL APPLY TO NEW FIXTURES IN ADDITIONS OR AREAS OF ALTERATION TO THE BUILDING.

5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS.

PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1401.1 OF THE CALIFORNIA PLUMBING CODE AND IN CHAPTER 6 OF THIS CODE.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.106.5.2.1 PARKING STALL MARKING

SEE SHEET A1.1 FOR DESIGNATED PARKING MARKING LOCATIONS

5.106.5.3 ELECTRIC VEHICLE (EV) CHARGING

CONSTRUCTION SHALL COMPLY WITH SECTION 5.106.5.3.1 OR SECTION 5.106.5.3.2 TO FACILITATE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).

5.106.5.3.1 SINGLE CHARGING SPACE REQUIREMENTS

- WHEN ONLY A SINGLE CHARGING SPACE IS REQUIRED PER TABLE 5.106.5.3.3, A RACEWAY IS REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION. CONSTRUCTION PLANS AND SPECIFICATIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
1. THE TYPE AND LOCATION OF THE EVSE.
 2. THE LISTED RACEWAY CAPABLE OF ACCOMMODATING A 208/240-VOLT DEDICATED BRANCH CIRCUIT.
 3. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1".
 4. THE RACEWAY SHALL ORIGINATE AT A SERVICE PANEL OR SUBPANEL SERVING THE AREA, AND SHALL TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING EQUIPMENT.
 5. THE SERVICE PANEL OR SUBPANEL SHALL HAVE SUFFICIENT CAPACITY TO ACCOMMODATE A MINIMUM 40-AMPERE DEDICATED BRANCH CIRCUITS FOR THE FUTURE INSTALLATION OF THE EVSE.

5.106.5.3.2 MULTIPLE CHARGING SPACE REQUIREMENTS

WHEN MULTIPLE CHARGING SPACES ARE REQUIRED PER TABLE 5.106.5.3.3 RACEWAYS ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. CONSTRUCTION PLANS AND SPECIFICATIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

1. THE TYPE AND LOCATION OF THE EVSE.
2. THE RACEWAYS SHALL ORIGINATE AT A SERVICE PANEL OR A SUBPANEL SERVING THE AREA, AND SHALL TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING EQUIPMENT AND INTO LISTED SUITABLE CABINETS, BOXES, ENCLOSURES, OR EQUIVALENT.
3. PLAN DESIGN SHALL BE BASED UPON 40-AMPERE MINIMUM BRANCH CIRCUITS.
4. ELECTRICAL CALCULATIONS SHALL SUBSTANTIATE THE DESIGN OF THE ELECTRICAL SYSTEM, TO INCLUDE THE RATING OF EQUIPMENT AND ANY ON-SITE DISTRIBUTION TRANSFORMERS AND HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL REQUIRED EV'S AT ITS FULL RATED AMPERAGE.
5. THE SERVICE PANEL OR SUBPANEL SHALL HAVE SUFFICIENT CAPACITY TO ACCOMMODATE THE REQUIRED NUMBER OF DEDICATED BRANCH CIRCUITS FOR THE FUTURE INSTALLATION OF THE EVSE.

5.106.5.3.3 EV CHARGING SPACE CALCULATION

TABLE 5.106.5.3.3 SHALL BE USED TO DETERMINE IF SINGLE OR MULTIPLE CHARGING SPACE REQUIREMENTS APPLY FOR THE FUTURE INSTALLATION OF EVSE. EXCEPTIONS:

1. WHEN THERE IS INSUFFICIENT ELECTRICAL SUPPLY.
2. WHEN THERE IS EVIDENCE SUITABLE TO THE LOCAL ENFORCING AGENCY SUBSTANTIATING THAT ADDITIONAL LOCAL UTILITY INFRASTRUCTURE DESIGN REQUIREMENTS, DIRECTLY RELATED TO THE IMPLEMENTATION OF SECTION 5.106.5.3, MAY ADVERSELY IMPACT THE CONSTRUCTION COST OF THE PROJECT.

TABLE 5.106.5.3.3	
TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV CHARGING SPACES
0-9	0
10-25	1
26-50	2
51-75	4
76-100	5
101-150	7
151-200	10
200 AND OVER	6% OF TOTAL

53 TOTAL, 4 REQUIRED, 6 PROVIDED.

5.106.5.3.4 [N] IDENTIFICATION.

THE SERVICE PANEL OR SUBPANEL(S) CIRCUIT DIRECTORY SHALL IDENTIFY THE RESERVED OVERCURRENT PROTECTIVE DEVICE SPACE(S) FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE."

5.106.5.3.5 [N].

FUTURE CHARGING SPACES QUALIFY AS DESIGNATED PARKING AS DESCRIBED IN SECTION 5.106.5.2 DESIGNATED PARKING.

NOTES:

1. THE CALIFORNIA DEPARTMENT OF TRANSPORTATION ADOPTS AND PUBLISHES THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CALIFORNIA MUTCD) TO PROVIDE UNIFORM STANDARDS AND SPECIFICATIONS FOR ALL OFFICIAL TRAFFIC CONTROL DEVICES IN CALIFORNIA. ZERO EMISSION VEHICLE SIGNS AND PAVEMENT MARKINGS CAN BE FOUND IN THE NEW POLICIES AND DIRECTIVES NUMBER 13-01. WWW.DOT.CA.GOV/HQ/TRAFFPOLSPOLICY13-01.PDF.
2. SEE VEHICLE CODE SECTION 22511 FOR EV CHARGING SPACES SIGNAGE IN OFF-STREET PARKING FACILITIES AND FOR USE OF EV CHARGING SPACES.
3. THE GOVERNOR'S OFFICE OF PLANNING AND RESEARCH PUBLISHED A ZERO-EMISSION VEHICLE COMMUNITY READINESS GUIDEBOOK WHICH PROVIDES HELPFULL INFORMATION FOR LOCAL GOVERNMENTS. RESIDENTS AND BUSINESSES W.OPR.CA.GOV/DOCS/ZEV_GUIDEBOOK.PDF.

5.106.8 LIGHT POLLUTION REDUCTION

OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH THE FOLLOWING:

1. THE MINIMUM REQUIREMENTS IN THE CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 1-4 AS DEFINED IN CHAPTER 10 OF THE CALIFORNIA ADMINISTRATIVE CODE; AND
 2. BACKLIGHT, UPLIGHT AND GLARE (BUG RATINGS AS DEFINED IN IESNA TM-15-11; AND
 3. ALLOWABLE BUG RATINGS NOT EXCEEDING THOSE SHOWN IN TABLE 5.106.8, OR COMPLY WITH A LOCAL ORDINANCE LOWFULLY ENACTED PURSUANT TO SECTION 101.7, WHICHEVER IS MORE STRINGENT.
- EXCEPTIONS:
1. LUMINAIRES THAT QUALIFY AS EXCEPTIONS IN SECTION 147 OF THE CALIFORNIA ENERGY CODE
 2. EMERGENCY LIGHTING.

SEE SHET E1.1 FOR PHOTOMETRIC STUDY AND FIXTURE TYPES/OUTDOFS.

5.106.10 GRADING AND PAVING

CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE THOSE SHOWN IN ITEMS 1 THROUGH 5 LISTED IN THIS SECTION.

SEE CIVIL SHEETS FOR GRADING AND DRAINAGE DESIGN.

SECTION 5.201 ENERGY EFFICIENCY PERFORMANCE REQUIREMENTS
5.201.1 SCOPE.

THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY BUILDING STANDARDS.

SEE ELECTRICAL SHEETS FOR COMPLIANCE WITH CURRENT ENERGY PERFORMANCE DESIGN APPLICABLE TO THIS COLD SHELL SCOPE.

CAL Green GENERAL NOTES

1. THESE DOCUMENTS HAVE BEEN CREATED IN CONFORMANCE WITH THE REQUIRED DESIGN RELATED CODE REQUIREMENTS. CONSTRUCTION RELATED ACTIVITIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
2. WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION, ANY THIRD PARTY COMMISSIONING AGENT AND/OR SPECIAL INSPECTORS REQUIRED TO PROVIDE VERIFICATION OF COMPLIANCE WITH THE FOLLOWING REQUIREMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE TENANT/BUILDING OWNER.
3. ANY MATERIAL OR PRODUCT SUBSTITUTIONS MADE BY THE GENERAL CONTRACTOR SHALL BE IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR PRIOR REVIEW. ANY REQUESTED SUBSTITUTIONS THAT ARE NOT IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS WILL BE REJECTED AND THE GENERAL CONTRACTOR WILL BE REQUIRED TO FURNISH THE SPECIFIED PRODUCT/MATERIAL AT NO ADDITIONAL COST.
4. IT IS HIGHLY ENCOURAGED THAT THE GENERAL CONTRACTOR REVIEW THE SAMPLE WORKSHEETS PROVIDED IN CHAPTER 8 OF THE 2016 CALIFORNIA GREEN BUILDINGS STANDARDS CODE IN PREPARATION FOR THE REQUIRED DOCUMENTS RELATED TO CONSTRUCTION WASTE MANAGEMENT.
5. IN THE EVENT OF ANY DISCREPANCY BETWEEN THIS DOCUMENT AND THE CURRENT 2016 CALIFORNIA GREEN BUILDINGS STANDARDS CODE, INCLUDING AMENDMENTS, THE TEXT OF THE CODE AND AMENDMENTS SHALL GOVERN.

INSTALLER AND SPECIAL INSPECTOR

QUALIFICATIONS

SECTION 702 QUALIFICATIONS
702.1 INSTALLER TRAINING

HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR OR LICENSED TO INSTALL HVAC SYSTEMS. EXAMPLES OF ACCEPTABLE HVAC TRAINING AND CERTIFICATION PROGRAMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

1. STATE CERTIFIED APPRENTICESHIP PROGRAMS
2. PUBLIC UTILITY TRAINING PROGRAMS
3. TRAINING PROGRAMS SPONSORED BY TRADE, LABOR, OR STATE-WIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATIONS
4. PROGRAMS SPONSORED BY MANUFACTURING ORGANIZATIONS
5. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY

702.2 SPECIAL INSPECTION.

BSC WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION, THE SPECIAL INSPECTOR SHALL HAVE A CERTIFICATION FROM A RECOGNIZED STATE, NATIONAL OR INTERNATIONAL ASSOCIATION, AS DETERMINED BY THE LOCAL A

NOTE: NOT APPLICABLE.

5.508.2.1 REFRIGERANT PIPING.

5.508.2.2 VALVES.

5.508.2.3 REFRIGERATED SERVICE CASES.

5.508.2.4 REFRIGERANT RECEIVERS.

5.508.2.5 PRESSURE TESTING.

5.508.2.6 EVACUATION.

NOTE: NOT APPLICABLE.

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL.

WHERE OUTDOOR AREAS ARE PROVIDED FOR SMOKING, PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS AND WITHIN THE BUILDING AS ALREADY PROHIBITED BY OTHER LAWS OR REGULATIONS, OR AS ENFORCED BY ORDINANCES, REGULATIONS OR POLICIES OF ANY CITY, COUNTY, CITY AND COUNTY, CALIFORNIA COMMUNITY COLLEGE, CAMPUS OF THE CALIFORNIA STATE UNIVERSITY, OR CAMPUS OF THE UNIVERSITY OF CALIFORNIA, WHICHEVER ARE MORE STRINGENT. WHEN ORDINANCES, REGULATIONS OR POLICIES ARE NOT IN PLACE, POST SIGNAGE TO INFORM BUILDING OCCUPANTS OF THE PROHIBITIONS.

NO DESIGNATED SMOKING/NO SMOKING AREAS INCLUDED IN THE SCOPE OF THIS PROJECT.

SECTION 5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL

BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF CALIFORNIA BUILDING CODE, CCR, TITLE 24, PART 2, SECTIONS 1203 AND CHAPTER 14.1

SEE SHEET A2.1 THROUGH A3.1, AND SHEETS A8.2 AND A8.4 FOR ENVELOPE WEATHER RESISTANCE.

SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY.

FOR MECHANICALLY OR NATURALLY VENTILATED SPACES IN BUILDINGS, MEET THE MINIMUM REQUIREMENTS OF SECTION 120.1 (REQUIREMENTS FOR VENTILATION) OF THE 2013 CALIFORNIA ENERGY CODE, OR THE APPLICABLE LOCAL CODE, WHICHEVER IS MORE STRINGENT, AND DIVISION 1, CHAPTER 4 OF CCR, TITLE 8.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.506.2 CARBON DIOXIDE (CO2) MONITORING.

FOR BUILDINGS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO2 SENSORS AND VENTILATION CONTROLS SHALL BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE, CCR, SECTION 121(C).

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

SECTION 5.507 ENVIRONMENTAL COMFORT

5.507.4 ACOUSTICAL CONTROL

EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH STC VALUES DETERMINED IN ACCORDANCE WITH ASTM E 90 AND ASTM E 413 OR OITC DETERMINED IN ACCORDANCE WITH ASTM E 1332, USING EITHER THE PRESCRIPTIVE OR PERFORMANCE METHOD IN SECTION 5.507.4.1 OR 5.507.4.2

SEE SHEET A2.1 THROUGH A3.1, AND SHEETS A8.2 AND A8.4 FOR ENVELOPE STC PERFORMANCE

5.507.4.1 EXTERIOR NOISE TRANSMISSION, PRESCRIPTIVE METHOD

WALL AND FLOOR-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING ENVELOPE SHALL HAVE EXTERIOR WALL AND ROOF CEILING ASSEMBLIES MEETING A COMPOSITE STC RATING OF AT LEAST 50 OR A COMPOSITE OITC RATING OF NO LESS THAN 40 WITH EXTERIOR WINDOWS OF A MINIMUM STC 40 OR OITC OF 30 IN THE LOCATIONS DESCRIBED IN ITEMS 1 AND 2.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE FOR WICH EXCEPTION IN SECTION 5.507.4 APPLIES

5.507.4.1.1 NOISE EXPOSURE WHERE NOISE CONTOURS ARE NOT READILY AVAILABLE

BUILDINGS EXPOSED TO A NOISE LEVEL OF 65 dB Leq-1HR DURING ANY HOUR OF OPERATION SHALL HAVE EXTERIOR WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MEETING A COMPOSITE STC RATING OF AT LEAST 45 (OR OITC 35), WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 (OR OITC 30).

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE FOR WICH EXCEPTION IN SECTION 5.507.4 APPLIES

5.507.4.2 PERFORMANCE METHOD

FOR BUILDINGS LOCATED AS DEFINED IN SECTION 5.507.4.1 OR 5.507.4.1.1, WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL BE CONSTRUCTED TO PROVIDE AN INTERIOR NOISE ENVIRONMENT ATTRIBUTABLE TO EXTERIOR SOURCES THAT DOES NOT EXCEED AN HOURLY EQUIVALENT NOISE LEVEL (L_{eq}-1HR) OF 50 DBA IN OCCUPIED AREAS DURING ANY HOUR OF OPERATION.

5.507.4.2.1 SITE FEATURES

EXTERIOR FEATURES SUCH AS SOUND WALLS OR EARTH BERMS MAY BE UTILIZED AS APPROPRIATE TO THE PROJECT TO MITIGATE SOUND MIGRATION TO THE INTERIOR.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE FOR WICH EXCEPTION IN SECTION 5.507.4 APPLIES

5.507.4.2.2 DOCUMENTATION OF COMPLIANCE

AN ACOUSTICAL ANALYSIS DOCUMENTING COMPLYING INTERIOR SOUND LEVELS SHALL BE PREPARED BY PERSONNEL APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.507.4.3 INTERIOR SOUND TRANSMISSION

WALL AND FLOOR-CEILING ASSEMBLIES SEPARATING TENANT SPACES AND TENANT SPACES AND PUBLIC PLACES SHALL HAVE AN STC OF AT LEAST 40.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

SECTION 5.508 OUTDOOR AIR QUALITY

5.508.1 OZONE DEPLETION AND GREENHOUSE GAS REDUCTIONS.

INSTALLATIONS OF HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH SECTIONS 5.508.1.1 AND 5.508.1.2.

SEE FIRE PROTECTION DRAWINGS - SUBMITTED UNDER SEPERATE PERMIT.

5.508.1.1 CHLOROFLUOROCARBONS (CFCs).

INSTALL HVAC AND REFRIGERATION EQUIPMENT THAT DOES NOT CONTAIN CFCs.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.508.1.2 HALONS.

INSTALL FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN HALONS.

SEE FIRE PROTECTION DRAWINGS - SUBMITTED UNDER SEPERATE PERMIT.

5.508.2 SUPERMARKET REFRIGERANT LEAK REDUCTION.

NEW COMMERCIAL REFRIGERATION SYSTEMS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION WHEN INSTALLED IN RETAIL FOOD STORES 8,000 SQUARE FEET OR MORE CONDITIONED AREA, AND THAT UTILIZE EITHER REFRIGERATED DISPLAY CASES, OR WALK-IN COOLERS OR FREEZERS CONNECTED TO REMOTE COMPRESSOR UNITS OR CONDENSING UNITS. THE LEAK REDUCTION MEASURES APPLY TO REFRIGERATION SYSTEMS CONTAINING HIGH-GLOBAL WARMING POTENTIAL (HIGH-GWP) REFRIGERANTS WITH A GWP OF 150 OR GREATER. NEW REFRIGERATION SYSTEMS INCLUDE BOTH NEW FACILITIES AND THE REPLACEMENT OF EXISTING REFRIGERATION SYSTEMS IN EXISTING FACILITIES.

5.504.4.3.1 AEROSOL PAINTS AND COATINGS.

AEROSOL PAINTS AND COATINGS SHALL MEET THE PWMIR LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(c)(2) AND (d)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94500; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE 49.

SEE PROJECT SPECIFICATIONS 099113 AND 099123 - EXTERIOR AND INTERIOR PAINTING, RESPECTIVELY.

5.504.4.3.2 VERIFICATION.

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:
1. MANUFACTURER'S PRODUCT SPECIFICATION
2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS

SUBMITTAL AVAILABLE UPON REQUEST

5.504.4.4 CARPET SYSTEMS.

ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE STANDARDS LISTED IN SECTION 5.504.4.4.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4.4.1 CARPET CUSHION.

ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4.4.2 CARPET ADHESIVE.

ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 5.504.4.1.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4.5 COMPOSITE WOOD PRODUCTS.

HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 5.504.4.5

TABLE 5.504.4.5 FORMALDEHYDE LIMITS MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION.	
PRODUCT	CURRENT LIMIT

HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD	2 0.13

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4.5.3 DOCUMENTATION.

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE ITEMS 1 THROUGH 5 LISTED IN THIS SECTION.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4.6 RESILIENT FLOORING SYSTEMS.

FOR 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING, INSTALLED RESILIENT FLOORING SHALL MEET AT LEAST ONE OF THE ITEMS 1 THROUGH 4 LISTED IN THIS SECTION.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4.6.1 VERIFICATION OF COMPLIANCE.

DOCUMENTATION SHALL BE PROVIDED VERIFYING THAT RESILIENT FLOORING MATERIALS MEET THE POLLUTANT EMISSION LIMITS.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.5.3 FILTERS.

IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR THAT PROVIDES AT LEAST A MERV OF 8. MERV 8 FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY, AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.5.3.1 LABELING.

INSTALLED FILTERS SHALL BE CLEARLY LABELED BY THE MANUFACTURER INDICATING THE MERV RATING.

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL.

WHERE OUTDOOR AREAS ARE PROVIDED FOR SMOKING, PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS AND WITHIN THE BUILDING AS ALREADY PROHIBITED BY OTHER LAWS OR REGULATIONS, OR AS ENFORCED BY ORDINANCES, REGULATIONS OR POLICIES OF ANY CITY, COUNTY, CITY AND COUNTY, CALIFORNIA COMMUNITY COLLEGE, CAMPUS OF THE CALIFORNIA STATE UNIVERSITY, OR CAMPUS OF THE UNIVERSITY OF CALIFORNIA, WHICHEVER ARE MORE STRINGENT. WHEN ORDINANCES, REGULATIONS OR POLICIES ARE NOT IN PLACE, POST SIGNAGE TO INFORM BUILDING OCCUPANTS OF THE PROHIBITIONS.

NO DESIGNATED SMOKING/NO SMOKING AREAS INCLUDED IN THE SCOPE OF THIS PROJECT.

SECTION 5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL

BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF CALIFORNIA BUILDING CODE, CCR, TITLE 24, PART 2, SECTIONS 1203 AND CHAPTER 14.1

SEE SHEET A2.1 THROUGH A3.1, AND SHEETS A8.2 AND A8.4 FOR ENVELOPE WEATHER RESISTANCE.

SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY.

FOR MECHANICALLY OR NATURALLY VENTILATED SPACES IN BUILDINGS, MEET THE MINIMUM REQUIREMENTS OF SECTION 120.1 (REQUIREMENTS FOR VENTILATION) OF THE 2013 CALIFORNIA ENERGY CODE, OR THE APPLICABLE LOCAL CODE, WHICHEVER IS MORE STRINGENT, AND DIVISION 1, CHAPTER 4 OF CCR, TITLE 8.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.506.2 CARBON DIOXIDE (CO2) MONITORING.

FOR BUILDINGS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO2 SENSORS AND VENTILATION CONTROLS SHALL BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE, CCR, SECTION 121(C).

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

SECTION 5.507 ENVIRONMENTAL COMFORT

5.507.4 ACOUSTICAL CONTROL

EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH STC VALUES DETERMINED IN ACCORDANCE WITH ASTM E 90 AND ASTM E 413 OR OITC DETERMINED IN ACCORDANCE WITH ASTM E 1332, USING EITHER THE PRESCRIPTIVE OR PERFORMANCE METHOD IN SECTION 5.507.4.1 OR 5.507.4.2

TABLE 5.504.4.1
ADHESIVE VOC LIMIT
LESS WATER AND LESS EXEMPT COMPOUNDS IN GRAMS PER LITER

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILES ADHESIVES	65
VCT AND ASPHALTS TILE ADHESIVES	50
DRYWALL AND PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVE NOT SPECIFICALLY USED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	60
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBRANE ADHESIVE	140
TOP AND TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (ECEPT WOOD)	50
WOOD	30
FIBREGLOSS	60

SEE PROJECT SPECIFICATION SECTION 079200 - JOINT SEALANTS

TABLE 5.504.4.2
SEALANT VOC LIMIT
LESS WATER AND LESS EXEMPT COMPOUNDS IN GRAMS PER LITER

SEALANT	CURRENT VOC LIMIT.
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE - PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL NONPOROUS	250
ARCHITECTURAL POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	750
OTHER	750

SEE PROJECT SPECIFICATION SECTION 079200 - JOINT SEALANTS

5.504.4.3 PAINTS AND COATINGS.

ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 5.504.4.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 5.504.4.3 SHALL BE DETERMINED BY LASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.38 AND 4.37 OF THE 007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 5.504.4.3 SHALL APPLY.

TABLE 5.504.4.3
VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS
GRAMS OF VOC PER LITER OF COATING, LESS WATER
AND LESS EXEMPT COMPOUNDS

COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATING	50
NONFLAT COATING	100
NONFLAT HIGH GLOSS COATING	150
SPECIALTY COATING	
ALUMINUM ROOF COATING	400
BASEMENT SPECIALTY COATING	400
BITUMINOUS ROOF COATING	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUND	250
GRAPHIC ART COATINGS (SIGN PAINT)	500
HIGH-TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLORS COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS AND UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS:	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SELAERS AND UNDERCOATERS:	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOLS COATING	340
TRAFFICS MARKING COATINGS	100
TUB AND TILE REFINISH COATINGS	420
WATER PROOFING MEMBRANES	250
WOOD COATING	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

SEE PROJECT SPECIFICATIONS 099113 AND 099123 - EXTERIOR AND INTERIOR PAINTING, RESPECTIVELY AND SECTION 075423 - ROOFING.

5.410.4.3 PROCEDURES.

PERFORM TESTING AND ADJUSTING PROCEDURES IN ACCORDANCE WITH MANUFACTURAR'S SPECIFICATIONS AND APPLICABLE STANDARDS ON EACH SYSTEM.

5.410.4.3.1 HVAC BALANCING.

BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, BALANCE IN ACCORDANCE WITH THE PROCEDURES DEFINED BY NATIONAL STANDARDS LISTED IN SECTION 5.410.4.3.1 OR AS APPROVED BY THE ENFORCING AGENCY.

5.410.4.4 REPORTING.

AFTER COMPLETION OF TESTING, ADJUSTING, AND BALANCING, PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.

5.410.4.5 OPERATION AND MAINTENANCE MANUAL.

PROVIDE THE BUILDING OWNER WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/WARRANTIES FOR EACH SYSTEM PRIOR TO FINAL INSPECTION.

5.410.4.5.1 INSPECTIONS AND REPORTS.

INCLUDE A COPY OF ALL INSPECTION VERIFICATIONS AND REPORTS REQUIRED BY THE ENFORCING AGENCY.

SECTION 5.503 FIREPLACES

5.503.1 GENERAL

INSTALL ONLY A DIRECT-VENT SEALED-COMBUSTION GAS OR SEALED WOOD-BURNING FIREPLACE OR A SEALED WOODSTOVE AND REFER TO RESIDENTIAL REQUIREMENTS IN THE CALIFORNIA ENERGY CODE, TITLE 24, PART 6, SUBCHAPTER 7, SECTION 150.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.503.1.1 WOODSTOVES.

WOODSTOVES SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

SECTION 5.504 POLLUTANT CONTROL

5.504.1.3 TEMPORARY VENTILATION.

THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION THE BUILDING OR AREAS OF ADDITION OR ALTERATION WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8, BASED ON ASHRAE 52.2-1999, OR AN AVERAGE EFFICIENCY OF 30 PERCENT BASED ON ASHRAE 52.1-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF CONSTRUCTION.

5.504.3 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION.

AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4 FINISH MATERIAL POLLUTANT CONTROL.

FINISH MATERIALS SHALL COMPLY WITH SECTIONS 5.504.4.1 THROUGH 5.504.4.4.

SEE PROJECT SPECIFICATION SECTIONS 079200, 099113 AND 099123

5.504.4.1 ADHESIVES, SEALANTS AND CAULKS.

- ADHESIVES, ADHESIVE BONDING PRIMERS ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLES 5.504.4.1 AND 5.504.4.2. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION 2, BELOW.
- AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN ONE POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS



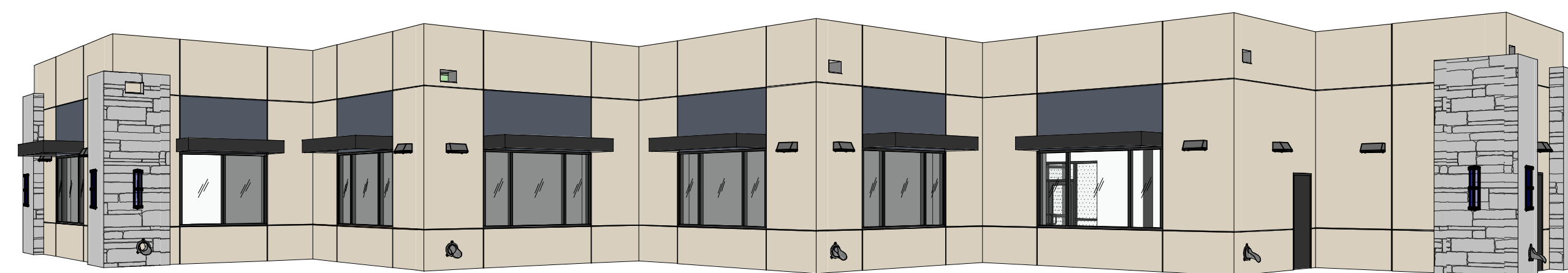
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NORTHEAST



SOUTHEAST



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ONE-STORY MEDICAL OFFICE
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TRACY, CALIFORNIA 95377

BUILDING

ORCHARD PARKWAY

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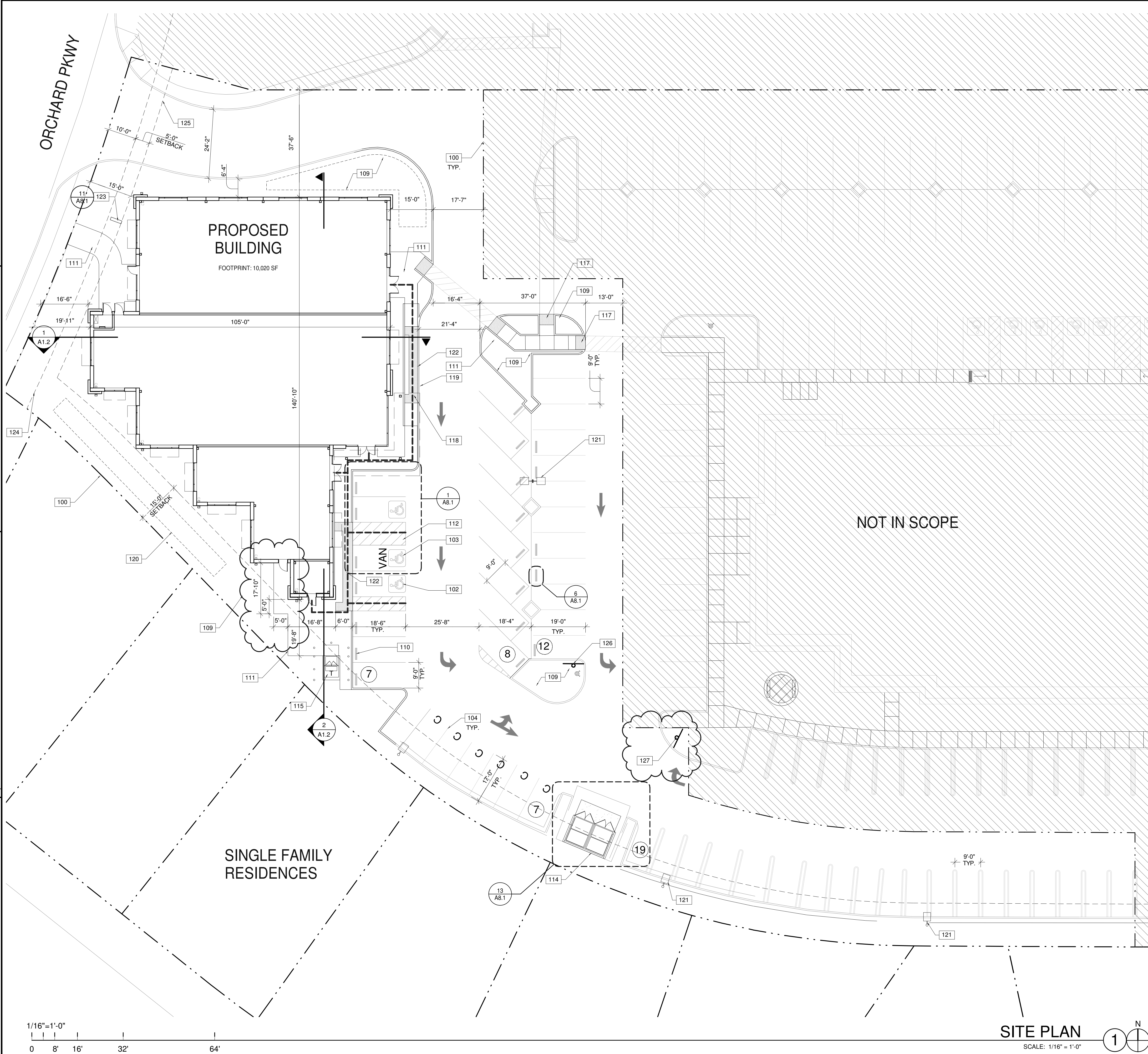
PERSPECTIVES		
	DATE	REMARKS
	02/28/2020	PLANNING SUBMITTAL
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JOB NO.:	SNR19-0079-00

SHEET

A0.5

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KEYNOTES

SEE SHEET A0.2 FOR GENERAL NOTES

100. PROPERTY LINE.
101. ACCESSIBLE ENTRY SIGNAGE.
102. ACCESSIBLE PARKING STALL WITH SIGNAGE.
103. VAN ACCESSIBLE PARKING STALL WITH SIGNAGE.
104. PAINTED PARKING STRIPING PER CITY STANDARDS. 2'-0" PARKING OVERHANG.
105. TRASH ENCLOSURE WITH RECYCLE BIN.
106. FIRE LANE ENTRY SIGNAGE.
107. FIRE LANE SIGNAGE.
108. FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED.
109. LANDSCAPE AND IRRIGATION AREA.
110. PRECAST CONCRETE WHEEL STOP.
111. CONCRETE PAVEMENT.
112. ACCESSIBLE LOADING ZONE.
113. EXISTING TRANSFORMER AND PAD (FOR EXISTING OFFICE BLDG).
114. EXISTING TRASH ENCLOSURE. PROPOSE SHARED USE WITH PROPOSED NEW BLDG PENDING CAPACITY STUDY.
115. TRANSFORMER.
116. CHAINLINK FENCE.
117. TRUNCATED DOMES.
118. ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
119. PASSENGER DROP-OFF AND LOADING ZONE.
120. SEDIMENT BASIN.
121. EXISTING SITE LIGHT FIXTURE.
122. 36" WIDE STRIP OF TRUNCATED DOMES AT 0" CURB ONLY.
123. MONUMENT SIGN.
124. EASEMENT LINE.
125. SETBACK LINE.
126. TRAFFIC SIGN "LEFT TURN ONLY."
127. TRAFFIC SIGN "RIGHT TURN ONLY."

PROJECT DATA & PARKING SUMMARY

BUILDING AREA:

LOT	46,161 SF
TENANT 1 AREA	3,561 SF
TENANT 2 AREA	4,674 SF
TENANT 3 AREA	1,559 SF
FIRE RISER AREA	45 SF
ELECTRICAL ROOM AREA	180 SF
TOTAL BUILDING AREA	10,020 SF
COVERAGE	21.70%

PARKING SPACES PROVIDED:

STANDARD @ 9' x 19'	50
ACCESSIBLE @ 9' x 18' *	3

*PER ADA TABLE 208.2, 2% OF TOTAL REQUIRED TO BE ACCESSIBLE

TOTAL PROVIDED:	53
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LEGEND

- ACCESSIBLE PATH OF TRAVEL. 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- . - - PROPERTY LINE.
- - - EASEMENT LINE.
- SETBACK LINE.
- C MARKED CLEAN AIR VEHICLE STALL.
- P POLE MOUNTED LIGHT FIXTURE.
- W WALLPACK LIGHT FIXTURE.
- T TRANSFORMER WITH CONCRETE PAD. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- L LANDSCAPE AND IRRIGATION AREA.
- H FIRE LANE (HATCHED)
- 1 PARKING STALL COUNT TOTAL
- F FIRE HYDRANT
- P.I.V. WITH TAMPER

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SITE PLAN

DATE	REMARKS
02/28/2020	PLANNING SUBMITTAL
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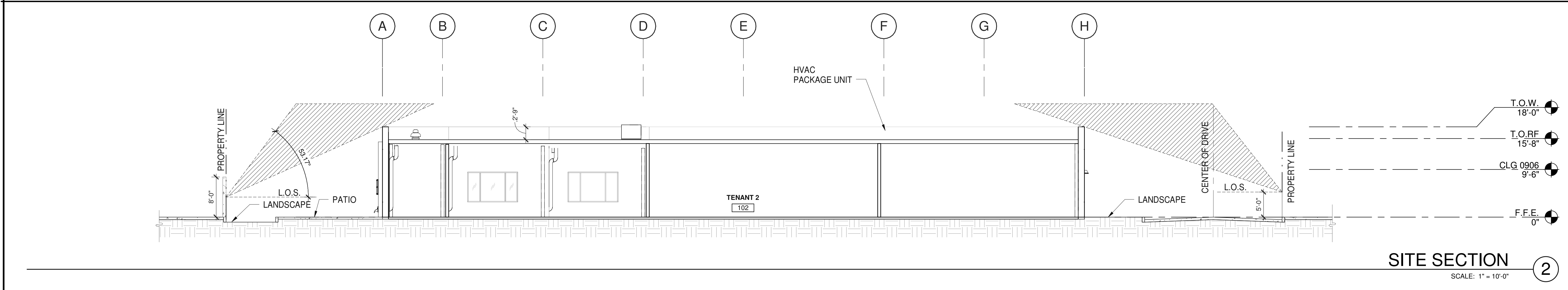
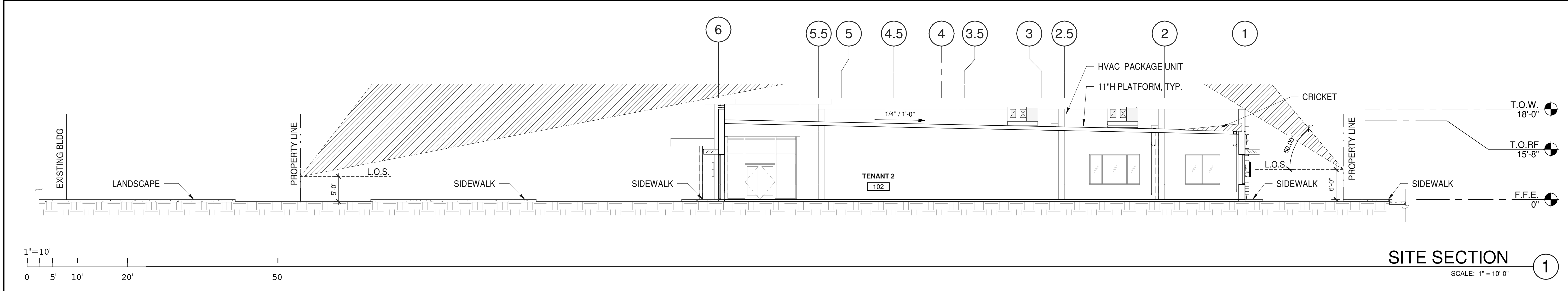
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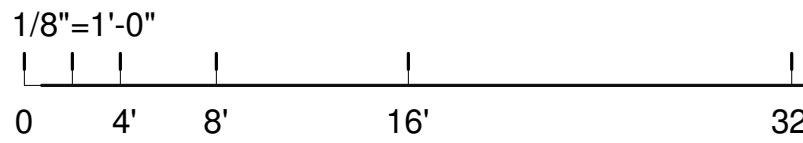
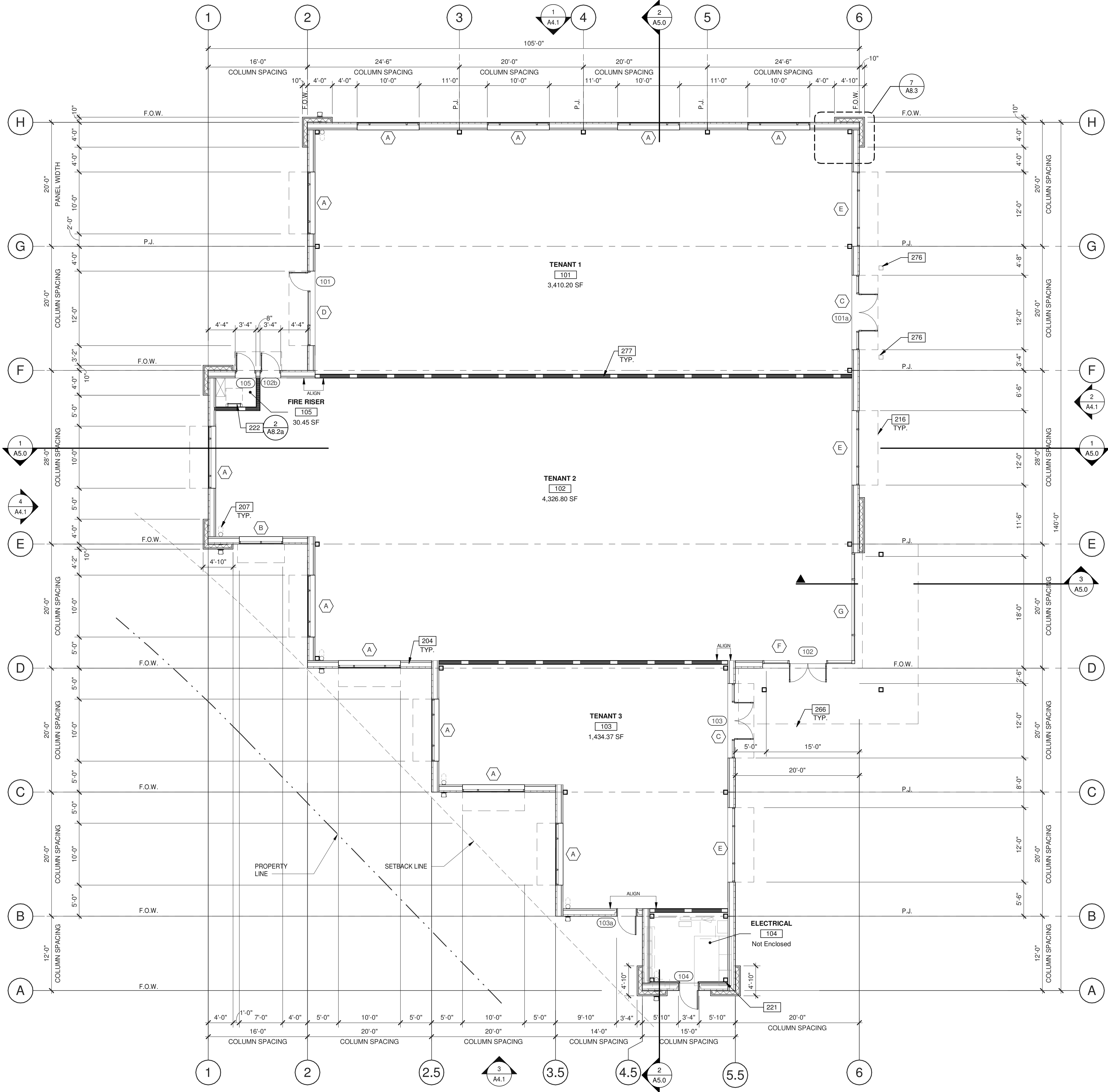
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SITE SECTION	
DATE	REMARKS
02/28/2020	PLANNING SUBMITTAL
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SHEET
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FLOOR PLAN

SCALE: 1/8" = 1'-0"

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 204 METAL PANEL.
- 207 PRIMARY ROOF INTERNAL DRAIN AND DRAIN LEADERS, TRANSITION DIAGONALLY ATTACH TO WALL WITH UNI-STRUTS.
- 216 OUTLINE OF CANOPY ABOVE.
- 221 PLYWOOD BACKBOARDS.
- 222 ROOF ACCESS LADDER.
- 266 OUTLINE OF FREESTANDING CANTILEVERED CANOPY.
- 276 CAST-IN STEEL SLEEVE FOR INSTALLATION OF FITURE FREE STANDING CANOPY.
- 277 DEMISING WALL.

WALL LEGEND

- ACCENT WALL - STONE VENEER
- EXTERIOR PLASTER FINISH OVER IMP PANEL
- 1HR RATED CONSTRUCTION

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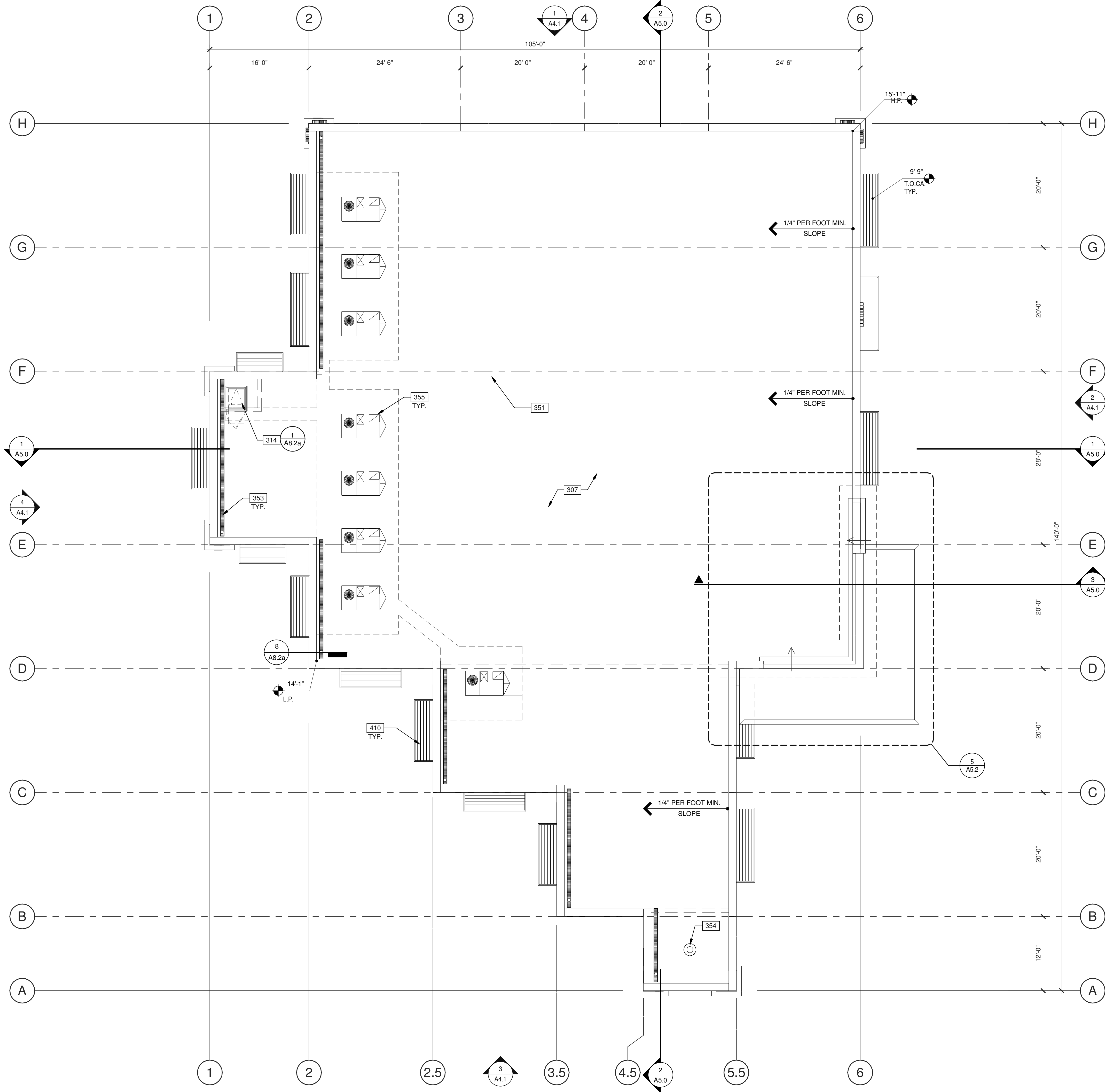
FLOOR PLAN

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A2.1

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KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 307 SINGLE-PLY ROOFING OVER RIGID INSULATION OVER METAL DECK.
314 ROOF HATCH. VERIFY JOIST LOCATIONS WITH STRUCTURAL DRAWINGS.
351 LINE OF WALL BELOW.
353 GUTTER.
354 MECHANICAL EXHUST FAN SEE MECHANICAL DRAWING.
355 ROOF MOUNTED MECHANICAL UNITS. SEE MECHANICAL DRAWING.
410 PRE-FINISHED METAL CANOPY, PAINTED.

ABBREVIATIONS

- T.O.P. = TOP OF PARAPET
H.P. = TOP OF ROOFING - HIGH POINT
M.P. = TOP OF ROOFING - MID POINT
L.P. = TOP OF ROOFING - LOW POINT
T.O.CA = TOP OF CANOPY

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ROOF PLAN

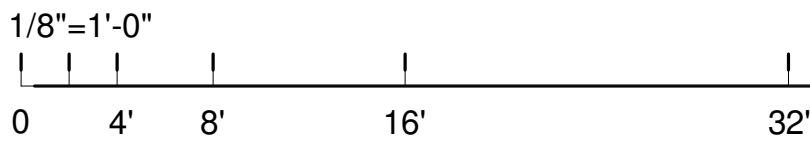
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ROOF PLAN

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATIONS		REMARKS
DATE	PLANNING SUBMITTAL	PLANNING DEPT SUBMITTAL #3
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02/09/2021		

PA/PM:	C. BOSHART
DRAWN BY.:	N.M./E.S.
JOB NO.:	SNR19-0079-00

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 401 METAL PANEL OVER SMOOTH PLASTER FINISH, PAINTED.
402 ACCENT WALL WITH STONE VENEER FINISH.
403 WALL MOUNTED LIGHT FIXTURE.
404 WST LED ARCHITECTURAL WALL SCONCE.
408 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
409 CURTAIN WALL SYSTEM WITH 1" INSULATED GLASS OVER CONCRETE PANEL.
410 PRE-FINISHED METAL CANOPY, PAINTED.
414 OVERFLOW DAYLIGHT.
415 FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT.
416 FINISH GRADE VARIES.
417 LINE OF ROOF BEYOND.
418 SCUPPER.

LEGEND

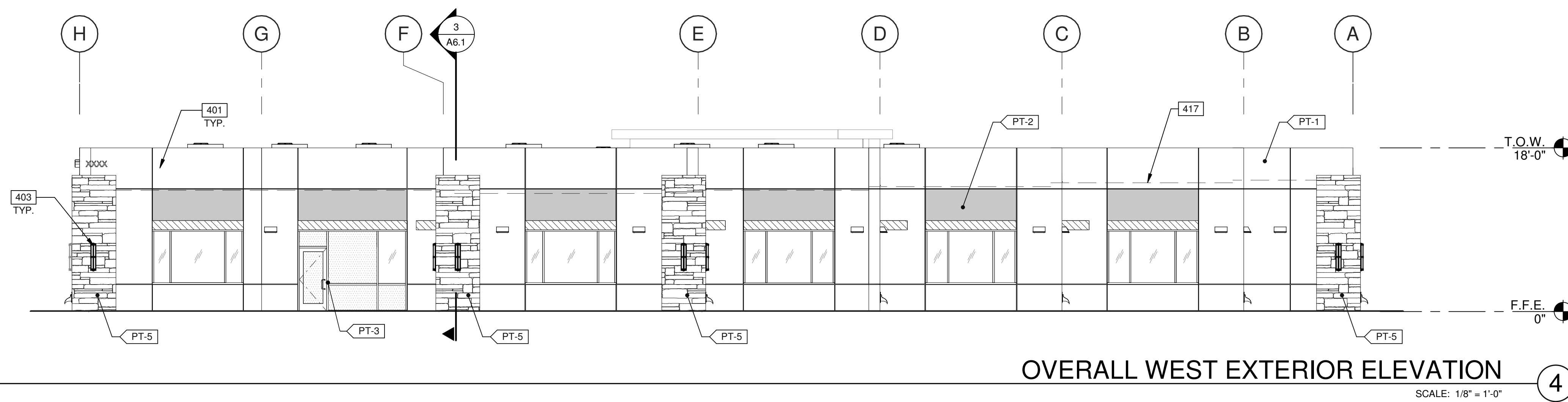
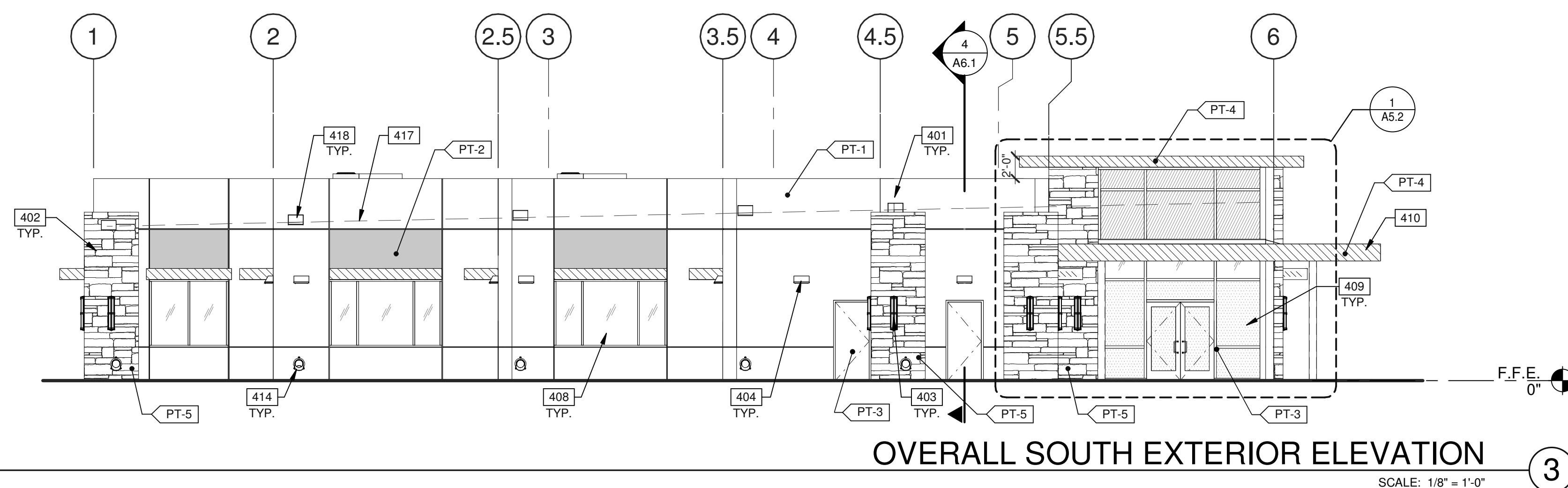
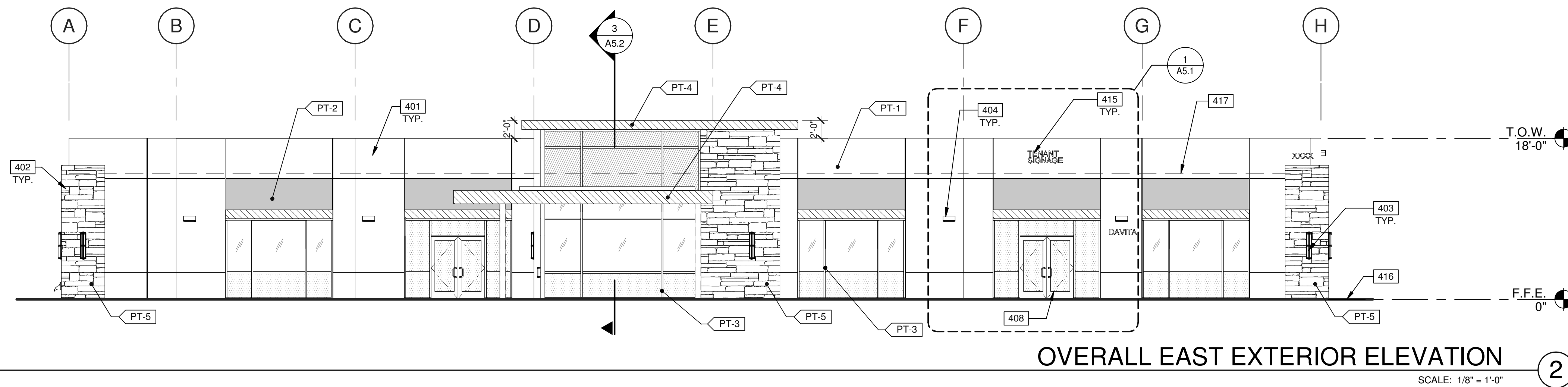
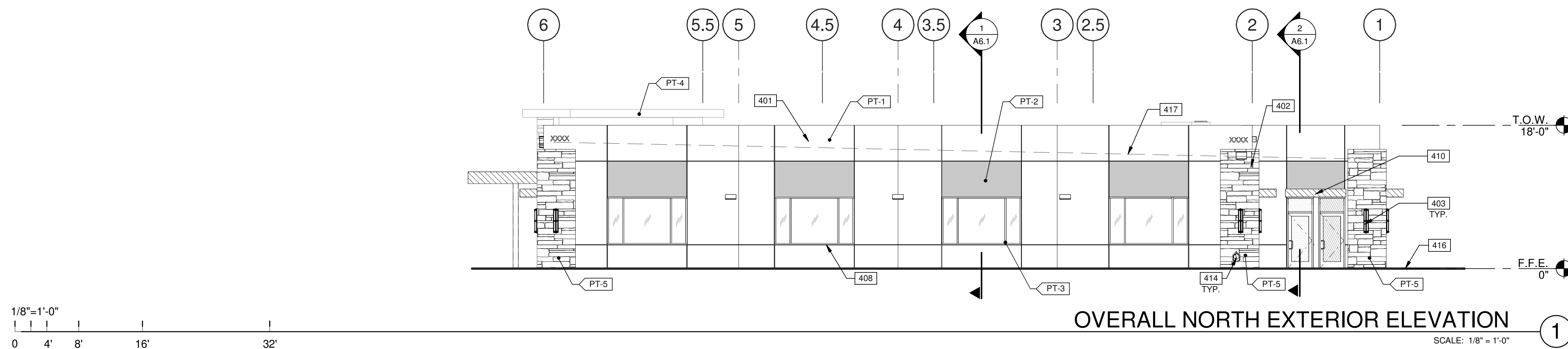
COLORS & MATERIALS

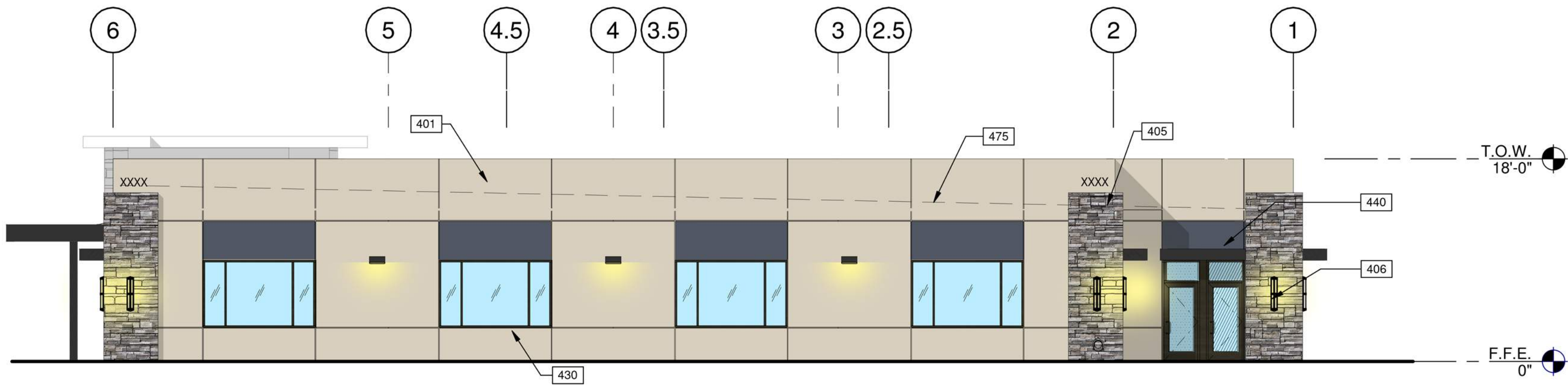
PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW

- PT-5 STONE VENEER
CORONADO STONE - PRO-LEDGE - HURON
- PT-1 SMOOTH FINISH WITH INTEGRATED COLOR
COLOR: SHERWIN-WILLIAMS SW 7541 GRECIAN IVORY
- PT-2 SMOOTH FINISH WITH INTEGRATED COLOR
COLOR: SHERWIN-WILLIAMS SW 2740 MINERAL GRAY
- PT-4 SMOOTH FINISH WITH INTEGRATED COLOR
COLOR: SHERWIN-WILLIAMS SW 6991 BLACK MAGIC
- PT-3 FACTORY FINISHED METAL-DARK BRONZE
FOR WINDOWS & STOREFRONT MULLIONS

GLASS:

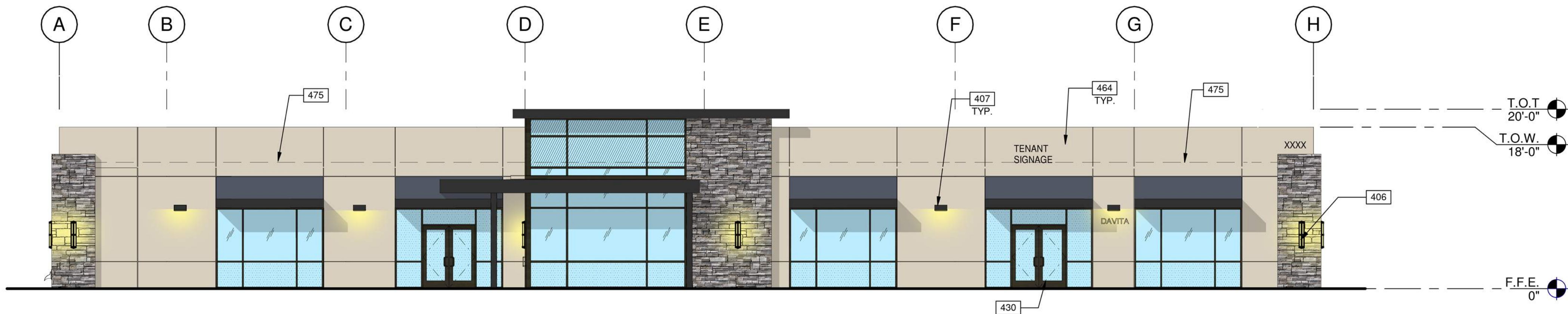
- VISION GLASS
DOUBLE-PANE INSULATED
- SPANDREL GLASS
DOUBLE-PANE INSULATED
- TEMPERED GLASS
DOUBLE-PANE INSULATED





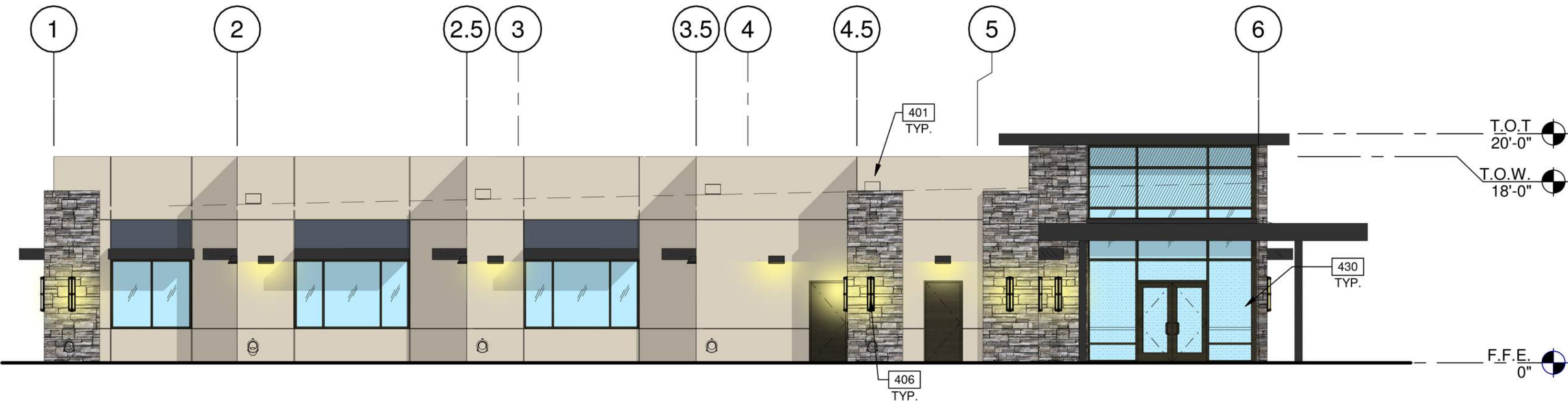
OVERALL NORTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



OVERALL EAST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



OVERALL SOUTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



OVERALL WEST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

1/8" = 1'-0"
0 4' 8' 16' 32'

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 401 METAL STUD PANEL OVER PLASTER WALL, PAINTED.
405 ACCENT WALL WITH STONE VENEER FINISH.
406 WALL MOUNTED LIGHT FIXTURE.
407 WST LED ARCHITECTURAL WALL SCONCE.
430 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
440 METAL CANOPY, PAINTED.
464 NEW TENANT SIGNAGE PER REQUIREMENTS SET FORTH IN PREVIOUSLY APPROVED MASTER SIGNAGE PROGRAM.
475 LINE OF ROOF BEYOND.

LEGEND

COLORS & MATERIALS

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW

- STONE VENEER
CORONADO STONE - PRO-LEDGE - HURON
- SMOOTH FINISH WITH INTEGRATED COLOR
COLOR: SHERWIN-WILLIAMS SW 7541 GRECIAN IVORY
- SMOOTH FINISH WITH INTEGRATED COLOR
COLOR: SHERWIN-WILLIAMS SW 2740 MINERAL GRAY
- SMOOTH FINISH WITH INTEGRATED COLOR
COLOR: SHERWIN-WILLIAMS SW 6991 BLACK MAGIC
- FACTORY FINISHED METAL-DARK BRONZE

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

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F 925.244.9621

ONE-STORY MEDICAL OFFICE
BUILDING
ORCHARD PARKWAY
TRACY, CALIFORNIA 95377

EXTERIOR ELEVATIONS

DATE	REMARKS
02/28/2020	PLANNING SUBMITTAL
02/02/2021	PLANNING DEPT SUBMITTAL #3

PA/PM:	C. BOSHART
DRAWN BY.:	S.Z./M.I
JOB NO.:	SNR19-0079-00

SHEET
A4.1

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F 925.244.1921

ONE-STORY MEDICAL OFFICE
BUILDING
ORCHARD PARKWAY
TRACY, CALIFORNIA 95377

BUILDING SECTIONS

DATE	REMARKS
02/28/2020	PLANNING SUBMITTAL
02/09/2021	PLANNING DEPT SUBMITTAL #3

PA/PM:	C. BOSHART
DRAWN BY.:	N.M./E.S.
JOB NO.:	SNR19-0079-00

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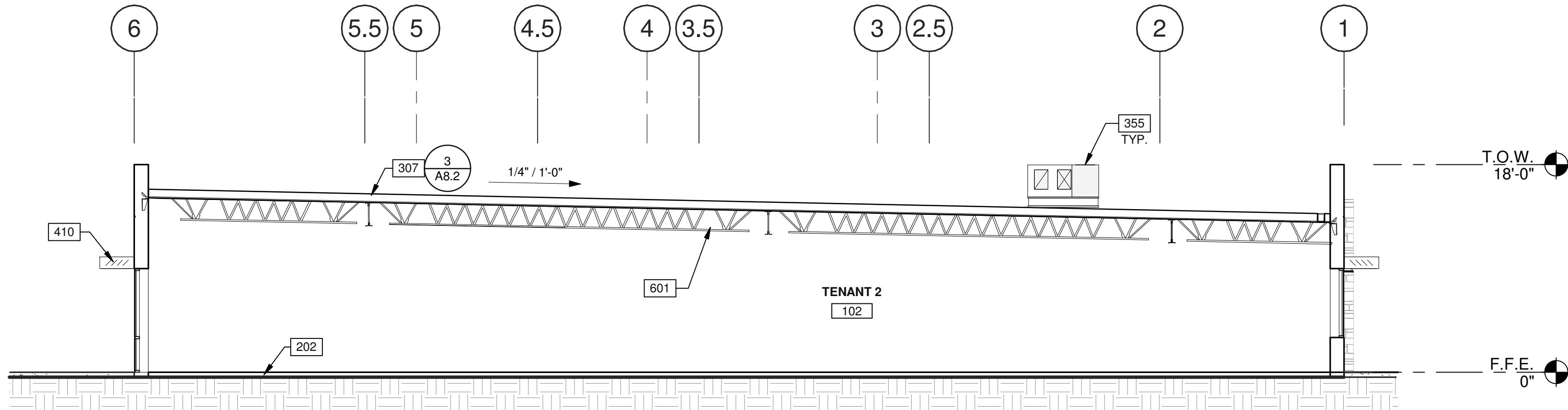
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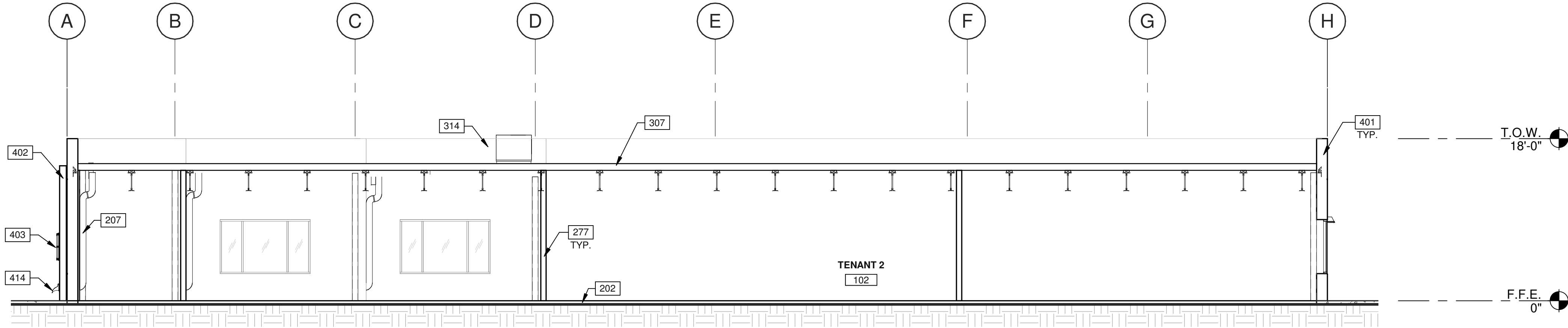
SEE SHEET A0.2 FOR GENERAL NOTES

- 202 CONCRETE SLAB, PROVIDE VAPOR BARRIER OVER SAND PER SOILS REPORT.
- 207 PRIMARY ROOF INTERNAL DRAIN AND DRAIN LEADERS, TRANSITION DIAGONALLY ATTACH TO WALL WITH UNI-STRUTS.
- 277 DEMISING WALL.
- 307 SINGLE-PLY ROOFING OVER RIGID INSULATION OVER METAL DECK.
- 314 ROOF HATCH. VERIFY JOIST LOCATIONS WITH STRUCTURAL DRAWINGS.
- 355 ROOF MOUNTED MECHANICAL UNITS. SEE MECHANICAL DRAWING.
- 401 METAL PANEL OVER SMOOTH PLASTER FINISH, PAINTED.
- 402 ACCENT WALL WITH STONE VENEER FINISH.
- 403 WALL MOUNTED LIGHT FIXTURE.
- 410 PRE-FINISHED METAL CANOPY, PAINTED.
- 414 OVERFLOW DAYLIGHT.
- 601 STRUCTURAL STEEL BEAM.SEE STRUCURE DRAWING.



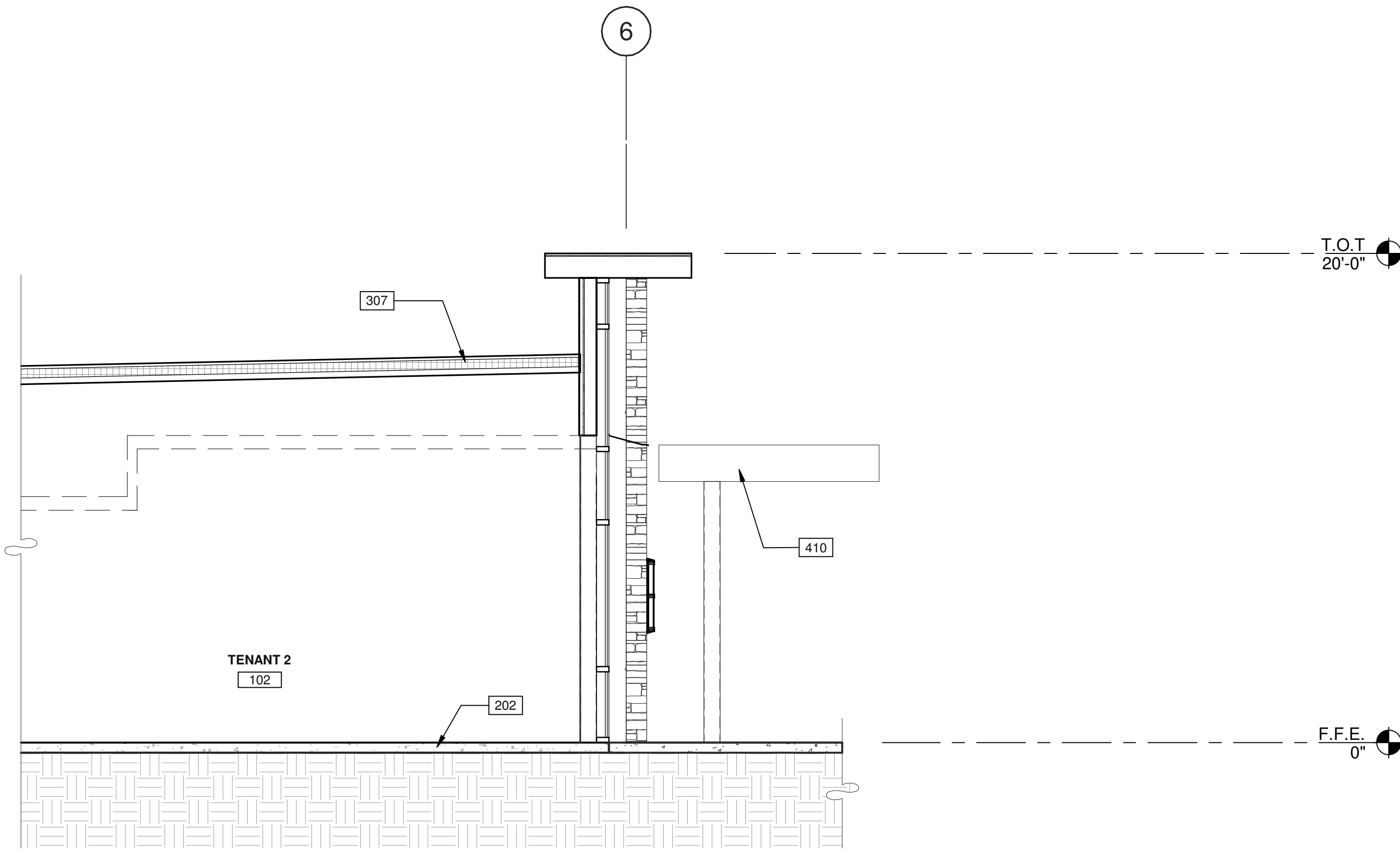
BUILDING SECTION

SCALE: 1/8" = 1'-0"



BUILDING SECTION

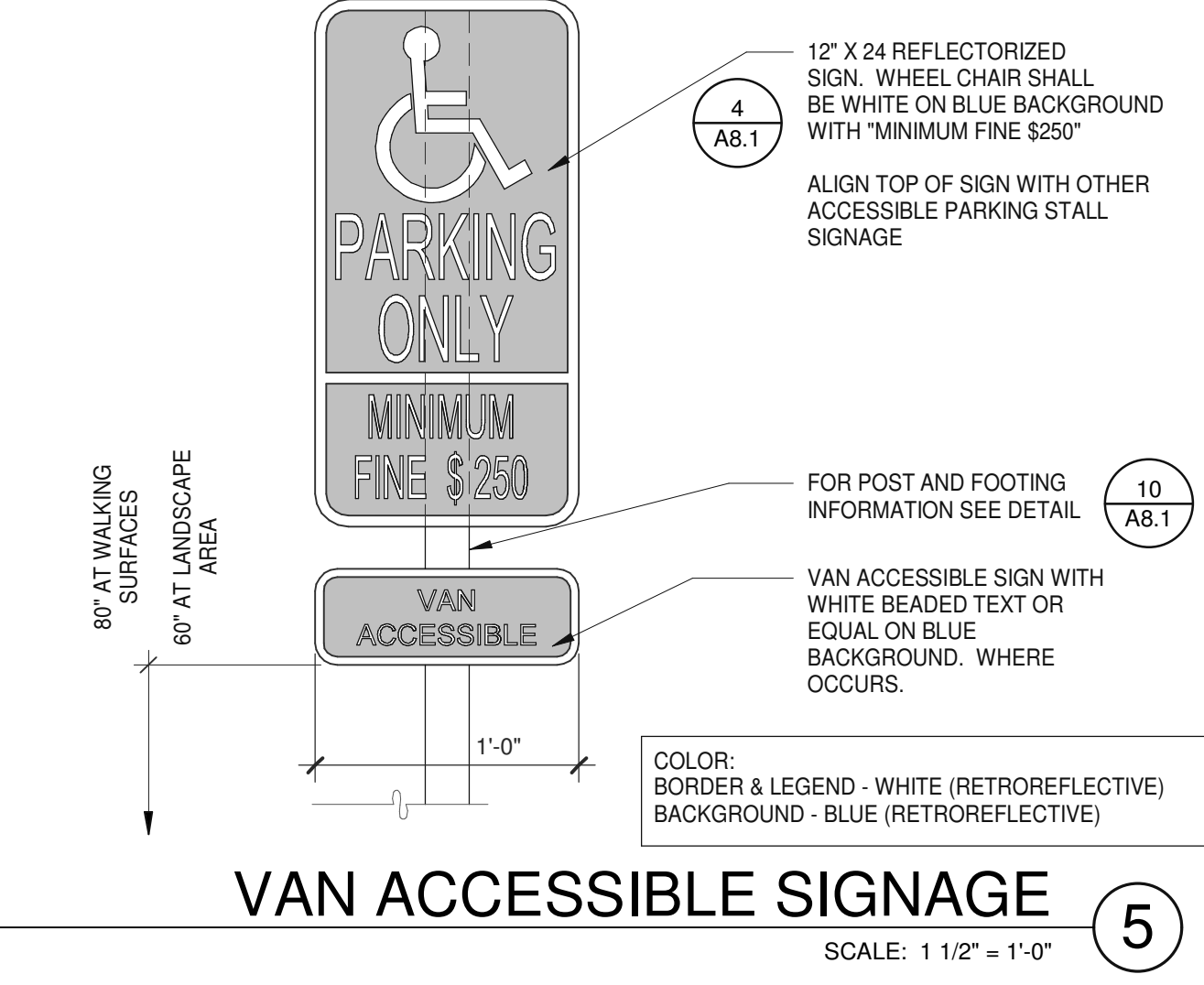
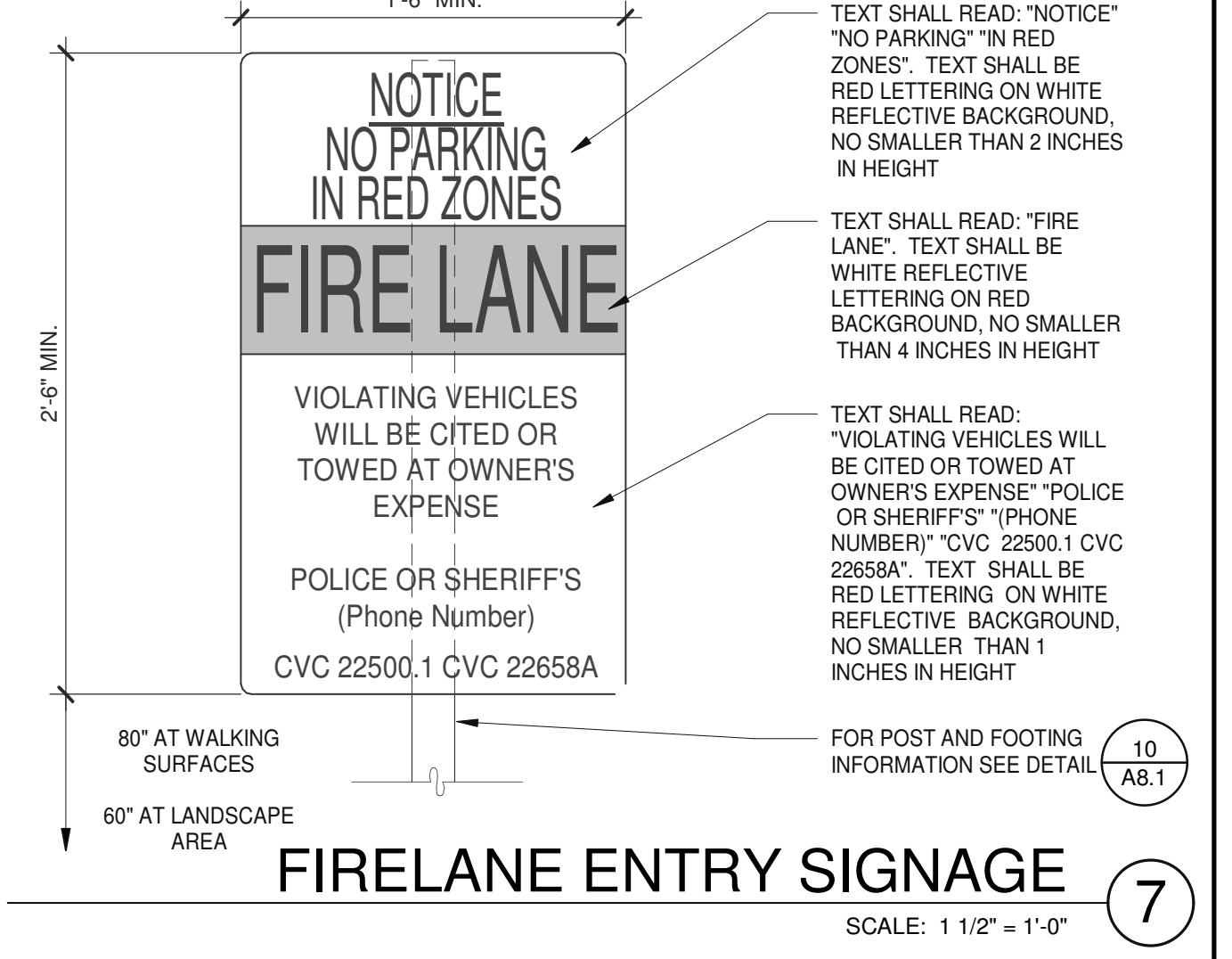
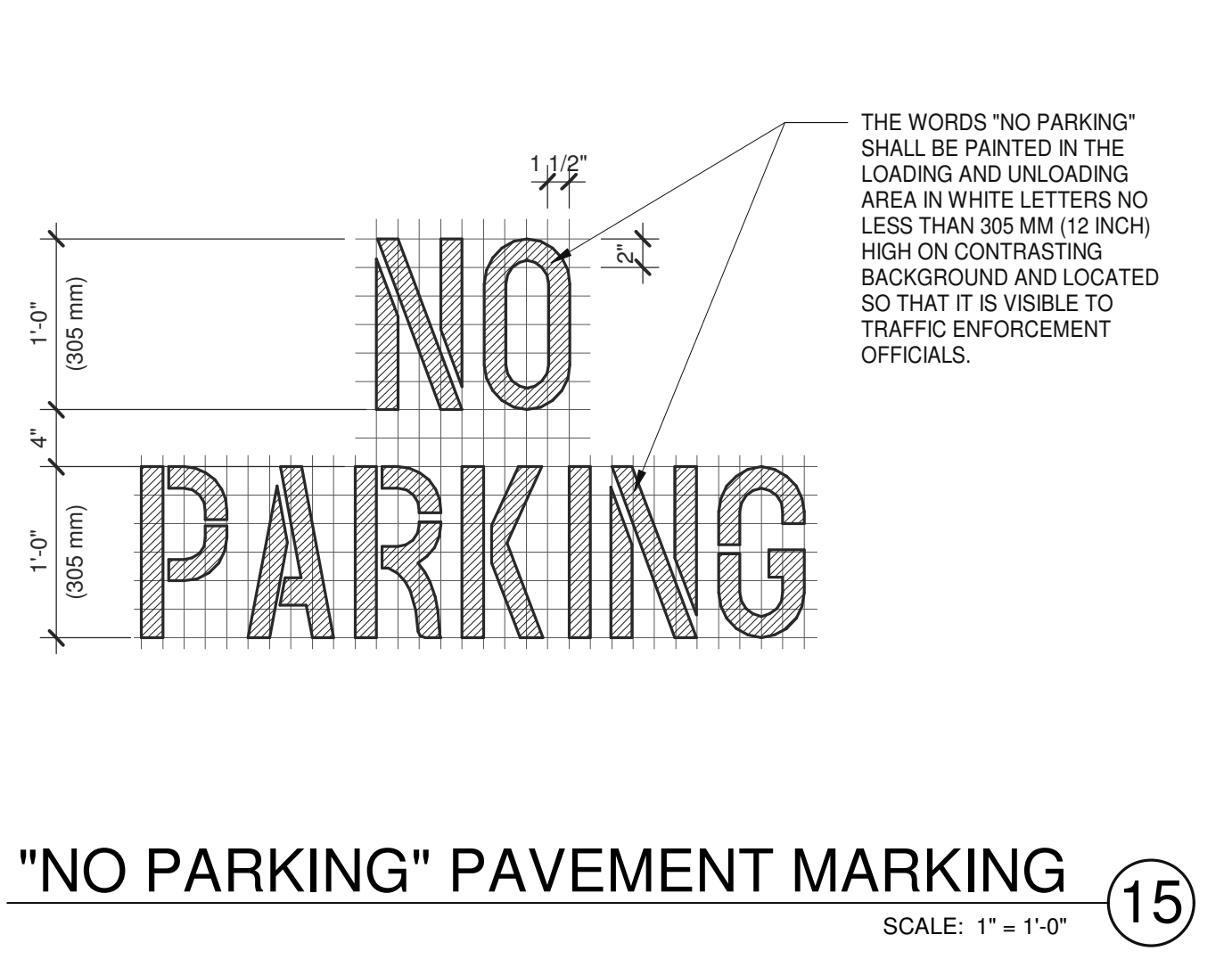
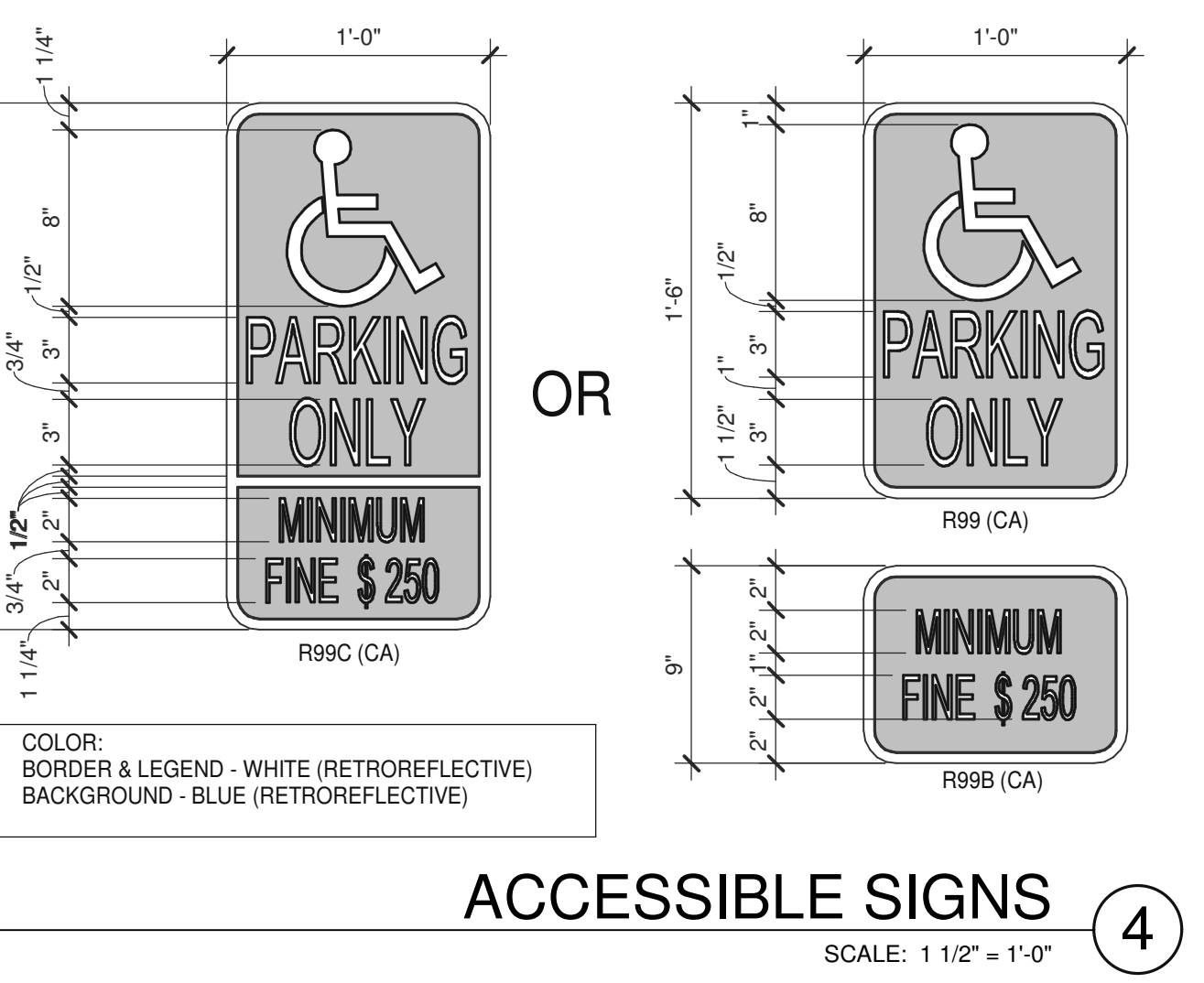
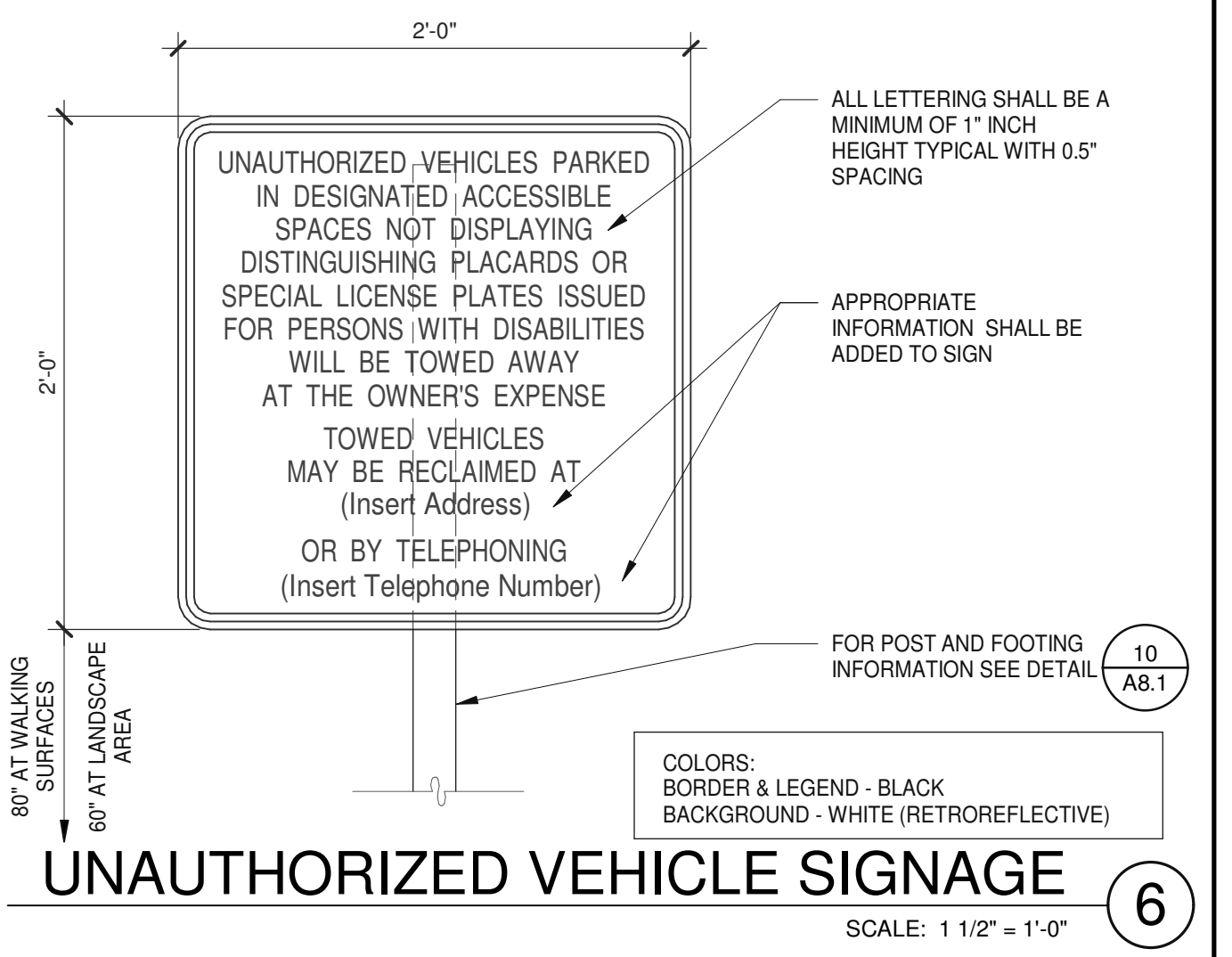
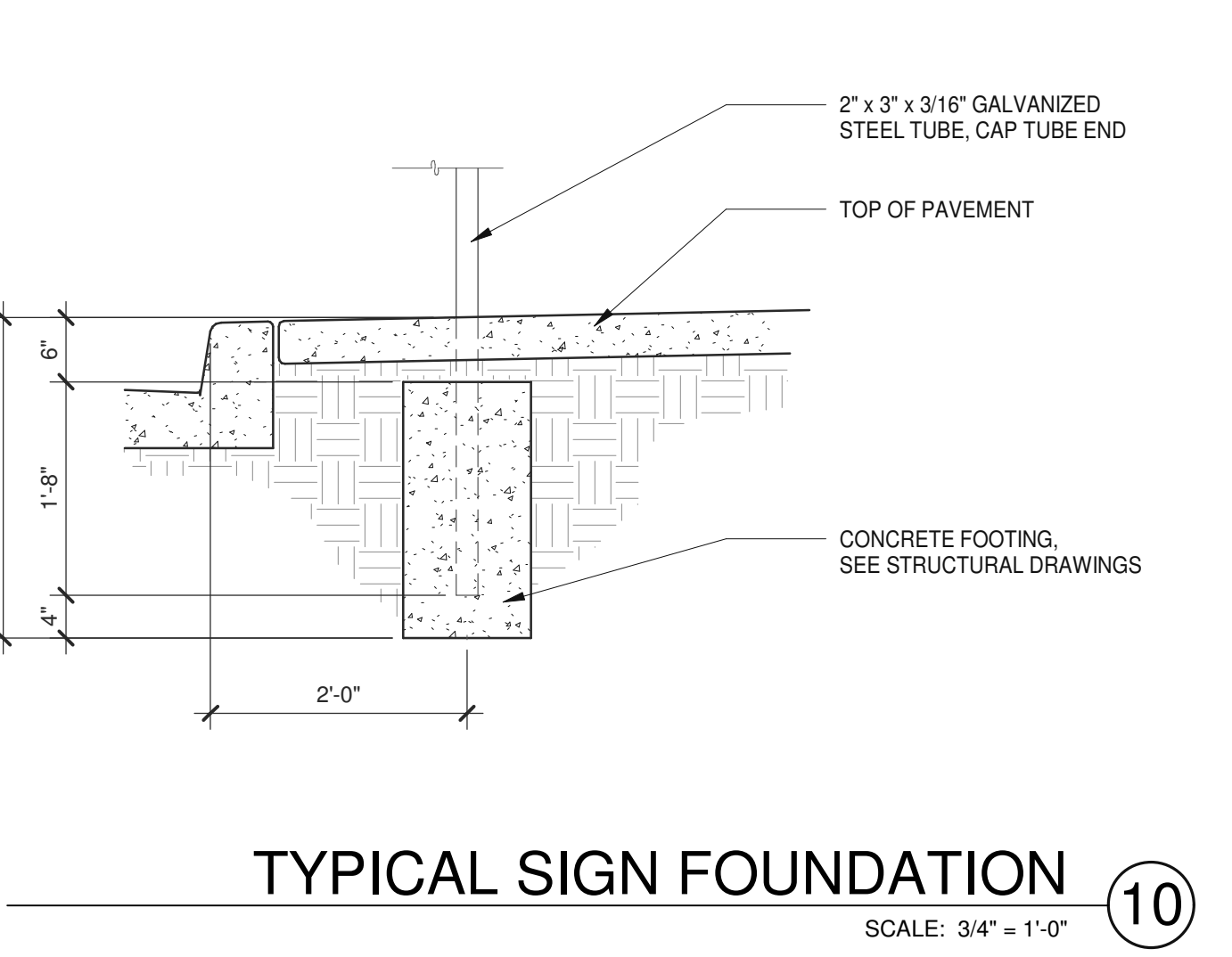
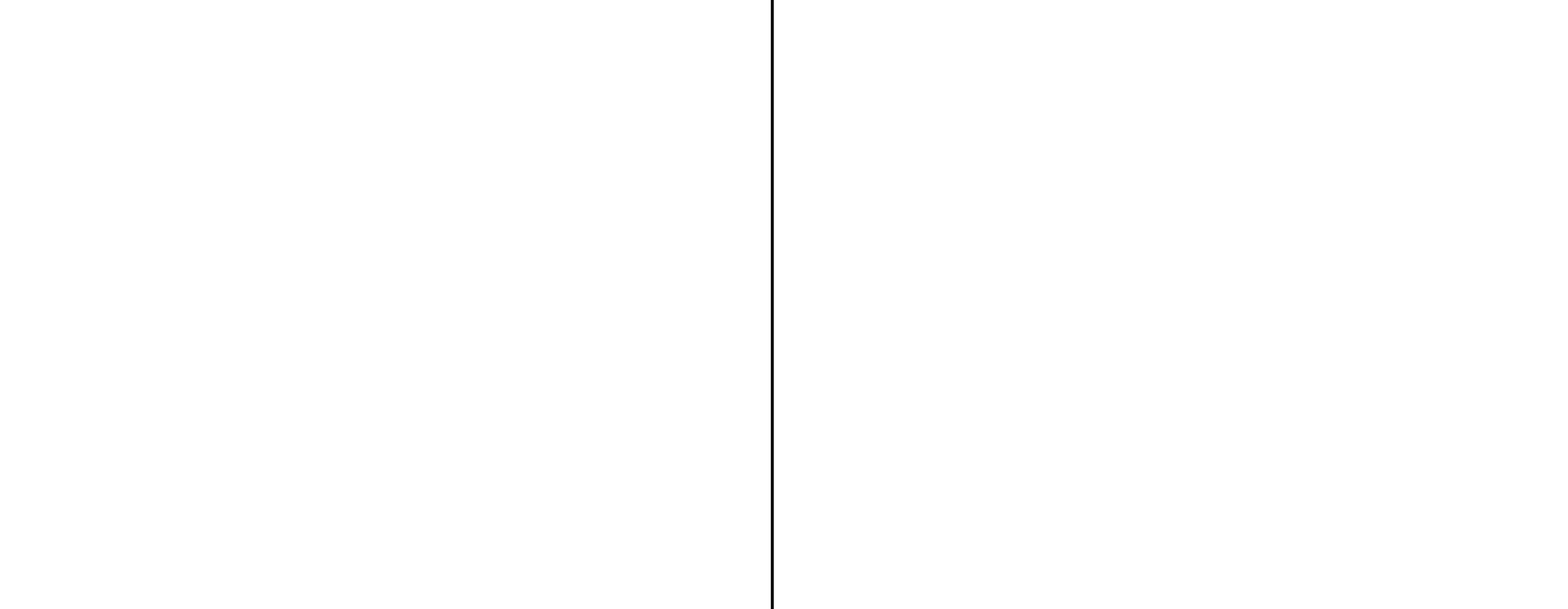
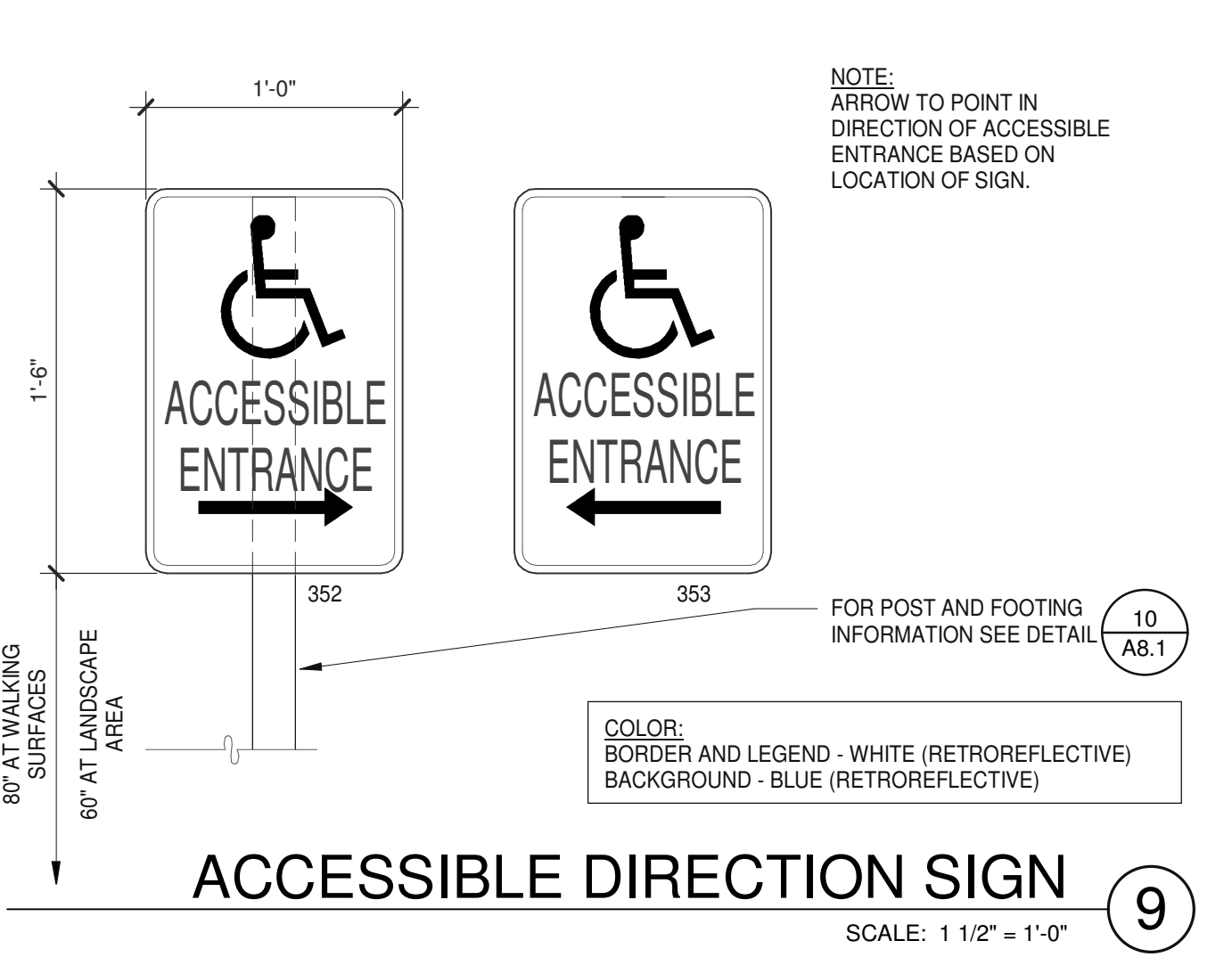
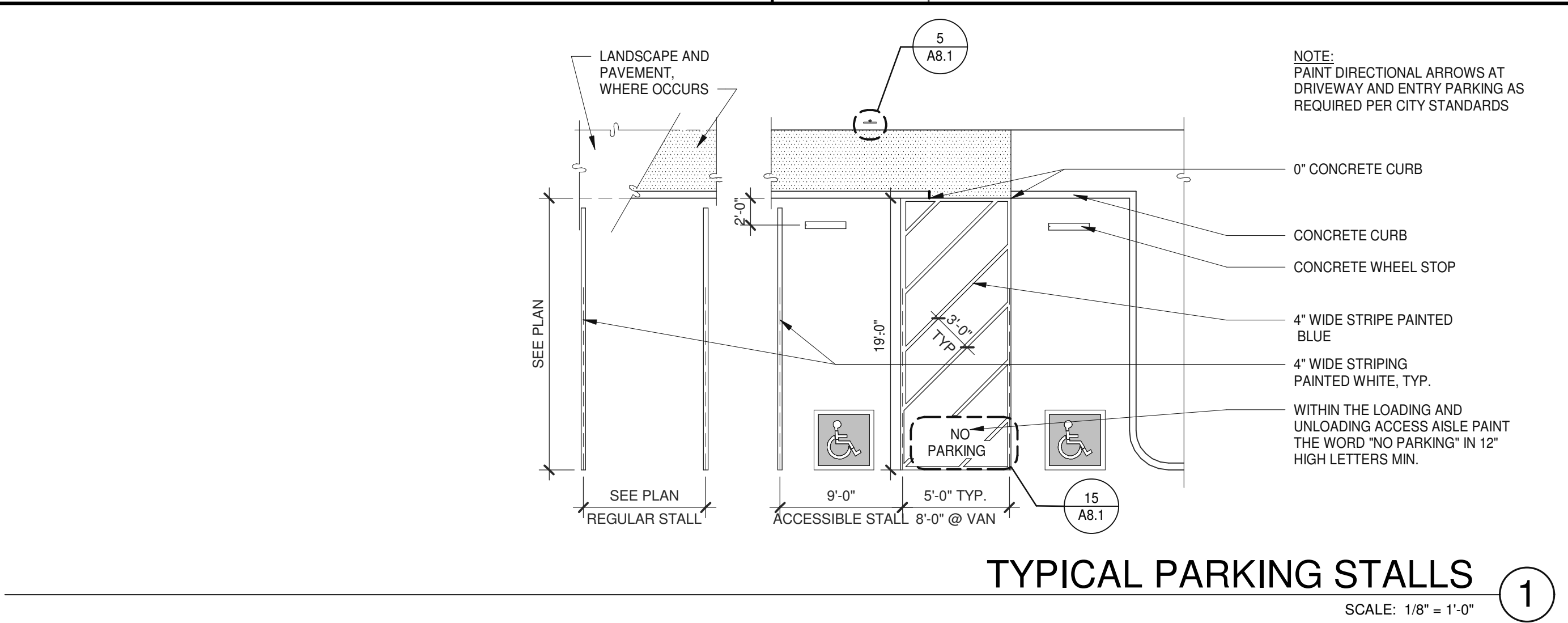
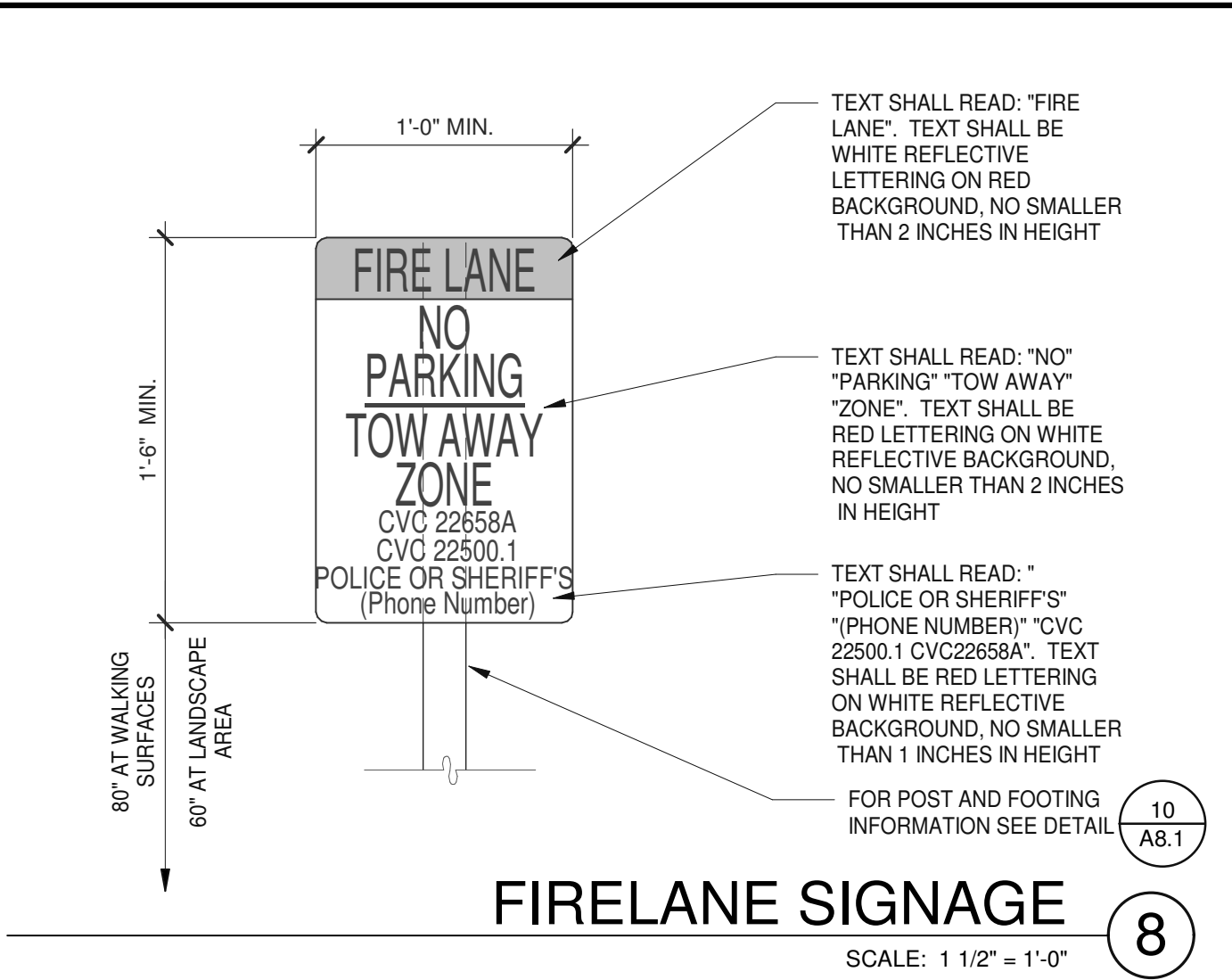
SCALE: 1/8" = 1'-0"



BUILDING SECTION-LOBBY

SCALE: 1/4" = 1'-0"

BM 3601(SN19-0079)-00_Trad_Gravel Line & Outline They 0079_ARCH.rvt



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ONE-STORY MEDICAL OFFICE BUILDING
ORCHARD PARKWAY
TRACY, CALIFORNIA 95377

SITE DETAILS	
REMARKS	
DATE	02/28/2020
PLANNING SUBMITTAL	02/09/2021
PLANNING DEPT SUBMITTAL #3	

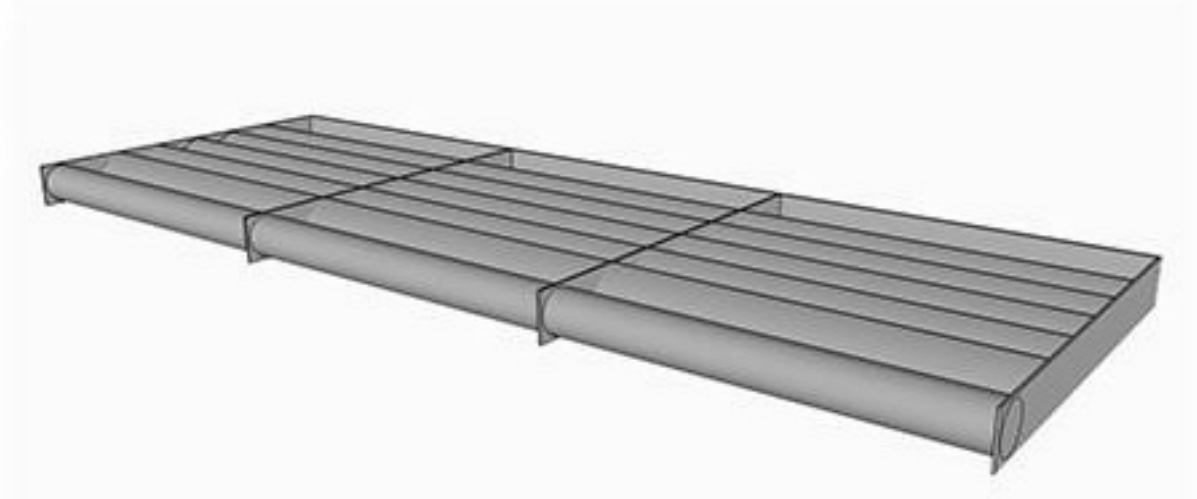
PA/PM:	C. BOSHART
DRAWN BY.:	S.Z.M.I
JOB NO.:	SNR19-0079-00

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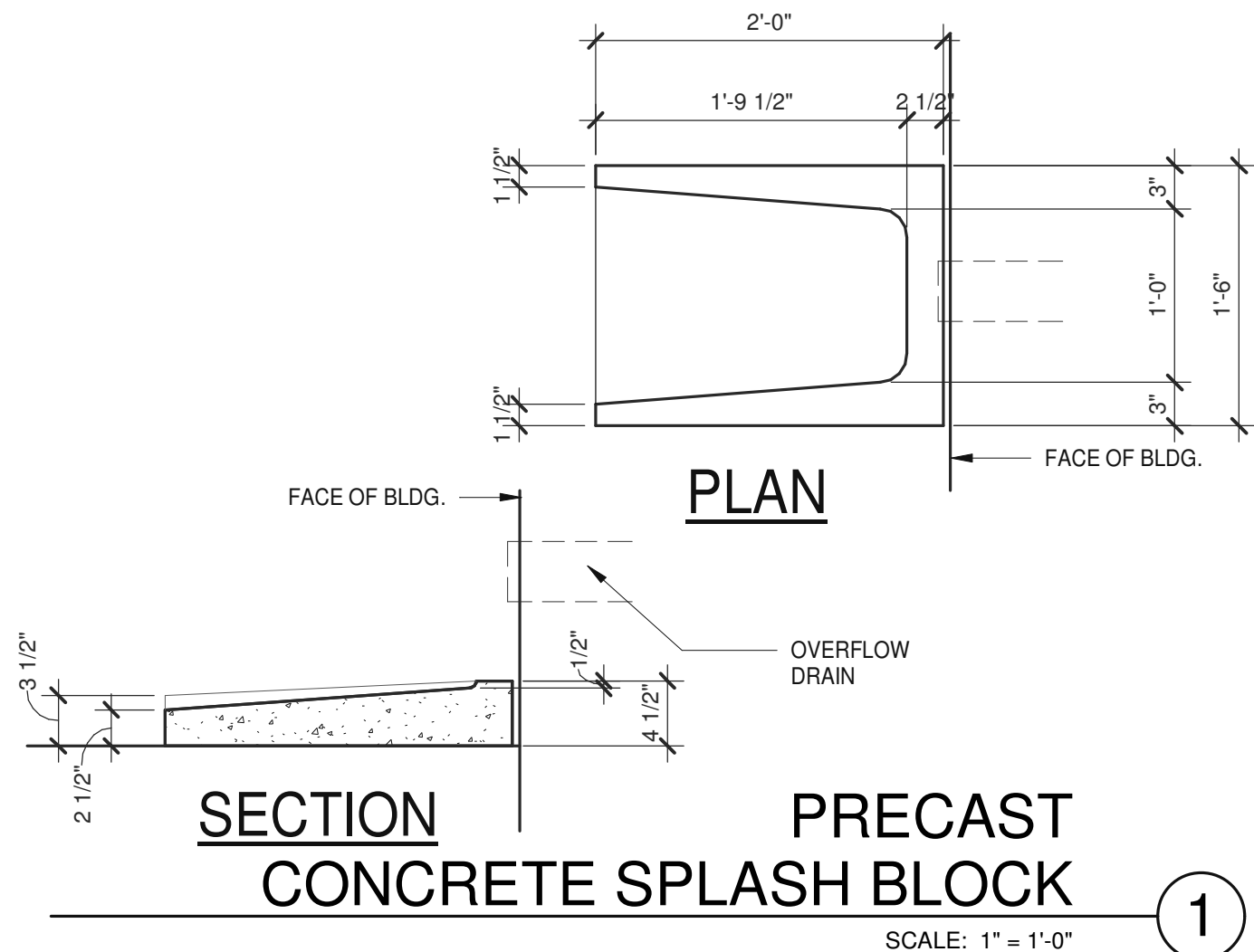
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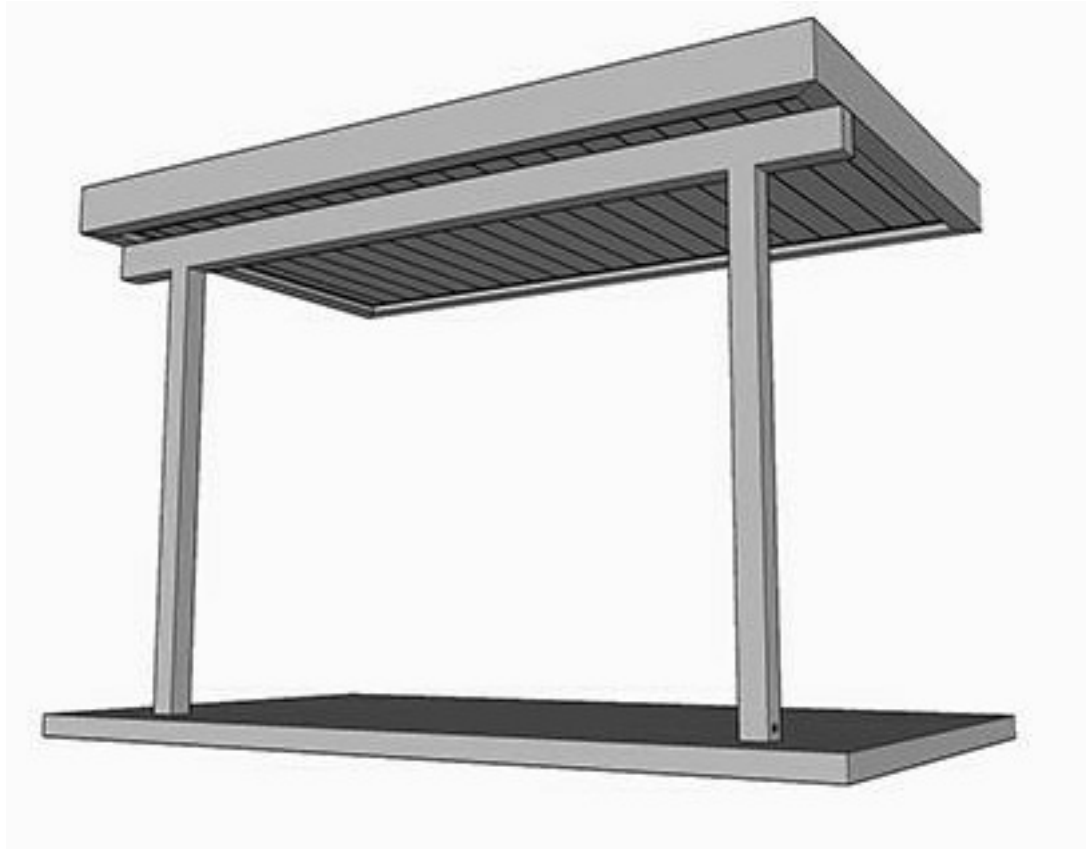
CANOPY

SCALE: 1" = 1'-0"

5



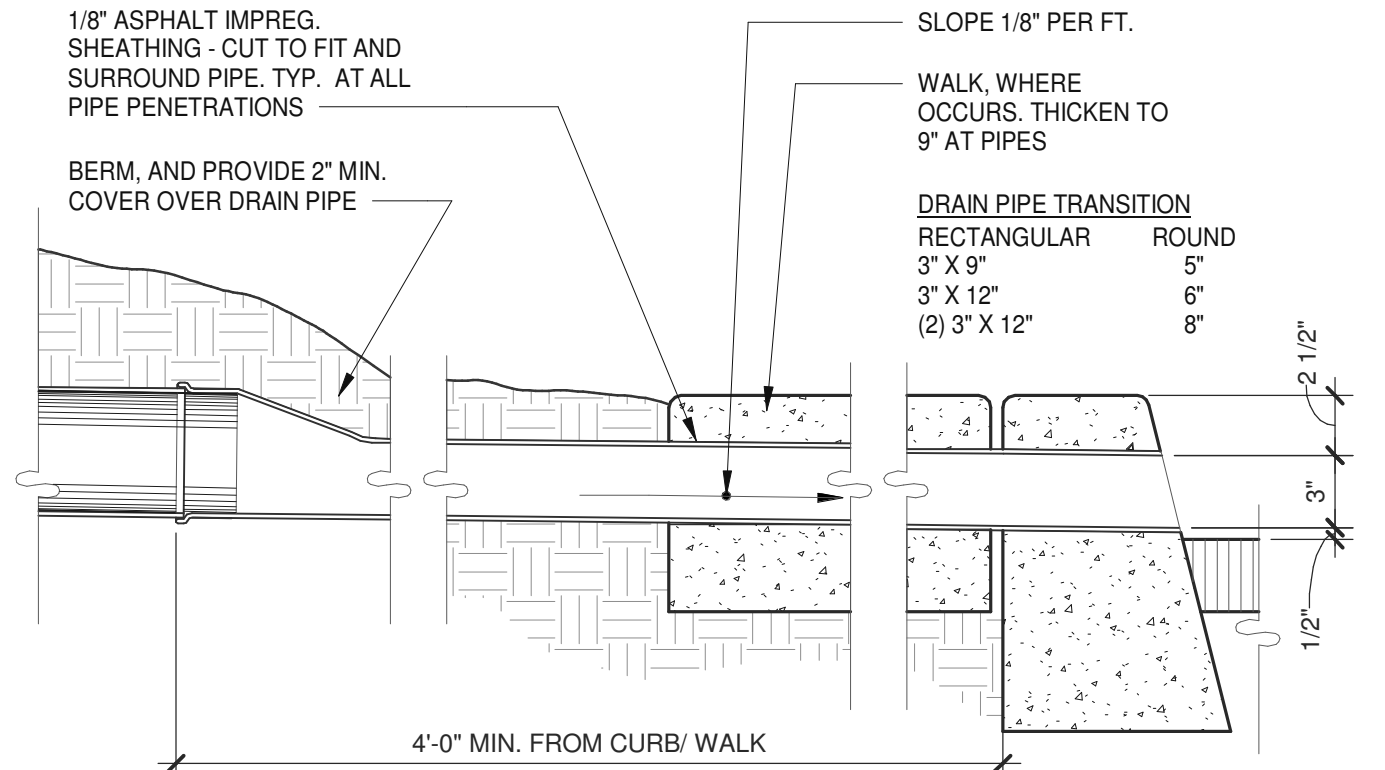
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FREESTAND CANOPY

SCALE: 1" = 1'-0"

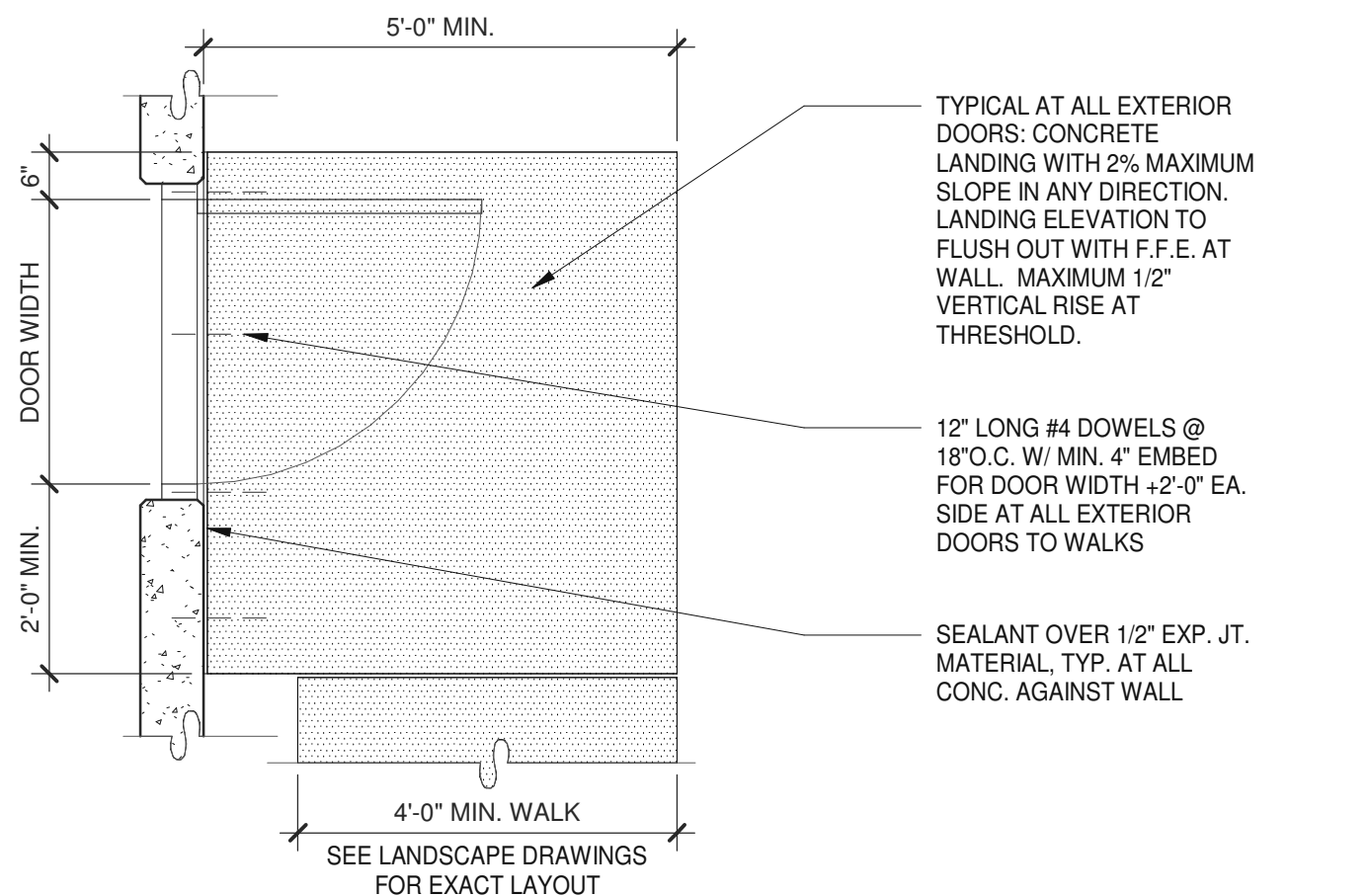
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ROOF DRAIN EXITING TO CURB

SCALE: 1 1/2" = 1'-0"

2



CONCRETE LANDING

SCALE: 1/2" = 1'-0"

3

SITE DETAILS

DATE	REMARKS	
	PLANNING SUBMITTAL	PLANNING DEPT SUBMITTAL #3
02/28/2020		
02/09/2021		

PA/PM:	C. BOSHART
DRAWN BY.:	S.Z./M.I
JOB NO.:	SNR19-0079-00

SHEET

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ONE-STORY MEDICAL OFFICE BUILDING

ORCHARD PARKWAY
TRACY, CALIFORNIA 95377

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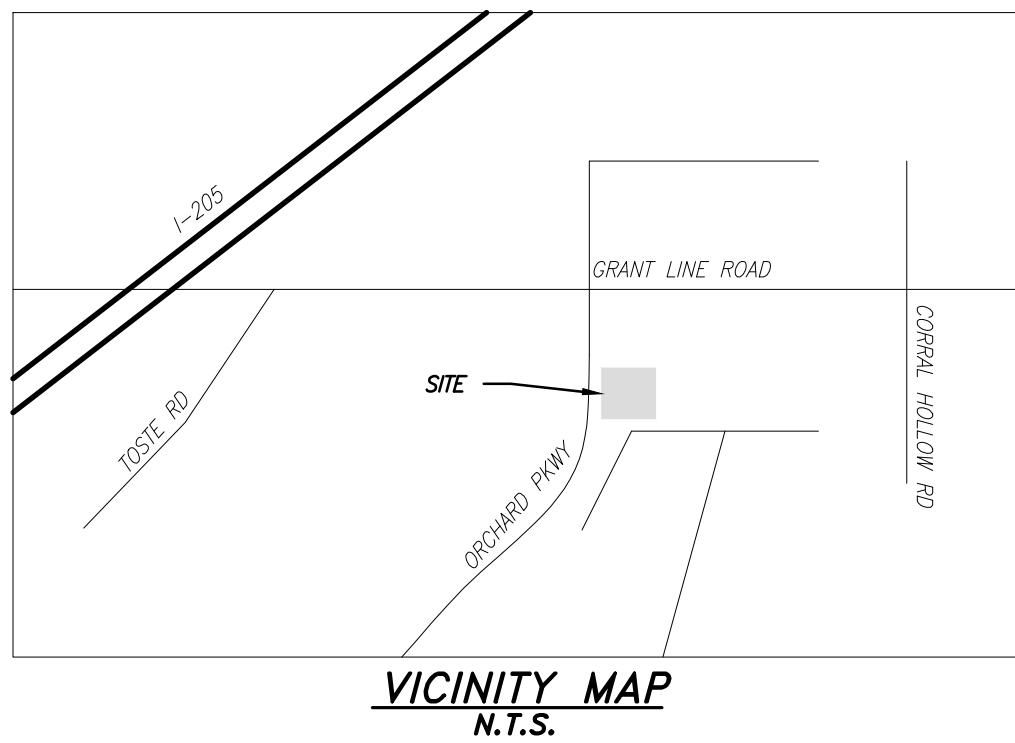
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TRACY MEDICAL & PROFESSIONAL OFFICE CENTER

TRACY, CALIFORNIA



VICINITY MAP
N.T.S.

SHEET INDEX

- C1.0 COVER SHEET
- C2.0 EXISTING CONDITIONS
- C2.1 DEMOLITION PLAN
- C3.0 GRADING & DRAINAGE PLAN
- C4.0 UTILITY PLAN
- C4.1 FIRE SERVICE PLAN
- C5.0 DETAILS & SECTIONS
- C6.0 PRELIMINARY PROJECT STORMWATER PLAN
- C6.1 PRELIMINARY PROJECT STORMWATER PLAN DETAILS

GENERAL NOTES

- THE CIVIL ENGINEER,
JMH WEISS, INC.
1731 TECHNOLOGY DRIVE, SUITE 880
SAN JOSE, CA 95110.
(408) 286-4555 FAX (408) 286-4558
HAS DESIGNED THE PROJECT IN CONFORMANCE WITH THE GEOTECHNICAL REPORT FROM KLEINFELDER, INC. "GEOTECHNICAL SERVICES REPORT, TRACY MEDICAL CENTER", DATED MARCH 23, 2005, PROJECT NUMBER 54327.
- ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE GEO-TECHNICAL ENGINEER. THE GEO-TECHNICAL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF GRADING.
- THE CONTRACTOR SHALL NOTIFY JMH WEISS, INC AT 408-286-4555 AT LEAST 48 HOURS PRIOR TO THE NEED FOR CONSTRUCTION SURVEY STAKING.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING, BUT NOT LIMITED TO, SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEERS HARMLESS FROM ANY LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER AND/OR ENGINEER.
- FIRE SYSTEM SHOWN ON THESE PLANS IS FOR SCHEMATIC USE ONLY AND NOT TO BE USED FOR CONSTRUCTION. SEE CONTRACTOR'S SHOP DRAWINGS FOR FINAL LAYOUT AND APPURTENANCES.

BASIS OF BEARING

THE LINE BEARING NORTH 77°03'55" WEST BETWEEN CITY OF TRACY MONUMENTS "GPS 3" AND "GPS 2" OF THE CITY OF TRACY GRID CONTROL, AS SHOWN ON THE RECORD OF SURVEY FILED IN BOOK 30 OF SURVEYS, AT PAGE 18, SAN JOAQUIN COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.

BENCHMARK

U.S.C. & G.S. B.M. "Y-933" BRASS DISC ON THE TOWER LEG NEAR THE INTERSECTION OF BYRON HIGHWAY AND VON SOSTEN ROAD.
ELEVATION = 31.07
N.G.V.D. 1929

CITY OF TRACY

APPROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS PUBLIC INTEREST REQUIRES MODIFICATION OF OR A DEPARTURE FROM THE SPECIFICATIONS AND DETAILS OF THE CITY OF TRACY OR THESE PLANS, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATIONS OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE AT NO COST TO THE CITY, APPROVED AS TO DESIGN ONLY BASED ON THE INFORMATION SUBMITTED HEREON. APPROVED FOR THE CITY OF TRACY.

XXXXXXXXXXXXXXXXXXXX

CITY ENGINEER

DATE:

ONE-STORY MEDICAL OFFICE
BUILDING
ORCHARD PARKWAY
TRACY, CALIFORNIA 95377

COVER SHEET

DATE	REMARKS
5/20/2020	PLANNING SUBMITTAL #1
7/28/2020	PLANNING SUBMITTAL #2
12/18/2020	PLANNING SUBMITTAL #3
4	
5	
6	
7	
8	

PM:	RK
DRAWN BY:	OG
JOB NO.:	5180

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FILED 29 Jan 2021

LEGEND

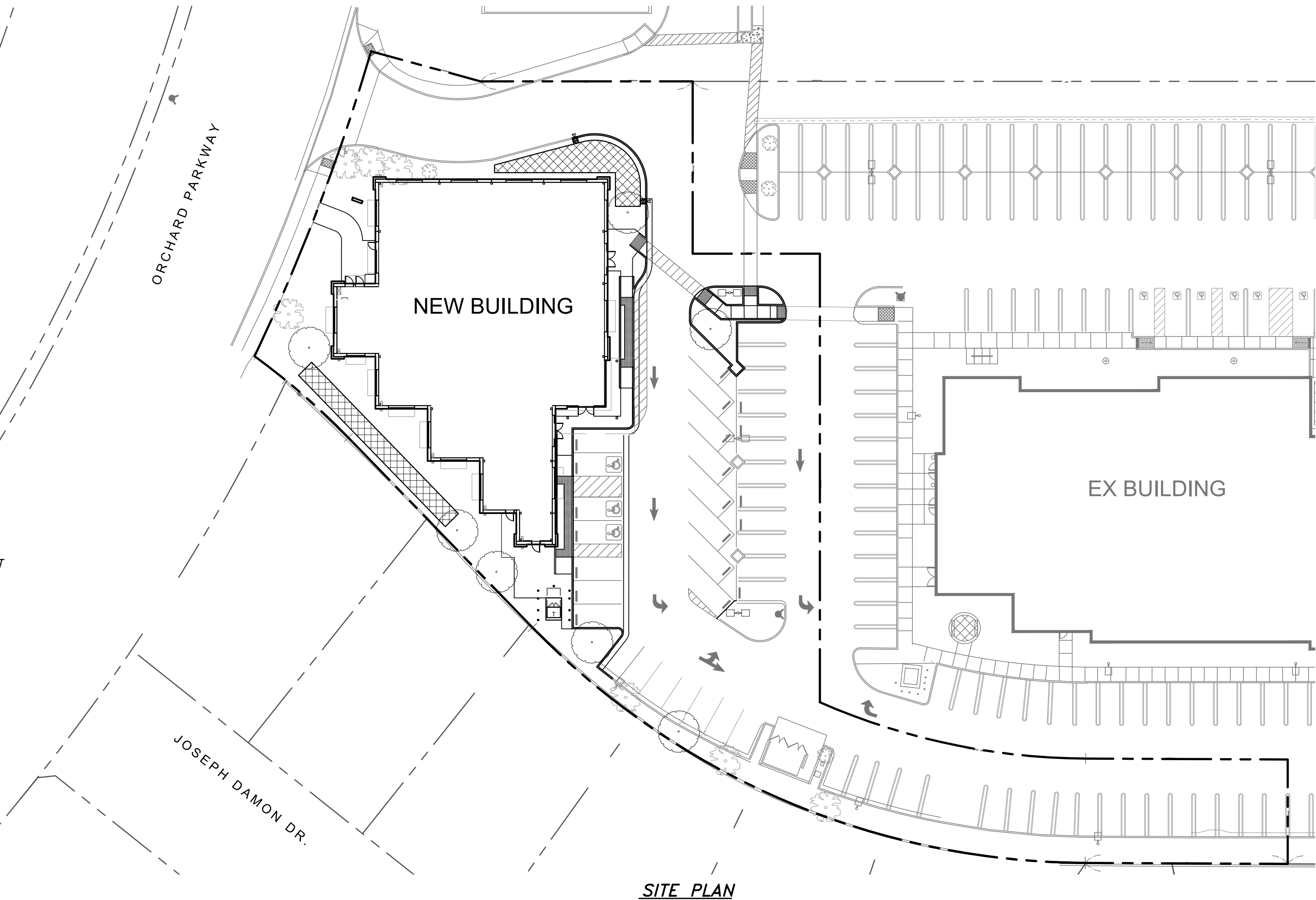
EXISTING	NEW	DESCRIPTION
		DIRECTION OF PIPE FLOW
		DIRECTION OF SURFACE FLOW
		EASEMENT
		FIRE HYDRANT
		JT CONNECTION
		STORM DRAIN INLET
		STORM DRAIN MANHOLE
		WATER METER
		POST INDICATOR VALVE
		PROPERTY LINE
		RIDGE LINE
		SANITARY SEWER SERVICE
		STORM DRAIN SERVICE
		STORM DRAIN CLEANOUT & SAMPLING MANHOLE AS NOTED
		WATER SERVICE
		FIRE SERVICE
		CONCRETE VALLEY GUTTER
		BIORETENTION PLANTER
		WATER VALVE
		VERTICAL CURB

ABBREVIATIONS

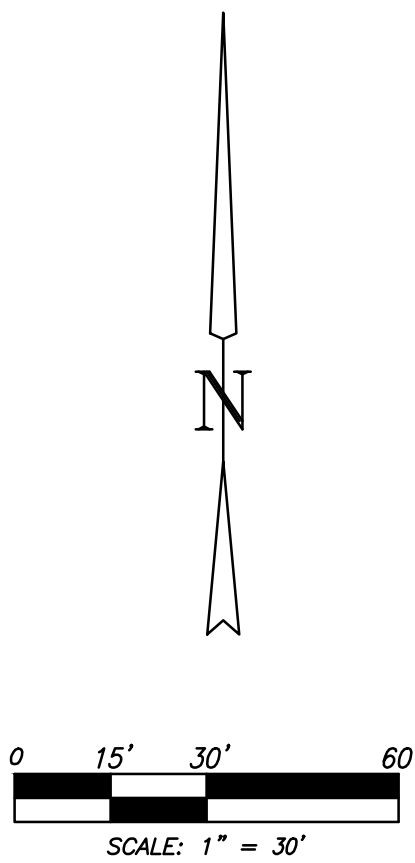
(D)	DATA	JP	JOINT POLE
(M)	MEASURED DATA	JT	JOINT TRENCH
(OH)E	OVERHEAD ELECTRICAL	LAT	LATERAL
AB	AGGREGATE BASE	LE	LANDSCAPE EASEMENT
AC	ASPHALT CONCRETE	LF	LINEAR FEET
AD	AREA DRAIN	LS	LANDSCAPE
APPROX	APPROXIMATE	LT	LEFT
ARCH	ARCHITECTURE	MH	MANHOLE
ARY	AIR RELEASE VALVE	M-M	MONUMENT TO MONUMENT
ASB	AGGREGATE SUB-BASE	MON	MONUMENT
BC	BEGINNING OF CURVE	MON-MH	MONITORING MANHOLE
BFP	BACKFLOW PREVENTER	PAE	PUBLIC ACCESS EASEMENT
BO	BLOW-OFF	PCC	PORTLAND CEMENT CONCRETE
BMP	BEST MANAGEMENT PRACTICES	PG&E	PACIFIC GAS & ELECTRIC
BW	BACK OF WALK	PIV	POST INDICATOR VALVE
C&G	CURB & GUTTER	PL	PROPERTY LINE
CB	CATCH BASIN	PLT	PRIVATE LANDSCAPE EASEMENT
CDS	CONTINUOUS DEFLECTIVE SERARATION	PLTR	PLANTER
CL	CENTERLINE	PM	PARCEL MAP
CLF	CHAIN LINK FENCE	POB	POINT OF BEGINNING
CLS	CLASS	PS	PRIVATE STREET
CONC	CONCRETE	PSDE	PRIVATE STORM DRAIN EASEMENT
COTG	CLEANOUT TO GRADE	PSE	PUBLIC SIDEWALK EASEMENT
CR	CURB RETURN	PSSE	PRIVATE SANITARY SEWER EASEMENT
DEMO	DEMOLITION	PUE	PUBLIC UTILITY EASEMENT
DI	DRAINAGE INLET	PVC	POLYVINYL CHLORIDE
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
DOM	DOMESTIC	REV	REVISION
DWG	DRAWING	ROW, R/W	RIGHT-OF-WAY
DWY	DRIVEWAY	RT	RIGHT
EG	EXISTING GRADE	RWL	RAIN WATER LEADER
EL, ELEV	ELEVATION	SD	STORM DRAINAGE
ELEC	ELECTRICAL/ELECTRIC	SDI	STORM DRAINAGE INLET
EP	EDGE OF PAVEMENT	SOWK	SIDEWALK
ESMT	EASEMENT	SUDO	STORM DRAINAGE CLEANOUT
EX, EXIST	EXISTING	SERV	SERVICE
FC	FACE OF CURB	SS	SANITARY SEWER
FS	FIRE SERVICE	SSCO	SANITARY SEWER CLEANOUT
FG	FINISH GRADE	STA	STATION
FH	FIRE HYDRANT	SW	SIDEWALK
FL	FLOW LINE	TC	TOP OF CURB
FP	FINISHED PAVEMENT	TFMR	TRANSFORMER
G	GAS	TS	TOP OF GRATE
G&O	GRIND & OVERLAY	TYP	TYPICAL
GB	GRADE BREAK	UG	UNDERGROUND
HC	HANDICAP	VCP	VITRIFIED CLAY PIPE
HP	HIGH POINT	W	WATER
HV	HVAC UNIT	W/	WITH
INV	INVERT	WLE	WATER LINE EASEMENT
IP	IRON PIPE	WM	WATER METER
IRR	IRRIGATION	WMN	WATER MAIN
JAE	JOINT ACCESS EASEMENT	WSP	WELDED STEEL PIPE
		WS	WATER SERVICE
		WV	WATER VALVE

UNDERGROUND ALERT:

- ALL EXISTING UTILITY LOCATIONS AND DEPTHS ARE APPROXIMATE ONLY.
- CONTRACTOR SHALL POTHOLE AND VERIFY PRIOR TO CONSTRUCTION
- CONTRACTOR TO CONTACT USA FOR UTILITY MARKINGS PRIOR TO CONSTRUCTION
PHONE: 811-DIG



SITE PLAN

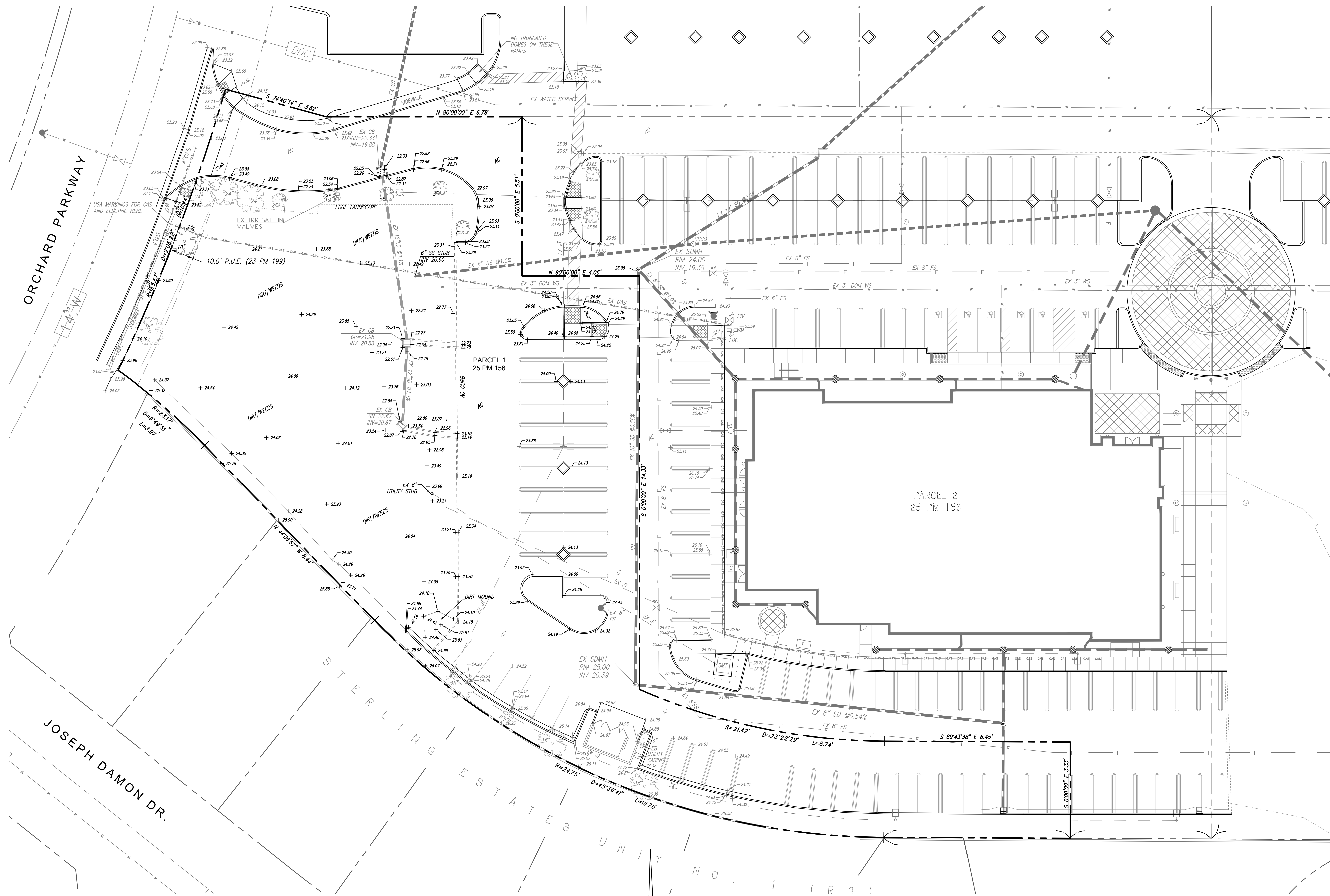


BASIS OF BEARING

THE LINE BEARING NORTH 77°03'55" WEST BETWEEN CITY OF TRACY MONUMENTS TAPS 3" AND TAPS 2" OF THE CITY OF TRACY GRID CONTROL, AS SHOWN ON THE RECORD OF SURVEY FILED IN BOOK 30 OF SURVEYS, AT PAGE 18, SAN JOAQUIN COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.

BENCHMARK

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N.G.V.D. 1929



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1. ALL EXISTING UTILITY LOCATIONS AND DEPTHS ARE APPROXIMATE ONLY.
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3. CONTRACTOR TO CONTACT USA FOR UTILITY MARKINGS PRIOR TO CONSTRUCTION
PHONE: 800-227-2600

CITY OF TRACY

APPROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS PUBLIC INTEREST REQUIRES MODIFICATION OF OR A DEPARTURE FROM THE SPECIFICATIONS AND DETAILS OF THE CITY OF TRACY OR THESE PLANS, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATIONS OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE AT NO COST TO THE CITY, APPROVED AS TO DESIGN ONLY BASED ON THE INFORMATION SUBMITTED HEREON. APPROVED FOR THE CITY OF TRACY.

XXXXXXXXXXXXXX

CITY ENGINEER

DATE:

ONE-STORY MEDICAL OFFICE BUILDING ORCHARD PARKWAY TRACY, CALIFORNIA 95377

EXISTING CONDITIONS

DATE	REMARKS
1 5/20/2020	PLANNING SUBMITTAL #1
2 7/28/2020	PLANNING SUBMITTAL #2
3 12/16/2020	PLANNING SUBMITTAL #3
4 2/1/2021	PLANNING SUBMITTAL #4
5	
6	
7	
8	

PM:

RK

DRAWN BY:

DG

JOB NO.:

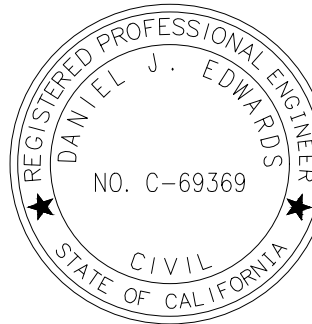
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JMHI WEISS, INC.

Civil Engineering ~ Surveying ~ Land Planning
1371 Technology Drive Suite 880
San Jose, Ca 95110 (408) 286-4555

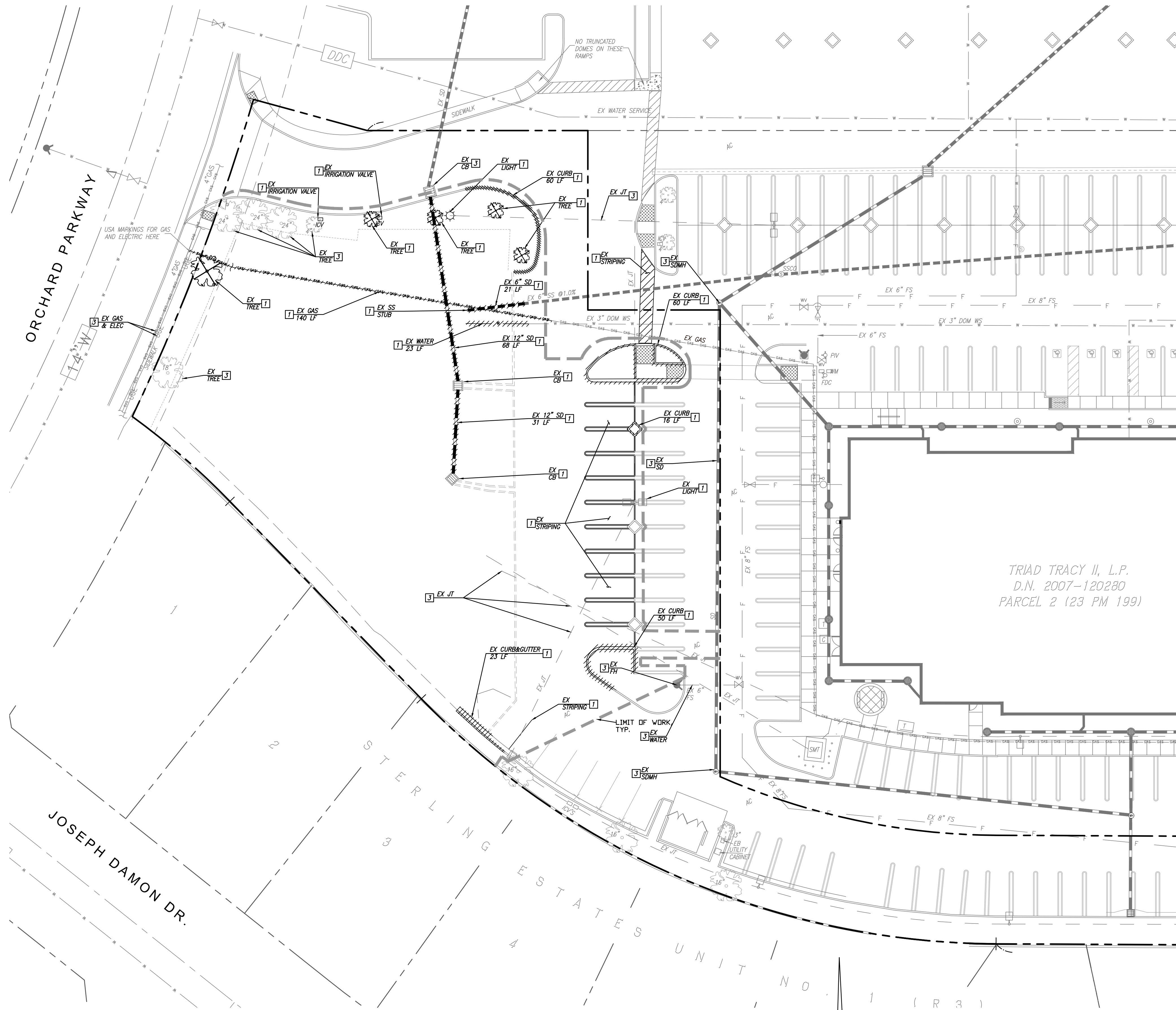


BASIS OF BEARING

THE LINE BEARING NORTH 77°03'55" WEST BETWEEN CITY OF TRACY MONUMENTS "GPS 3" AND "GPS 2" OF THE CITY OF TRACY GRID CONTROL, AS SHOWN ON THE RECORD OF SURVEY FILED IN BOOK 30 OF SURVEYS, AT PAGE 18, SAN JOAQUIN COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.

BENCHMARK

U.S.C. & G.S. B.M. "Y-933" BRASS DISC ON THE TOWER LEG NEAR THE INTERSECTION OF BYRON HIGHWAY AND VON SOSTEN ROAD.
ELEVATION = 31.07
N.G.V.D. 1929



LEGEND

- STORM DRAIN TO BE REMOVED
- SANITARY SEWER TO BE REMOVED
- GAS LINE TO BE REMOVED
- WATER LINE TO BE REMOVED
- CURB TO BE REMOVED
- TREE TO BE REMOVED
- 1 TO BE REMOVED
- 2 TO BE ABANDONED
- 3 TO REMAIN

GENERAL DEMOLITION NOTES:

- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY SIZES AND INVERTS. ANY DISCREPANCY BETWEEN THESE PLANS AND THE FIELD SHALL BE COMMUNICATED TO THE ENGINEER PRIOR TO DEMOLITION.
- UTILITIES SHOWN ON THIS PLAN FOR REFERENCE ONLY. CONTRACTOR SHALL CONTACT U.S.A. (UNDERGROUND SERVICE ALERT) AT (800)-227-2600 FOR LOCATION OF ALL UTILITIES. THE OWNER/CONTRACTOR MAY HIRE AN INDEPENDENT CONSULTANT TO LOCATE AND VERIFY ALL ON-SITE UTILITIES AT THEIR OWN DISCRETION.
- EXISTING ELECTRICAL AND GAS FACILITIES MARKED AS TO REMAIN TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION AND DEMOLITION OPERATIONS. FOR DISCONNECTION CONTACT SILICON VALLEY POWER 408-615-2300.
- ALL PIPE ABANDONMENT AND/OR REMOVAL TO BE COMPLETED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. ALL REMOVAL AND BACKFILL OF EXISTING FACILITIES TO BE SUPERVISED BY THE GEOTECHNICAL ENGINEER.
- ALL WATER VALVES TO BE MARKED FOR LOCATION. CONTRACTOR TO MAINTAIN RECORD OF ALL EXISTING VALVES ON-SITE RELATED TO FIRE SUPPLY. NO HYDRANTS SHALL BE REMOVED UNLESS NOTED ON THIS PLAN.
- SEE GEOTECHNICAL REPORT FOR OPTION OF MATERIAL RECYCLING INCLUDING ASPHALT, CONCRETE, AND BASE MATERIAL.
- MAINTAIN DRIVEWAY ACCESS FOR ADJACENT PROPERTIES AT ALL TIMES. PROVIDE TRAFFIC SIGNAGE CONTROLS FOR ALL AREAS WHERE TRAFFIC WILL BE LIMITED DUE TO DEMOLITION ACTIVITIES.
- CONTRACTOR TO PROVIDE EROSION CONTROL BMP'S FOR ALL EXPOSED AREAS DURING DEMOLITION, INCLUDING STOCKPILES. CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED AT ACCESS POINTS TO DISTURBED AREAS.
- AN AIR QUALITY PERMIT FOR DEMOLITION IS REQUIRED FROM THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT (BAAQMD). CONTACT PHONE NUMBER IS 415-771-8000.
- ALL BUILDINGS, CURBS, UTILITIES, AND PAVEMENT WITHIN LIMIT OF WORK TO BE REMOVED UNLESS OTHERWISE NOTED.
- DAMAGED CURB, GUTTER, AND SIDEWALK WITHIN THE PUBLIC RIGHT OF WAY LONG PROPERTY'S FRONTAGE SHALL BE REPAIRED OR REPLACED TO THE NEAREST SCORE MARK IN A MANNER ACCEPTABLE TO THE CITY ENGINEER OR HIS DESIGNEE.
- ALL SANITARY SEWER MAIN AND LATERALS AS SHOWN TO BE ABANDONED SHALL BE DONE IN ACCORDANCE WITH CITY REQUIREMENTS.
- ALL WORK IN THE PUBLIC STREET REQUIRES AN ENCROACHMENT PERMIT AND TRAFFIC CONTROL PLAN.

TRIAD TRACY II, L.P.
D.N. 2007-120280
PARCEL 2 (23 PM 199)

UNDERGROUND ALERT:

- ALL EXISTING UTILITY LOCATIONS AND DEPTHS ARE APPROXIMATE ONLY.
- CONTRACTOR SHALL POT HOLE AND VERIFY PRIOR TO CONSTRUCTION
- CONTRACTOR TO CONTACT USA FOR UTILITY MARKINGS PRIOR TO CONSTRUCTION
PHONE: 800-227-2600

CITY OF TRACY

APPROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS PUBLIC INTEREST REQUIRES MODIFICATION OF OR A DEPARTURE FROM THE SPECIFICATIONS AND DETAILS OF THE CITY OF TRACY OR THESE PLANS, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATIONS OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE AT NO COST TO THE CITY. APPROVED AS TO DESIGN ONLY BASED ON THE INFORMATION SUBMITTED HEREON. APPROVED FOR THE CITY OF TRACY.

KULDEEP SHARMA CITY ENGINEER DATE:

ONE-STORY MEDICAL OFFICE
BUILDING
ORCHARD PARKWAY
TRACY, CALIFORNIA 95377

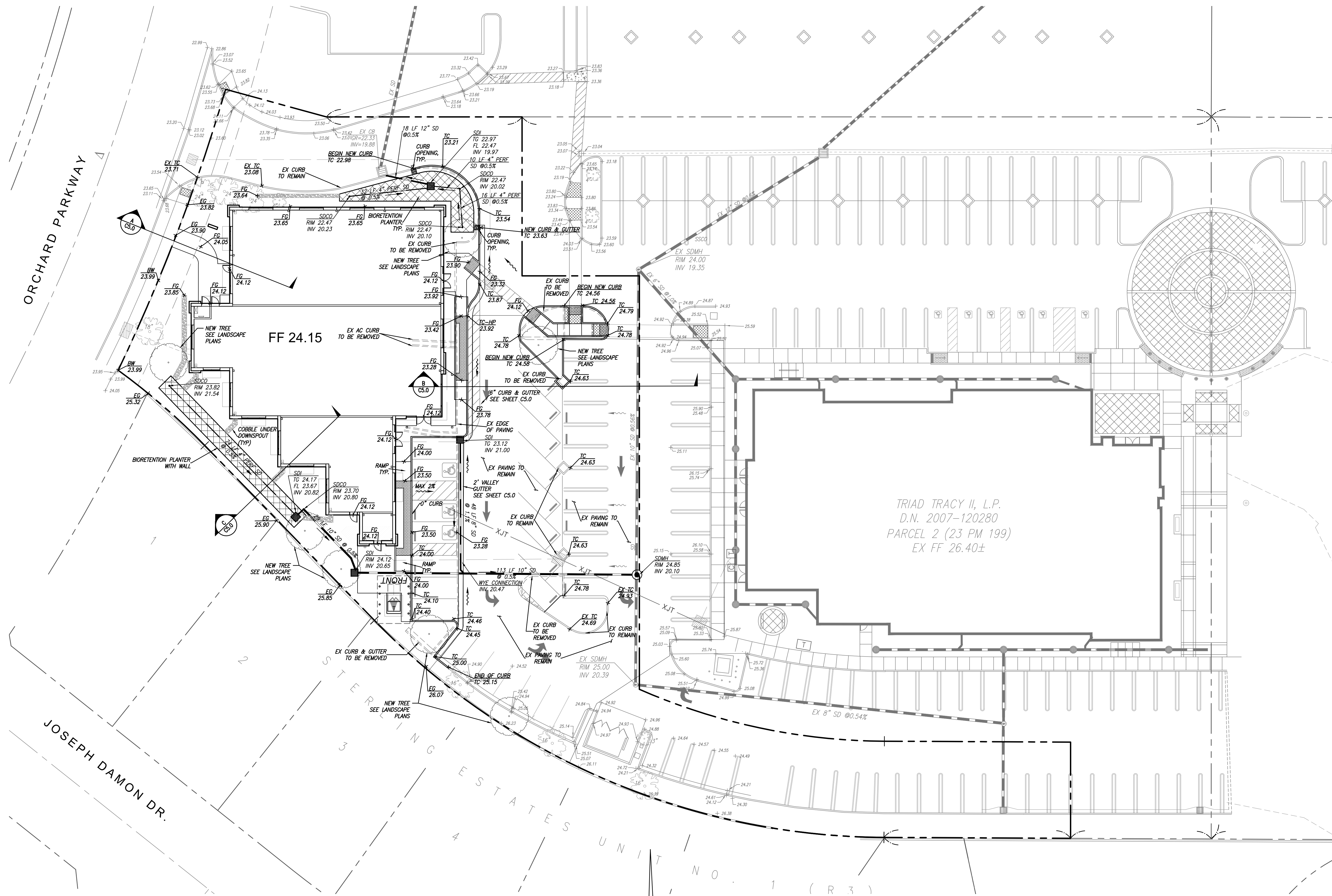
DEMOLITION PLAN		REMARKS
DATE	PLANNING SUBMITTAL #	
5/20/2020	1	
7/28/2020	2	
12/16/2020	3	
2/1/2021	4	
	5	
	6	
	7	
	8	

PM:	RK
DRAWN BY:	DG
JOB NO.:	5180

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XXXXXXXX XXXXXXXX CITY ENGINEER DATE:

**ONE-STORY MEDICAL OFFICE
BUILDING
ORCHARD PARKWAY
TRACY, CALIFORNIA 95377**

GRADING & DRAINAGE PLAN

DATE	REMARKS
1 5/20/2020	PLANNING SUBMITTAL #1
2 7/28/2020	PLANNING SUBMITTAL #2
3 12/16/2020	PLANNING SUBMITTAL #3
4 2/1/2021	PLANNING SUBMITTAL #4
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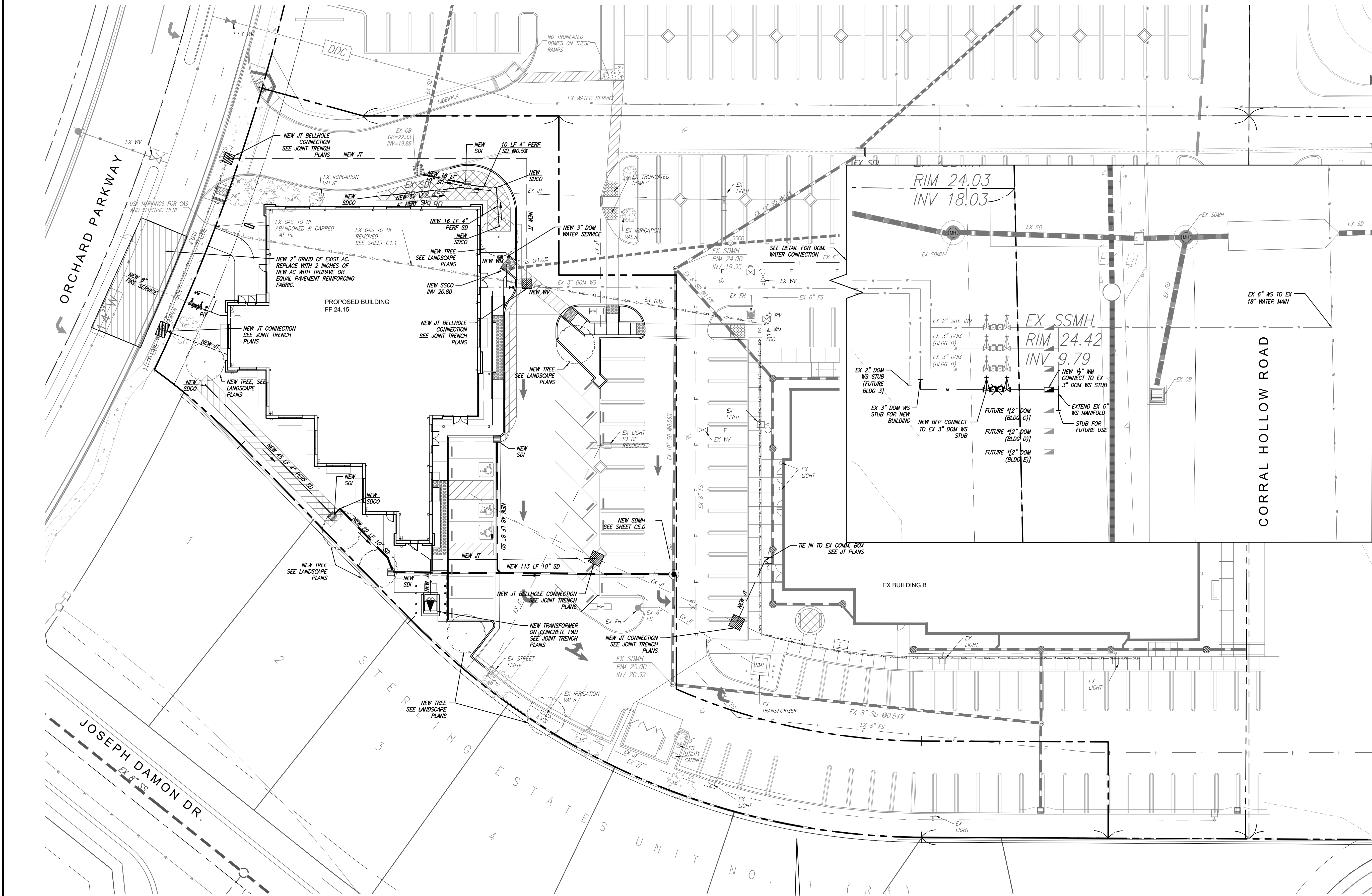
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DRAWN BY: DG
JOB NO.: 5180

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San Jose, Ca 95110 (408) 286-4555



NOTES

1. FIRE SERVICE IS SHOWN AS A SCHEMATIC DESIGN. FIRE SERVICES TO BE DESIGNED BY OTHERS. FH AND DESIGN WILL BE SHOWN ON THE SHOP DRAWINGS SUBMITTAL AND WILL BE COORDINATED WITH THE FIRE DEPARTMENT.
2. ALL UNDERGROUND FIRE MAINS SHALL BE PVC 900, CLASS 200 OR DUCTILE IRON PIPE. ALL PIPE UNDER DRIVEWAYS SHALL BE IRON DUCTILE PIPE.
3. KEY BOXES: A KNOX BOX SHALL BE INSTALLED PER THE DIRECTION OF THE FIRE DEPARTMENT.
4. ALL FDC'S SHALL BE LOCATED ON THE BUILDING UNLESS NOTED OTHERWISE.
5. CONSTRUCTION TYPE: V-N, 10,684 SQUARE FEET, PROPOSED HEIGHT: 21'. VERIFY WITH ARCHITECTURAL PLANS.
6. DOMESTIC WATER PIPE SHALL BE SCHEDULE 40 PVC.
7. ALL SANITARY SEWER PIPE SHALL BE SDR-26 PVC.

FIRE PROTECTION NOTES

1. THE UNDERGROUND FIRE PROTECTION SYSTEM IS TO BE DESIGNED BY OTHERS. PLEASE REFER TO CONTRACTOR'S PLANS FOR FIRE PROTECTION SYSTEM.
2. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE JURISDICTION.
3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE JURISDICTION, THE RATING AGENCY AND THE ARCHITECT ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO THE START OF WORK.
4. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL COORDINATE WITH THE OVERHEAD SPRINKLER CONTRACTOR FOR LOCATION OF RISER ASSEMBLIES.

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3. CONTRACTOR TO CONTACT USA FOR UTILITY MARKINGS PRIOR TO CONSTRUCTION PHONE: 811-DIG

CITY OF TRACY

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XXXXXXXX XXXXXX CITY ENGINEER

DATE:

UTILITY PLAN

DATE	REMARKS
5/20/2020	PLANNING SUBMITTAL #1
7/28/2020	PLANNING SUBMITTAL #2
12/16/2020	PLANNING SUBMITTAL #3
2/17/2021	PLANNING SUBMITTAL #4
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RK

DRAWN BY:

DG

JOB NO.:

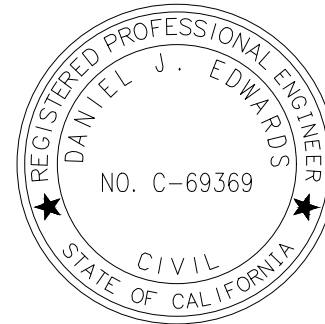
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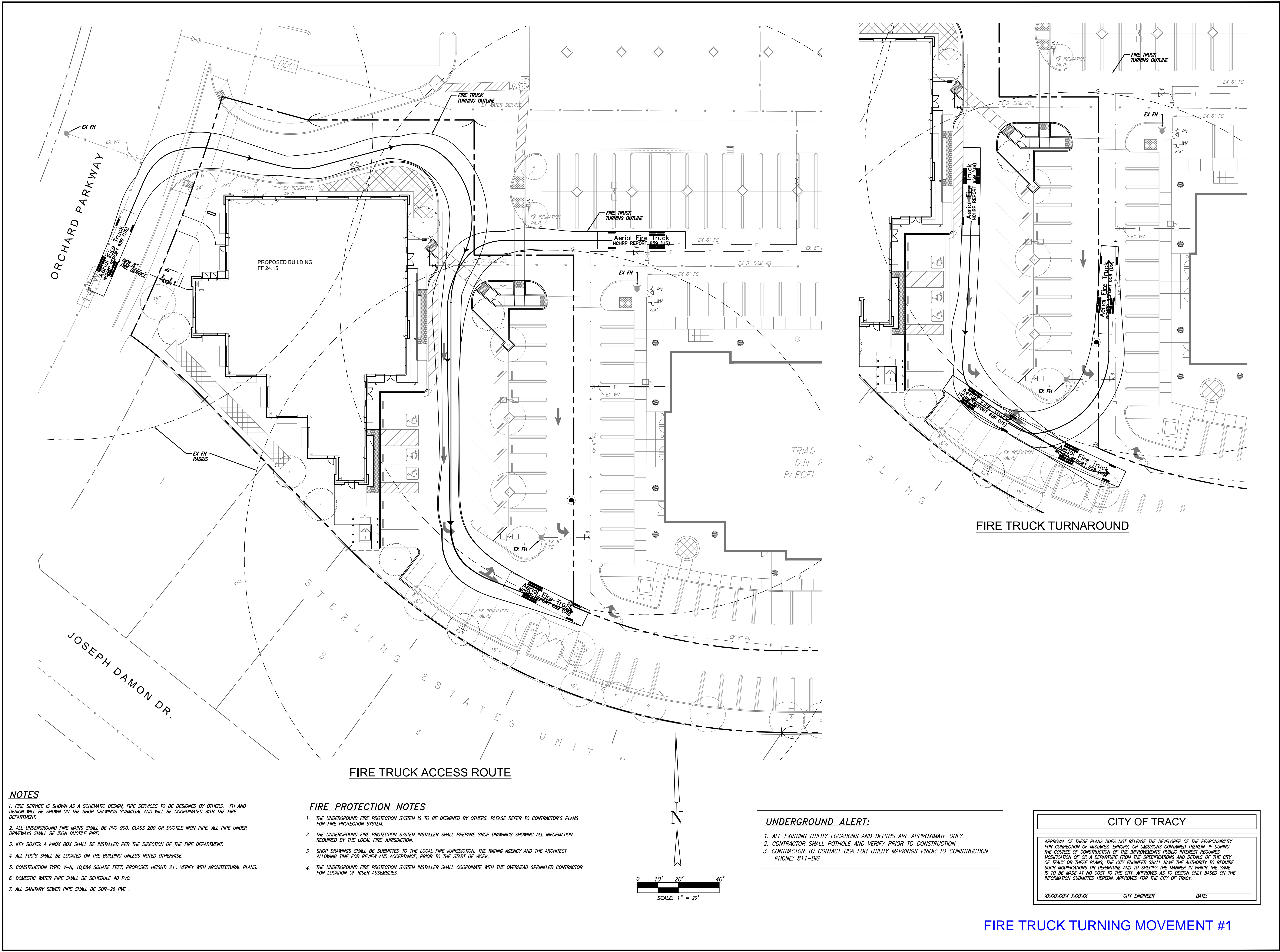
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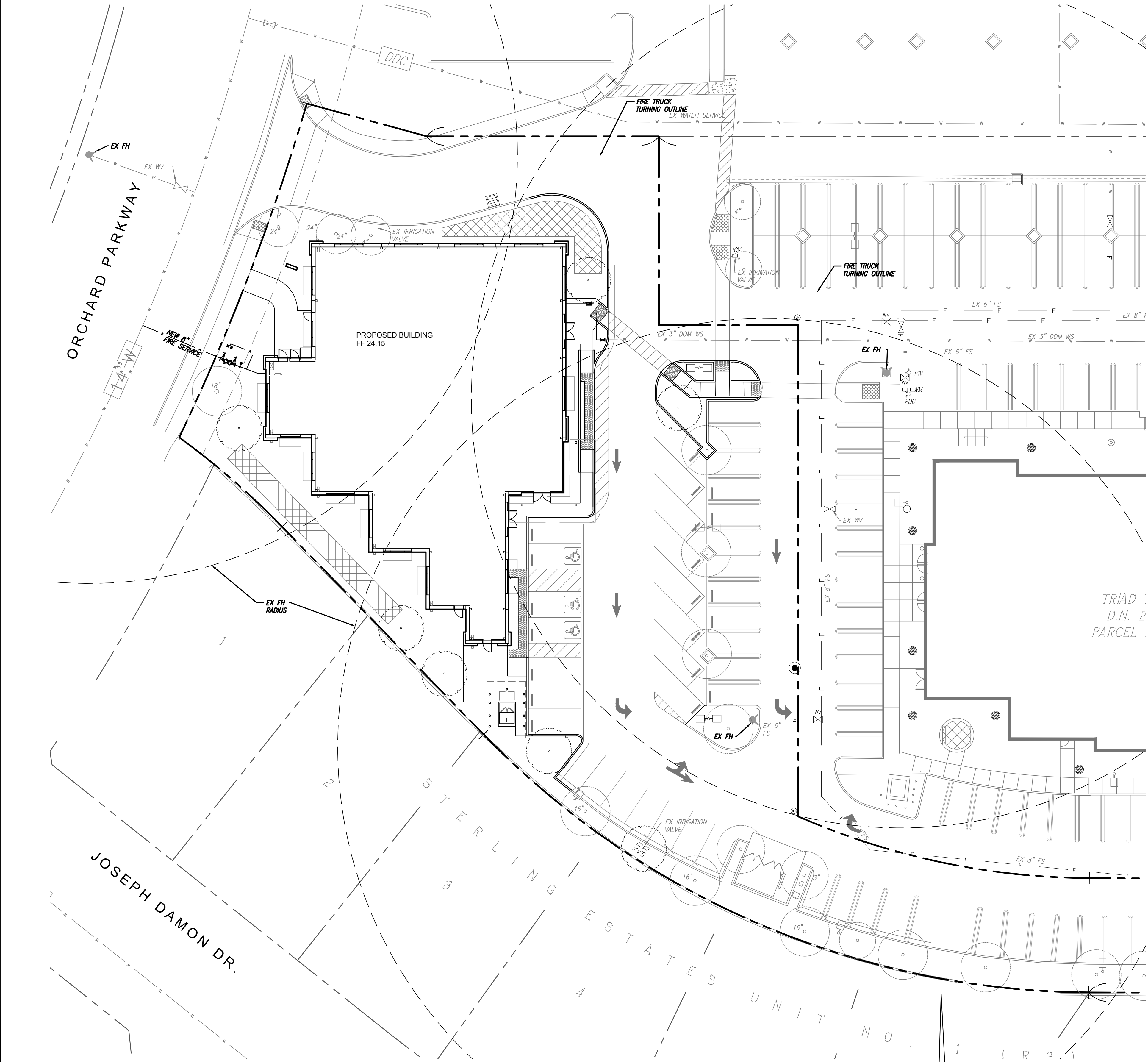
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ONE-STORY MEDICAL OFFICE
BUILDING
ORCHARD PARKWAY
TRACY, CALIFORNIA 95377



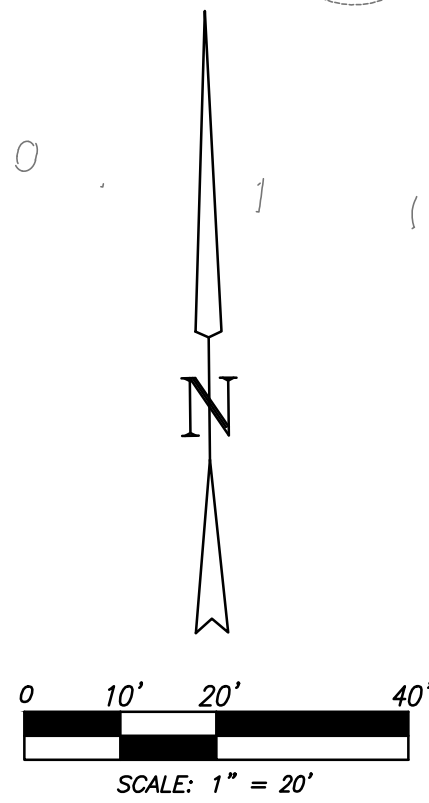


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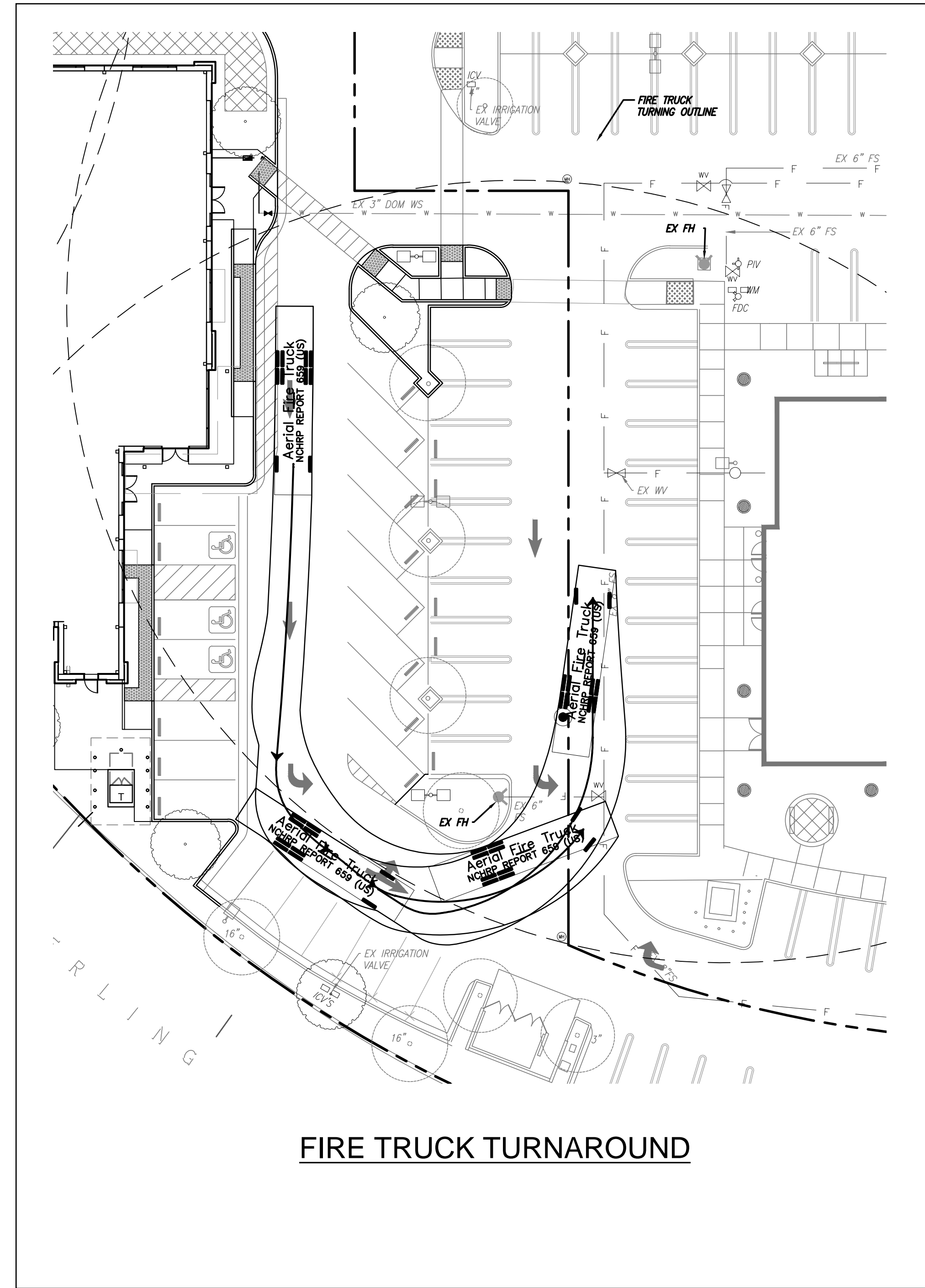
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XXXXXXXX XXXXXX CITY ENGINEER

DATE:

FIRE TRUCK TURNING MOVEMENT #2



ONE-STORY MEDICAL OFFICE
BUILDING
ORCHARD PARKWAY
TRACY, CALIFORNIA 95377

FIRE SERVICE PLAN

DATE	REMARKS
5/20/2020	PLANNING SUBMITTAL #1
7/28/2020	PLANNING SUBMITTAL #2
12/16/2020	PLANNING SUBMITTAL #3
2/1/2021	PLANNING SUBMITTAL #4

PM:

RK

DRAWN BY:

DG

JOB NO.:

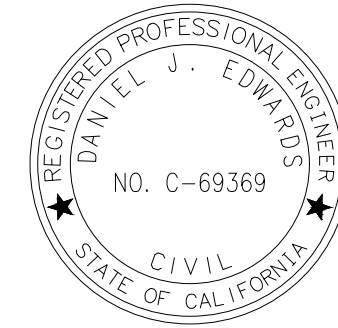
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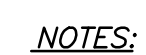
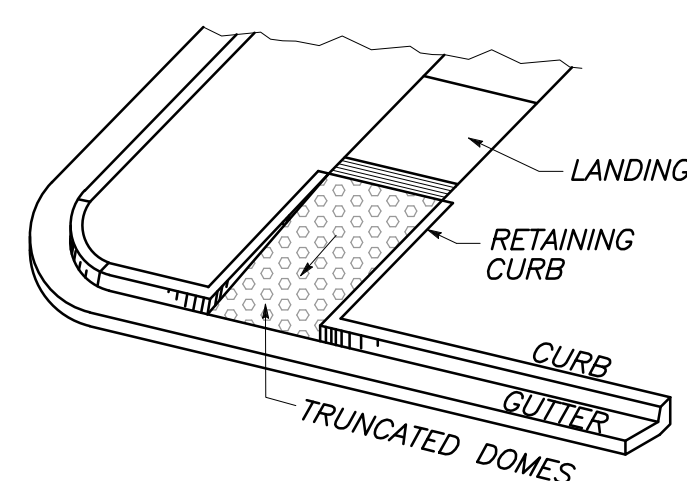




N.T.S.



N.T.S.



1. TRUNCATED DOMES MUST BE INSTALL AT ALL HANDICAP RAMPS
2. ALL SLOPES SHOWN ARE MAXIMUMS
3. ALL DIMENSIONS SHOWN ARE MINIMUMS.
4. ALL PANS MUST BE LOCATED INSIDE CROSSWALKS OR IN FRONT OF STOP BARS.
5. ALL JOINTS BETWEEN ELEMENTS, EXCEPT BETWEEN RAMP AND FLARE, ARE RADIAL. RAMP WIDTH REMAINS CONSTANT.
6. SINGLE RAMPS CAN BE CONSTRUCTED ON A TANGENT.
7. STANDARD CURB HEIGHT TO MATCH EXISTING.
8. TOP OF RETAINING CURB TO BE FLUSH WITH LANDING OR MATCH ADJACENT CURB ELEVATIONS.

CURB RAMP

N.T.S.



N.T.S

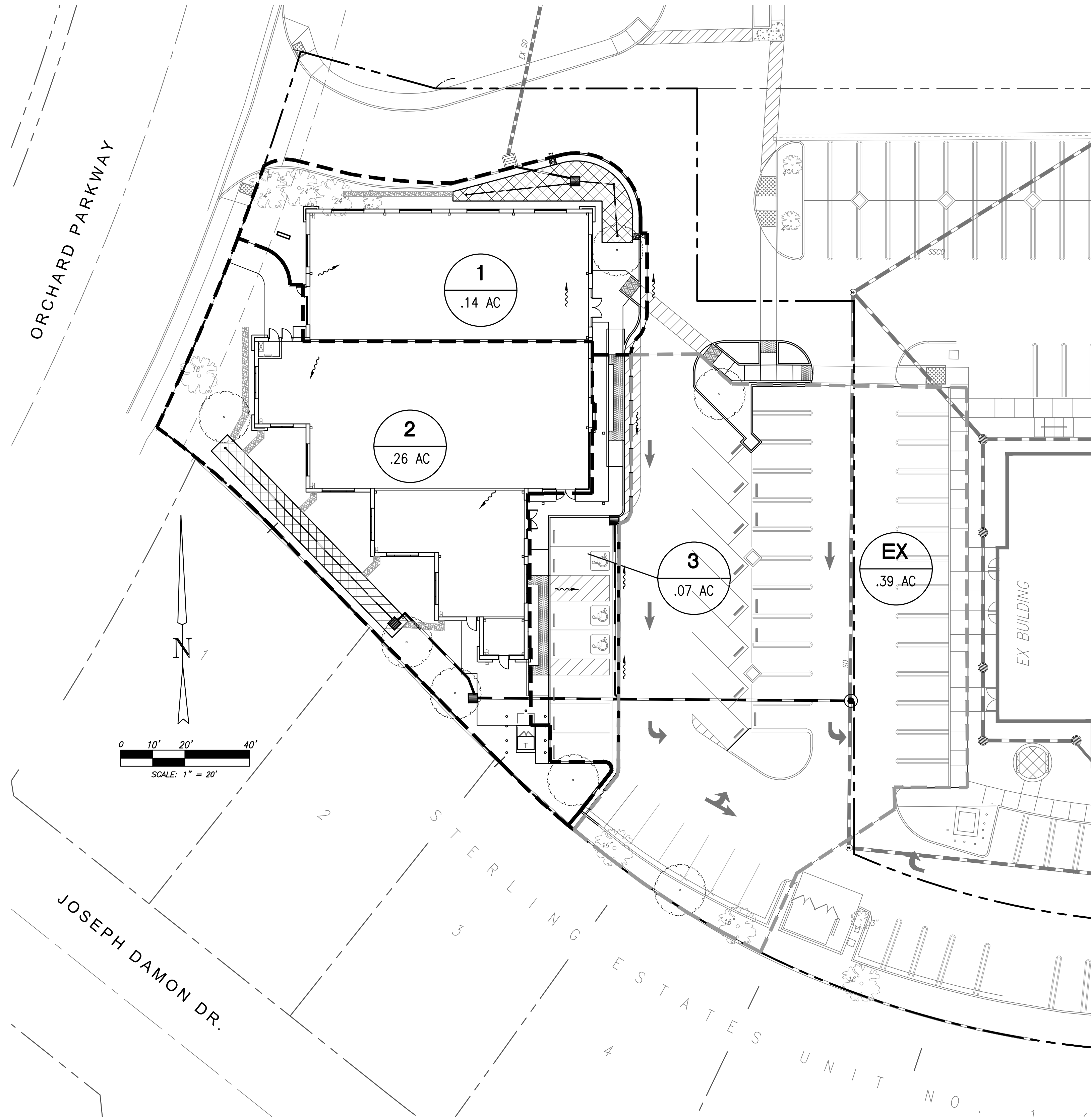
	DATE	REMARKS
1	5/20/2020	PLANNING SUBMITTAL #1
2	7/28/2020	PLANNING SUBMITTAL #2
3	12/18/2020	PLANNING SUBMITTAL #3
4	2/1/2021	PLANNING SUBMITTAL #4
5		
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C5.0

Fri, 29 Jan 2021

P:\5180 - Grant Line Rd, Parcel 1 - Tracy\Engineering Plans\Planning\C5.0 DETAILS.dwg



TREATMENT CONTROL MEASURE SUMMARY TABLE												
DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (in)
1	1	Onsite	Bioretention lined w/ underdrain	LID	SDV	6,171	4,111	2,060	30.32%	277	582	6
2	2	Onsite	Bioretention lined w/ underdrain	LID	SDV	11,134	7,909	3,225	54.70%	574	564	6
3	3	Onsite	Untreated	Non-LID	N/A	3,048	3,048	0	-	-	-	-
					Totals:	20,353	15,068	5,285	85.02%	851	1146	
	Footnotes:											
* "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.												
** Sizing for Bioretention Area Required calculated using the SDV Method												

PROJECT SITE INFORMATION:

- SOILS TYPE: C
- GROUND WATER DEPTH: 8.5 FT±
- NAME OF RECEIVING BODY: DETENTION POND; 'OLD RIVER'
- FLOOD ZONE: XX
- FLOOD ELEVATION (IF APPLICABLE): XXXXXX

BIOTREATMENT SOIL REQUIREMENTS

- BIOTREATMENT PLANTING MEDIA SHALL MEET THE REQUIREMENTS AS OUTLINED IN SECTION 6 OF THE MULTI-AGENCY POST-CONSTRUCTION STORMWATER STANDARDS MANUAL AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 60-70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO SECTION 6 FOR SAND AND COMPOST MATERIAL SPECIFICATIONS. CONTRACTOR MAY OBTAIN A COPY OF THE MULTI-AGENCY POST-CONSTRUCTION STORMWATER STANDARDS MANUAL AT : [HTTPS://WWW.CI.TRACY.CA.US](https://www.ci.tracy.ca.us)
- PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

BIOTREATMENT & FLOW-THROUGH PLANTER NOTES:

- SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
- PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS.
- SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS
- CURB CUTS SHALL BE A MINIMUM 18" WIDE AND SPACED AT 10' O.C. INTERVALS OR LESS AND SLOPED TO DIRECT STORMWATER TO DRAIN INTO THE BASINS. CURB CUTS SHALL ALSO NOT BE PLACED INLINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.
- A MINIMUM 0.2' DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
- DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.

** NOTE: EXISTING AREA OF 0.39 ACRES AS DENOTED ON THIS PLAN WAS INCLUDED IN THE ORIGINAL TREATMENT CALCULATIONS FOR GRANT LINE COMMONS. THIS AREA IS TRIBUTARY TO PART OF A STORM DRAIN SYSTEM THAT IS TREATED BY A MEDIA FILTER CONSTRUCTED WITH PHASE 1 OF THE DEVELOPMENT PROJECT.

LEGEND

- BIORETENTION AREA (BRA)
- DRAINAGE AREA BOUNDARY LINE
- DRAINAGE AREA DESIGNATION
- TRIBUTARY AREA

STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS, TO PREVENT MOSQUITO GENERATION. SHOULD ANY MOSQUITO ISSUE ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT. MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERTY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANS. DO NOT OVER WATER.

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XXXXXXXX CITY ENGINEER DATE:

ONE-STORY MEDICAL OFFICE
BUILDING
ORCHARD PARKWAY
TRACY, CALIFORNIA 95377

PRELIMINARY PROJECT
STORMWATER PLAN

DATE	REMARKS
5/20/2020	PLANNING SUBMITTAL #1
7/28/2020	PLANNING SUBMITTAL #2
12/16/2020	PLANNING SUBMITTAL #3
2/1/2021	PLANNING SUBMITTAL #4

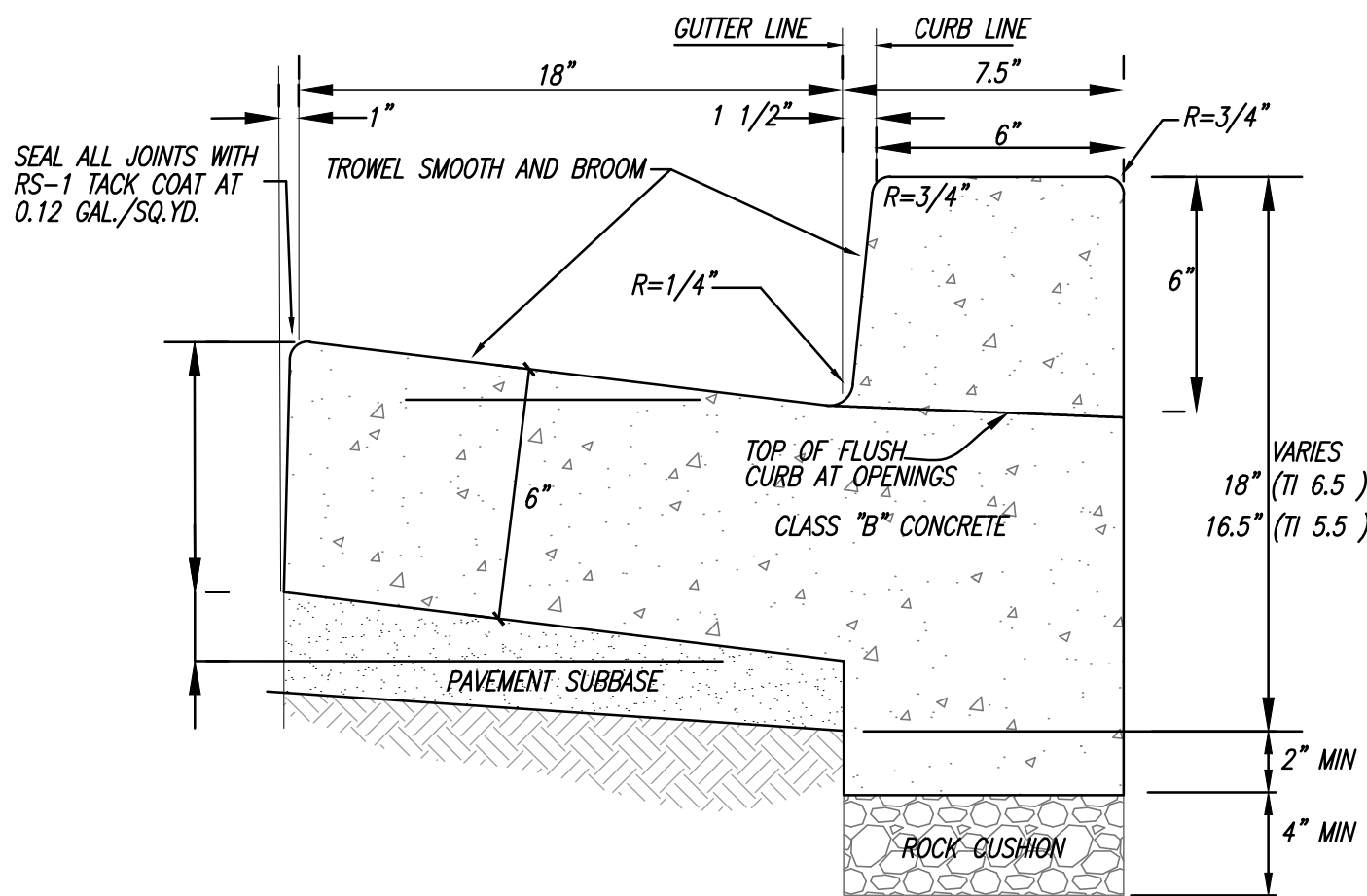
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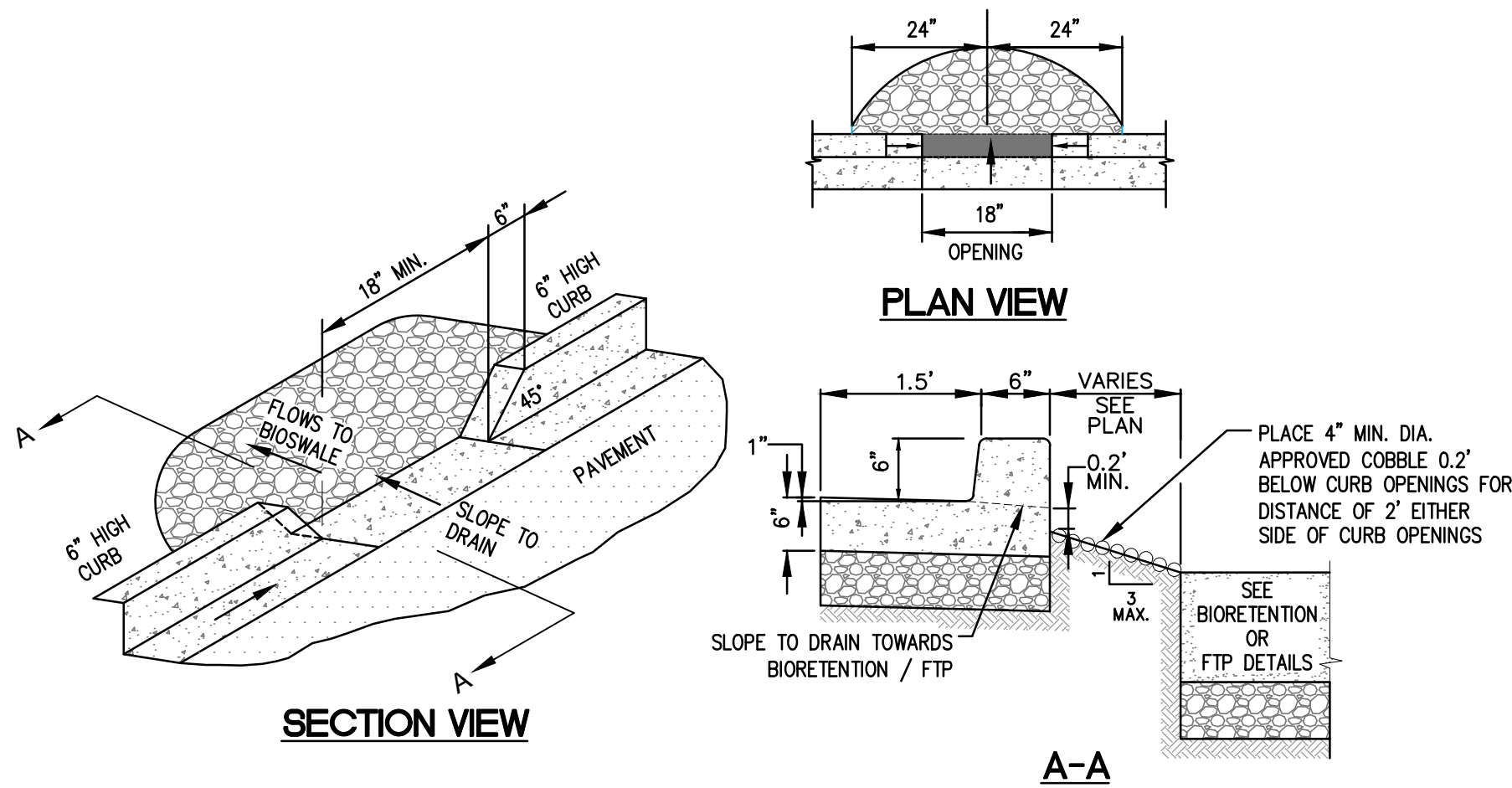
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1371 Technology Drive Suite 880
San Jose, Ca 95110 (408) 286-4555

TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR BIORETENTION AREAS		
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIORETENTION AREA AND ITS INLETS AND OUTLETS; AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 - 3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2" - 3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	
11	INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON



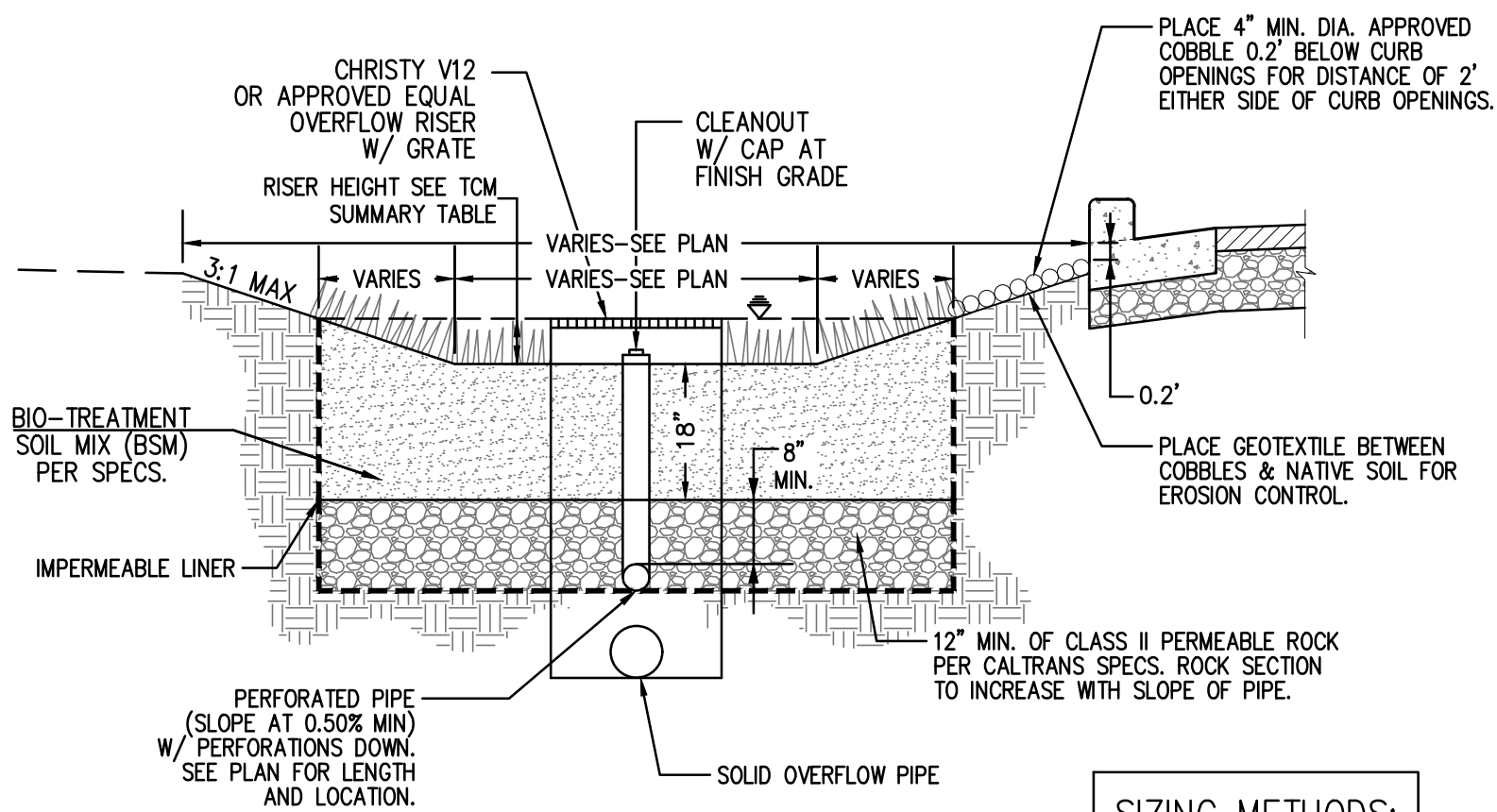
P.C.C. CURB AND GUTTER, TYP.

SCALE: N.T.S.



CURB OPENING

SCALE: N.T.S.



BIORETENTION BASIN W/ LINER

SCALE: N.T.S.

SIZING METHODS:
4%

OPERATION AND MAINTENANCE INFORMATION:

I. PROPERTY INFORMATION:

I.A. PROPERTY ADDRESS:
ORCHARD PARKWAY AT GRANT
LINE ROAD

I.B. PROPERTY OWNER:
TRIAD, TRACY, IL, L.P.

II. RESPONSIBLE PARTY FOR MAINTENANCE:

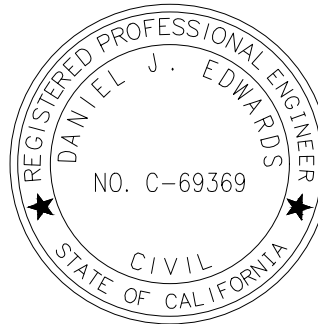
II.A. CONTACT:
RICK NEEDHAM

II.B. PHONE NUMBER OF CONTACT:
(949) 683-4804

II.C. EMAIL:
RNEEDHAM@TRIADPARTNERS.NET

II.D. ADDRESS:
120 VANTIS
ALISO VIEJO, CA 92656

JMHI WEISS, INC.
Civil Engineering ~ Surveying ~ Land Planning
1371 Technology Drive Suite 880
San Jose, Ca 95110 (408) 286-4555

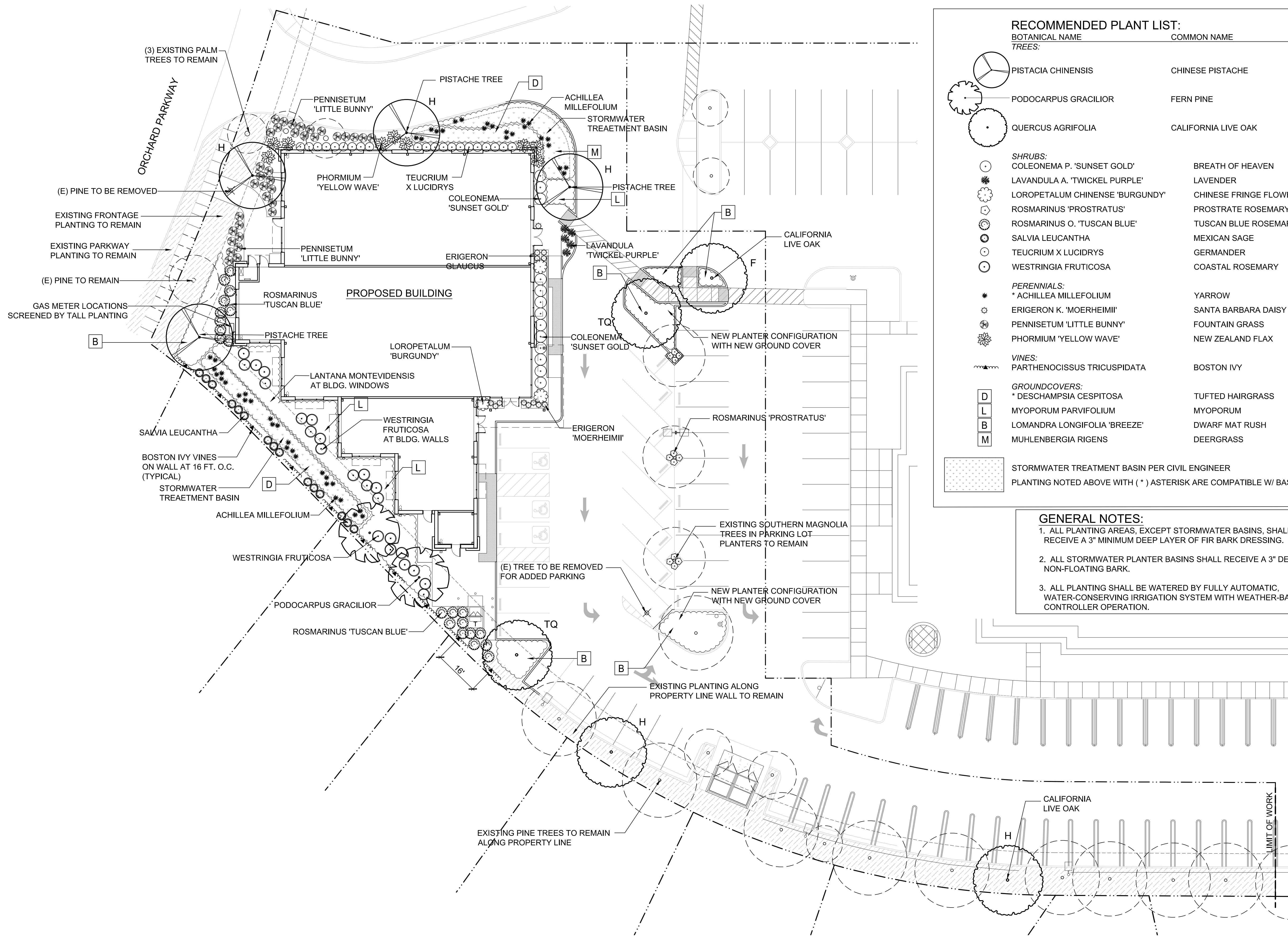


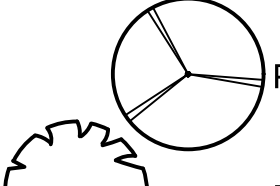
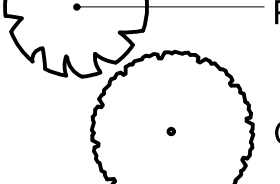
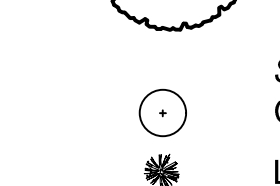











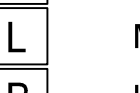
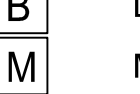




**ONE-STORY MEDICAL OFFICE
BUILDING
ORCHARD PARKWAY
TRACY, CALIFORNIA 95377**

PRELIMINARY STORMWATER CONTROL DETAILS		REMARKS
DATE	PLANNING SUBMITTAL #	
1 5/20/2020	PLANNING SUBMITTAL #1	
2 7/28/2020	PLANNING SUBMITTAL #2	
3 12/18/2020	PLANNING SUBMITTAL #3	
4 2/1/2021	PLANNING SUBMITTAL #4	
5		
6		
7		
8		

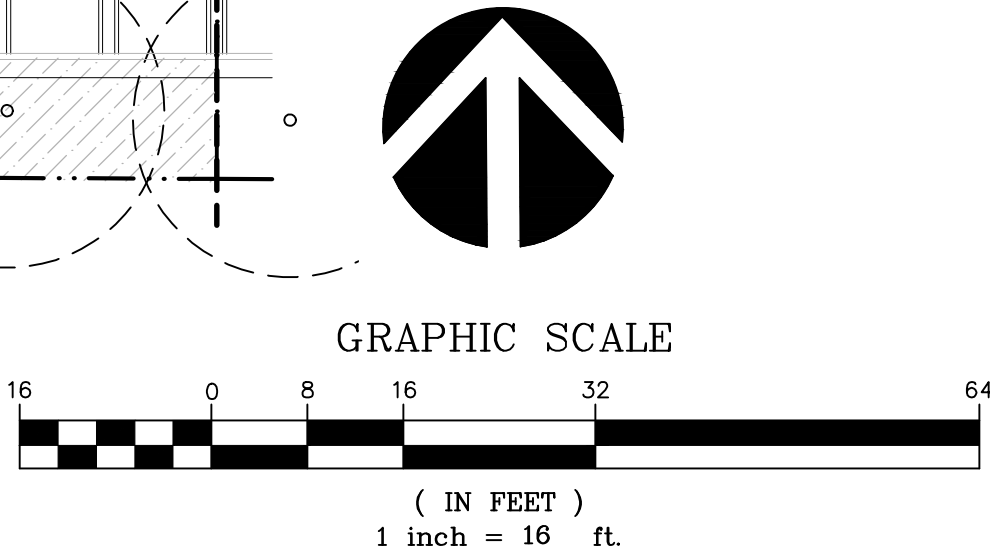
PM:	RK
DRAWN BY:	DC
JOB NO.:	5180

SHEET
C6.1



RECOMMENDED PLANT LIST:			
BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS WATER USE
TREES:			
 PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX	LOW
 PODOCARPUS GRACILIOR	FERN PINE	24" BOX	MED
 QUERCUS AGRIFOLIA	CALIFORNIA LIVE OAK	24" BOX	LOW
SHRUBS:			
 COLEONEMA P. 'SUNSET GOLD'	BREATH OF HEAVEN	5 GAL	MED.
 LAVANDULA A. 'Twickel Purple'	LAVENDER	5 GAL	LOW
 LOROPETALUM CHINENSE 'BURGUNDY'	CHINESE FRINGE FLOWER	5 GAL	MED.
 ROSMARINUS 'PROSTRATUS'	PROSTRATE ROSEMARY	5 GA;	LOW
 ROSMARINUS O. 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	5 GAL	LOW
 SALVIA LEUCANTHA	MEXICAN SAGE	5 GAL	LOW
 TEUCRIUM X LUCIDRYS	GERMANDER	5 GAL	LOW
 WESTRINGIA FRUTICOSA	COASTAL ROSEMARY	5 GAL	LOW
PERENNIALS:			
 *ACHILLEA MILLEFOLIUM	YARROW	1 GAL	LOW
 ERIGERON K. 'MOERHEIMII'	SANTA BARBARA DAISY	1 GAL	LOW
 PENNISETUM 'LITTLE BUNNY'	FOUNTAIN GRASS	1 GAL	LOW
 PHORMIUM 'YELLOW WAVE'	NEW ZEALAND FLAX	5 GAL	LOW
VINES:			
 PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	5 GAL	MED.
GROUNDCOVERS:			
 *DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	1 GAL. @ 36" O.C.	LOW
 MYOPORUM PARVIFOLIUM	MYOPORUM	1 GAL. @ 36" O.C.	LOW
 LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL. @ 36" O.C.	LOW
 MUHLENBERGIA RIGENS	DEERGRASS	1 GAL. @ 36" O.C.	LOW
STORMWATER TREATMENT BASIN PER CIVIL ENGINEER			
PLANTING NOTED ABOVE WITH (*) ASTERISK ARE COMPATIBLE W/ BASINS			

- GENERAL NOTES:**
1. ALL PLANTING AREAS, EXCEPT STORMWATER BASINS, SHALL RECEIVE A 3" MINIMUM DEEP LAYER OF FIR BARK DRESSING.
 2. ALL STORMWATER PLANTER BASINS SHALL RECEIVE A 3" DEEP LAYER NON-FLOATING BARK.
 3. ALL PLANTING SHALL BE WATERED BY FULLY AUTOMATIC, WATER-CONSERVING IRRIGATION SYSTEM WITH WEATHER-BASED CONTROLLER OPERATION.



REFER TO SHEET L1.2 FOR PLANT IMAGES AND WATER CALCULATIONS
REFER TO SHEET L1.3 FOR PARKING LOT SADE CALCULATIONS.

REVISIONS

City Plan	Review
City Plan	Submittal
1-29-21	

Thomas Park & Associates, LLP

Landscaping Architects

1620 North Main Street, Suite 4

Walnut Creek, CA 94596

Ph: 925.931.2283

UNUSUAL PROJECT

2017

Signature

DATE

SCALE

TRACY - MOB ORCHARD PARKWAY
TRACY, CA

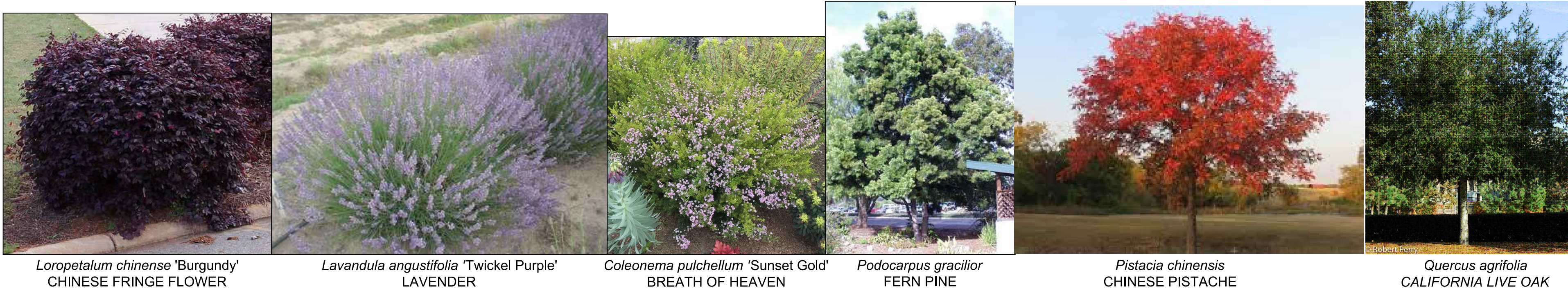
PRELIMINARY LANDSCAPE PLAN

DESIGNED: RS	DRAWN: JD
CHECKED:	JOB NO:
DATE 10-8-20	
SCALE	

SHEET

L1.1

OF SHEETS



WATER EFFICIENT LANDSCAPE WORKSHEET										
REFERENCE EVAPOTRANSPIRATION (ET _o):				48.5						
HYDROZONE #	HYDROZONE TYPE / (PLANT WATER USE)	PLANT TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)	% OF TOTAL LANDSCAPE AREA
REGULAR LANDSCAPE AREA:										
1	LOW WATER USE	SHRUBS	0.3	N/A	0.81	0.37037037	5224	1934.814815	58179.9	91%
2	MEDIUM WATER USE	SHRUBS	0.5	N/A	0.81	0.61728395	418	258.0246914	7758.8	7%
3	MEDIUM WATER USE	TREES	0.5	N/A	0.81	0.61728395	27	16.66666667	501.2	0%
4	MEDIUM WATER USE	VINES	0.5	N/A	0.81	0.61728395	60	37.03703704	1113.7	1%
TOTALS:							5729	2247	100%	
SPECIAL LANDSCAPE AREAS:										
REC. AREA						1		0	0	
POOL						1		0	0	
WATER FEATURE 2						1		0	0	
TOTALS:							0	0		
ETWU TOTAL:									67,554	
MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):									77,522	
ETAF CALCULATIONS:										
REGULAR LANDSCAPE AREAS:										
TOTAL ETAF x AREA				2,247		NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.				
TOTAL LANDSCAPE AREA				5,729						
AVERAGE ETAF				0.39						
ALL LANDSCAPE AREAS:										
TOTAL ETAF x AREA				2,247						
TOTAL LANDSCAPE AREA				5,729						
SITEWIDE ETAF				0.39						

REVISIONS

1	City Plan	Review
2	City Plan	Submittal
1-29	-21	

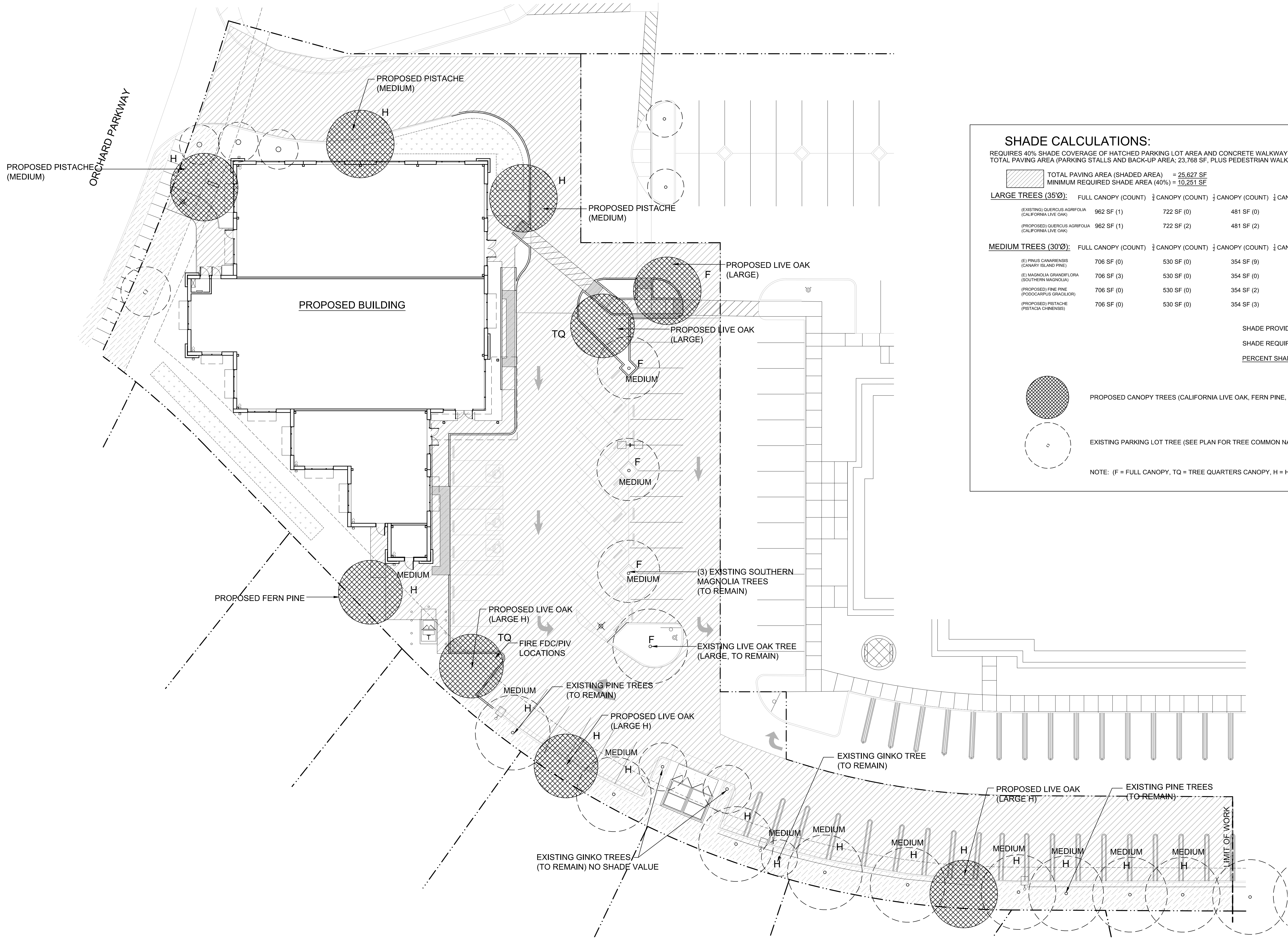
Thomas Park & Associates, LLP
Landscape Architects
1620 North Main Street, Suite 4
Walnut Creek, CA 94596
Ph: 925.931.2853

TRACY - MOB
ORCHARD PARKWAY
TRACY, CA

PLANT IMAGES &
WELO CALCS

DESIGNED: RS	DRAWN: JD
CHECKED:	JOB NO:
DATE 10-8-20	
SCALE	

SHEET
L1.2
OF SHEETS



SHADE CALCULATIONS:
REQUIRES 40% SHADE COVERAGE OF HATCHED PARKING LOT AREA AND CONCRETE WALKWAYS IN 15 YEARS
TOTAL PAVING AREA (PARKING STALLS AND BACK-UP AREA; 23,768 SF, PLUS PEDESTRIAN WALKWAYS; 1,859 SF = 25,627 SF

TOTAL PAVING AREA (SHADED AREA) = 25,627 SF
MINIMUM REQUIRED SHADE AREA (40%) = 10,251 SF

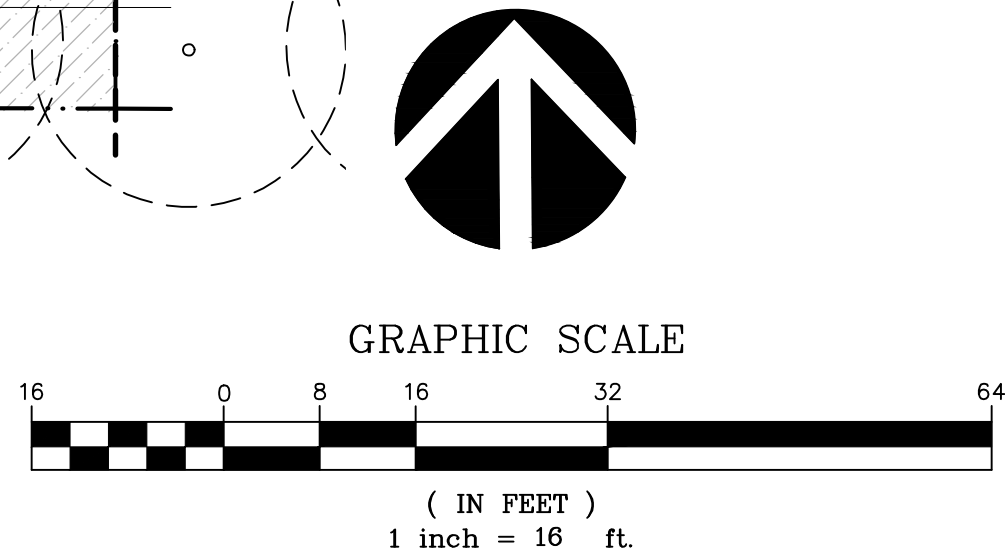
LARGE TREES (35'Ø):					
	FULL CANOPY (COUNT)	¾ CANOPY (COUNT)	½ CANOPY (COUNT)	¼ CANOPY (COUNT)	TOTAL
(EXISTING) QUERCUS AGRIFFOLIA (CALIFORNIA LIVE OAK)	962 SF (1)	722 SF (0)	481 SF (0)	240 SF (0)	962 SF
(PROPOSED) QUERCUS AGRIFFOLIA (CALIFORNIA LIVE OAK)	962 SF (1)	722 SF (2)	481 SF (2)	240 SF (0)	3368 SF

MEDIUM TREES (30'Ø):					
	FULL CANOPY (COUNT)	¾ CANOPY (COUNT)	½ CANOPY (COUNT)	¼ CANOPY (COUNT)	TOTAL
(E) PINUS CANARIENSIS (CANARY ISLAND PINE)	706 SF (0)	530 SF (0)	354 SF (9)	177 SF (0)	3186 SF
(E) MAGNOLIA GRANDIFLORA (SOUTHERN MAGNOLIA)	706 SF (3)	530 SF (0)	354 SF (0)	177 SF (0)	2118 SF
(PROPOSED) FINE PINE (PODOCARPUS GRACILIOR)	706 SF (0)	530 SF (0)	354 SF (2)	177 SF (0)	708 SF
(PROPOSED) PISTACHE (PISTACIA CHINENSIS)	706 SF (0)	530 SF (0)	354 SF (3)	177 SF (0)	1062 SF

SHADE PROVIDED: 11,404 SF
SHADE REQUIRED: 10,251 SF
PERCENT SHADED: 45%

PROPOSED CANOPY TREES (CALIFORNIA LIVE OAK, FERN PINE, CHINESE PISTACHE)
 EXISTING PARKING LOT TREE (SEE PLAN FOR TREE COMMON NAME)

NOTE: (F = FULL CANOPY, TQ = TREE QUARTERS CANOPY, H = HALF CANOPY)



REVISIONS

City Plan	Review
1-29-21	
City Plan	Submital
1-29-21	

Thomas Park & Associates, LLP
Landscape Architects
1620 North Main Street, Suite 4
Walnut Creek, CA 94596
Ph: 925.931.2283

TRACY - MOB
ORCHARD PARKWAY
TRACY, CA

PARKING LOT
SHADE PLAN

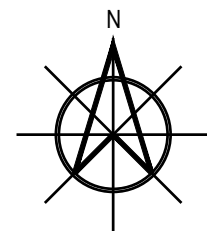
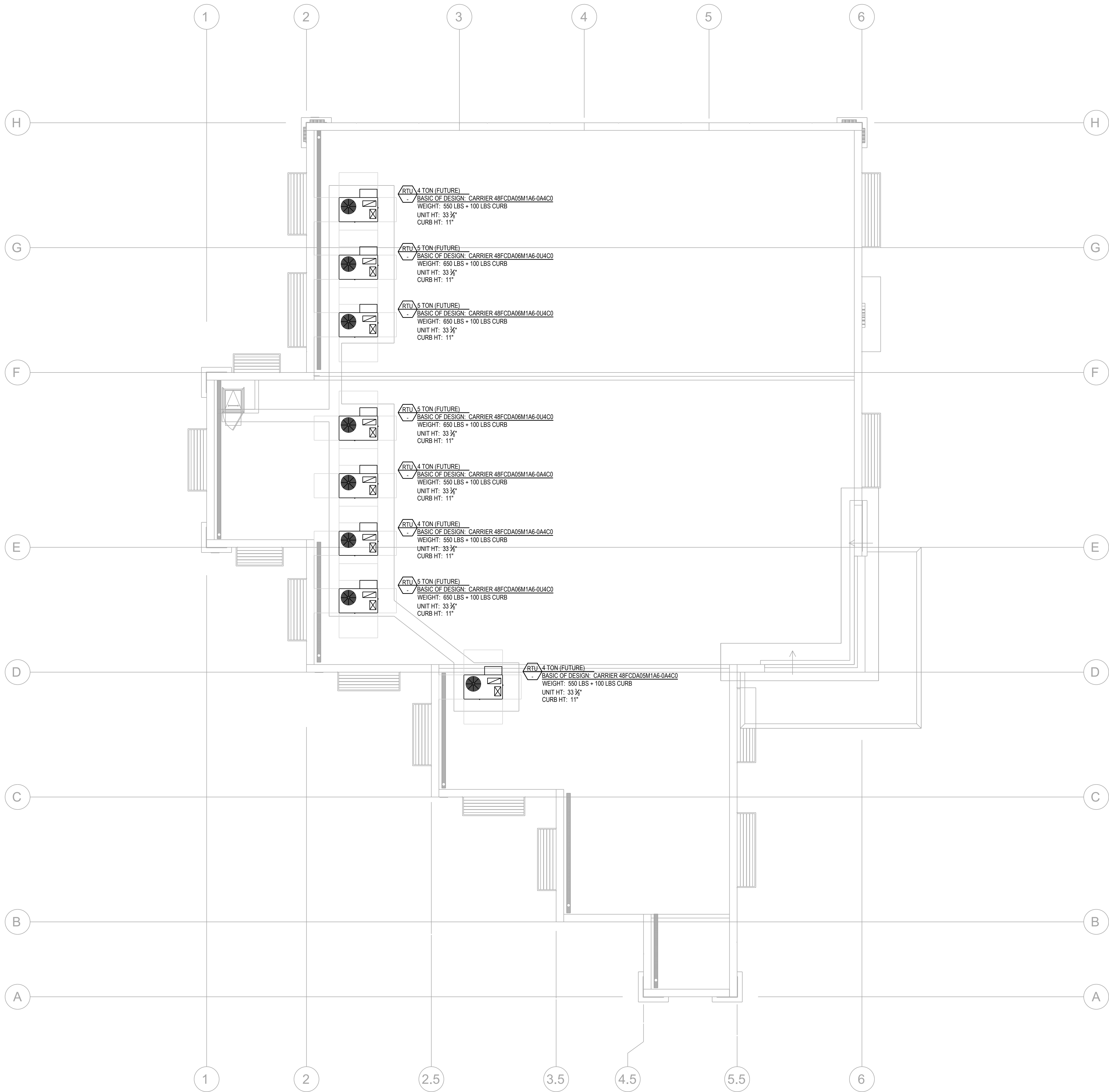
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CHECKED:	JOB NO:
DATE 10-8-20	
SCALE	

SHEET

L1.3

OF SHEETS

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MECHANICAL ROOF PLAN

SCALE
1/8"=1'-0"

1

MECHANICAL ROOF PLAN		REMARKS
DATE	PA / PM:	
02/28/2020		PLANNING SUBMITTAL
07/24/2020		PLAN CHECK COMMENTS #1
02/02/2021		PLANNING DEPT SUBMITTAL #3
1		

DRAWN BY:	KH/WL
JOB NO.:	SNR19-0079-00

SHEET
M3.0

TARCY MOB
ORCHARD PARKWAY
TRACY, CALIFORNIA 95377

ACIES
ENGINEERING
400 N. McCarthy Blvd., Suite 250
Milpitas, CA 95035
ph: (408)522-5255 | fx: (408)522-5260
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REGISTERED PROFESSIONAL ENGINEER
No. M39192
Exp. 12/31/22
MECHANICAL
KEITH HUEN

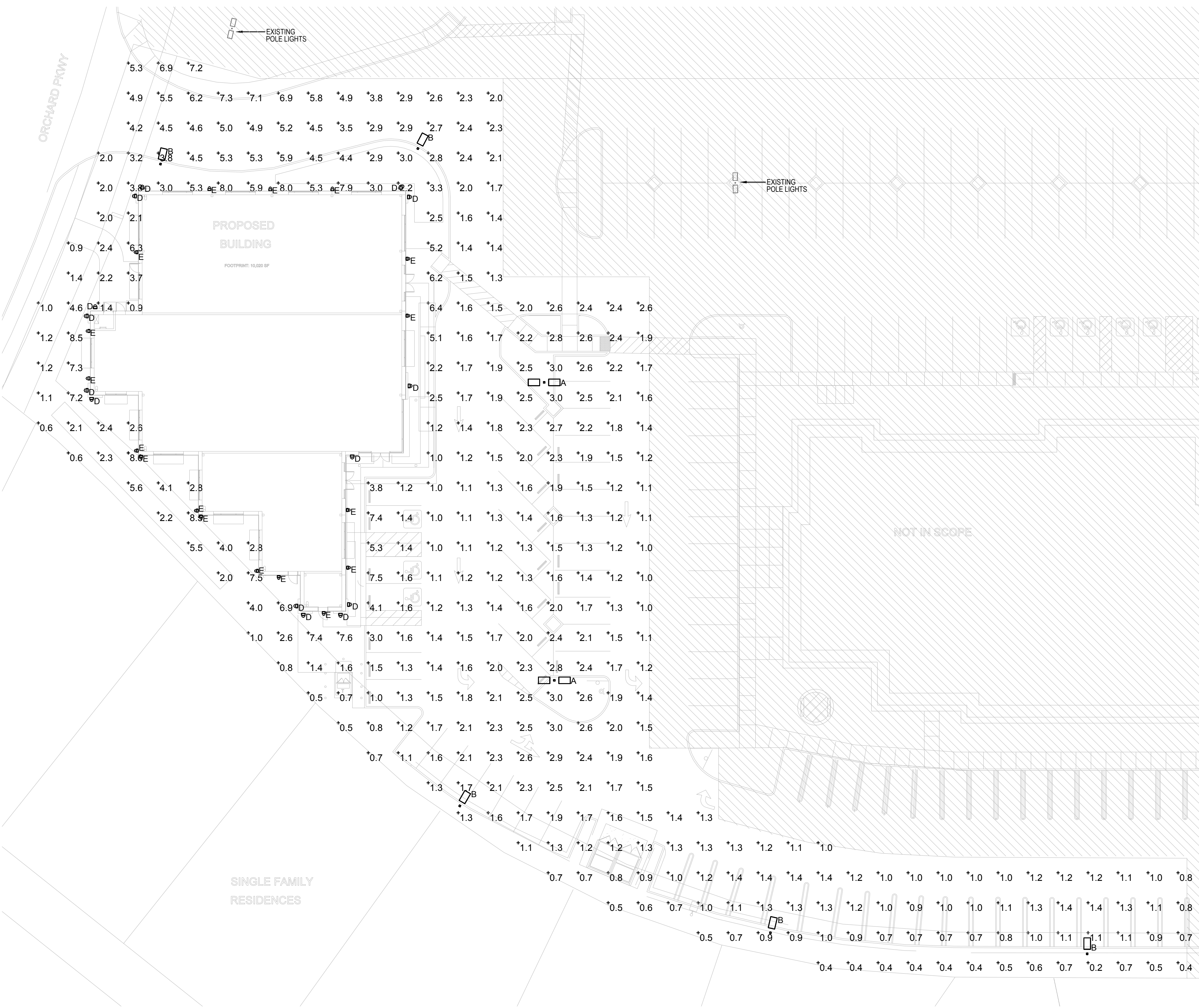
architecture
planning
interiors
graphics
civil engineering
4683 chabot dr. suite 300
pittsburg, california 94588
p 925.234.9620
f 925.234.9621

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Leading Design for Commercial Real Estate

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Mon, 01 Feb 2021

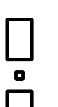

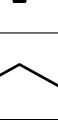
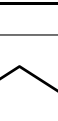
P:\Ware Malcomb\2019\190777 Triad Tracy Office Building, Tracy, CA Electrical\E1.0_1.2 Electrical Photometric Plan.dwg



NOTES:

- POLE MOUNTED FIXTURES ARE 28' ABOVE GROUND.
- CALCULATION ZONE POINT-BY-POINT 10' x 10' IS ON THE GROUND.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
General Hardscape	+	2.3 fc	8.6 fc	0.2 fc	43.0:1	11.5:1

Schedule											
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage
	A	2	SIGNIFY GARDCO	GL13-3-70LA-6435-NW	GULLWING LED GL13	(4) LEDGINE 3.1 LIGHT ARRAYS OF 16 LEDs (LUXEON T) DRIVEN AT 350mA	1	GL13-3-70LA-6435-NW.IES	6751	0.98	140.2
	B	5	SIGNIFY GARDCO	GL13-3-85LA-8035-NW-HS	GULLWING LED GL13 WITH EXTERNAL SHIELDING	(5) LEDGINE 3.1 LIGHT ARRAYS OF 16 LEDs (LUXEON T) DRIVEN AT 350mA	1	gl13-3-85la-8035-nw-hs.ies	6470	0.98	85
	D	14	VISA LIGHTING	OW1295	WALL MOUNT RECTANGULAR 37" VERTICAL	LED 3500K -L	1	OW1295-L35K-L.ies	1738	0.92	18.3
	E	17	Lithonia Lighting	WST LED P1 50K VW MVOLT	WST LED, Performance package 1, 5000 K, visual comfort wide, MVOLT	LED	1	WST_LED_P1_50K_VW_MV_OLT.ies	1659	0.92	12

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TARCY MOB
ORCHARD PARKWAY
TRACY, CALIFORNIA 95377

PHOTOMETRIC PLAN		REMARKS
DATE	02/28/2020	PLANNING SUBMITTAL
	07/24/2020	PLAN CHECK COMMENTS #1
	02/02/2021	PLANNING DEPT SUBMITTAL #3

PA / PM:	KH/WL
DRAWN BY:	SO
JOB NO.:	SNR19-0079-00

SHEET
E1.0

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TYPE "D"


Rev: 2018/11/07

OW1295 – IMAGE™

VISA LIGHTING

Type: Project: Visalighting.com/products/Image

Order Code: OW1295 MODEL SOURCE VOLT FRAME ACCENT BAR AND END CAP OPTIONS



The Image family of luminaires provides tasteful ambient light and flexible design options. These versatile fixtures can be mounted on walls in vertical or horizontal orientations and on ceilings. Image's quality construction includes solid metal trim and die cast end caps with finish options to meet any design aesthetic.

A SOURCE (Select one) & VOLTAGE

MVOLT fixture accepts 120 through 277 input voltage
LED sources are 83CRI, within 3-step MacAdam and are dimmable 0.10V to 1%



Sources	CCT	Delivered Lumens	Power (Watts)	Voltage
L30K-L	3000K	1700	19	MVOLT
L30K-L	3500K			
L40K-L	4000K	2500	29	
L30K-H	3000K			
L30K-H	3500K	2600		
L40K-H	4000K			

FINISHES (Select one) & Frame Finish and one & Accent Bar and End Cap Finish or Material

Powder Coat Painted Finishes (Standard) for Frame or Accent Bar and End Cap

AG7038	Agate Grey	CVBL	Cove Blue	GW9002	Gray White	PB1035	Pearl Beige
BMAT	Bronze Matte	CW9001	Cream	HTHR	Heather	RUST	Rust
BRNZ	Bronze	GLIM	Glimmer	JB9005	Jet Black	SUNG	Sungold
BSIL	Blade Silver	GSIL	Graphite Silver	OBRZ	Old Bronze	TW9016	Traffic White

Metals (Premium) for Accent Bar and End Cap only

BSS	Brushed Stainless Steel	PSS	Polished Stainless Steel
			

D OPTIONS (Multiple Selections Allowed)

HM	Horizontal mount (vertical is standard)
XPS	Express 10 day shipping. Items marked with a bullet (•) are not available with XPS

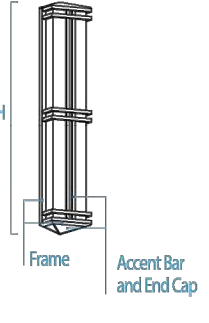
Dimensions

Depth is measured from wall to front of fixture
H = Height D = Depth W = Width

H 36 7/8" (937 mm)

D 4" (102 mm)

W 7 1/4" (184 mm)



Frame
Accent Bar and End Cap

800-788-VISA

Visalighting.com

Page 1

TYPE "E"

Rev: 2018/11/07

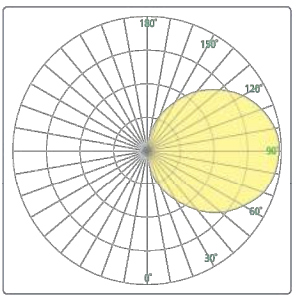
OW1295 – IMAGE

VISA LIGHTING

ECN 160317

Order Code: OW1295 MODEL SOURCE VOLT FRAME ACCENT BAR AND END CAP OPTIONS

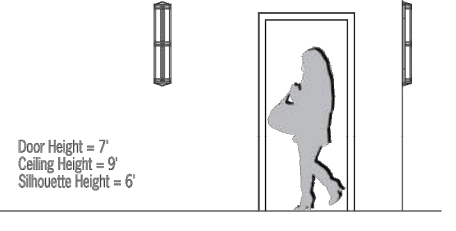
Photometrics



Technical Information

- Integral power supply
- Modular design for replacement of LED source and power supply
- Removable cam action hinged frame for ease of maintenance
- Vertical mounting standard (horizontal mounting optional)
- Mounts to standard electrical junction box (by others) with provided hardware
- Extruded aluminum backplate, die-cast end caps, vertical center accent and frame side rails. Solid metal formed accent bars, gasketed and sealed construction
- 1/8" thick white acrylic diffuser
 - F1 rated, UV stable
 - UL 94 HB Flame Class rated
- No VOC powder coat paint finish
- ETL listed for wet location mounting 4" above grade

Relative Scale Drawing



Door height = 7'
Ceiling height = 8'
Silhouette height = 6'

Painted Finishes (Standard)

Specify color code when ordering. For accurate color matching, individual paint and finish samples are available upon request. For additional information see Visalighting.com/materials/finishes

TW9016	CW9001	GW9002	JB9005	AG7038	HTHR	CVBL
Traffic White (RAL9016)	Cream (RAL9001)	Gray White (RAL9002)	Jet Black (RAL9005)	Agate Grey (RAL7038)	Heather	Cove Blue
BSIL	GSIL	GLIM	SUNG	BRNZ		
Blade Silver	Graphite Silver	Glimmer	Sungold	Bronze		
OBRZ	BMAT	PB1035	RUST			
Old Bronze	Bronze Matte	Pearl Beige (RAL1035)	Rust			

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800-788-VISA

Visalighting.com

Page 2

WST LED

Architectural Wall Sconce



DLG
HARCO
EPA

Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

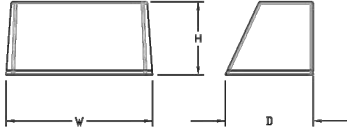
Luminaire

Height: 8-1/2" (21.59 cm)

Width: 17" (43.18 cm)

Depth: 10-3/16" (26.9 cm)

Weight: 20 lbs (9.1 kg)

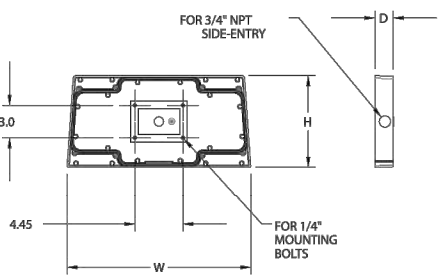


Optional Back Box (PBBW)

Height: 8.49" (21.56 cm)

Width: 17.01" (43.21 cm)

Depth: 7.70" (19.55 cm)

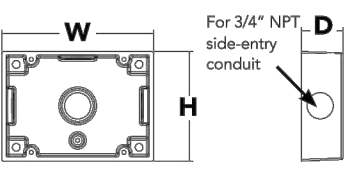



Optional Back Box (BBW)

Height: 4" (10.2 cm)

Width: 5-1/2" (14.0 cm)

Depth: 1-1/2" (3.8 cm)

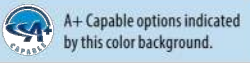


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WST-LED
Rev. 09/06/19



Ordering Information

EXAMPLE: WST LED P1 40K VF MVOLT DDBTDX

Series	Performance Package	Color temperature	Distribution	Voltage	Mounting
WST LED	P1 1,500 Lumen package	27K 2700 K	VF Visual comfort forward throw	MVOLT 277	Shipped included
	P2 3,000 Lumen package	30K 3000 K	VW Visual comfort wide	120V 347	(blank) Surface mounting bracket
	P3 6,000 Lumen package	40K 4000 K		208V 480	Shipped separately
		50K 5000 K		240V	BBW Surface-mounted back box
					PBBW Premium surface-mounted back box ¹⁴

Options

NTAR2 PIR	rLIGHT AIR Wireless enabled motion/ambient sensor for 6'-15' mounting heights ¹⁴	EWVC	Emergency battery backup, CA Title 20 Noncompliant (sold, 7W) ¹²
NTAR2 PIRH	rLIGHT AIR Wireless enabled motion/ambient sensor for 15'-30' mounting heights ¹⁴	DDBX	Dark bronze
PE	Photoelectric cell, button type ⁷	EWHR	Remote emergency battery backup, CA Title 20 Noncompliant (remote, 7W) ¹²
PER	REMA Wide-Area receptacle only (controls ordered separately) ⁸	DWAX	Natural aluminum
PER5	Five-wire receptacle only (controls ordered separately) ⁸	DWHD	White
PER7	Seven-wire receptacle only (controls ordered separately) ⁸	DWSD	Sandstone
PIR	Motion/Ambient Light Sensor, 8'-15' mounting height ¹⁴	DDBTDX	Textured dark bronze
PIR1FCV	Motion/Ambient sensor, 8'-15' mounting height, ambient sensor enabled at 16' ¹⁴	DDBX	Textured black
PIRH	180° motion/ambient light sensor, 15'-30' mounting height ¹⁴	DWAX	Textured natural aluminum
PIRH1FCV	Motion/ambient sensor, 15'-30' mounting height, ambient sensor enabled at 16' ¹⁴	DWHD	Textured white
SF	Single fuse 120V, 277, 347V ⁹	DWSD	Textured sandstone
DF	Double fuse 120V, 240, 480V ⁹		
DS	Dual switching ⁹		
DWG	0-10V dimming extend out back of housing for external control (control ordered separately) ⁹		
EWB	Emergency battery backup, Non CECC compliant (7W) ⁹		

Finish (required)

DDBX	Dark bronze
DDBTDX	Textured dark bronze
DWAX	Natural aluminum
DWHD	Textured white
DWSD	Textured sandstone

Accessories

Options marked in red are not available with this color background.

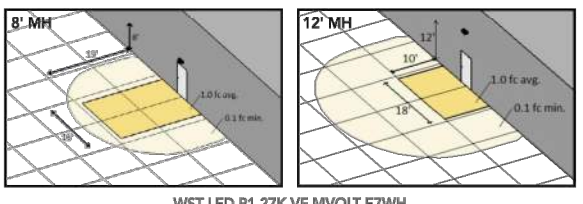
WSTPBBW DDBX U	Premium surface-mounted back box
WSTBBW DDBX U	Surface-mounted back box
RPBW DDBX U	Retrofit back plate

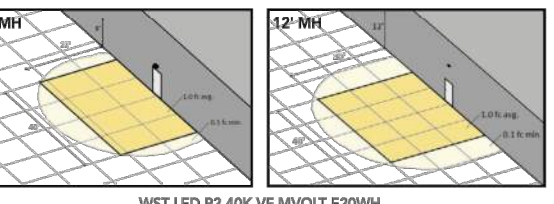
NOTES


- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Also available as a separate accessory; see accessories information.
- Top conduit entry standard.
- Not available with VF or VW. See PER Table.
- Reference Motion Sensor table.
- Need to specify 120, 208, 240 or 277 voltage.
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Not available with Emergency options, PE or PER options.
- DMG option not available with standalone or networked sensors/controls.
- Not available with 347/480V.
- Battery pack rated for -20° to 40°C.
- Comes with PBBW.
- Warranty period is 3 years.
- Not available with BBW.
- Must order with fixture, not an accessory.

Emergency Battery Operation

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss, meeting interpretations of NFPA 70/NEC 2008 - 700.16. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1006 and NFPA 101 Life Safety Code Section 7.5, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions. The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package and VF distribution pattern in emergency mode.





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WST-LED
Rev. 09/06/19

LIGHTING CUT SHEETS

SCALE
NOT TO SCALE

1

LIGHTING CUTSHEET & DETAILS			
DATE	REMARKS	PLANNING SUBMITTAL	PLAN CHECK COMMENTS #1
02/28/2020			
07/24/2020			
02/02/2021			

PA / PM:	KH/WL
DRAWN BY:	SO
JOB NO.:	SNR19-0079-00

SHEET
E1.3

Mon, 01 Feb 2021

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