

**CITY OF TRACY**  
**DETERMINATION OF THE DEVELOPMENT SERVICES DEPARTMENT DIRECTOR**  
**Application Number D20-0016**

A determination of the Development Services Department Director approving Development Review Permit application number D20-0016 for an approximately one-story 10,020 sq ft multi-tenant medical office building with associated parking and landscaping improvements (Triad Medical Office Building). This project is located on an approximately 1.06-acre site located on Orchard Parkway, between Grant Line Road and Joseph Damon Drive, Assessor's Parcel Number 238-190-23, located within the Grant Line Center office complex. Applicant and Property Owner are Triad Tracy II, L.P.

The following considerations were relevant in evaluating this application:

1. Design of architecture, landscaping, parking, and circulation
2. Relationship with adjacent developments and properties
3. Visibility from Orchard Parkway and common access drives in Grant Line Center

Staff has reviewed the application and determined that the following regulations apply:

1. Tracy Municipal Code
2. City of Tracy Standard Plans
3. City of Tracy Design Goals and Standards
4. California Building Code
5. California Fire Code
6. Multi-Agency Post-Construction Stormwater Standards

The Development Services Department Director has determined that the project is categorically exempt from CEQA pursuant to Guidelines Section 15332, pertaining to in-fill development projects. The project occurs within city limits, is consistent with the general plan and zoning, is no more than five acres in size substantially surrounded by urban uses, has no value as habitat for endangered, rare, or threatened species, and would not result in any significant effects relating to traffic, noise, air quality, or water quality beyond what was analyzed and mitigated in the General Plan environmental impact report. No further environmental assessment is required.

**THE DEVELOPMENT SERVICES DEPARTMENT DIRECTOR, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY APPROVES A DEVELOPMENT REVIEW PERMIT FOR THE TRIAD MEDICAL OFFICE BUILDING (APPLICATION NUMBER D20-0016), SUBJECT TO THE ATTACHED CONDITIONS (EXHIBIT "1") AND BASED ON THE FOLLOWING FINDINGS BELOW.**

1. The proposal increases the quality of the project site and enhances the property in a manner that therefore improves the property in relation to the surrounding area and the citizens of Tracy. This development will build out the remaining undeveloped pad site in the Grant Line Center. The new building will match and complement other medical and consumer service buildings in the vicinity. The building is comprised of high quality design through the use of variation in building massing and building planes, use of stone, glass, and stucco materials, dark metal awnings throughout each side of the building. The project site will connect to existing drive aisles and continue through-

circulation and landscaping throughout its new parking area.

2. The proposal, as conditioned, conforms to the Tracy Municipal Code, the City of Tracy General Plan, the Citywide Design Goals and Standards, applicable City Standards, California Building Codes, and California Fire Codes, including land use, building design, off-street parking and circulation, and landscaping design.



04.06.2021

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Andrew Malik

Date of Action

Assistant City Manager/Development Services Department Director

**City of Tracy**  
**Conditions of Approval**  
Triad MOB  
Application Number D20-0016

**A. General Provisions and Definitions.**

**A.1. General.** These Conditions of Approval apply to:

**The Project:** An approximately 10,020 sq ft multi-tenant medical office building with associated parking and landscaping improvements (Triad MOB)

**The Property:** An approximately 1.06-acre site located on Orchard Parkway, between Grant Line Road and Joseph Damon Drive, Assessor's Parcel Number 238-190-23

**A.2. Definitions.**

- a. "Applicant" means any person, or other legal entity, defined as a "Developer."
- b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed Engineer designated by the City Manager, or the Development Services Director, or the City Engineer to perform the duties set forth herein.
- c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code ordinances, resolutions, policies, procedures, , and the City's Design Documents (including the Standard Plans, Standard Specifications, and relevant Public Facility Master Plans).
- d. "Development Services Director" means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
- e. "Conditions of Approval" shall mean the conditions of approval applicable to the Project, Application Number D20-0016. The Conditions of Approval shall specifically include all conditions set forth herein.
- f. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.

A.3. Compliance with submitted plans. Except as otherwise modified herein, the project shall be constructed in substantial compliance with the plans received by the Development Services Department on February 9, 2021, which include the site, civil, floor, roof, elevations, and landscape plans, as well as color and material details.

A.4. Payment of applicable fees. The applicant shall pay all applicable fees for the project, including, but not limited to, development impact fees, building permit fees, plan check

fees, grading permit fees, encroachment permit fees, inspection fees, school fees, or any other City or other agency fees or deposits that may be applicable to the project.

A.5. Compliance with laws. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to:

- the Planning and Zoning Law (Government Code sections 65000, et seq.)
- the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and
- the Guidelines for California Environmental Quality Act (California Administrative Code, title 14, sections 1500, et seq., "CEQA Guidelines").
- California State Title 24 and Title 19

A.6. Compliance with City regulations. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City regulations, including, but not limited to, the Tracy Municipal Code (TMC), Standard Plans, the I-205 Corridor Specific Plan, and Design Goals and Standards.

A.7. Protest of fees, dedications, reservations, or other exactions. Pursuant to Government Code section 66020, including section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

## **B. Development Services Department, Planning Division Conditions**

Contact: Kimberly Matlock (209) 831-6430 [kimberly.matlock@cityoftracy.org](mailto:kimberly.matlock@cityoftracy.org)

B.1. North elevation awnings. Before the approval of a building permit, the applicant shall submit details for window awnings above the windows on the north elevation to match those on the other elevations to the satisfaction of the Development Services Director.

B.2. Parking area. Before the approval of a building permit, the applicant shall submit the following to the satisfaction of the Development Services Director:

B.2.1 Site plans and construction details that demonstrate 12-inch wide concrete curbs along the perimeter of landscape planters where such planters are parallel and adjacent to vehicular parking spaces to provide access to vehicles without stepping into the landscape planters.

B.2.2 Detailed plans that demonstrate the parking stalls are striped in accordance with Standard Plan 141.

B.2.3 Detailed plans that demonstrate sidewalk, landscape planters, and bio-retention areas perpendicular to parking stalls overhang up to 24 inches into the parking stall in place of wheel stops where feasible. Any landscape planter

overhang may not be double-counted toward the required amount of parking area landscaping.

- B.2.4 Bicycle parking spaces shall be provided in accordance with Tracy Municipal Code Section 10.08.3510.
- B.3. Landscaping & irrigation plans. Before the approval of a building permit, the applicant shall provide detailed landscape and irrigation plans consistent with the following to the satisfaction of the Development Services Director:
  - B.3.1. Said plans shall demonstrate compliance with the Tracy Municipal Code Section 10.08.3560 for parking area landscaping. Said plans shall include a planting legend indicating, at minimum, the quantity, planting size, and height and width at maturity and calculations for landscape and canopy tree shading areas.
  - B.3.2. Each planter shall contain a combination of trees, shrubs, and groundcover. Trees shall be a minimum of 24" box size, shrubs shall be a minimum size of 5 gallon, and groundcover shall be a minimum size of 1 gallon at planting.
  - B.3.3. Where trees are planted ten feet or less from a sidewalk or curb, root barriers dimensioned 8 feet long by 24 inches deep shall be provided adjacent to such sidewalk and curb, centered on the tree.
  - B.3.4. Landscape & Irrigation Maintenance. Prior to the issuance of a building permit, the Developer shall execute a two-year landscape and irrigation maintenance agreement and submit financial security, such as a performance bond, to ensure the success of all on-site landscaping for the term of the agreement. The security amount shall be equal to \$2.50 per square foot of the landscaped area or equal to the actual labor and material installation cost of all on-site landscaping and irrigation.
- B.4. Landscaping & irrigation installation. Prior to final inspection or certificate of occupancy, all landscaping and irrigation substantially conforming with the development review permit plans dated February 9, 2021 and the approved building permit construction plans shall be installed to the satisfaction of the Development Services Director.
- B.5. Lighting. Before the issuance of a building permit, the applicant shall submit detailed plans that demonstrate a minimum of one foot candle throughout the parking area as defined in TMC Section 10.08.3450.
- B.6. Screening utilities and equipment. Before the approval of a building permit, the applicant shall submit detailed plans that demonstrate the following:
  - B.6.1. No roof mounted equipment, including, but not limited to, HVAC units, vents, fans, antennas, sky lights and dishes, whether proposed as part of this application, potential future equipment, or any portion thereof, shall be readily visible. The plans shall demonstrate that such equipment is fully screened

from view behind parapet walls equal to or higher than the height of the mounted equipment to the satisfaction of the Development Services Director.

- B.6.2. All vents, gutters, downspouts, flashing, and electrical conduits shall be internal to the structures and other ground-mounted, wall-mounted, or building-attached utilities, including bollards, shall be painted to match the color of the adjacent surfaces or otherwise designed in harmony with the building exterior to the satisfaction of the Development Services Director.
- B.6.3. All PG&E transformers, phone company boxes, Fire Department connections, backflow preventers, irrigation controllers, and other on-site utilities, shall be vaulted or substantially screened from view behind structures or landscaping, to the satisfaction of the Development Services Director.
- B.7. Signs. Prior to the installation of any signs requiring a sign permit, the applicant shall obtain applicable sign and building permits in accordance with the Tracy Municipal Code.

### **C. Development Services Department, Engineering Division Conditions**

Contact: Majeed Mohamed (209) 831-6425 [majeed.mohamed@cityoftracy.org](mailto:majeed.mohamed@cityoftracy.org)

#### **C.1. General Conditions**

Developer shall comply with the applicable sections of approved documents and/or recommendations of the technical analyses/reports prepared for the Project listed as follows:

- 1) Traffic Memorandum prepared by Kimley Horn and Associates dated February 24, 2021.
- 2) Storm Drain Memorandum by Wood Rodgers dated February 24, 2021.
- 3) Water Supply Memorandum by Black Water Consulting Engineers dated December 11, 2020.
- 4) Sanitary Sewer Memorandum by Black Water Consulting Engineers dated January 15, 2021.

#### **C.2. RESERVED**

#### **C.3. RESERVED**

#### **C.4. Grading Permit**

All grading work (on-site and off-site) shall require a Grading Plan. All grading work shall be performed and completed in accordance with the recommendation(s) of the Project's Registered Geotechnical Engineer. Prior to release of a Grading Permit, Developer shall provide all documents related to said Grading Permit required by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.4.1 Developer has completed all requirements set forth in this section.

- C.4.2 Developer has obtained the approval (i.e. recorded easements for slopes, drainage, utilities, access, parking, etc.) of all other public agencies and/or private entities with jurisdiction over the required public and/or private facilities and/or property. Written permission from affected owner(s) will be required to be submitted to the City prior to the issuance of the Grading Permit.
- C.4.3 Developer has obtained a demolition permit to remove any existing structure located within the project's limits.
- C.4.4 All existing on-site water well(s), septic system(s), and leech field(s), if any, shall be abandoned or removed in accordance with the City and San Joaquin County requirements. Developer shall be responsible for all costs associated with the abandonment or removal of the existing well(s), septic system(s), and leech field(s) including the cost of permit(s) and inspection. Developer shall submit a copy of written approval(s) or permit(s) obtained from San Joaquin County regarding the removal and abandonment of any existing well(s), prior to the issuance of the Grading Permit.
- C.4.5 The Improvement Plans for all improvements to serve the Project (on-site and off-site) including the Grading and Drainage Plans shall be prepared in accordance with the City's Subdivision Ordinance (Tracy Municipal Code (TMC) Chapter 12.36), City Design Documents as defined in Title 12 of the TMC, and these Conditions of Approval.
- C.4.6 On-site Grading/Drainage Plans and Improvement Plans shall be prepared on a twenty-four (24) inch x thirty-six (36) inch size four (4) millimeter thick polyester film (mylar). These plans shall use the City's Title Block. Improvement Plans shall be prepared under the supervision of, stamped and signed by a Registered Civil Engineer and Registered Geotechnical Engineer. Developer shall obtain all applicable signatures by City departments and outside agencies (where applicable) on the mylars including signatures by the Fire Marshal prior to submitting the mylars to Engineering Division for City Engineer's signature. Erosion control measures shall be implemented in accordance with the Improvement Plans approved by the City Engineer for all grading work. All grading work not completed before October 15 may be subject to additional requirements as applicable. Improvement Plans shall specify all proposed erosion control methods and construction details to be employed and specify materials to be used during and after the construction.
- C.4.7 Payment of the applicable Grading Permit fees which include grading plan checking and inspection fees, and other applicable fees as required by these Conditions of Approval.
- C.4.8 For Projects on property larger than one (1) acre: Prior to the issuance of the Grading Permit, Developer shall submit to the Utilities Department ([stephanie.hiestand@cityoftracy.org](mailto:stephanie.hiestand@cityoftracy.org)) one (1) electronic copy and one (1) hard copy of the Storm Water Pollution Prevention Plan (SWPPP) as submitted in Stormwater Multiple Applications and Reporting Tracker System (SMARTS) along with either a copy of the Notice of Intent (NOI) with the state-issued

Wastewater Discharge Identification number (WDID) or a copy of the receipt for the NOI. After the completion of the Project, the Developer is responsible for filing the Notice of Termination (NOT) required by SWQCB, and shall provide the City, a copy of the completed Notice of Termination. Cost of preparing the SWPPP, NOI and NOT including the annual storm drainage fees and the filing fees of the NOI and NOT shall be paid by the Developer. Developer shall comply with all the requirements of the SWPPP, applicable Best Management Practices (BMPs) and the Stormwater Post-Construction Standards adopted by the City in 2015 and any subsequent amendment(s).

For Projects on property smaller than one (1) acre: Prior to the issuance of the Grading Permit, the Developer shall submit to the Utilities Department ([stephanie.hiestand@cityoftracy.org](mailto:stephanie.hiestand@cityoftracy.org)) one (1) electronic copy and 1 hard copy of the City of Tracy Erosion and Sediment Control Plan (ESCP) for approval. Cost of preparing the ESCP including any annual storm drainage fees shall be paid by the Developer. Developer shall comply with all the requirements of the ESCP, applicable BMPs and the Post-Construction Stormwater Standards adopted by the City in 2015 and any subsequent amendment(s).

C.4.9 Developer shall provide a PDF copy of the Project's Geotechnical Report signed and stamped by a Registered Geotechnical Engineer. The technical report must include relevant information related to soil types and characteristics, soil bearing capacity, compaction recommendations, retaining wall recommendations, if necessary, paving recommendations, paving calculations such as gravel factors, gravel equivalence, etc., slope recommendations, and elevation of the highest observed groundwater level.

C.4.10 Minor Retaining – Developer shall use reinforced or engineered masonry blocks for retaining soil at property lines when the grade differential among the in-tract lots exceeds twelve (12) inches. Developer will include construction details of these minor retaining walls with the on-site Grading and Drainage Plan. Developer may use slopes among the lots to address the grade differential but said slope shall not exceed a slope gradient of 3 (horizontal) to 1 (vertical) unless a California licensed geotechnical engineer signs and stamps a geotechnical report letter that supports a steeper slope gradient. Slope easements may be required and will be subject to approval by the City Engineer.

Minor Retaining along Project Perimeter – Developer shall use reinforced or engineered masonry blocks for retaining soil along the Project boundary and adjacent property(s) when the grade differential exceeds 12-inches. Developer will include construction details for these minor retaining walls with the on-site Grading and Drainage Plan. Developer may use slopes to address the grade differential but said slope shall not exceed a slope gradient of 3 (horizontal) to 1 (vertical). Slope easements may be subject to approval by the City Engineer and if adjacent and affected property(s) owner(s) grants said easements.

Slopes are an acceptable option as a substitute to engineered retaining walls, where cuts or fills do not match existing ground or final grade with the adjacent

property or public right of way, up to a maximum grade differential of two (2) feet, subject to approval by the City Engineer.

Slope easements will be recorded, prior to the issuance of the Grading Permit. The Developer shall be responsible to obtain and record slope easement(s) on private properties, where it is needed to protect private improvements constructed within and outside the Project, and a copy of the recorded easement document must be provided to the City, prior to the issuance of the Grading Permit.

Walls - Developer shall show proposed retaining walls and masonry walls on the on-site Grading and Drainage Plan. The Developer is required to submit improvement plans, construction details, and structural calculations for retaining walls and masonry walls to Building and Safety. Retaining wall and masonry wall design parameters will be included in the geotechnical report.

#### C.4.11 RESERVED

C.4.12 Developer shall provide a copy of the approved Air Impact Assessment (AIA) with an Indirect Source Review (ISR) from San Joaquin Valley Air Pollution Control District (SJVAPCD).

C.4.13 Developer shall abandon or remove all existing irrigation structures, channels and pipes, if any, as directed by the City after coordination with the irrigation district, if the facilities are no longer required for irrigation purposes. If irrigation facilities including tile drains, if any, are required to remain to serve existing adjacent agricultural uses, the Developer will design, coordinate and construct required modifications to the facilities to the satisfaction of the affected agency and the City. Written permission from irrigation district or affected owner(s) will be required to be submitted to the City prior to the issuance of the Grading Permit. The cost of relocating and/or removing irrigation facilities and/or tile drains is the sole responsibility of the Developer.

C.4.14 If the Project contains overhead utilities, the Developer shall underground existing overhead utilities such as electric, TV cable, telephone, and others. Each dry utility shall be installed at the location approved by the respective owner(s) of dry utility and the Developer shall coordinate such activities with each utility owner. All costs associated with the undergrounding shall be the sole responsibility of the Developer and no reimbursement will be due from the City. Developer shall submit undergrounding plans.

C.4.15 If at any point during grading that the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and subsequent Cultural Resource Policy or mitigation in any applicable environmental document.

#### C.5. Encroachment Permit

All construction activity involving public improvements will require an approved encroachment permit in conjunction with a City Engineer signed improvement plans. Any construction activity involving public improvements without an approved encroachment permit or City Engineer signed improvement plans is prohibited. All public improvements shall be performed and completed in accordance with the recommendation(s) of the Project's Registered Civil Engineer. Prior to the release of an encroachment permit, the Developer shall provide all documents related to said improvements required by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

C.5.1. Public Infrastructure Improvement Plans prepared on a twenty-four (24) inch x thirty-six (36) inch size four (4) millimeter thick mylar that incorporate all requirements described in the documents described in these Conditions of Approval, the City's Design Documents as defined in Title 12 of the Tracy Municipal Code. Developer shall use the latest title block and, if necessary, contain a signature block for the Fire Marshal. Improvement Plans shall be prepared under the supervision of, and stamped and signed by a Registered Civil, Traffic, Electrical, Mechanical Engineer, and Registered Landscape Architect for the relevant work. Developer shall obtain all applicable signatures by City departments and outside agencies (where applicable) on the mylars including signatures by Fire Marshal to submitting the mylars to Engineering Division for City Engineer's signature. The improvement plans shall be prepared to specifically include, but not be limited to, the following items:

C.5.1.a. All existing and proposed utilities such as domestic water line, irrigation service, fire service line, storm drain, and sanitary sewer, including the size and location of the pipes.

C.5.1.b. All supporting engineering calculations, materials information or technical specifications, cost estimate, and technical reports. All improvement plans shall contain a note stating that the Developer (or Contractor) will be responsible to preserve and protect all existing survey monuments and other survey markers such as benchmarks.

C.5.1.c. A PDF copy of the Project's approved Geotechnical/Soils Report that was prepared for the grading permit submittal.

C.5.1.d. Storm Water - The Project's on-site storm water drainage connection to the City's storm water system shall be approved by the City Engineer. Drainage calculations for the sizing of the on-site storm drainage system. Improvement Plans to be submitted with the hydrology and storm water.

Storm drainage release point is a location at the boundary of the Project adjacent public right-of-way where storm water leaves the Property, in a storm event and that the Property's on-site storm drainage system fails to function or it is clogged. Site grading shall be designed such that the Project's storm drainage overland

release point will be directly to an adjacent public street with a functional storm drainage system and the existing storm drainage line has adequate capacity to drain storm water from the Property. The storm drainage release point is recommended to be at least 0.70-feet lower than the building finish floor elevation and shall be designed and improved to the satisfaction of the City Engineer.

The Project's permanent storm drainage connection(s) shall be designed and constructed in accordance with City Regulations. The design of the permanent storm drainage connection shall be shown on the Grading and Drainage Plans with calculations for the sizing of the storm drain pipe(s), and shall comply with the applicable requirements of the City's storm water regulations adopted by the City Council in 2012 and any subsequent amendments.

The storm water treatment system shall be located on private property and shall be at least off-set from the right-of-way by one (1) foot.

C.5.1.e. Sanitary Sewer - It is the Developer's responsibility to design and construct the Project's permanent on-site sanitary sewer (sewer) improvements including the Project's sewer connection in accordance with the City's Design Standards, City Regulations and Standard Specifications. Sewer improvements shall include but not limited to, replacing asphalt concrete pavement, reconstructing curb, gutter and sidewalk, restoring pavement marking and striping, and other improvements that are disturbed as a result of installing the Project's permanent sewer connection. Developer shall submit improvement plans that include the design of the sewer line from the Property to the point of connection.

Developer is hereby notified that the City will not provide maintenance of the sewer lateral within the public right-of-way unless the sewer cleanout is located and constructed in conformance with Standard Plans. The City's responsibility to maintain on the sewer lateral is from the wye/onsite sewer manhole at the right-of-way line/property line/wye fitting to the point of connection with the sewer main.

C.5.1.f. Water Distribution - Developer shall design and construct domestic and irrigation water service that comply with the City Regulations. Water line sizing, layout and looping requirements for this Project shall comply with City Regulations. During the construction of the Project, the Developer is responsible for providing water infrastructure (temporary or permanent) capable of delivering adequate fire flows and pressure appropriate to the various stages of construction and as approved by the Fire Marshal.

Interruption to the water supply to the existing businesses and other users will not be allowed to facilitate construction of improvements related to the Project. Developer shall be responsible for notifying business owner(s) and users, regarding construction work. The written notice, as approved by the City Engineer, shall be delivered to the affected residents or business owner(s) at least seventy-two (72) hours before start of work. Prior to starting the work described in this section, the Developer shall submit a Work Plan acceptable to the City that demonstrates no interruptions to the water supply, and Traffic Control Plan to be used during the installation of the off-site water mains and connections.

The Project's water service connections shall use a remote-read (radio-read) master water meter (the water meter to be located within City's right-of-way) and a Reduced Pressure Type back-flow protection device in accordance with City Regulations. The domestic and irrigation water service connection(s) must be completed before the inspection of the building. The location of the meters shall be approved by the City Engineer.

After final inspection of the improvements constructed via an encroachment permit, repair and maintenance of the water service from the water meter to the point of connection with the water distribution main in the street shall be the responsibility of the City. Water service repairs after the water meter is the responsibility of the Developer or individual lot owner(s).

Prior to improvement acceptance, repair and maintenance of all on-site water lines, laterals, sub-water meters, valves, fittings, fire hydrant and appurtenances shall be the responsibility of the Developer or the individual lot owner(s).

All costs associated with the installation of the Project's water connection(s) including the cost of removing and replacing asphalt concrete pavement, pavement marking and striping such as crosswalk lines and lane line markings on existing street or parking area(s) that may be disturbed with the installation of the permanent water connection(s), or domestic water service, and other improvements shall be paid by the Developer.

C.5.1.g. Streets – Developer shall construct the project's frontage improvements. Frontage improvements include but are not limited to the following: curb, gutter, sidewalk, street widening, landscaping, street lighting, undergrounding of overhead utilities and other improvements. All streets and utilities improvements within City right-of-way shall be designed and constructed in accordance with City Regulations, and City's Design Standards including the City's Facilities Master Plan for storm drainage, roadways, wastewater,

and water as adopted, amended, and updated by the City, or as otherwise specifically approved by the City.

In terms of the Project's utility connections, Developer shall use existing utility stubs. If the stubs are not present or additional utility connections are required, the pavement restoration shall conform to C.8.1 of these Conditions.

Along the project frontage, Developer shall landscape and irrigate the existing parkways per current adopted City landscape standards. Landscape and irrigation plans shall be prepared on a 24-inch x 36-inch size 4-millimeter thick mylar that incorporate all requirements described in the documents described in these Conditions of Approval, the City's Design Documents as defined in Title 12 of the Tracy Municipal Code. Developer shall use the latest title block. Said landscape and irrigation plan shall be prepared by a California licensed landscape architect. Developer can either protect-in-place the existing sidewalk and repair any cracked, settled, and/or damaged sidewalk or remove and replace the sidewalk so long as the replacement sidewalk is similar to the current sidewalk, i.e. similar width, meanders, etc. Developer shall also install street trees in the landscaped area between the existing meandering sidewalk and the curb and gutter. On the opposite side of the sidewalk, Developer shall install additional street trees, shrubs, ground cover, and other landscaping as required. The landscaping and irrigation shall conform to MWELO standards. If recommended, Developer shall use structural soil if the street trees' well is narrower than five (5) feet wide. Developer shall also remove existing sign monument and its appurtenances, and any other existing items such as bollards, mailboxes, etc.

- C.5.2. Joint Trench Plans and Composite Utility Plans, prepared on a twenty-four (24) inch x thirty-six (36) inch size four (4) millimeter thick mylar for the installation of dry utilities such as electric, gas, TV cable, telephone, and others that will be located within the twenty-four (24) feet wide to forty-six (46) feet wide [the width varies] PUE to be installed to serve the Project. All private utility services to serve Project must be installed underground or relocated to be underground, and to be installed at the location approved by the respective owner(s) of the utilities from the street or an existing or proposed utility easement to the building(s). If necessary, the Developer shall dedicate ten (10) feet wide PUE for access to these new utilities for re-installation, replacement, repair, and maintenance work to be performed by the respective utility owner(s) in the future.
- C.5.3. Signed and stamped Engineer's Estimate that summarizes the cost of constructing all the public improvements shown on the Improvement Plans. The cost estimate shall show the cost of designing the public improvements.

Payment of applicable fees required by these Conditions of Approval and City Regulations, including but not limited to, plan checking, grading and

encroachment permits and agreement processing, construction inspection, and testing fees. The engineering review fees will be calculated based on the fee rate adopted by the City Council on September 2, 2014, per Resolution 2014-141 and on May 16, 2017, per Resolution 2017-098. Developer shall submit payment in the form of a check for the aforementioned fees.

C.5.4. Traffic Control Plan - Prior to starting the work for any work within City's right-of-way, the Developer shall submit a Traffic Control Plan (TCP). TCP can be split among the different construction phases. TCP will show the method and type of construction signs to be used for regulating traffic at the work areas within these streets. TCP shall conform to the Manual on Uniform Traffic Control Devices as amended by the State of California, latest edition (MUTCD-CA). TCP shall be prepared under the supervision of, signed and stamped by a Registered Civil Engineer or Registered Traffic Engineer.

Access and Traffic Circulation to Existing Businesses/Residents - Developer shall take all steps necessary to plan and construct site improvements such that construction operations do not impact safety and access (including emergency vehicles) to the existing businesses and residents throughout the duration of construction. Developer shall coordinate with the owners and cooperate to minimize impacts on existing businesses. All costs of measures needed to provide safe and functional access shall be borne by the Developer.

C.5.5. No street trench shall be left open, uncovered, and/or unprotected during night hours and when the Developer's contractor is not performing construction activities. Appropriate signs and barricades shall be installed on the street and on all trenches during such times. If the Developer or its contractor elects to use steel plates to cover street trenches, said steel plates will be skid-resistance, and shall be ramped on all sides. Ramps will be a minimum two-foot wide and will run the entire length of each side.

C.5.6. If at any point during utility installation or construction in general that the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and subsequent Cultural Resource Policy or mitigation in any applicable environmental document.

C.5.7 RESERVED

C.5.8 Off-site Public Improvements - Prior to the Developer commencing construction of off-site public improvements, Developer, if required, shall possess a fully executed Encroachment Permit. Developer shall also complete all of the following requirements to the satisfaction of the City Engineer:

Developer has received City signed improvement plans.

Developer has paid all required processing fees including plan check and inspection fees.

Improvement Security - Developer shall provide improvement security for all public facilities, as required by the Improvement Agreement. The form of the improvement security may be a bond, or other form in accordance with the Government Code, and the TMC. The amount of the improvement security shall be in accordance with Title 12 of the TMC.

Insurance – Developer shall provide written evidence of insurance coverage that meets the terms of the Improvement Agreement.

C.6. Building Permit

Prior to the release of a building permit within Project boundaries, the Developer shall demonstrate, to the satisfaction of the City Engineer, compliance with all required Conditions of Approval, including, but not limited to, the following:

- C.6.1 Developer has completed all requirements set forth in Condition C.1, through C.5, above.
- C.6.2 Developer pays the applicable development impact fees as required in the TMC, these Conditions of Approval, and City Regulations.
- C.6.3 RESERVED
- C.6.4 Developer has completed all requirements set forth Condition C.8

C.7 Acceptance of Public Improvements

Prior to the consideration of City Council's acceptance of public improvements, the Developer shall demonstrate to the reasonable satisfaction of the City Engineer, completion of the following:

- C.7.1 Developer has satisfied all the requirements set forth in these Conditions of Approval.
- C.7.2 Developer submitted the Storm water Treatment Facilities Maintenance Agreement (STFMA) to the Utilities Department.
- C.7.3 Developer has satisfactorily completed construction of all required/conditioned improvements. Unless specifically provided in these Conditions of Approval, or some other applicable City Regulations, the Developer shall use diligent and good faith efforts in taking all actions necessary to construct all public facilities required to serve the Project, and the Developer shall bear all costs related to construction of the public facilities (including all costs of design, construction, construction management, plan check, inspection, land acquisition, program implementation, and contingency).

- C.7.4 Certified "As-Built" Improvement Plans (or Record Drawings). Upon completion of the construction by the Developer, the City, at its sole discretion, temporarily release the original mylars of the Improvement Plans to the Developer so that the Developer will be able to document revisions to show the "As-Built" configuration of all improvements.
- C.7.5 Developer shall be responsible for any repairs or reconstruction of street pavement, curb, gutter and sidewalk and other public improvements along the frontage of the Project, if determined by the City Engineer to be in poor condition or damaged by construction activities related to the Project.
- C.7.6 Developer has completed the ninety (90) day public landscaping maintenance period.
- C.7.7 Per Section 21107.5 of the California Vehicle Code, Developer shall install signs at all entrance(s) of the Project stating that the streets are privately owned and maintained and are not subject to the public traffic regulations or control. Said signs must be conspicuously placed, plainly visible, and legible during daylight hours from a distance of one hundred (100) feet.
- C.7.8 Survey Monuments – Any altered, damaged, or destroyed survey monuments and/or benchmarks shall be re-established. Developer shall submit centerline tie sheets or a record of survey for the following: new public streets; re-established survey monuments, and/or benchmarks. If the Developer destroyed, altered, and/or reconstructed any existing curb returns, Developer shall also submit corner records. Any survey document will be submitted the City and to the San Joaquin County Surveyor to comply with California Business and Professions Code Section 8771(c). Said work shall be executed by a California licensed Land Surveyor at the Developer's sole expense.

C.8 Special Conditions

- C.8.1 When street cuts are made for the installation of utilities, the Developer shall conform to Section 3.14 of the 2020 Design Standards and is required install a two (2) inch thick asphalt concrete (AC) overlay with reinforcing fabric at least twenty-five (25) feet from all sides of each utility trench. A two (2) inch deep grind on the existing AC pavement will be required where the AC overlay will be applied and shall be uniform thickness in order to maintain current pavement grades, cross and longitudinal slopes. This pavement repair requirement is when cuts/trenches are perpendicular and parallel to the street's direction.
- C.8.2 Nothing contained herein shall be construed to permit any violation of relevant ordinances and regulations of the City of Tracy, or other public agency having jurisdiction. This Condition of Approval does not preclude the City from requiring pertinent revisions and additional requirements to the improvement plans, prior to the City Engineer's signature on the improvement plans, and prior to issuance of Grading Permit, Encroachment Permit, Building Permit, if the City Engineer finds it necessary due to public health

and safety reasons, and it is in the best interest of the City. The Developer shall bear all the cost for the inclusion, design, and implementations of such additions and requirements, without reimbursement or any payment from the City.

- C.8.3 Prior to the release of the Grading Permit, if water is required for the project, the Developer shall obtain an account for the water service and register the water meter with the Finance Department. Developer shall pay all fees associated with obtaining the account number for the water service.
- C.8.4 Prior to the release of the Certificate of Occupancy, Developer shall obtain an account for the water service to the Project and register the water meter with the Finance Department. Developer shall prepare and submit a map depicting the location of the water meter on a 8.5-inch X 11-inch sheet to Finance Department.
- C.8.5 Prior to the release of the Grading Permit, if required, Developer shall design or purchase and then construct or install a storm water treatment device and shall be located entirely within private property. Said installation shall be in a manner that does not impose any additional downstream maintenance burdens to the City. Said design and construction methods shall be to the satisfaction of the City Engineer.

#### **D. Utilities Department, Water Resources Division Conditions**

Contact: Stephanie Hiestand (209) 831-6333 [stephanie.hiestand@cityoftracy.org](mailto:stephanie.hiestand@cityoftracy.org)

- D.1. Compliance with Codes. Before the approval of a grading or building permit, the applicant shall demonstrate compliance with Tracy Municipal Code Chapter 11.34 Stormwater Management and Discharge Control and Chapter 11.28 Water Management and with the California Green Building Standards Code Chapter 4 for Residential occupancies. A Stormwater Pollution Prevention Plan (SWPPP) and WDID number will be required prior to a grading permit issuance.
- D.2. Stormwater Quality. Before the approval of a grading or building permit, the applicant shall demonstrate compliance with the Multi-Agency Post-Construction Stormwater Standards (MAPCSWS) adopted July 1, 2015, and obtain approval of an electronically submitted Project Stormwater Plan (PSP) including an operations and maintenance plan from the Water Resources Division in the Utilities Department. The plans shall clearly call out the approximate location and type of stormwater post-construction treatment on a separate Stormwater page, as well as state, "I agree to comply with the requirements of the 2015 Multi-Agency Post-Construction Stormwater Standards and shall submit a complete Project Stormwater Plan to the Water Resources Division of the Utilities Department for approval" to the satisfaction of the Utilities Director. Prior to final inspection for occupancy, the applicant shall have completed the Stormwater Access and Maintenance Agreement for final approval and recording.
- D.3. Landscape plans. Before the approval of a building permit, the applicant shall submit detailed landscape and irrigation plans that demonstrate compliance with the Water

Efficient Landscape Ordinance to the satisfaction of the Utilities Director by submitting electronically for approval a partial landscape document package that includes all but the soils management report and Certificate of Completion. The plans shall include a preliminary landscape and irrigation design as well as state, "I agree to comply with the requirements of the Water Efficient Landscape Ordinance and shall submit a complete Landscape Documentation Package with construction documents" on said page. The applicant shall also submit an owner signed Project Information Sheet to the Utilities Department. Prior to final inspection for occupancy, the applicant shall electronically submit a complete Landscape Document Package for final approval.

## **E. Development Services Department, Building & Fire Safety Conditions**

Contact: Chrystle Takehara (209) 831-6486 [chrystle.takehara@cityoftracy.org](mailto:chrystle.takehara@cityoftracy.org)

- E.1. At time of building permit submittal, applicant to clearly identify proposed anticipated occupancy and use (I2.1 for Ambulatory Health Facility for 6 or more patients) for areas to comply with applicable requirements in CBC 422, CBC1226 and CBC 1224 for OSHPD 3.
- E.2. At time of building permit submittal, applicant to clarify where addressing will be provided to meet requirements of Tracy Municipal Code for addressing. If a 3<sup>rd</sup> tenant is provided in the triangular area, the addressing must be visible along Orchard Parkway for emergency vehicles to respond.
- E.3. At time of building permit submittal, applicant to provide illumination along the path of travel for the exit discharge from each exit to the public way as per 1008.2. The means of egress illumination level shall be not less than 1 footcandle.
- E.4. At time of building permit submittal, applicant to specify the number of control areas, types of hazardous materials, maximum amount of storage of hazardous materials and storage methods meet CBC Table 307.1 and CBC Section 406.8.
- E.5. At time of building permit submittal, applicant to update and provide analysis for CalGreen requirements to match current CalGreen requirements for cold dark shell. Provided version references the 2013 codes. Provide commissioning for new buildings 10,000 square feet and over as per CalGreen 5.410 for phased projects per 303.1 for building components and systems considered to be new construction such as the HVAC equipment.
- E.6. At time of building permit submittal, applicant to provide an accessible path of travel as per 11B-202.4 to all accessible facilities on site, including the accessible trash enclosure. Also, per sheet E1.0, the property line extends beyond what was shown in A1.1.
- E.7. At time of building permit submittal, applicant to show shared use access agreements for utilities.

- E.8. At time of building permit submittal, applicant to provide calculation for new proposed gas line, including existing connections to existing building B, facilities, and equipment.
- E.9. At time of building permit submittal, applicant to indicate PG&E easement for transformer due to proposed location within the property.
- E.10. At time of building permit submittal, applicant shall show the passenger drop-off and loading meet requirements of CBC 11B-503.4. Section B indicates a gutter along the passenger drop-off and loading zone. This area should be restricted to a 1:48 slope.
- E.11. Applicant shall submit a building permit application along with all pertinent construction documents such as plans, specifications, and/or calculations to the Building Safety Division prior to the construction of Type II Construction building shell for one-story 10,000 SF Medical Office Building. Construction documents shall conform to the Title 24 California Code of Regulations edition effective on the date of application for a building permit.

## **F. South San Joaquin County Fire Authority Conditions**

Contact: Courtney Wood (209) 831-6700 [courtney.wood@sjcfire.org](mailto:courtney.wood@sjcfire.org)

- F.1. Prior to construction, applicant shall submit construction documents to the South San Joaquin County Fire Authority (SSJCFA) for review and approval.
  - a. Construction documents shall be designed to the current edition of the California Code of Regulations, Title 24, as amended by the City of Tracy Municipal Code.
  - b. Construction documents shall list South San Joaquin County Fire Authority as the local fire district, in lieu of City of Tracy.
  - c. Deferred submittals shall be listed on the coversheet of each page. Each deferred submittal shall be submitted, reviewed and approved by SSJCFA prior to installation.
    - i. Fire Sprinklers
    - ii. Fire Alarm
    - iii. Underground Fire Service
  - d. Indicate on the construction plans if fire sprinklers are proposed. If proposed, the following items will be required:
    - i. A request for fire flow shall be submitted to the South San Joaquin County Fire Authority and results shall be approved by the Fire Marshal prior to construction. Fire flow requirements shall be in accordance with CFC Appendix B.
    - ii. Fire protection water supply must be submitted separately from construction permit. All piping and installation shall be in accordance with CFC §507 & NFPA standards. Approval of grading and/or on-site improvements does not grant installation of underground fire service.
    - iii. Fire sprinklers shall be designed by a licensed fire protection contractor or engineer. Hydraulic calculations, specifications and plans shall be submitted for review and approval prior to installation of the fire sprinklers.
- F.2. Construction applications received by our offices are subject to the current fee schedule for South San Joaquin County Fire Authority.

- a. Application processing fees and minimum plan review fees are due at time of submittal of construction documents.
- b. Additional plan review fees, minimum inspection fees and administrative fees are calculated on approval of project and shall be paid prior to issuance of permit.
- c. Permit holder is responsible for any additional inspection fees incurred, and shall be paid prior to final inspection.

F.3. Prior to occupancy of each new business, the tenant shall contact South San Joaquin County Fire Authority for a new business inspection. Additional fees may be required for New Business, Annual and Operational Fire Permits. All fees shall be paid prior to approval of inspections.

F.4. Prior to construction, all-weather fire apparatus access roads shall be installed. Fire apparatus access roads during construction shall have a minimum 20' unobstructed width in accordance with CFC §503.

F.5. All hydrants shall be installed, inspected and tested prior to bringing combustible materials onsite, including storage.

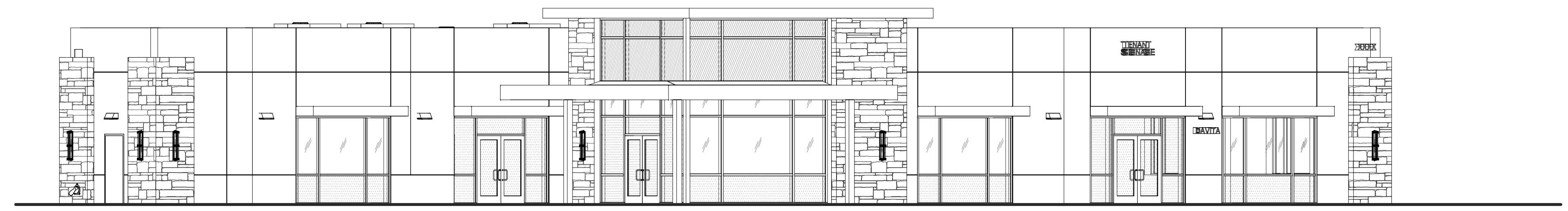
F.6. Knox boxes shall be required. Each tenant shall have keys placed in the key box. The operator of the building shall immediately notify the Fire Authority and provide the new key where a lock is changed or rekeyed. The key to such shall be secured in the key box.

F.7. Building and each tenant space shall be provided with approved address identification in accordance with CFC §505.

F.8. Prior to final inspection, emergency radio responder coverage shall be tested to confirm coverage areas. It is beneficial for the applicant to conduct testing at foundation as retrofitting for the conduit is costly. If coverage is inadequate, a separate permit for emergency radio responder coverage shall be submitted to SSJCFA for review and approval prior to installation.  
Additional improvements may warrant additional testing to be performed. Testing shall be the determination of the fire code official.

# ONE-STORY MEDICAL OFFICE BUILDING

ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377



RECEIVED  
February 9, 2021  
City of Tracy  
Development Services

## SHEET INDEX

### ARCHITECTURAL

A0.1 COVER SHEET  
A0.4 CAL GREEN NOTES  
A0.4a CAL GREEN NOTES  
A0.5 PERSPECTIVES  
A1.1 SITE PLAN  
A1.2 SITE SECTION  
A2.1 FLOOR PLAN  
A3.1 ROOF PLAN  
A4.1 EXTERIOR ELEVATIONS  
A4.2 EXTERIOR ELEVATIONS, RENDERED  
A5.0 BUILDING SECTIONS  
A8.1 SITE DETAILS  
A8.1a SITE DETAILS

ARCHITECTURAL SHEET COUNT: 13

### CIVIL

C1.0 COVER SHEET  
C2.0 EXISTING CONDITIONS  
C2.1 DEMOLITION PLAN  
C3.0 GRADING & DRAINAGE PLAN  
C4.0 UTILITY PLAN  
C4.1 FIRE SERVICE PLAN  
C4.1a FIRE SERVICE PLAN  
C5.0 DETAILS & SECTIONS  
C6.0 PRELIMINARY PROJECT STORMWATER PLAN  
C8.1 PRELIMINARY PROJECT STORMWATER PLAN DETAILS  
CIVIL SHEET COUNT: 10

### MECHANICAL

M3.0 MECHANICAL ROOF PLAN  
MECHANICAL SHEET COUNT: 1

### ELECTRICAL

E1.0 ELECTRICAL PHOTOMETRIC PLAN  
E1.2 LIGHTING CUTSHEET AND DETAILS  
E1.3 LIGHTING CUTSHEET AND DETAILS  
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### LANDSCAPE

L1.1 PRELIMINARY PLAN  
L1.2 PLANT IMAGES & WELD CALCS  
L1.3 PARKING LOT SHADE PLAN  
LANDSCAPE SHEET COUNT: 3

### DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEERS OF RECORD WHO SHALL REVIEW AND PROVIDE NOTATION INDICATING DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE BUILDING DESIGN. SUBMITTAL MATERIALS SHALL INCLUDE PLANS, DETAILS AND CALCULATIONS PREPARED AND SIGNED BY A STATE REGISTERED ENGINEER.

CONTRACTOR SHALL SUBMIT ARCHITECT AND ENGINEER REVIEWED SUBMITTAL MATERIALS TO THE BUILDING OFFICIAL FOR REVIEW AND PERMIT APPROVAL. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED PRIOR TO OBTAINING THE BUILDING OFFICIAL'S APPROVAL OF THE SUBMITTAL.

1. AUTOMATIC FIRE SPRINKLER SYSTEM.
2. FIRE ALARM SYSTEM.
3. STEEL JOISTS, TRUSSES AND GIRDERS CONFORMING TO SJI STANDARDS SPECIFICATIONS.
4. EXTERIOR BUILDING SIGNAGE.
5. ANCHORAGE DESIGN FOR ALL ELECTRICAL EQUIPMENT REQUIRED.
6. STOREFRONT AND CURTAIN WALL GLAZING SYSTEMS.

### ARCHITECT'S CONSULTANTS

#### STRUCTURAL ENGINEER

KRAMER ENGINEERING, INC.  
2002 DOW AVENUE, SUITE 136  
TURIN, CALIFORNIA 92780

DAVE KRAMER  
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dave@kramerengineeringinc.com

#### MECHANICAL ENGINEER

ACIES  
3371 OLcott STREET  
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#### PLUMBING ENGINEER

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#### LANDSCAPE ARCHITECT

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RICK STOVER  
PH: (925) 993-2583  
rstover@baak.com

WARE MALCOMB  
Leading Design for Commercial Real Estate

ONE-STORY MEDICAL OFFICE  
BUILDING  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377

A0.1  
SHEET  
A0.1  
NOT TO SCALE

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRIORITY OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

## CAL Green GENERAL NOTES

1. THESE DOCUMENTS HAVE BEEN CREATED IN CONFORMANCE WITH THE REQUIRED DESIGN RELATED CODE REQUIREMENTS. CONSTRUCTION RELATED ACTIVITIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
2. WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION, ANY THIRD PARTY COMMISSIONING AGENT AND/OR SPECIAL INSPECTORS REQUIRED TO PROVIDE VERIFICATION OF COMPLIANCE WITH THE FOLLOWING REQUIREMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE TENANT/BUILDING OWNER.
3. ANY MATERIAL OR PRODUCT SUBSTITUTIONS MADE BY THE GENERAL CONTRACTOR SHALL BE IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR PRIOR REVIEW. ANY REQUESTED SUBSTITUTIONS THAT ARE NOT IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS WILL BE REJECTED AND THE GENERAL CONTRACTOR WILL BE REQUIRED TO FURNISH THE SPECIFIED PRODUCT/MATERIAL AT NO ADDITIONAL COST.
4. IT IS HIGHLY ENCOURAGED THAT THE GENERAL CONTRACTOR REVIEW THE SAMPLE WORKSHEETS PROVIDED IN CHAPTER 8 OF THE 2016 CALIFORNIA GREEN BUILDINGS STANDARDS CODE IN PREPARATION FOR THE REQUIRED DOCUMENTS RELATED TO CONSTRUCTION WASTE MANAGEMENT.
5. IN THE EVENT OF ANY DISCREPANCY BETWEEN THIS DOCUMENT AND THE CURRENT 2016 CALIFORNIA GREEN BUILDINGS STANDARDS CODE, INCLUDING AMENDMENTS, THE TEXT OF THE CODE AND AMENDMENTS SHALL GOVERN.

INSTALLER AND SPECIAL INSPECTOR  
QUALIFICATIONS

## SECTION 702 QUALIFICATIONS

## 702.1 INSTALLER TRAINING

HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS, INCLUDING DUCTS AND DUCTWORK. A STATEWIDE ORGANIZATION, RECOGNIZED TRAINING OR CERTIFICATION PROGRAM, UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS. EXAMPLES OF ACCEPTABLE HVAC TRAINING AND CERTIFICATION PROGRAMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

1. STATE CERTIFIED APPRENTICESHIP PROGRAMS
2. PUBLIC UTILITY TRAINING PROGRAMS
3. TRAINING PROGRAMS SPONSORED BY TRADE, LABOR, OR STATE-WIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATIONS
4. PROGRAMS SPONSORED BY MANUFACTURING ORGANIZATIONS
5. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY

## 702.2 SPECIAL INSPECTION

BCS WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION, THE SPECIAL INSPECTOR SHALL HAVE A CERTIFICATION FROM A RECOGNIZED STATE, NATIONAL OR INTERNATIONAL ASSOCIATION AS DETERMINED BY THE LOCAL AGENCY. THE AREA OF CERTIFICATION SHALL BE SPECIFICALLY RELATED TO THE PRIMARY JOB FUNCTION, AS DETERMINED BY THE LOCAL AGENCY.

NOTE: SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.

## SECTION 703 VERIFICATIONS

## 703.1 DOCUMENTATION

DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, DRAWINGS, OR INSTALLER CERTIFICATION. INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

## SECTION 5.106 SITE DEVELOPMENT

## 5.106.1 STORM WATER POLLUTION PREVENTION

NEWLY CONSTRUCTED PLANS AND ADDITIONS WHICH DISTURB LESS THAN ONE ACRE OF LAND SHALL PREVENT THE POLLUTION OF STORMWATER RUNOFF FROM THE CONSTRUCTION ACTIVITIES THROUGH ONE OR MORE OF THE MEASURES DESCRIBED IN SECTION 5.106.1.1 AND 5.106.1.2

## 5.106.1.1 LOCAL ORDINANCE

## 5.106.1.2 BEST MANAGEMENT PRACTICES (BMP)

SEE (PROVIDE DRAWINGS TITLE AND ARCH OR CONSULTANT SHEET NUMBER)

## 5.106.4 BICYCLE PARKING

COMPLY WITH SECTIONS 5.106.4.1 AND 5.106.4.2; OR MEET LOCAL ORDINANCE, WHICHEVER IS STRICTER.

SEE ARCHITECTURAL SHEET A.1

## 5.106.4.1.1 SHORT-TERM BICYCLE PARKING

IF THE PROJECT IS ANTICIPATED TO GENERATE VISITOR TRAFFIC, PROVIDE PERMANENTLY ANCHORED BICYCLE RACKS WITHIN 200 FEET OF THE VISITOR'S ENTRANCE, READILY VISIBLE TO PASSERS-BY, FOR 5 PERCENT OF VISITOR MOTORIZED VEHICLE PARKING CAPACITY, WITH A MINIMUM OF ONE TWO-BIKE CAPACITY RACK.

53 STALLS PROVIDED X 5% = 3 REQUIRED X SPACES PROVIDED

## 5.106.4.1.2 LONG-TERM BICYCLE PARKING

FOR BUILDINGS WITH OVER 10 TENANT-OCCUPANTS, PROVIDE SECURE BICYCLE PARKING FOR 5 PERCENT OF MOTORIZED VEHICLE PARKING CAPACITY. ACCEPTABLE PARKING FACILITIES SHALL BE CONVENIENT FROM THE STREET. SHALL MEET ONE OF THE CRITERIA LISTED IN THIS SECTION.

53 STALLS PROVIDED X 5% = 3 REQUIRED X SPACES PROVIDED

## 5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES

PROVIDE 10% DESIGNATED PARKING FOR ANY COMBINATION OF LOW-EMITTING, FUEL-EFFICIENT AND CARPOOL/VAN PARKING VEHICLES.

## TABLE 5.106.5.2

TOTAL NUMBER OF PARKING SPACES REQUIRED	NUMBER OF REQUIRED SPACES
0-9	0
10-25	1
26-50	3
51-75	6
76-100	8
101-150	11
151-200	16
201 AND OVER	AT LEAST 8 PERCENT OF TOTAL

53 TOTAL 6 REQUIRED, 6 PROVIDED  
SEE SHEET A.1 FOR THE LOCATIONS OF LOW-EMITTING, FUEL-EFFICIENT AND CARPOOL/VAN PARKING STALLS.

## CAL GREEN NOTES

REMARKS
PLANNING SUBMITTAL
PLANNING DEPT SUBMITTAL #3
02/28/2020

## ONE-STORY MEDICAL OFFICE BUILDING ORCHARD PARKWAY TRACY, CALIFORNIA 95377

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WARE MALCOMB  
Leading Design for Commercial Real Estate

A0.4

**SECTION 5.4.10 BUILDING MAINTENANCE AND OPERATION**

**5.4.10.1 RECYCLING BY OCCUPANTS.**

PROVIDE READILY ACCESSIBLE AREAS THAT SERVE THE ENTIRE BUILDING AND ARE IDENTIFIED FOR THE DEPOSITING, STORAGE AND COLLECTION OF NON-HAZARDOUS MATERIALS FOR RECYCLING, INCLUDING (AT A MINIMUM) PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS AND METALS OR MEET A LAWFULLY ENACTED LOCAL RECYCLING ORDINANCE, IF MORE RESTRICTIVE.

**5.4.10.1.1 ADDITIONS, [A]**

ALL ADDITIONS CONDUCTED WITHIN A 12-MONTH PERIOD UNDER SINGLE OR MULTIPLE PERMITS, RESULTING IN AN INCREASE OF 30 PERCENT OR MORE IN FLOOR AREA, SHALL PROVIDE RECYCLING AREAS ON SITE.

**EXCEPTION:**  
ADDITIONS WITHIN A TENANT SPACE RESULTING IN LESS THAN A 30-PERCENT INCREASE IN THE TENANT SPACE FLOOR AREA.

**5.4.10.1.2 SAMPLE ORDINANCE.**

SPACE ALLOCATION FOR RECYCLING AREAS SHALL COMPLY WITH CHAPTER 18, PART 3, DIVISION 30 OF THE PUBLIC RESOURCES CODE. CHAPTER 18 IS KNOWN AS THE CALIFORNIA SOLID WASTE REUSE AND RECYCLING ACCESS ACT OF 1991 (ACT).

**NOTE:**  
A SAMPLE ORDINANCE FOR USE BY LOCAL AGENCIES MAY BE FOUND IN 5.4.10.1 RECYCLING BY OCCUPANTS.

**THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.**

**5.4.10.2 COMMISSIONING.**

FOR NEW BUILDINGS 10,000 SQUARE FEET AND OVER, BUILDING COMMISSIONING SHALL BE INCLUDED IN THE DESIGN AND CONSTRUCTION PROCESS OF THE BUILDING PROJECT TO VERIFY THAT THE BUILDING SYSTEMS AND COMPONENTS MEET THE OWNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS. COMMISSIONING SHALL BE PERFORMED IN ACCORDANCE WITH THIS SECTION BY TRAINED PERSONNEL WITH EXPERIENCE ON PROJECTS OF COMPARABLE SIZE AND COMPLEXITY. COMMISSIONING REQUIREMENTS SHALL INCLUDE ITEMS 1 THROUGH 7 LISTED IN THIS SECTION.

**EXCEPTIONS:**

1. UNCONDITIONED WAREHOUSES OF ANY SIZE
2. AREAS UNDER 10,000 SQUARE FEET USED FOR OFFICES OR OTHER UNCONDITIONED ACCESSORY SPACES WITHIN UNCONDITIONED WAREHOUSES
3. TENANT IMPROVEMENTS UNDER 10,000 SQUARE FEET AS DESCRIBED IN SECTION 303.1.1
4. COMMISSIONING REQUIREMENTS FOR ENERGY SYSTEMS COVERED BY THE 2013 CALIFORNIA ENERGY CODE.

ALL BUILDING OPERATING SYSTEMS COVERED BY TITLE 24, PART 6, AS WELL AS PROCESS EQUIPMENT AND CONTROLS, AND RENEWABLE ENERGY SYSTEMS SHALL BE INCLUDED IN THE SCOPE OF THE COMMISSIONING REQUIREMENTS.

**5.4.10.2.1 OWNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS (OPR).**

THE EXPECTATIONS AND REQUIREMENTS OF THE BUILDING APPROPRIATE TO THIS PHASE SHALL BE DOCUMENTED BEFORE THE DESIGN PHASE OF THE PROJECT BEGINS. THIS DOCUMENTATION SHALL INCLUDE ITEMS 1 THROUGH 6 LISTED IN THIS SECTION.

**5.4.10.2.2 BASIS OF DESIGN (BOD).**

A WRITTEN EXPLANATION OF HOW THE DESIGN OF THE BUILDING SYSTEMS MEETS THE OPR SHALL BE COMPLETED AT THE DESIGN PHASE OF THE BUILDING PROJECT. THE BASIS OF DESIGN DOCUMENT SHALL COVER ITEMS 1 THROUGH 6 LISTED IN THIS SECTION.

**5.4.10.2.3 COMMISSIONING PLAN**

A COMMISSIONING PLAN DESCRIBING HOW THE PROJECT WILL BE COMMISSIONED SHALL INCLUDE ITEMS LISTED IN SECTION 5.4.10.2.3.

**5.4.10.2.4 FUNCTIONAL PERFORMANCE TESTING.**

FUNCTIONAL PERFORMANCE TEST SHALL DEMONSTRATE THE CORRECT INSTALLATION AND OPERATION OF EACH COMPONENT, SYSTEM AND SYSTEM-TO-SYSTEM INTERFACE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. FUNCTIONAL PERFORMANCE TESTING REPORTS SHALL CONTAIN INFORMATION ADDRESSING EACH OF THE BUILDING COMPONENTS TESTED, THE TESTING METHODS UTIL2D, AND INCLUDE ANY READINGS AND ADJUSTMENTS MADE.

**5.4.10.2.5 DOCUMENTATION AND TRAINING.**

A SYSTEM MANUAL AND SYSTEMS OPERATIONS TRAINING ARE REQUIRED INCLUDING OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) REQUIREMENTS IN CALIFORNIA CODE OF REGULATIONS, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

**5.4.10.2.5.1 SYSTEMS MANUAL.**

THE SYSTEMS MANUAL SHALL BE DELIVERED TO THE BUILDING OWNER OR REPRESENTATIVE AND FACILITES OPERATOR AND SHALL INCLUDE ITEMS LISTED IN SECTION 5.4.10.2.5.1.

**5.4.10.2.5.2 SYSTEMS OPERATIONS TRAINING.**

A PROGRAM FOR TRAINING OF THE APPROPRIATE MAINTENANCE STAFF FOR EACH EQUIPMENT TYPE AND/OR SYSTEM SHALL BE DEVELOPED AND SHALL INCLUDE ITEMS LISTED IN SECTION 5.4.10.2.5.2.

**5.4.10.2.6 COMMISSIONING REPORT.**

A REPORT OF COMMISSIONING PROCESS ACTIVITIES UNDERTAKEN THROUGH THE DESIGN AND CONSTRUCTION PHASES OF THE BUILDING PROJECT SHALL BE COMPLETED AND PROVIDED TO THE OWNER OR REPRESENTATIVE.

**5.4.10.4 TESTING AND ADJUSTING.**

TESTING AND ADJUSTING OF SYSTEMS SHALL BE REQUIRED FOR BUILDINGS LESS THAN 10,000 SQUARE FEET OR NEW SYSTEMS TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 303.1.

**5.4.10.4.2 SYSTEMS.**

DEVELOP A WRITTEN PLAN OF PROCEDURES FOR TESTING AND ADJUSTING SYSTEMS. SYSTEMS TO BE INCLUDED FOR TESTING AND ADJUSTING SHALL INCLUDE, AS APPLICABLE TO THE PROJECT, THE SYSTEMS LISTED IN SECTION 5.4.10.4.2.

## SECTION 5.304 OUTDOOR WATER USE

## 5.304.2 OUTDOOR WATER USE IN LANDSCAPE AREAS EQUAL TO OR GREATER THAN 500 SF.

## 5.304.3 OUTDOOR WATER USE IN REHABILITATED LANDSCAPE PROJECTS EQUAL TO OR GREATER THAN 2,500 SF.

## 5.304.4 OUTDOOR WATER USE IN LANDSCAPE AREAS OF 2,500 SF OR LESS.

## 5.304.5 GRAYWATER OR RAINWATER USE IN LANDSCAPE AREAS.

## 5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.

SEE SHEET LXX FOR APPLICABLE OUTDOOR WATER USE DESIGN INFORMATION.

PROVIDE A WEATHER-RESISTANT EXTERIOR WALL AND FOUNDATION ENVELOPE AS REQUIRED BY CALIFORNIA BUILDING CODE SECTION 1403.2 AND CALIFORNIA ENERGY CODE SECTION 150. MANUFACTURER'S INSTALLATION INSTRUCTIONS, OR LOCAL ORDINANCE, WHICHEVER IS MORE STRINGENT.

SEE SHEETS A2.0 THROUGH A3.1, AND SHEETS A8.2 AND 8.4, SEE ALSO DETAILS ON SHEET A6.1 FOR ENVELOPE WEATHER RESISTANCE.

## 5.407.2 MOISTURE CONTROL

EMPLOY MOISTURE CONTROL MEASURES BY THE FOLLOWING METHODS:

## 5.407.2.1 SPRINKLERS

PREVENT IRRIGATION SPRAY ON STRUCTURES.

SEE IRRIGATION NOTES "HEADS" SHEET L-4

## 5.407.2.2 ENTRIES AND OPENINGS

DESIGN EXTERIOR ENTRIES AND OPENINGS TO PREVENT WATER INTUSION INTO BUILDING.

SEE SHEETS A2.1 THROUGH A3.1, AND SHEETS A8.2 AND A8.4

## 5.407.2.2.1 EXTERIOR DOOR PROTECTION.

PRIMARY EXTERIOR ENTRIES SHALL BE COVERED TO PREVENT WATER INTRUSION BY USING NONABSORBENT FLOOR AND WALL FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO SUCH OPENINGS PLUS AT LEAST ONE OF THE ITEMS 1 THROUGH 4 LISTED IN THIS SECTION.

## 5.407.2.2.2 FLASHING.

INSTALL FLASHINGS INTEGRATED WITH A DRAINAGE PLANE.

## 5.408.1 CONSTRUCTION WASTE MANAGEMENT.

RECYCLING AND/OR SALVAGE FOR USE, MINIMUM OF 65% OF THE NON-HAZARDOUS WASTE, DEMOLITION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 5.408.1.1, 5.408.1.2 OR 5.408.1.3, OR MEET LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY PRIOR TO THE START OF CONSTRUCTION.

## 5.408.1.1 CONSTRUCTION WASTE MANAGEMENT PLAN (MANDATORY)

WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE THAT IS MORE STRINGENT, SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT COMPLIES WITH ITEMS 1 THROUGH 4 OF THIS SECTION.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY PRIOR TO THE START OF CONSTRUCTION.

## 5.408.1.2 WASTE MANAGEMENT COMPANY.

UTILIZE A WASTE MANAGEMENT COMPANY THAT CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLIES WITH THIS SECTION EXCEPTIONS TO SECTION 5.408.1.1 AND 5.408.1.2:

1. EXCAVATED SOIL AND LAND-CLEARING DEBRIS
2. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES, A CONSULTANT OR RECYCLE FACILITIES CAPABLE OF COMPLYING WITH THE ENFORCEMENT OF EXISTING LOCAL ORDINANCES
3. DEMOLITION WASTE MEETING LOCAL ORDINANCE OR CALCULATED IN CONSIDERATION OF LOCAL RECYCLING FACILITIES AND MARKETS.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY PRIOR TO THE START OF CONSTRUCTION.

## 5.408.1.3 WASTE STREAM REDUCTION ALTERNATIVE.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY PRIOR TO THE START OF CONSTRUCTION.

## 5.408.1.4 DOCUMENTATION.

DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTIONS 5.408.1.1 THROUGH 5.408.1.3. THE WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE ACCESSIBLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY PRIOR TO THE START OF CONSTRUCTION.

## 5.408.2 UNIVERSAL WASTE, [A]

GENERAL CONTRACTOR TO PROPERLY DISPOSE OF AND DIVERT FROM LANDFILLS UNIVERSAL WASTE ITEMS SUCH AS FLUORESCENT LAMPS AND BALLAST AND MERCURY CONTAINING THERMOSTATS AS WELL AS OTHER CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS AS MENTIONED IN THE CALIFORNIA UNIVERSAL WASTE RULE DOCUMENT:

NOTE: NOT APPLICABLE.
5.508.2.1 REFRIGERANT PIPING.
5.508.2.2 VALVES.
5.508.2.3 REFRIGERATED SERVICE CASES.
5.508.2.4 REFRIGERANT RECEIVERS.
5.508.2.5 PRESSURE TESTING.
5.508.2.6 EVACUATION.
NOTE: NOT APPLICABLE.

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL.  
WHERE OUTDOOR AREAS ARE PROVIDED FOR SMOKING, PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS AND WITHIN THE BUILDING, EXCEPT PURSUANT TO OTHER LAWS OR REGULATIONS OR AS ENFORCED BY ORDINANCES, REGULATIONS OR POLICIES OF ANY CITY, COUNTY, CITY AND COUNTY, CALIFORNIA COMMUNITY COLLEGE CAMPUS OF THE CALIFORNIA STATE UNIVERSITY, OR CAMPUS OF THE UNIVERSITY OF CALIFORNIA, WHICHEVER ARE MORE STRINGENT, WHEN ORDINANCES, REGULATIONS OR POLICIES ARE NOT IN PLACE, POST SIGNAGE TO INFORM BUILDING OCCUPANTS OF THE PROHIBITIONS.

NO DESIGNATED SMOKING/NO SMOKING AREAS INCLUDED IN THE SCOPE OF THIS PROJECT.

#### SECTION 5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL  
BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF CALIFORNIA BUILDING CODE, CCR, TITLE 24, PART 2, SECTIONS 1203 AND CHAPTER 14.1

SEE SHEET A2.1 THROUGH A3.1, AND SHEETS A8.2 AND A8.4 FOR ENVELOPE WEATHER RESISTANCE.

#### SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY.  
FOR MECHANICALLY OR NATURALLY VENTILATED SPACES IN BUILDINGS, MEET THE MINIMUM REQUIREMENTS OF SECTION 120.1 (REQUIREMENTS FOR VENTILATION) OF THE 2013 CALIFORNIA ENERGY CODE, OR THE APPLICABLE LOCAL CODE, WHICHEVER IS MORE STRINGENT, AND DIVISION 1, CHAPTER 4 OF CCR, TITLE 8.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

#### 5.506.2 CARBON DIOXIDE (CO<sub>2</sub>) MONITORING.

FOR BUILDINGS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO<sub>2</sub> SENSORS AND VENTILATION CONTROLS SHALL BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE, CCR, SECTION 121(C).

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

#### SECTION 5.507 ENVIRONMENTAL COMFORT

##### 5.507.4 ACOUSTICAL CONTROL

EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH STC VALUES DETERMINED IN ACCORDANCE WITH ASTM E 90 AND ASTM E 413 OR OITC DETERMINED IN ACCORDANCE WITH ASTM E 1332, USING EITHER THE DESCRIPTIVE OR PERFORMANCE METHOD IN SECTION 5.507.4.1 OR 5.507.4.2

SEE SHEET A2.1 THROUGH A3.1, AND SHEETS A8.2 AND A8.4 FOR ENVELOPE STC PERFORMANCE

##### 5.507.4.1 EXTERIOR NOISE TRANSMISSION, DESCRIPTIVE METHOD

WALL AND FLOOR-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING ENVELOPE SHALL HAVE EXTERIOR WALL AND ROOF CEILING ASSEMBLIES MEETING A COMPOSITE STC RATING OF AT LEAST 50 OR A COMPOSITE OITC RATING OF NO LESS THAN 40 WITH EXTERIOR WINDOWS OF A MINIMUM STC 40 OR OITC 30 IN THE LOCATIONS DESCRIBED IN ITEMS 1 AND 2.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE, FOR WHICH EXCEPTION IN SECTION 5.507.4 APPLIES

##### 5.507.4.1.1 NOISE EXPOSURE WHERE NOISE CONTOURS ARE NOT READILY AVAILABLE

BUILDINGS EXPOSED TO A NOISE LEVEL OF 65 dB L<sub>eq</sub>-1HR DURING ANY HOUR OF OPERATION SHALL HAVE EXTERIOR WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MEETING A COMPOSITE STC RATING OF AT LEAST 45 (OR OITC 35), WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 (OR OITC 30).

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE, FOR WHICH EXCEPTION IN SECTION 5.507.4 APPLIES

##### 5.507.4.2 PERFORMANCE METHOD

FOR BUILDINGS LOCATED AS DEFINED IN SECTION 5.507.4.1 OR 5.507.4.1.1, WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL BE CONSTRUCTED TO PROVIDE AN INTERIOR NOISE ENVIRONMENT ATTRIBUTABLE TO EXTERIOR SOURCES THAT DOES NOT EXCEED AN HOURLY EQUIVALENT NOISE LEVEL (L<sub>eq</sub>-1HR) OF 50 DBA IN OCCUPIED AREAS DURING ANY HOUR OF OPERATION.

##### 5.507.4.2.1 SITE FEATURES

EXTERIOR FEATURES SUCH AS SOUND WALLS OR EARTH BERMS MAY BE UTILIZED AS APPROPRIATE TO THE PROJECT TO MITIGATE SOUND MIGRATION TO THE INTERIOR.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE, FOR WHICH EXCEPTION IN SECTION 5.507.4 APPLIES

##### 5.507.4.2.2 DOCUMENTATION OF COMPLIANCE

AN ACOUSTICAL ANALYSIS DOCUMENTING COMPLYING INTERIOR SOUND LEVELS SHALL BE PREPARED BY PERSONNEL APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

##### 5.507.4.3 INTERIOR SOUND TRANSMISSION

WALL AND FLOOR-CEILING ASSEMBLIES SEPARATING TENANT SPACES AND TENANT SPACES AND PUBLIC PLACES SHALL HAVE AN STC OF AT LEAST 40.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

#### SECTION 5.508 OUTDOOR AIR QUALITY

##### 5.508.1 OZONE DEPLETION AND GREENHOUSE GAS REDUCTIONS.

INSTALLATIONS OF HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH SECTIONS 5.508.1.1 AND 5.508.1.2.

SEE FIRE PROTECTION DRAWINGS - SUBMITTED UNDER SEPERATE PERMIT.

##### 5.508.1.1 CHLOROFLUOROCARBONS (CFCs).

INSTALL HVAC AND REFRIGERATION EQUIPMENT THAT DOES NOT CONTAIN CFCs.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

##### 5.508.1.2 HALONS.

INSTALL FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN HALONS.

SEE FIRE PROTECTION DRAWINGS - SUBMITTED UNDER SEPERATE PERMIT.

##### 5.508.2 SUPERMARKET REFRIGERANT LEAK REDUCTION.

NEW COMMERCIAL REFRIGERATION SYSTEMS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION WHEN INSTALLED IN RETAIL FOOD STORES 8,000 SQUARE FEET OR MORE CONDITIONED AREA, AND THAT UTILIZE EITHER REFRIGERATED DISPLAY CASES, OR WALK-IN COOLERS OR FREEZERS CONNECTED TO REMOTE COMPRESSOR UNITS OR CONDENSING UNITS. THE LEAK REDUCTION MEASURES APPLY TO REFRIGERATION SYSTEMS CONTAINING HIGH-GLOBAL-WARMING-POTENTIAL (HIGH-GWP) REFRIGERANTS WITH A GWP OF 150 OR GREATER. NEW REFRIGERATION SYSTEMS INCLUDE BOTH NEW FACILITIES AND THE REPLACEMENT OF EXISTING REFRIGERATION SYSTEMS IN EXISTING FACILITIES.

#### 5.504.4.3.1 AEROSOL PAINTS AND COATINGS.

AEROSOL PAINTS AND COATINGS SHALL MEET THE PWMR LIMITS FOR ROC IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(C)(2) AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE 49.

SEE PROJECT SPECIFICATIONS 099113 AND 099123 - EXTERIOR AND INTERIOR PAINTING, RESPECTIVELY.

#### 5.504.4.3.2 VERIFICATION.

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

1. MANUFACTURER'S PRODUCT SPECIFICATION
2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS

SUBMITTAL AVAILABLE UPON REQUEST

#### 5.504.4.4 CARPET SYSTEMS.

ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE STANDARDS LISTED IN SECTION 5.504.4.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

#### 5.504.4.4.1 CARPET CUSHION.

ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

#### 5.504.4.4.2 CARPET ADHESIVE.

ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 5.504.4.1.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

#### 5.504.4.5 COMPOSITE WOOD PRODUCTS.

HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 5.504.4.5

#### TABLE 5.504.4.5 FORMALDEHYDE LIMITS

#### MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION.

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD	2
	0.13

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

#### 5.504.4.5.3 DOCUMENTATION.

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE ITEMS 1 THROUGH 5 LISTED IN THIS SECTION.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

#### 5.504.4.6 RESILIENT FLOORING SYSTEMS.

FOR 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, INSTALLED RESILIENT FLOORING SHALL MEET AT LEAST ONE OF THE ITEMS 1 THROUGH 4 LISTED IN THIS SECTION.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

#### 5.504.4.6.1 VERIFICATION OF COMPLIANCE.

DOCUMENTATION SHALL BE PROVIDED VERIFYING THAT RESILIENT FLOORING MATERIALS MEET THE POLLUTANT EMISSION LIMITS.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

#### 5.504.5.3 FILTERS.

IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR THAT PROVIDES AT LEAST A MERV OF 6. MERV 8 FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY, AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

#### 5.504.5.3.1 LABELING.

INSTALLED FILTERS SHALL BE CLEARLY LABELED BY THE MANUFACTURER INDICATING THE MERV RATING.

#### 5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL.

WHERE OUTDOOR AREAS ARE PROVIDED FOR SMOKING, PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS AND WITHIN THE BUILDING AS ALREADY PROHIBITED BY OTHER LAWS OR REGULATIONS OR AS ENFORCED BY ORDINANCES, REGULATIONS OR POLICIES OF ANY CITY, COUNTY, CITY AND COUNTY, CALIFORNIA COMMUNITY COLLEGE CAMPUS OF THE CALIFORNIA STATE UNIVERSITY, OR CAMPUS OF THE UNIVERSITY OF CALIFORNIA, WHICHEVER ARE MORE STRINGENT, WHEN ORDINANCES, REGULATIONS OR POLICIES ARE NOT IN PLACE, POST SIGNAGE TO INFORM BUILDING OCCUPANTS OF THE PROHIBITIONS.

NO DESIGNATED SMOKING/NO SMOKING AREAS INCLUDED IN THE SCOPE OF THIS PROJECT.

#### SECTION 5.505 INDOOR MOISTURE CONTROL

##### 5.505.1 INDOOR MOISTURE CONTROL

BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF CALIFORNIA BUILDING CODE, CCR, TITLE 24, PART 2, SECTIONS 1203 AND CHAPTER 14.1

SEE SHEET A2.1 THROUGH A3.1, AND SHEETS A8.2 AND A8.4 FOR ENVELOPE WEATHER RESISTANCE.

#### SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY.  
FOR MECHANICALLY OR NATURALLY VENTILATED SPACES IN BUILDINGS, MEET THE MINIMUM REQUIREMENTS OF SECTION 120.1 (REQUIREMENTS FOR VENTILATION) OF THE 2013 CALIFORNIA ENERGY CODE, OR THE APPLICABLE LOCAL CODE, WHICHEVER IS MORE STRINGENT, AND DIVISION 1, CHAPTER 4 OF CCR, TITLE 8.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

#### 5.506.2 CARBON DIOXIDE (CO<sub>2</sub>) MONITORING.

FOR BUILDINGS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO<sub>2</sub> SENSORS AND VENTILATION CONTROLS SHALL BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE, CCR, SECTION 121(C).

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

#### SECTION 5.507 ENVIRONMENTAL COMFORT

##### 5.507.4 ACOUSTICAL CONTROL

EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH STC VALUES DETERMINED IN ACCORDANCE WITH ASTM E 90 AND ASTM E 413 OR OITC DETERMINED IN ACCORDANCE WITH ASTM E 1332, USING EITHER THE DESCRIPTIVE OR PERFORMANCE METHOD IN SECTION 5.507.4.1 OR 5.507.4.2

#### TABLE



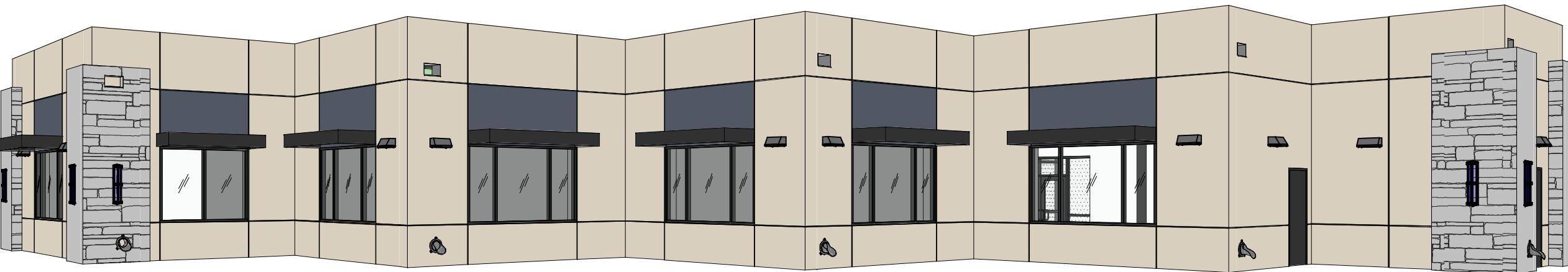
NORTHWEST



NORTHEAST



SOUTHEAST



SOUTHWEST

**WARE MALCOMB**  
Leading Design for Commercial Real Estate

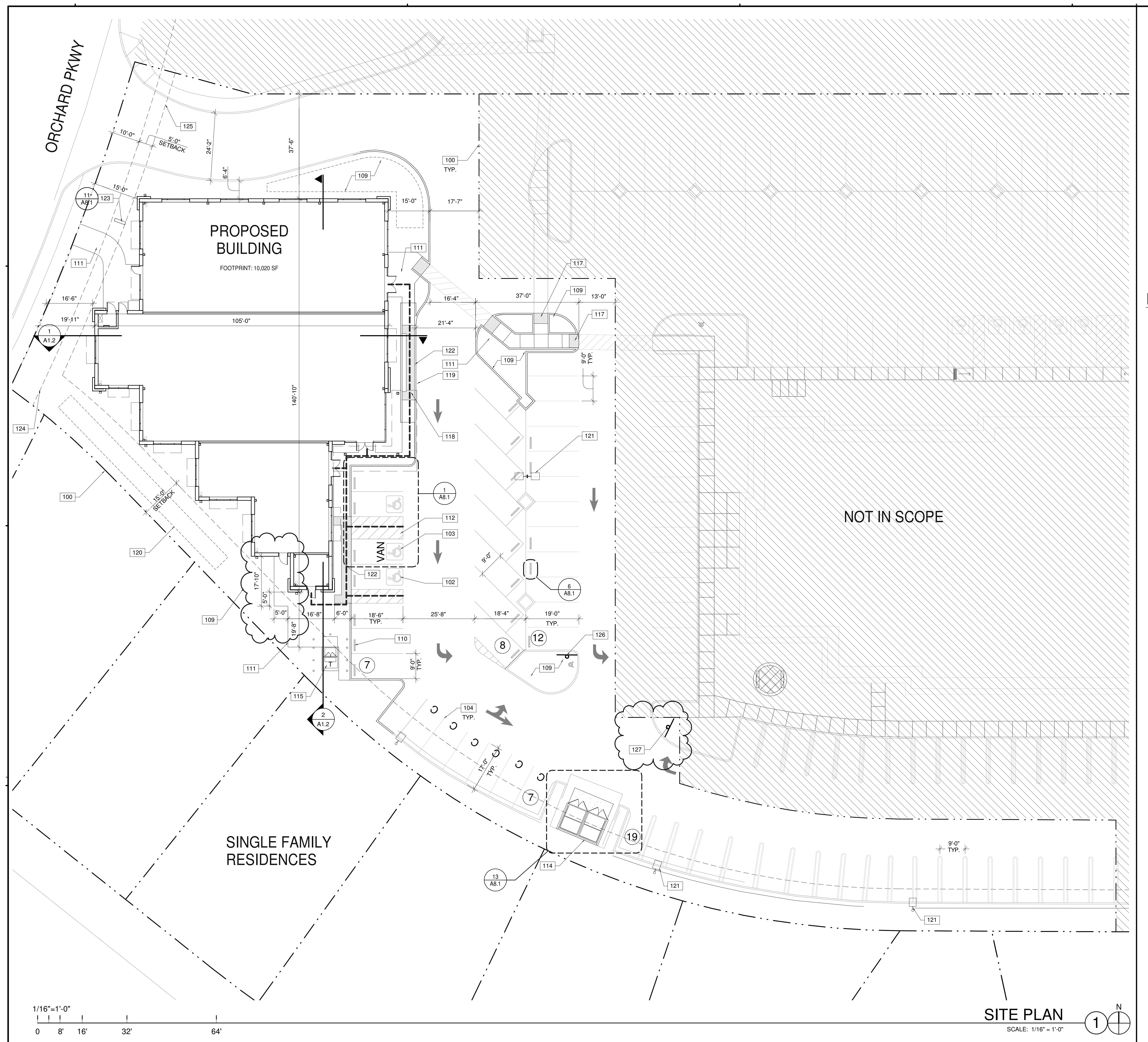
**ONE-STORY MEDICAL OFFICE  
BUILDING  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377**

**PERSPECTIVES**

PA/PM:	C. BOSHART
DRAWN BY::	S.Z.M.I
JOB NO.:	SNR19-0079-00

**A0.5**

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## KEYNOTES

SEE SHEET A0.2 FOR GENERAL NOTES

100. PROPERTY LINE.
101. ACCESSIBLE ENTRY SIGNAGE.
102. ACCESSIBLE PARKING STALL WITH SIGNAGE.
103. VAN ACCESSIBLE PARKING STALL WITH SIGNAGE.
104. PAINTED PARKING STRIPING PER CITY STANDARDS. 2'-0" PARKING OVERHANG.
105. TRASH ENCLOSURE WITH RECYCLE BIN.
106. FIRE LANE ENTRY SIGNAGE.
107. FIRE LANE SIGNAGE.
108. FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED.
109. LANDSCAPE AND IRRIGATION AREA.
110. PIERCAST CONCRETE WHEEL STOP.
111. CONCRETE PAVEMENT.
112. ACCESSIBLE LOADING ZONE.
113. EXISTING TRANSFORMER AND PAD (FOR EXISTING OFFICE BLDG).
114. EXISTING TRASH ENCLOSURE. PROPOSE SHARED USE WITH PROPOSED NEW BLDG PENDING CAPACITY STUDY.
115. TRANSFORMER.
116. CHAINLINK FENCE.
117. TRUNCATED DOMES.
118. ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
119. PASSENGER DROP-OFF AND LOADING ZONE.
120. SEDIMENT BASIN.
121. EXISTING SITE LIGHT FIXTURE.
122. 36" WIDE STRIP OF TRUNCATED DOMES AT 0" CURB ONLY.
123. MONUMENT SIGN.
124. EASEMENT LINE.
125. SETBACK LINE.
126. TRAFFIC SIGN "LEFT TURN ONLY."
127. TRAFFIC SIGN "RIGHT TURN ONLY."

## PROJECT DATA & PARKING SUMMARY

BUILDING AREA:	
LOT	46,161 SF
TENANT 1 AREA	3,561 SF
TENANT 2 AREA	4,674 SF
TENANT 3 AREA	1,559 SF
FIRE RISER AREA	45 SF
ELECTRICAL ROOM AREA	180 SF
TOTAL BUILDING AREA	10,020 SF
COVERAGE	21.70%
PARKING SPACES PROVIDED:	
STANDARD @ 9' x 19"	50
ACCESSIBLE @ 9' x 18" *	3
*PER ADA TABLE 208.2, 2% OF TOTAL REQUIRED TO BE ACCESSIBLE	
TOTAL PROVIDED:	53

## LEGEND

- — — ACCESSIBLE PATH OF TRAVEL. 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- PROPERTY LINE.
- EASEMENT LINE.
- SETBACK LINE.
- MARKED CLEAN AIR VEHICLE STALL
- POLE MOUNTED LIGHT FIXTURE.
- WALLPACK LIGHT FIXTURE.
- TRANSFORMER WITH CONCRETE PAD. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- LANDSCAPE AND IRRIGATION AREA.
- FIRE LANE (HATCHED)
- PARKING STALL COUNT TOTAL
- FIRE HYDRANT
- P.I.V. WITH TAMPER

ONE-STORY MEDICAL OFFICE  
BUILDING  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377

### SITE PLAN

REMARKS	
DATE	02/28/2020
PLANNING DEPT SUBMITTAL #3	02/09/2021

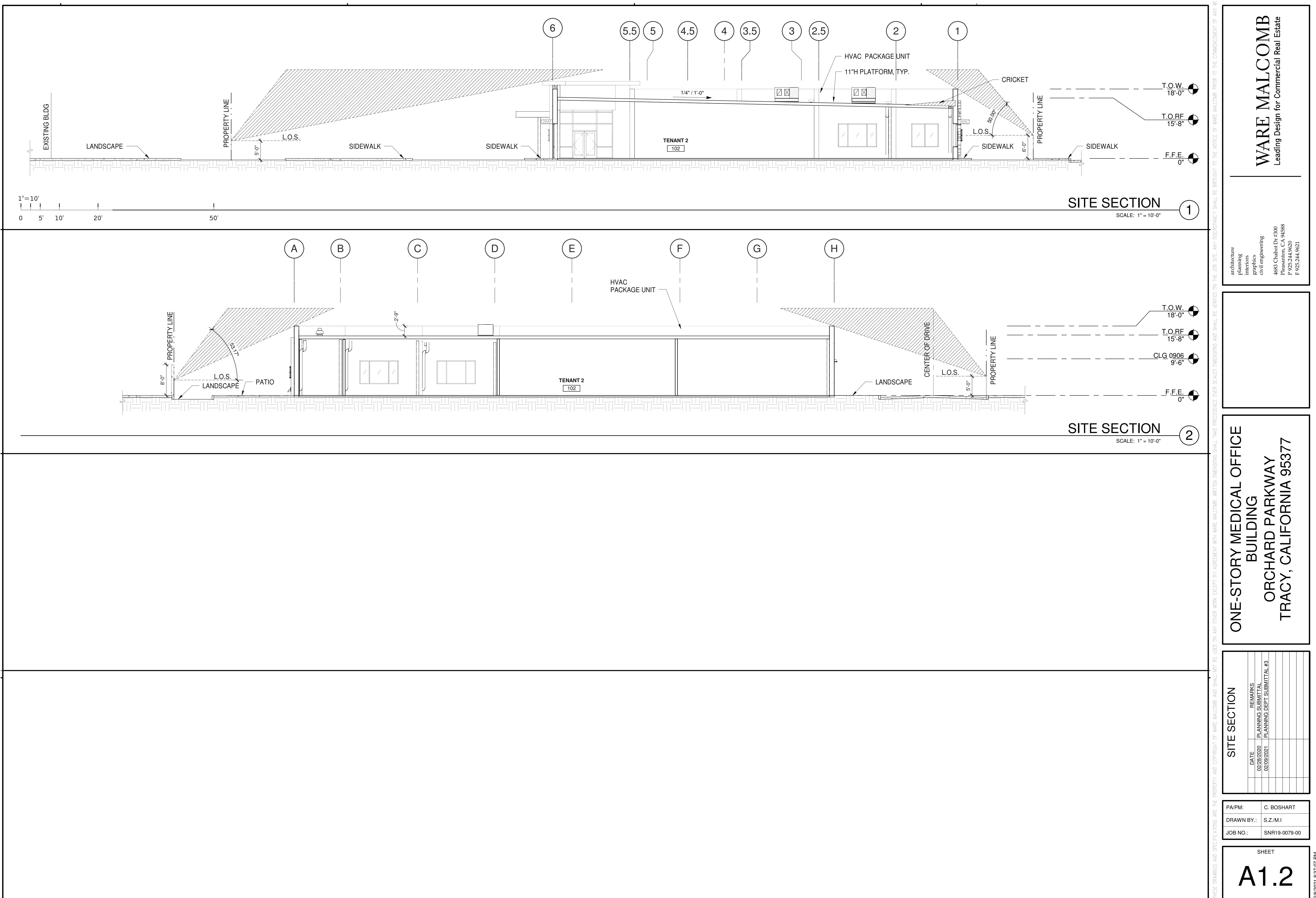
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JOB NO.: SNR19-0079-00

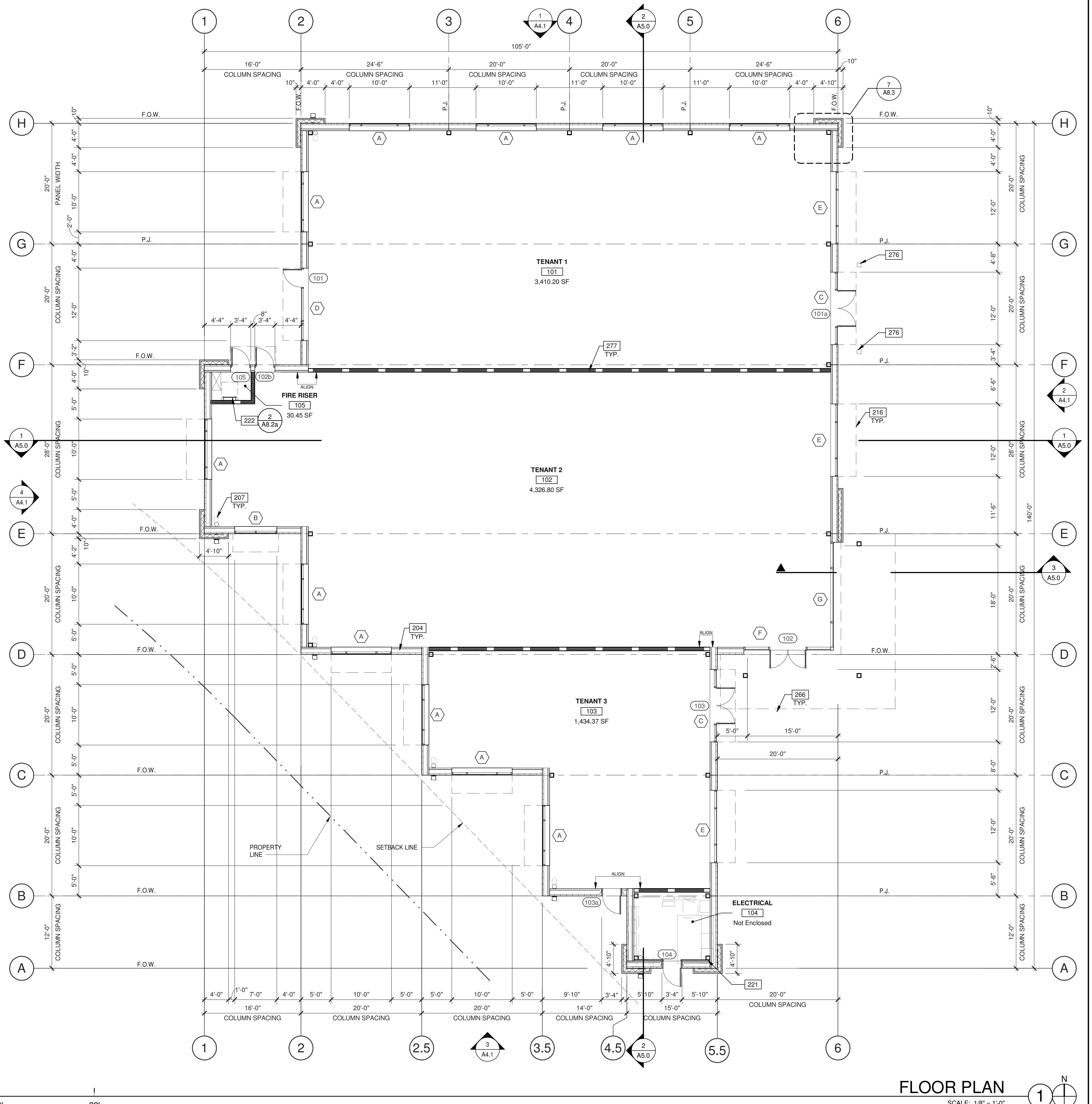
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Pleasanton, CA 94588  
P: 925.244.5620  
F: 925.244.5621





# KEYNOTES:

## SHEET A0.2 FOR GENERAL NOTES

METAL PANEL.  
PRIMARY ROOF INTERNAL DRAIN AND DRAIN LEADERS, TRANSITION  
DIAGONALLY ATTACH TO WALL WITH UNI-STRUTS.  
OUTLINE OF CANOPY ABOVE.  
PLYWOOD BACKBOARDS.  
ROOF ACCESS LADDER.  
OUTLINE OF FREESTANDING CANTILEVERED CANOPY.  
CAST-IN STEEL SLEEVE FOR INSTALATION OF FITIRE FREE STANDING  
CANOPY.  
DEMISING WALL.

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ONE-STORY MEDICAL OFFICE  
BUILDING  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377

## LOOR PLAN

PA/PM:	C. BOSCHAR
DRAWN BY.:	N.M./E.S.
JOB NO.:	SNR19-0079

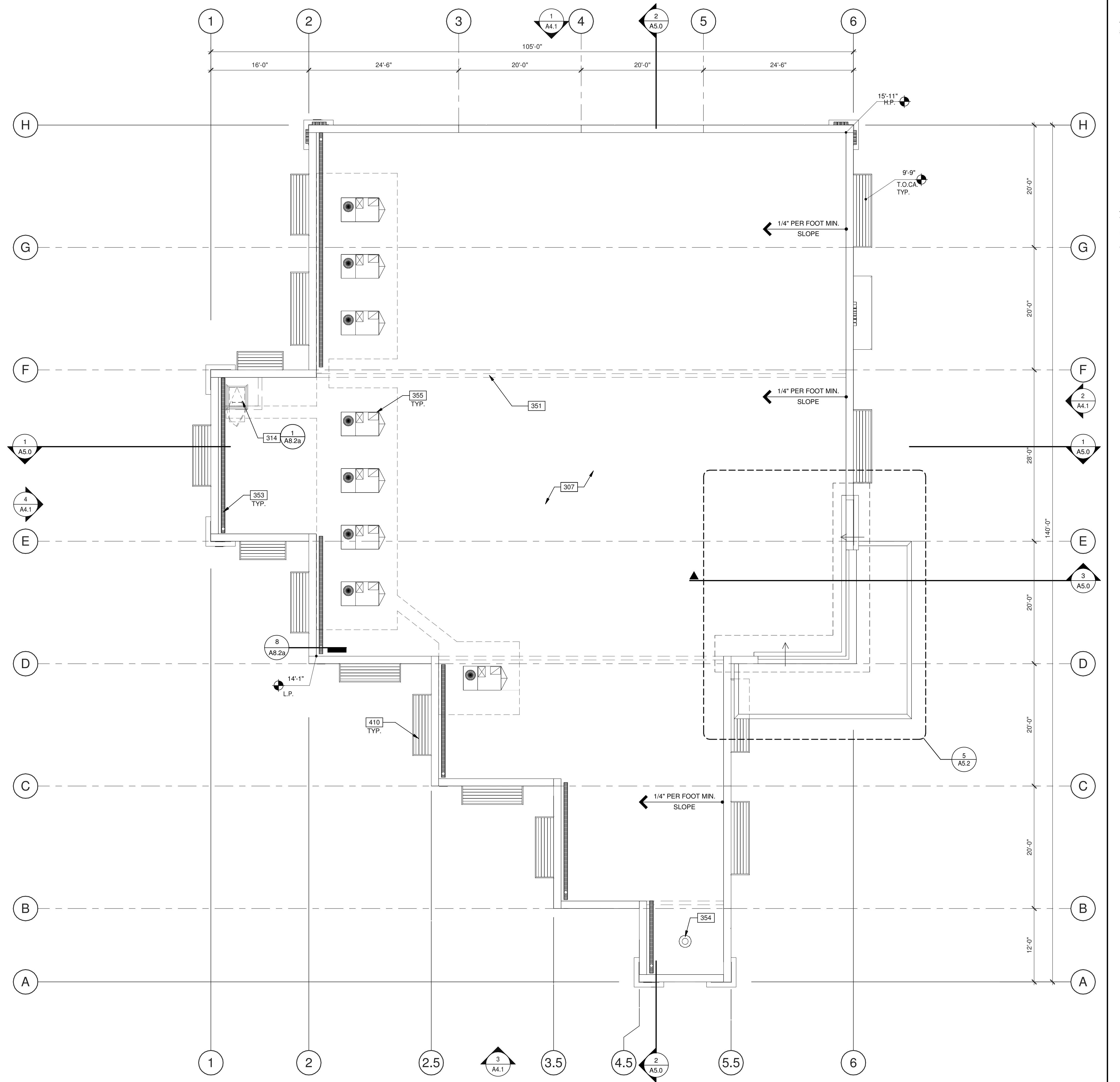
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## ALL LEGEND

-  ACCENT WALL - STONE VENEER
-  EXTERIOR PLASTER FINISH OVER IMP PANEL
-  1HR RATED CONSTRUCTION

SHEET



## KEYNOTES:

## HEET A0.2 FOR GENERAL NOTES

SINGLE-PLY ROOFING OVER RIGID INSULATION OVER METAL DECK.  
ROOF HATCH. VERIFY JOIST LOCATIONS WITH STRUCTURAL DRAWINGS.  
LINE OF WALL BELOW.  
GUTTER.  
MECHANICAL EXHUST FAN. SEE MECHANICAL DRAWING.  
ROOF MOUNTED MECHANICAL UNITS. SEE MECHANICAL DRAWING.  
PRE-FINISHED METAL CANOPY, PAINTED.

## ABBREVIATIONS

- = TOP OF PARAPET
- = TOP OF ROOFING - HIGH POINT
- = TOP OF ROOFING - MID POINT
- = TOP OF ROOFING - LOW POINT
- A = TOP OF CANOPY

# WARE MALCOMB

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—

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graphics  
civil engineering

BUILDING  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377

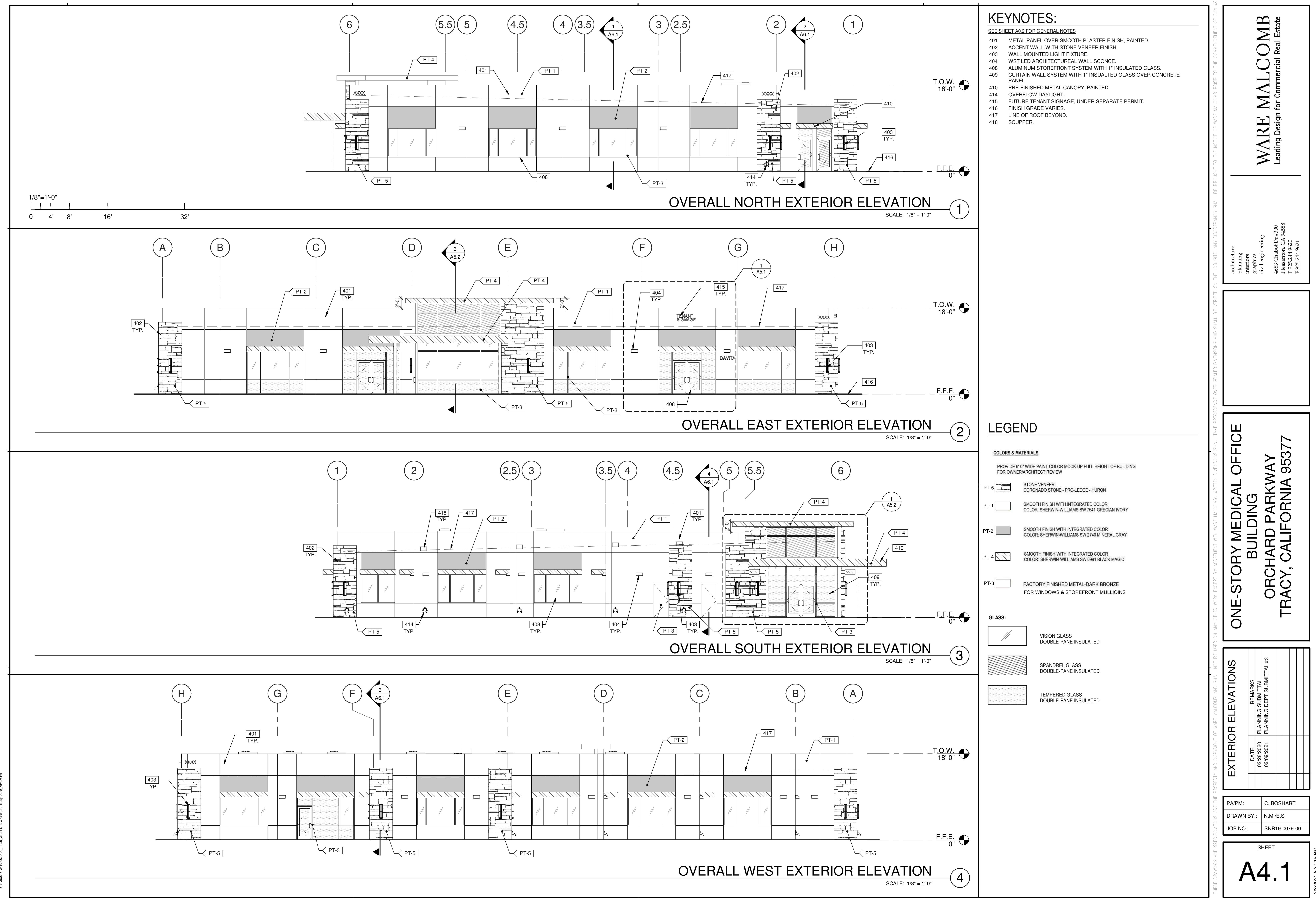
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DATE	REMARKS
02/28/2020	PLANNING SUBMITTAL
02/09/2021	PLANNING DEPT SUBMITTAL #3

	C. BOSCHART
BY.:	N.M./E.S.
	SNR19-0079-00

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## KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

401 METAL STUCCO PANEL OVER PLASTER WALL, PAINTED.  
 405 ACCENT WALL WITH STONE VENEER FINISH.  
 406 WALL MOUNTED LIGHT FIXTURE.  
 407 WST LED ARCHITECTURAL WALL SCONCE.  
 430 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.  
 440 METAL CANOPY, PAINTED.  
 464 NEW TENANT SIGNAGE PER REQUIREMENTS SET FORTH IN PREVIOUSLY APPROVED MASTER SIGNAGE PROGRAM.  
 475 LINE OF ROOF BEYOND.

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interiors  
graphics  
civil engineering4683 Chabot Dr. #300  
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## OVERALL NORTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



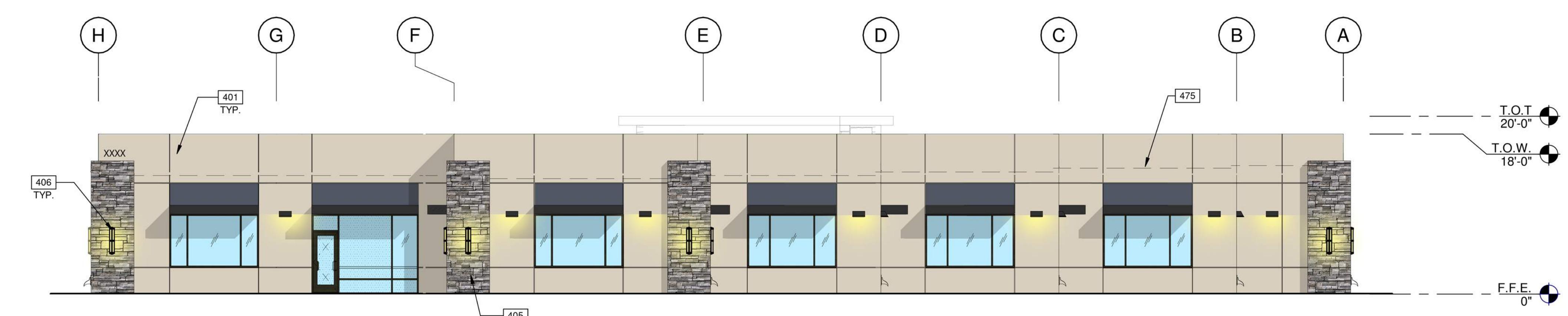
## OVERALL EAST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



## OVERALL SOUTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



## OVERALL WEST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

BIM 360/SN19-0079-01\_Triad\_Grand Line &amp; Orchard Parkway.dwg

1/8" = 1'-0"  
 0 4' 8' 16' 32'

## LEGEND

## COLORS &amp; MATERIALS

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW

- STONE VENEER CORONADO STONE - PRO-LEDGE - HURON
- SMOOTH FINISH WITH INTEGRATED COLOR COLOR: SHERWIN-WILLIAMS SW 7541 GRECIAN IVORY
- SMOOTH FINISH WITH INTEGRATED COLOR COLOR: SHERWIN-WILLIAMS SW 2740 MINERAL GRAY
- SMOOTH FINISH WITH INTEGRATED COLOR COLOR: SHERWIN-WILLIAMS SW 6391 BLACK MAGIC
- FACTORY FINISHED METAL-DARK BRONZE

## GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

ONE-STORY MEDICAL  
BUILDING  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377

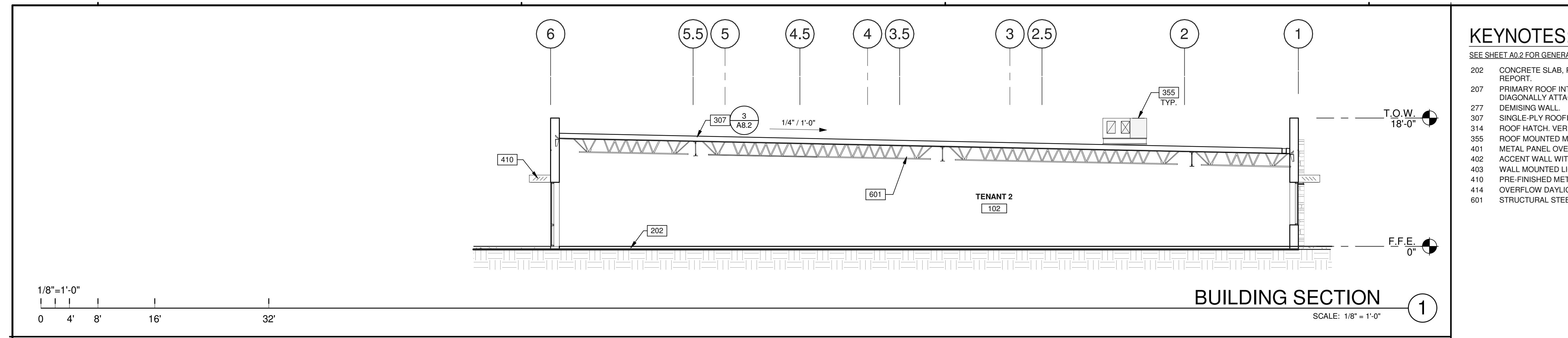
## EXTERIOR ELEVATIONS

DATE	REMARKS
02/28/2020	PLANNING SUBMITTAL
02/02/2021	PLANNING DEP SUBMITTAL #3

P/APM: C. BOSHART  
 DRAWN BY: S.Z.M.I  
 JOB NO.: SNR19-0079-00

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## KEYNOTES:

SEE SHEET A.0.2 FOR GENERAL NOTES

202 CONCRETE SLAB, PROVIDE VAPOR BARRIER OVER SAND PER SOILS REPORT.

207 PRIMARY ROOF INTERNAL DRAIN AND DRAIN LEADERS, TRANSITION DIAGONALLY ATTACH TO WALL WITH UNI-STRUTS.

277 DEMISING WALL.

307 SINGLE-PLY ROOFING OVER RIGID INSULATION OVER METAL DECK.

314 ROOF HATCH. VERIFY JOIST LOCATIONS WITH STRUCTURAL DRAWINGS.

355 ROOF MOUNTED MECHANICAL UNITS. SEE MECHANICAL DRAWING.

401 METAL PANEL OVER SMOOTH PLASTER FINISH, PAINTED.

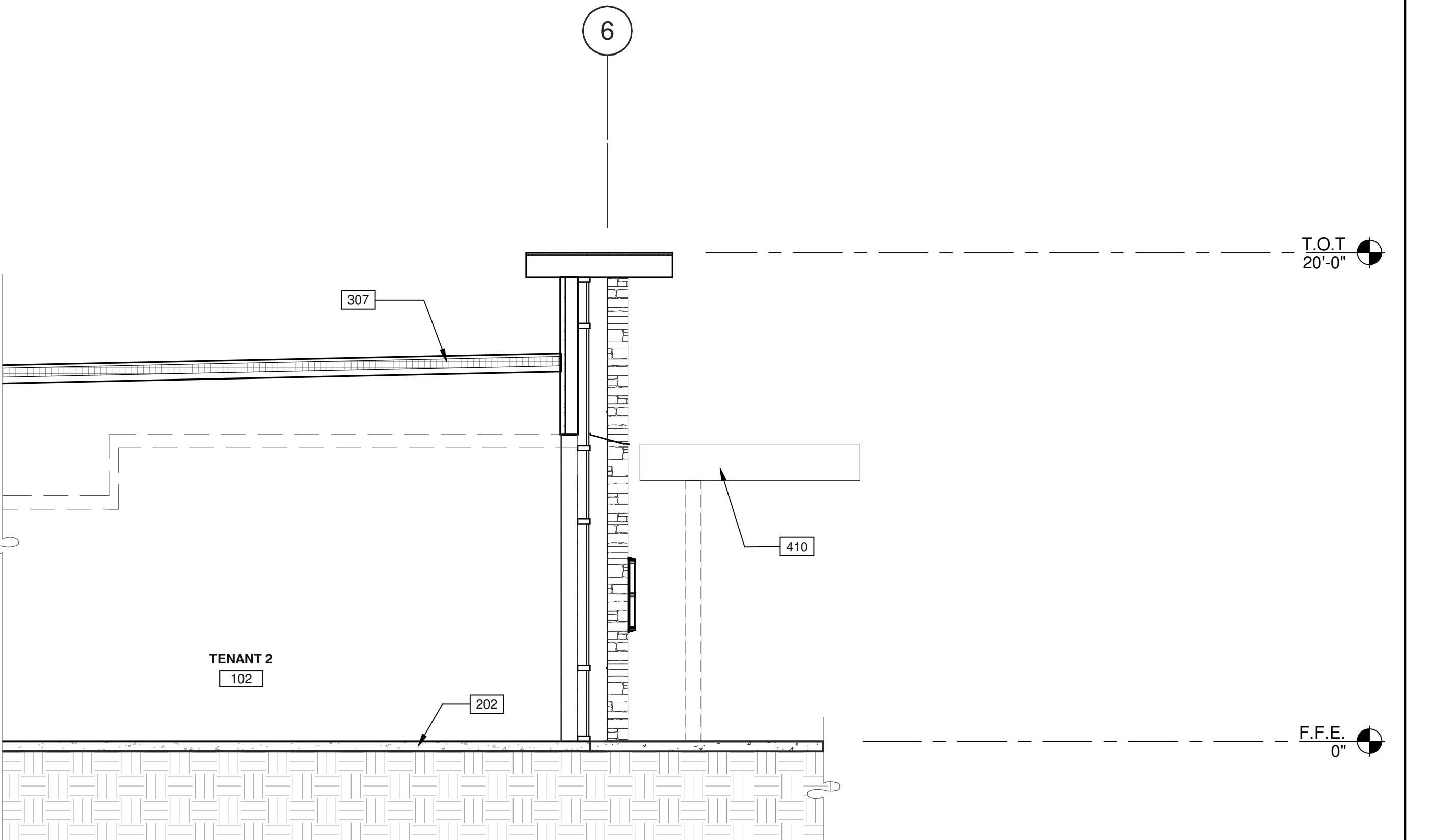
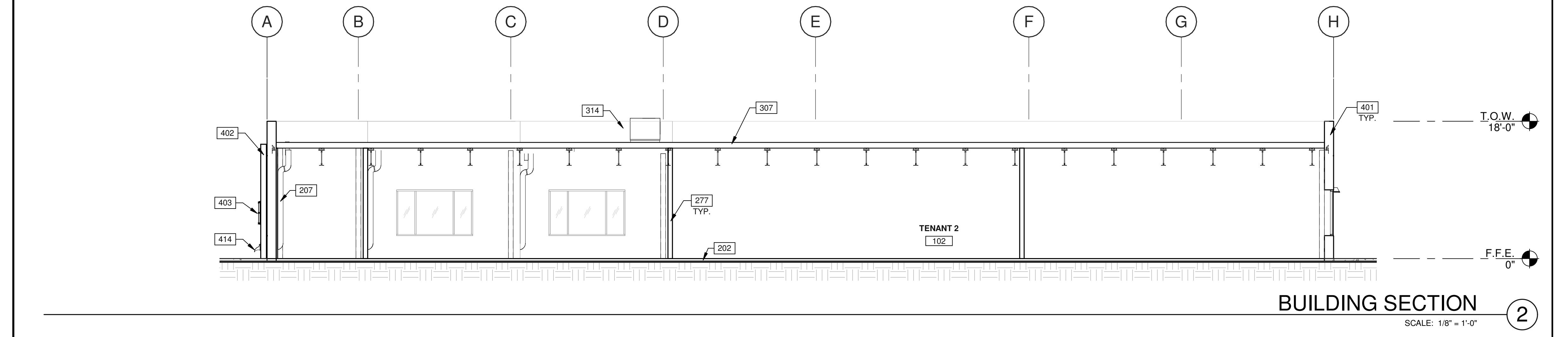
402 ACCENT WALL WITH STONE VENEER FINISH.

403 WALL MOUNTED LIGHT FIXTURE.

410 PRE-FINISHED METAL CANOPY, PAINTED.

414 OVERFLOW DAYLIGHT.

601 STRUCTURAL STEEL BEAM. SEE STRUCTURE DRAWING.



BUILDING SECTION-LOBBY  
SCALE: 1/4" = 1'-0"

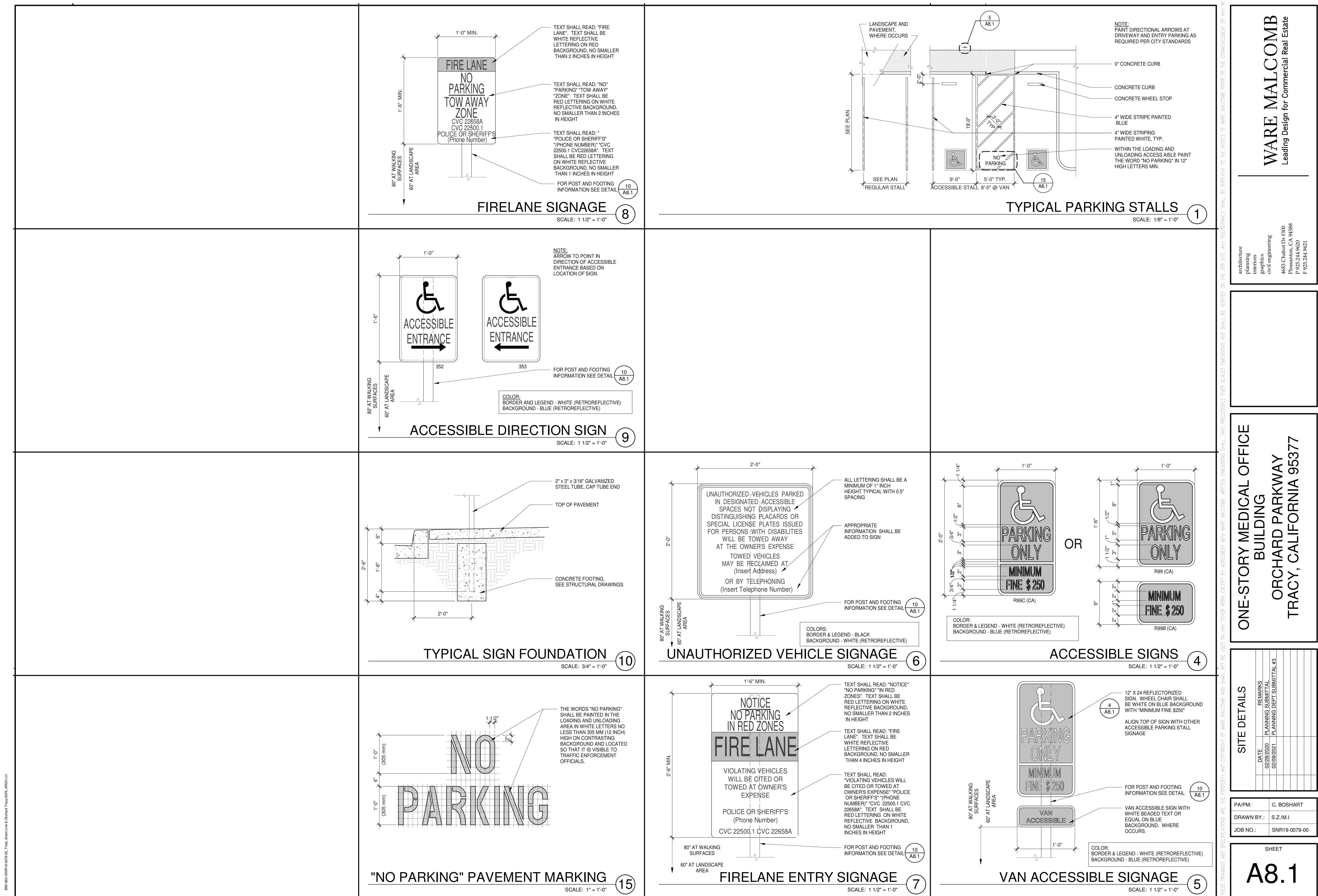
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BUILDING  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377

BUILDING SECTIONS		REMARKS
DATE	02/28/2020	PLANNING SUBMITTAL
DRAWN BY	N.M.E.S.	02/09/2021 PLANNING DEPT SUBMITTAL #3

P/APM:	C. BOSHART
DRAWN BY:	N.M.E.S.
JOB NO.:	SNR19-0079-00

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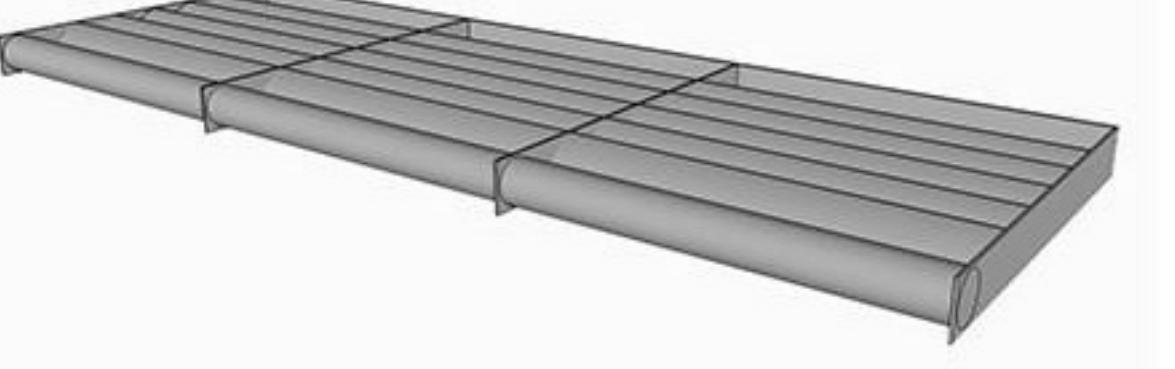
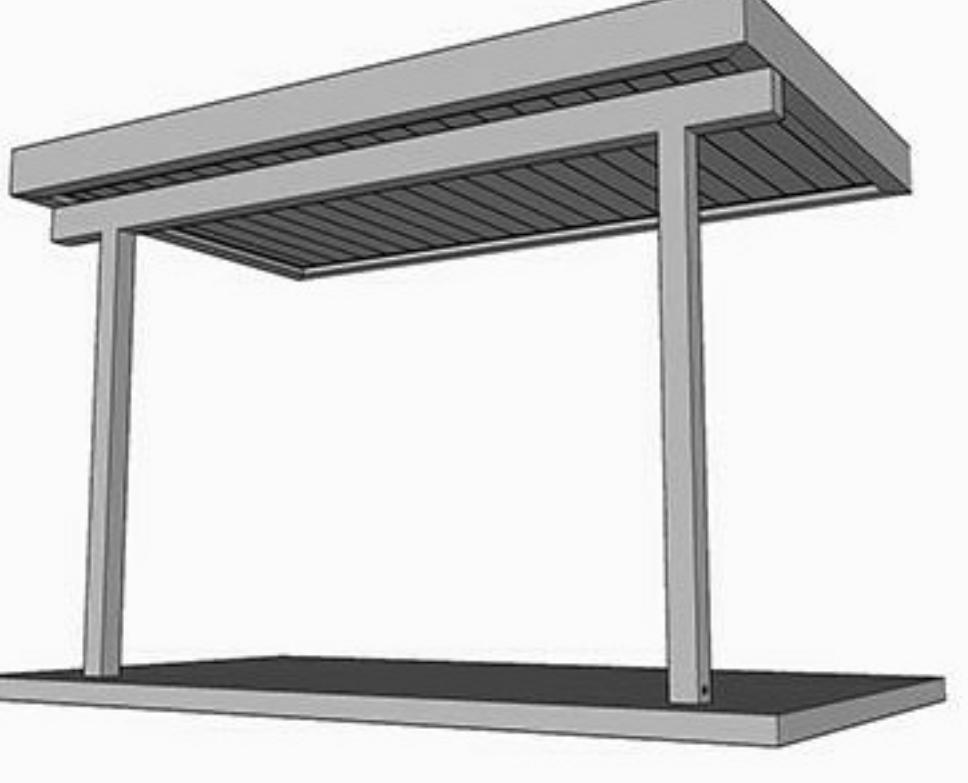
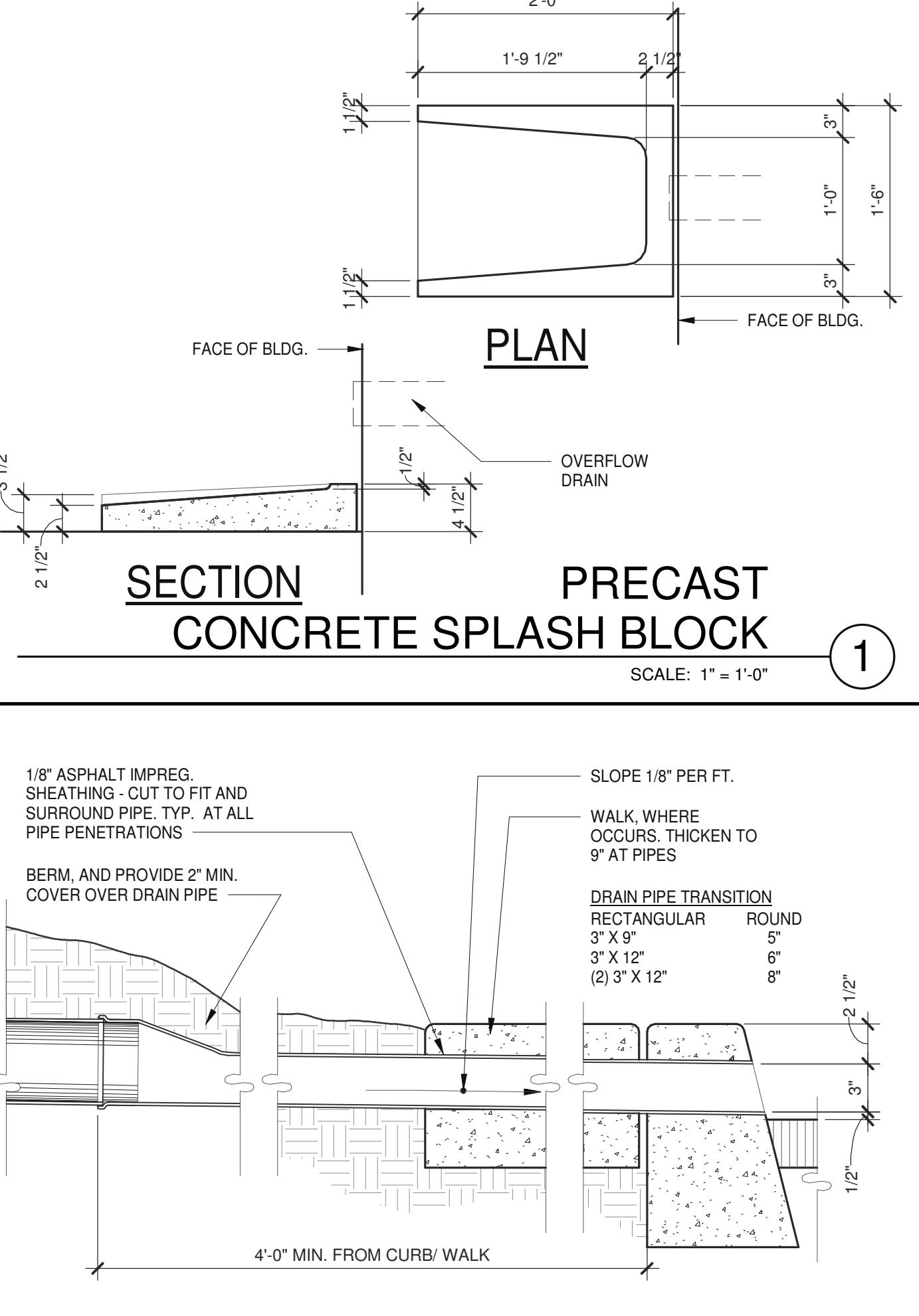
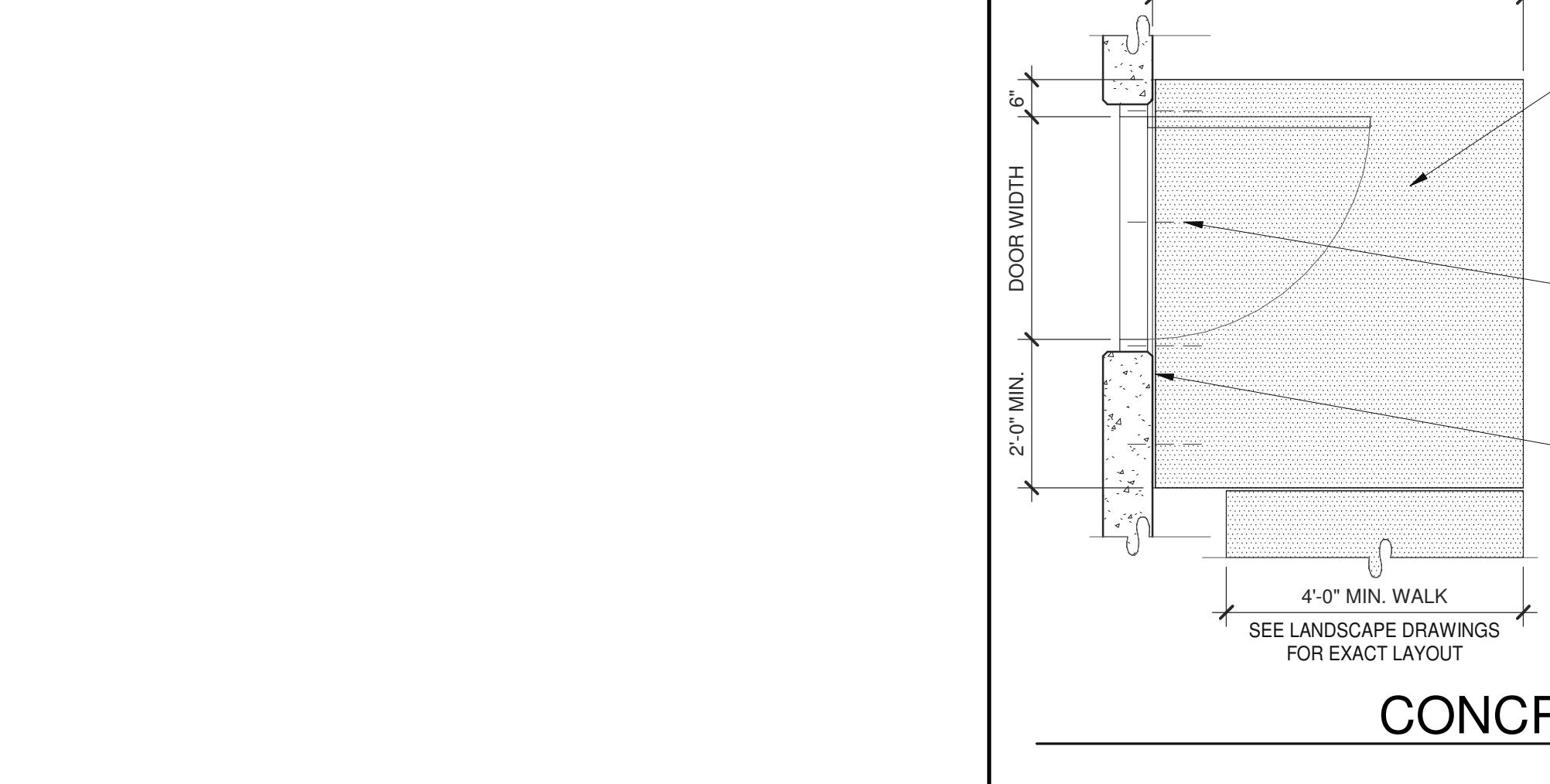
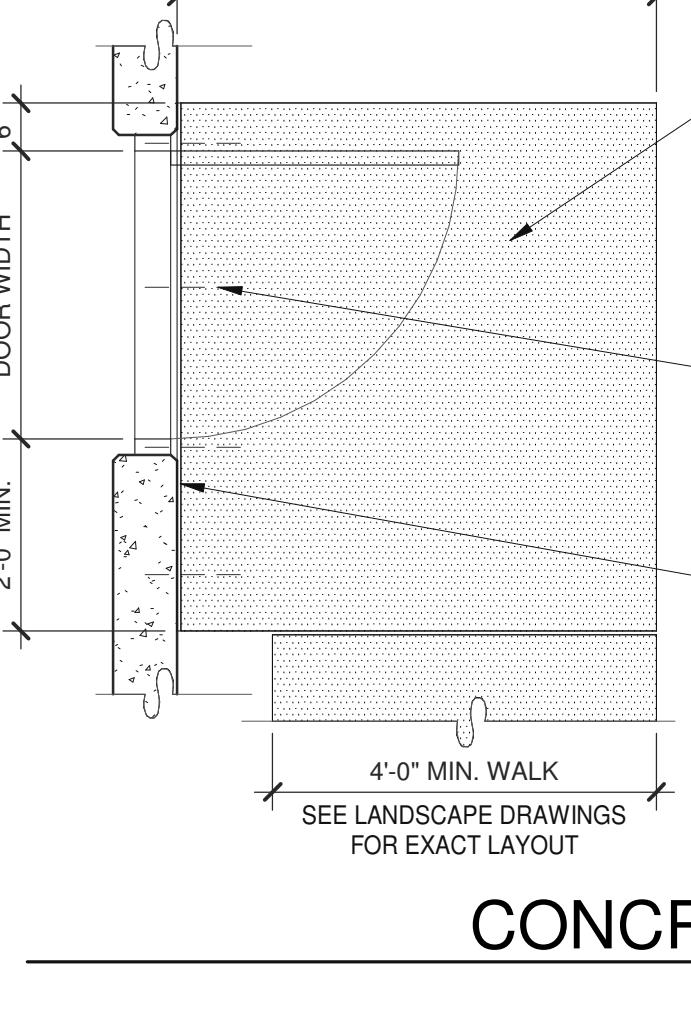
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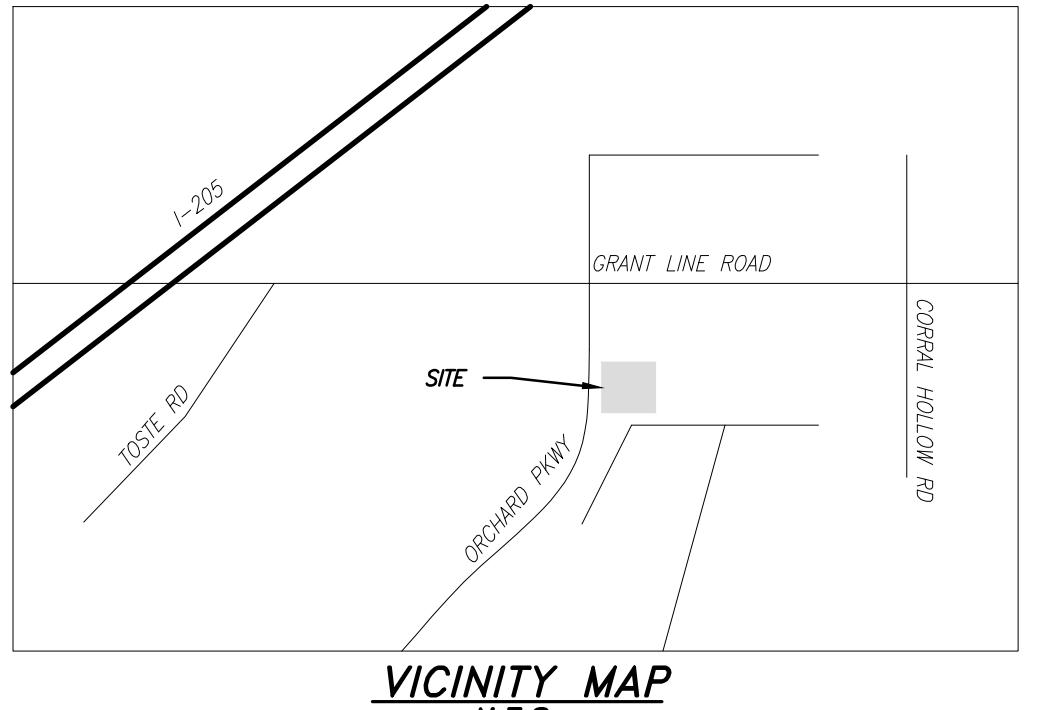
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	 <p><b>CANOPY</b> SCALE: 1" = 1'-0"</p>	 <p><b>FREESTAND CANOPY</b> SCALE: 1" = 1'-0"</p>	 <p><b>PLAN</b> <b>SECTION</b> <b>PRECAST CONCRETE SPLASH BLOCK</b> SCALE: 1" = 1'-0"</p>	<p>WARE MALCOMB Leading Design for Commercial Real Estate</p>																		
		 <p><b>CONCRETE LANDING</b> SCALE: 1/2" = 1'-0"</p>	 <p><b>CONCRETE LANDING</b> SCALE: 1/2" = 1'-0"</p>	<p>ONE-STORY MEDICAL OFFICE BUILDING ORCHARD PARKWAY TRACY, CALIFORNIA 95377</p>																		
			<p>REMARKS</p> <table border="1"> <tr> <td>DATE</td> <td>02/28/2020</td> <td>PLANNING SUBMITTAL</td> </tr> <tr> <td></td> <td>02/09/2021</td> <td>PLANNING DEPT SUBMITTAL #3</td> </tr> <tr> <td></td> <td></td> <td></td> </tr> </table> <p>P/APM: C. BOSHART DRAWN BY: S.Z.M.J JOB NO.: SNR19-0079-00</p>	DATE	02/28/2020	PLANNING SUBMITTAL		02/09/2021	PLANNING DEPT SUBMITTAL #3													<p>SHEET <b>A8.1a</b></p>
DATE	02/28/2020	PLANNING SUBMITTAL																				
	02/09/2021	PLANNING DEPT SUBMITTAL #3																				

# TRACY MEDICAL & PROFESSIONAL OFFICE CENTER

# TRACY, CALIFORNIA



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ONE-STORY MEDICAL OFFICE  
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## HEET INDEX

- C1.0 COVER SHEET
- C2.0 EXISTING CONDITIONS
- C2.1 DEMOLITION PLAN
- C3.0 GRADING & DRAINAGE PLAN
- C4.0 UTILITY PLAN
- C4.1 FIRE SERVICE PLAN
- C5.0 DETAILS & SECTIONS
- C6.0 PRELIMINARY PROJECT STORMWATER PLAN
- C6.1 PRELIMINARY PROJECT STORMWATER PLAN DETAILS

## GENERAL NOTES

1. THE CIVIL ENGINEER,

JMH WEISS, INC  
1731 TECHNOLOGY DRIVE, SUITE 880  
SAN JOSE, CA 95110.  
(408) 286-4555 FAX (408) 286-4558

HAS DESIGNED THE PROJECT IN CONFORMANCE WITH THE GEOTECHNICAL REPORT FROM KLEINFELDER, INC.  
"GEOTECHNICAL SERVICES REPORT, TRACY MEDICAL CENTER", DATED MARCH 23, 2005,  
PROJECT NUMBER 54327.
2. ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE GEO-TECHNICAL ENGINEER, THE GEO-TECHNICAL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF GRADING.
3. THE CONTRACTOR SHALL NOTIFY JMH WEISS, INC AT 408-286-4555 AT LEAST 48 HOURS PRIOR TO THE NEED FOR CONSTRUCTION SURVEY STAKING.
4. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING, BUT NOT LIMITED TO, SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEERS HARMLESS FROM ANY LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER AND/OR ENGINEER.
5. FIRE SYSTEM SHOWN ON THESE PLANS IS FOR SCHEMATIC USE ONLY AND NOT TO BE USED FOR CONSTRUCTION. SEE CONTRACTOR'S SHOP DRAWINGS FOR FINAL LAYOUT AND APPURTENANCES.

## *BASIS OF BEARING*

THE LINE BEARING NORTH 77°03'55" WEST BETWEEN CITY OF TRACY  
MONUMENTS "GPS 3" AND "GPS 2" OF THE CITY OF TRACY GRID CONTROL,  
AS SHOWN ON THE RECORD OF SURVEY FILED IN BOOK 30 OF SURVEYS,  
AT PAGE 18, SAN JOAQUIN COUNTY RECORDS, WAS USED AS THE BASIS OF  
BEARINGS SHOWN HEREON.

## BENCHMARK

U.S.C. & G.S. B.M. "Y-933" BRASS DISC ON THE TOWER LEG NEAR THE  
INTERSECTION OF BYRON HIGHWAY AND VON SOSTEN ROAD.  
ELEVATION = 31.07  
M.C.M.D. 1966

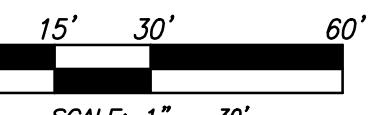
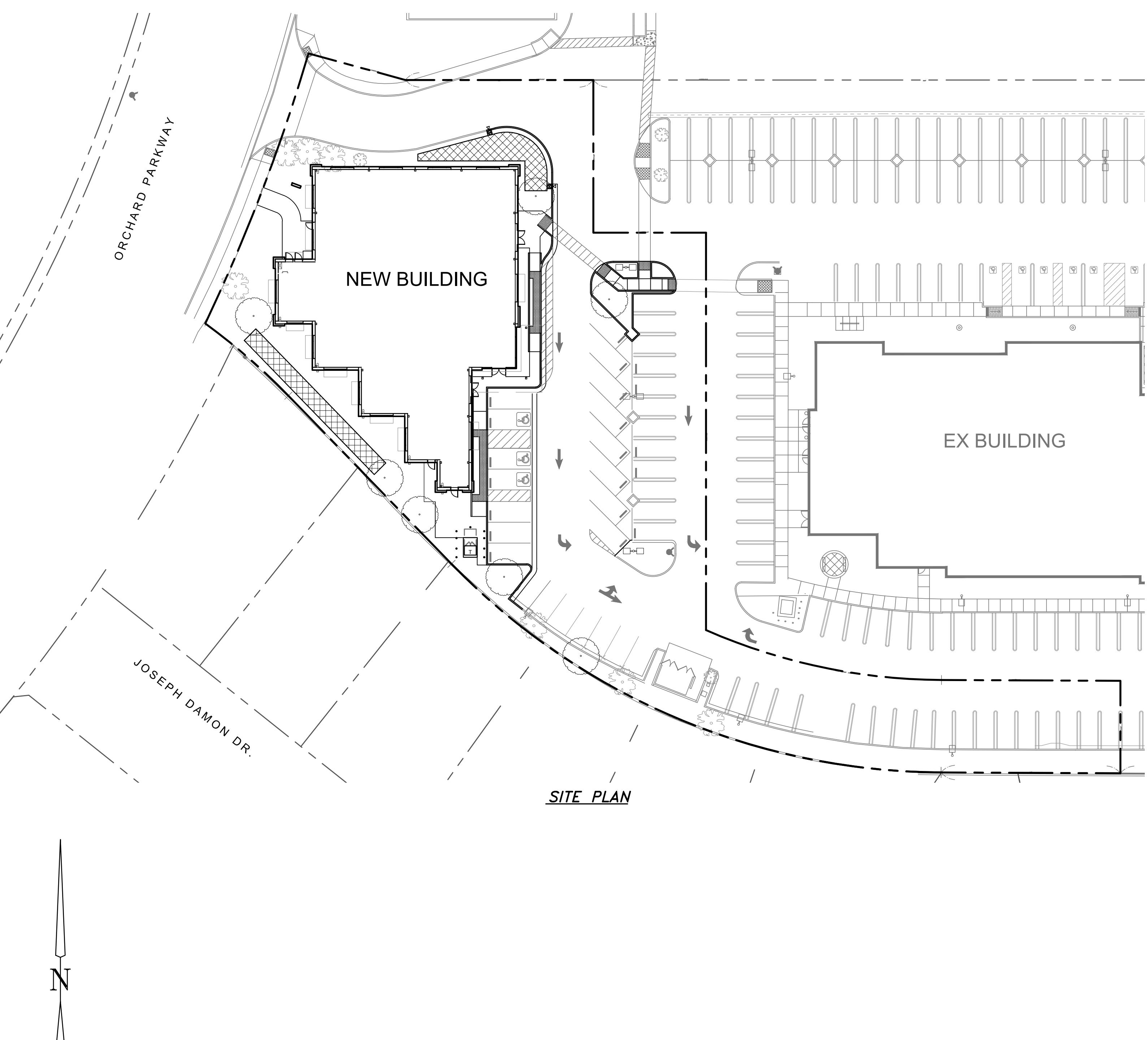
<u>LEGEND</u>		
<u>EXISTING</u>	<u>NEW</u>	<u>DESCRIPTION</u>
→	→	DIRECTION OF PIPE FLOW
~~~~→	~~~~→	DIRECTION OF SURFACE FLOW
— — — —	— — — —	EASEMENT
●	●	FIRE HYDRANT
■■■	■■■	JT CONNECTION
■■■	■■■	STORM DRAIN INLET
(MH)	●	STORM DRAIN MANHOLE
■■■	■■■	WATER METER
— — — —	— — — —	POST INDICATOR VALVE
— — — —	— — — —	PROPERTY LINE
— — — —	— — — —	RIDGE LINE
— — — —	— — — —	SANITARY SEWER SERVICE
— — — —	— — — —	STORM DRAIN SERVICE
●	●	STORM DRAIN CLEANOUT & SAMPLING MANHOLE AS NOTED
— — — W — — —	— — — W — — —	WATER SERVICE
— — — F — — —	— — — F — — —	FIRE SERVICE
— — — — —	— — — — —	CONCRETE VALLEY GUTTER
— — — — —	— — — — —	BIORETENTION PLANTER
— — — — —	— — — — —	WATER VALVE
— — — — —	— — — — —	VERTICAL CURB

## ABBREVIATIONS

(D)	DATA	JP	JOINT POLE
(M)	MEASURED DATA	JT	JOINT TRENCH
(OH)E	OVERHEAD ELECTRICAL	LAT	LATERAL
AB	AGGREGATE BASE	LE	LANDSCAPE EASEMENT
AC	ASPHALT CONCRETE	LF	LINEAR FEET
AD	AREA DRAIN	LS	LANDSCAPE
APPROX	APPROXIMATE	LT	LEFT
ARCH	ARCHITECTURE	MH	MANHOLE
ARV	AIR RELEASE VALVE	M-M	MONUMENT TO MONUMENT
ASB	AGGREGATE SUB-BASE	MON	MONUMENT
BC	BEGINNING OF CURVE	MON-MH	MONITORING MANHOLE
BFP	BACKFLOW PREVENTER	PAE	PUBLIC ACCESS EASEMENT
BO	BLOW-OFF	PCC	PORTLAND CEMENT CONCRETE
BMP	BEST MANAGEMENT PRACTICES	PG&E	PACIFIC GAS & ELECTRIC
BW	BACK OF WALK	PIV	POST INDICATOR VALVE
C&G	CURB & CUTTER	PL	PROPERTY LINE
CB	CATCH BASIN	PLE	PRIVATE LANDSCAPE EASEMENT
CDS	CONTINUOUS DEFLECTIVE SERARATION	PLTR	PLANTER
CL	CENTERLINE	PM	PARCEL MAP
CLF	CHAIN LINK FENCE	POB	POINT OF BEGINNING
CLS	CLASS	PS	PRIVATE STREET
CONC	CONCRETE	PSDE	PRIVATE STORM DRAIN EASEMENT
COTG	CLEANOUT TO GRADE	PSE	PUBLIC SIDEWALK EASEMENT
CR	CURB RETURN	PSSE	PRIVATE SANITARY SEWER EASEMENT
DEMO	DEMOLITION	PUE	PUBLIC UTILITY EASEMENT
DI	DRAINAGE INLET	PVC	POLYVINYL CHLORIDE
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
DOM	DOMESTIC	REV	REVISION
DWG	DRAWING	ROW, R/W	RIGHT-OF-WAY
DWY	DRIVEWAY	RT	RIGHT
EG	EXISTING GRADE	RWL	RAIN WATER LEADER
EL, ELEV	ELEVATION	SD	STORM DRAINAGE
ELEC	ELECTRICAL/ELECTRIC	SDI	STORM DRAINAGE INLET
EP	EDGE OF PAVEMENT	SDWK	SIDEWALK
ESMT	EASEMENT	SDCO	STORM DRAINAGE CLEANOUT
EX, EXIST	EXISTING	SERV	SERVICE
FC	FACE OF CURB	SS	SANITARY SEWER
FS	FIRE SERVICE	SSCO	SANITARY SEWER CLEANOUT
FG	FINISH GRADE	STA	STATION
FH	FIRE HYDRANT	SW	SIDEWALK
FL	FLOW LINE	TC	TOP OF CURB
FP	FINISHED PAVEMENT	TFMR	TRANSFORMER
G	GAS	TG	TOP OF GRATE
G&O	GRIND & OVERLAY	TYP	TYPICAL
GB	GRADE BREAK	UG	UNDERGROUND
HC	HANDICAP	VCP	VITRIFIED CLAY PIPE
HP	HIGH POINT	W	WATER
HV	HVAC UNIT	W/	WITH
INV	INVERT	WLE	WATER LINE EASEMENT
IP	IRON PIPE	WM	WATER METER
IRR	IRRIGATION	WMN	WATER MAIN
JAE	JOINT ACCESS EASEMENT	WSP	WELDED STEEL PIPE
		WS	WATER SERVICE
		WV	WATER VALVE

## UNDERGROUND ALERT:

1. ALL EXISTING UTILITY LOCATIONS AND DEPTHS ARE APPROXIMATE ONLY.
2. CONTRACTOR SHALL POTHOLE AND VERIFY PRIOR TO CONSTRUCTION
3. CONTRACTOR TO CONTACT USA FOR UTILITY MARKINGS PRIOR TO CONSTRUCTION  
PHONE: 811-DIG



P:\5180 - Grant Line Rd, Parcel 1 - Tracy\Engineering Plans\Planning\C1.0 COVER SHEET.dwg

CITY OF TRACY

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XXXXXXXXXXXXXXXXXX CITY ENGINEER DATE:

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DRAWN BY:	OG
JOB NO.:	5180

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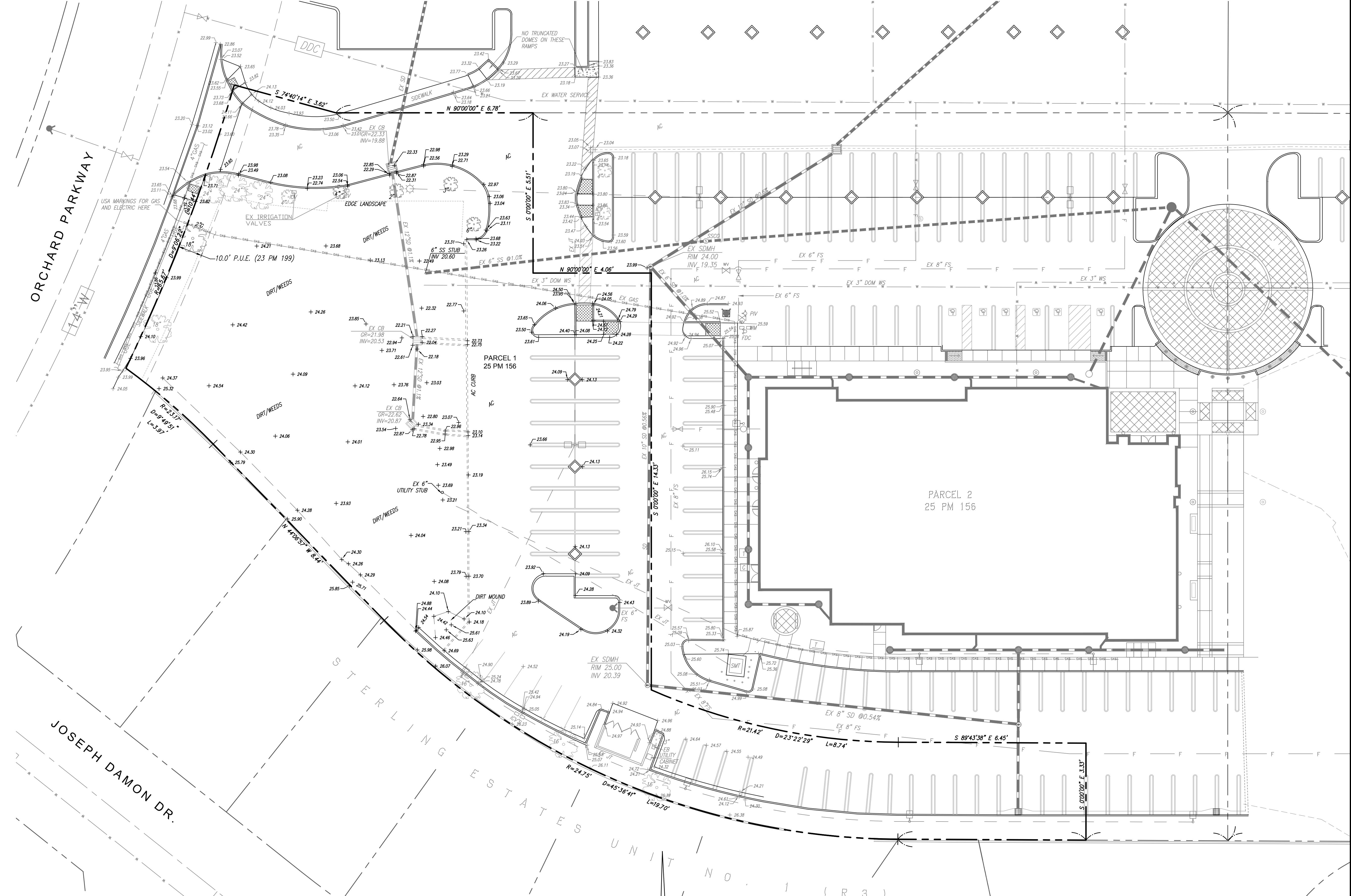
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#### BASIS OF BEARING

THE LINE BEARING NORTH 77°03'55" WEST BETWEEN CITY OF TRACY MONUMENTS "GPS 3" AND "GPS 2" OF THE CITY OF TRACY GRID CONTROL, AS SHOWN ON THE RECORD OF SURVEY FILED IN BOOK 30 OF SURVEYS, AT PAGE 18, SAN JOAQUIN COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.

#### BENCHMARK

U.S.C. & G.S. B.M. "Y-933" BRASS DISC ON THE TOWER LEG NEAR THE INTERSECTION OF BYRON HIGHWAY AND VON SOSTEN ROAD.  
ELEVATION = 31.07  
N.G.V.D. 1929



0 10' 20' 40'  
SCALE: 1" = 20'

#### UNDERGROUND ALERT:

1. ALL EXISTING UTILITY LOCATIONS AND DEPTHS ARE APPROXIMATE ONLY.
2. CONTRACTOR SHALL POTHOLE AND VERIFY PRIOR TO CONSTRUCTION
3. CONTRACTOR TO CONTACT USA FOR UTILITY MARKINGS PRIOR TO CONSTRUCTION

PHONE: 800-227-2600

#### CITY OF TRACY

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XXXXXXXXXXXX CITY ENGINEER DATE:

#### ONE-STORY MEDICAL OFFICE BUILDING ORCHARD PARKWAY TRACY, CALIFORNIA 95377

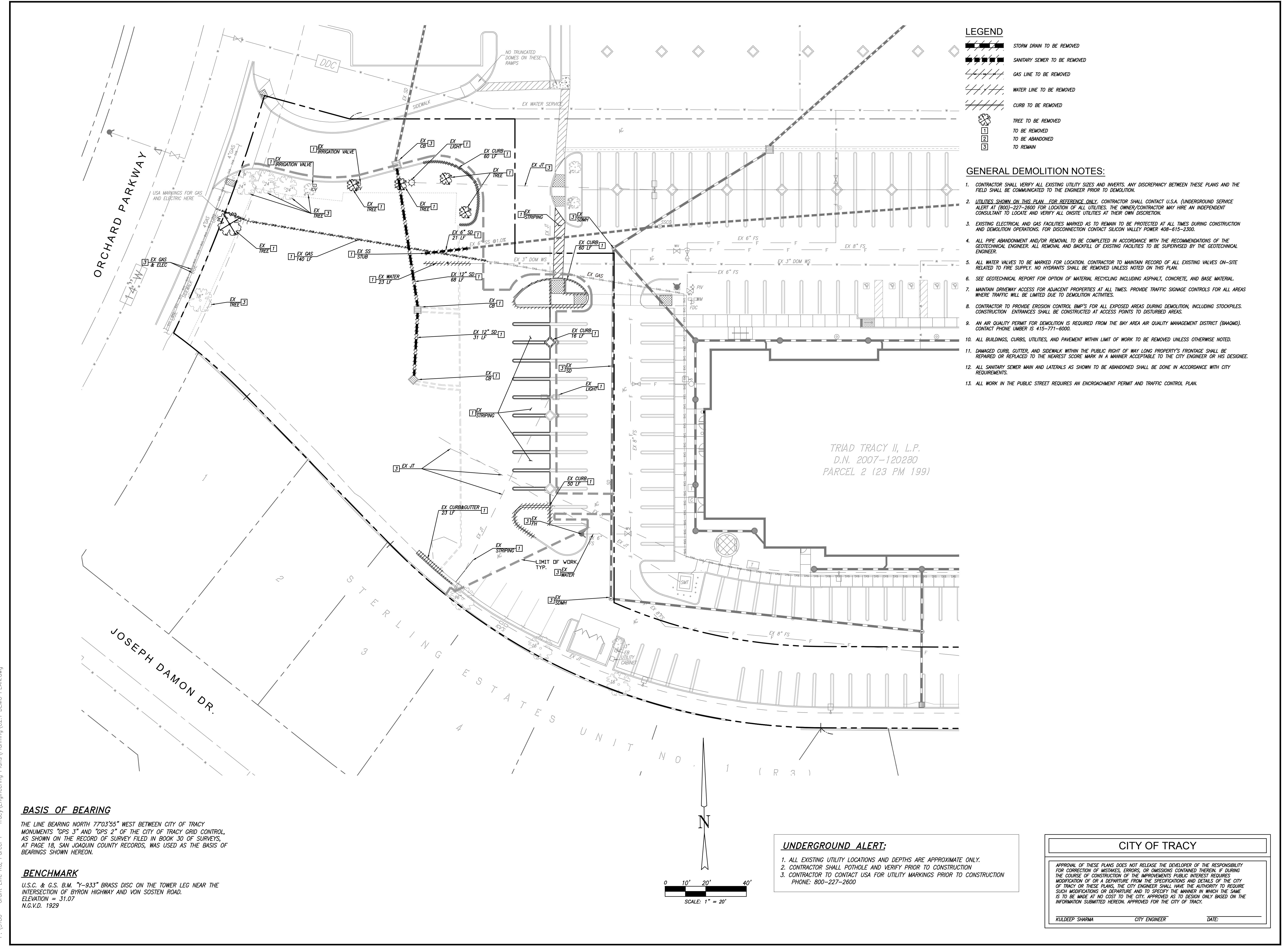
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137th Technology Drive Suite 880  
San Jose, Ca 95110 (408) 286-4555

EXISTING CONDITIONS			
	DATE	REMARKS	
1	5/20/2020	PLANNING SUBMITTAL #1	
2	7/28/2020	PLANNING SUBMITTAL #2	
3	12/18/2020	PLANNING SUBMITTAL #3	
4	2/1/2021	PLANNING SUBMITTAL #4	
5			
6			
7			

PM:	RK
DRAWN BY:	DG
JOB NO.:	5180

SHEET

**C2.0**



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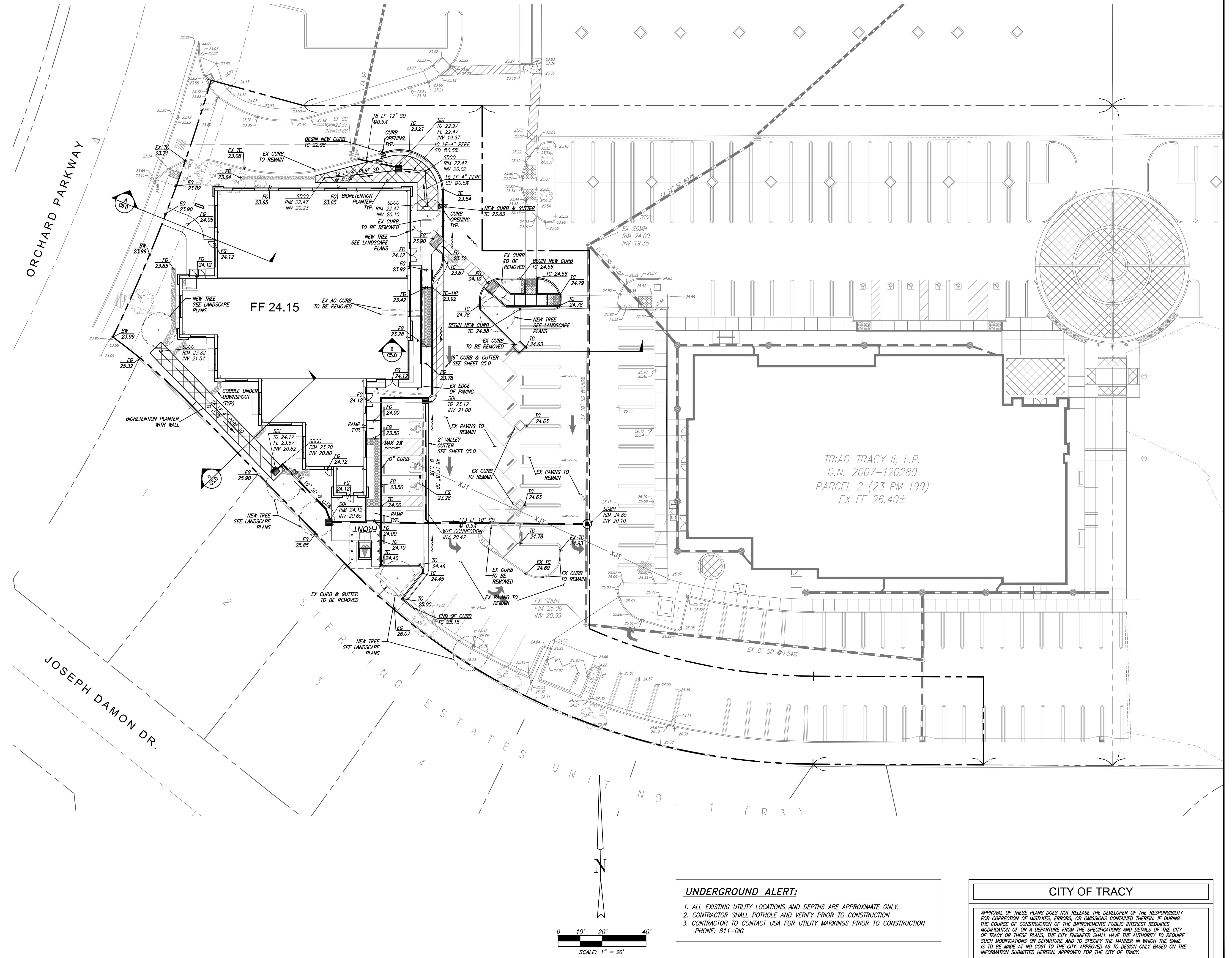


**ONE-STORY MEDICAL OFFICE BUILDING**  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377

DEMOLITION PLAN		REMARKS
DATE	5/20/2020	PLANNING SUBMITTAL #1
1	7/28/2020	PLANNING SUBMITTAL #2
2	12/18/2020	PLANNING SUBMITTAL #3
3	2/1/2021	PLANNING SUBMITTAL #4
4		
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DRAWN BY:	DG
JOB NO.:	5180

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ONE-STORY MEDICAL OFFICE  
BUILDING  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377

GRADING & DRAINAGE PLAN		REMARKS
1	5/20/2020	PLANNING SUBMITTAL #1
2	7/28/2020	PLANNING SUBMITTAL #2
3	12/18/2020	PLANNING SUBMITTAL #3
4	2/1/2021	PLANNING SUBMITTAL #4
5		
6		
7		

PM:	RK
DRAWN BY:	DG
JOB NO.:	5180

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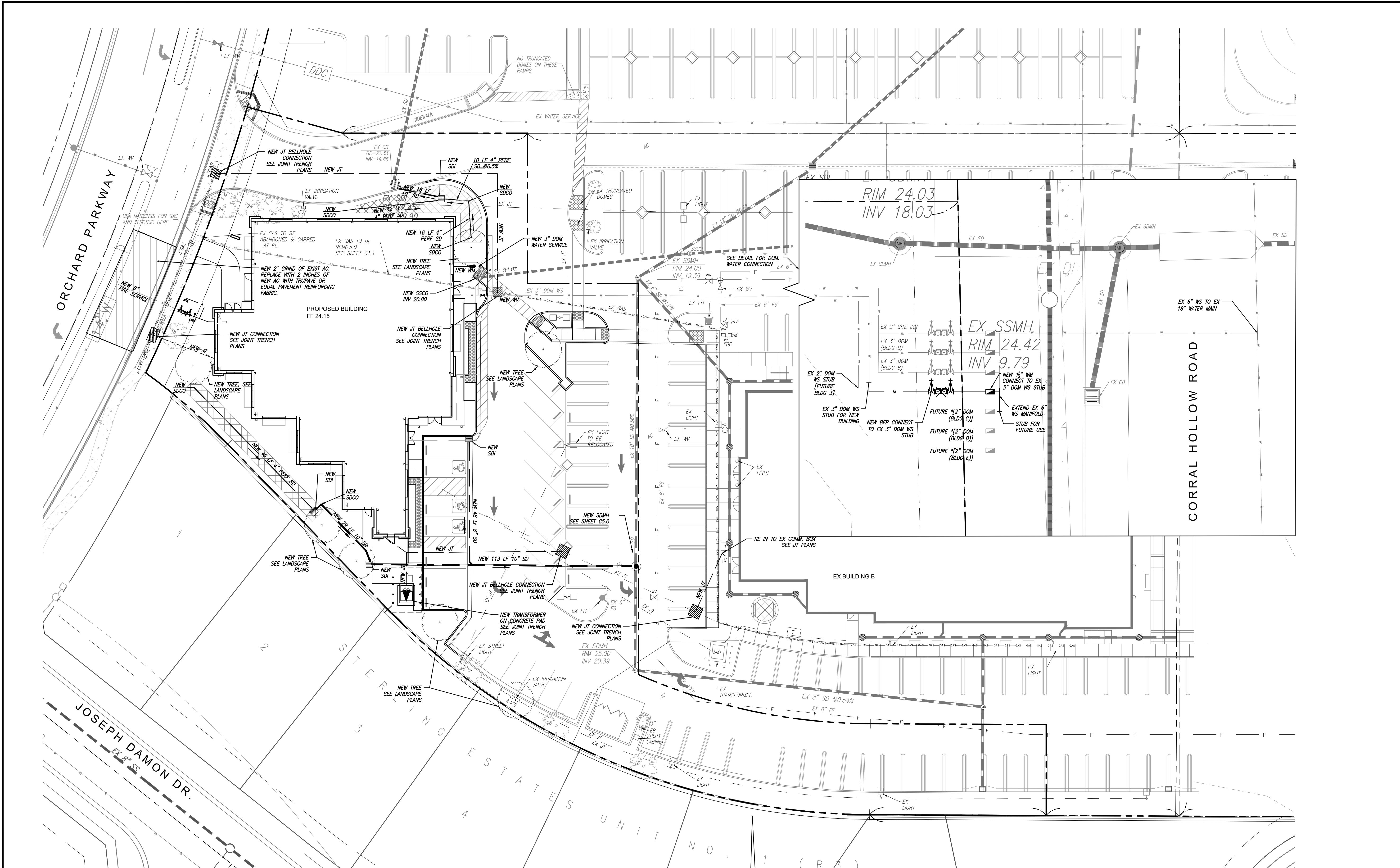
JMH WEISS, INC.  
Civil Engineering ~ Surveying ~ Land Planning  
137th Street, Suite 880  
San Jose, CA 95110  
(408) 286-4555



APPROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS PUBLIC INTEREST REQUIRES MODIFICATION OR DEPARTURE FROM THE PLANS, THE CITY OF TRACY, CALIFORNIA, CITY OF TRACY OR THESE PLANS, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATIONS OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE AT NO COST TO THE CITY. APPROVED AS TO DESIGN ONLY BASED ON THE INFORMATION SUBMITTED HEREON. APPROVED FOR THE CITY OF TRACY.

XXXXXX XXXXXX CITY ENGINEER DATE:

Fr. 29 Jan 2021



## NOTES

1. FIRE SERVICE IS SHOWN AS A SCHEMATIC DESIGN, FIRE SERVICES TO BE DESIGNED BY OTHERS. FH AND DESIGN WILL BE SHOWN ON THE SHOP DRAWINGS SUBMITTAL AND WILL BE COORDINATED WITH THE FIRE DEPARTMENT.
2. ALL UNDERGROUND FIRE MAINS SHALL BE PVC 900, CLASS 200 OR DUCTILE IRON PIPE. ALL PIPE UNDER DRIVEWAYS SHALL BE IRON DUCTILE PIPE.
3. KEY BOXES: A KNOX BOX SHALL BE INSTALLED PER THE DIRECTION OF THE FIRE DEPARTMENT.
4. ALL FDC'S SHALL BE LOCATED ON THE BUILDING UNLESS NOTED OTHERWISE.
5. CONSTRUCTION TYPE: V-N, 10,684 SQUARE FEET, PROPOSED HEIGHT: 21'. VERIFY WITH ARCHITECTURAL PLANS
6. DOMESTIC WATER PIPE SHALL BE SCHEDULE 40 PVC.
7. ALL SANITARY SEWER PIPE SHALL BE SDR-26 PVC .

## FIRE PROTECTION NOTES

1. THE UNDERGROUND FIRE PROTECTION SYSTEM IS TO BE DESIGNED BY OTHERS. PLEASE REFER TO CONTRACTOR'S PLANS FOR FIRE PROTECTION SYSTEM.
2. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE JURISDICTION.
3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE JURISDICTION, THE RATING AGENCY AND THE ARCHITECT ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO THE START OF WORK.
4. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL COORDINATE WITH THE OVERHEAD SPRINKLER CONTRACTOR FOR LOCATION OF RISER ASSEMBLIES.

## UNDERGROUND ALERT:

GENERAL CONDITIONS

1. ALL EXISTING UTILITY LOCATIONS AND DEPTHS ARE APPROXIMATE ONLY.
2. CONTRACTOR SHALL POTHOLE AND VERIFY PRIOR TO CONSTRUCTION
3. CONTRACTOR TO CONTACT USA FOR UTILITY MARKINGS PRIOR TO CONSTRUCTION  
PHONE: 811-DIG

CITY OF TRACY

PROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY  
FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING  
THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS PUBLIC INTEREST REQUIRES  
MODIFICATION OF OR A DEPARTURE FROM THE SPECIFICATIONS AND DETAILS OF THE CITY  
OF TRACY OR THESE PLANS, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE  
SUCH MODIFICATIONS OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME  
TO BE MADE AT NO COST TO THE CITY. APPROVED AS TO DESIGN ONLY BASED ON THE  
INFORMATION SUBMITTED HEREON. APPROVED FOR THE CITY OF TRACY.

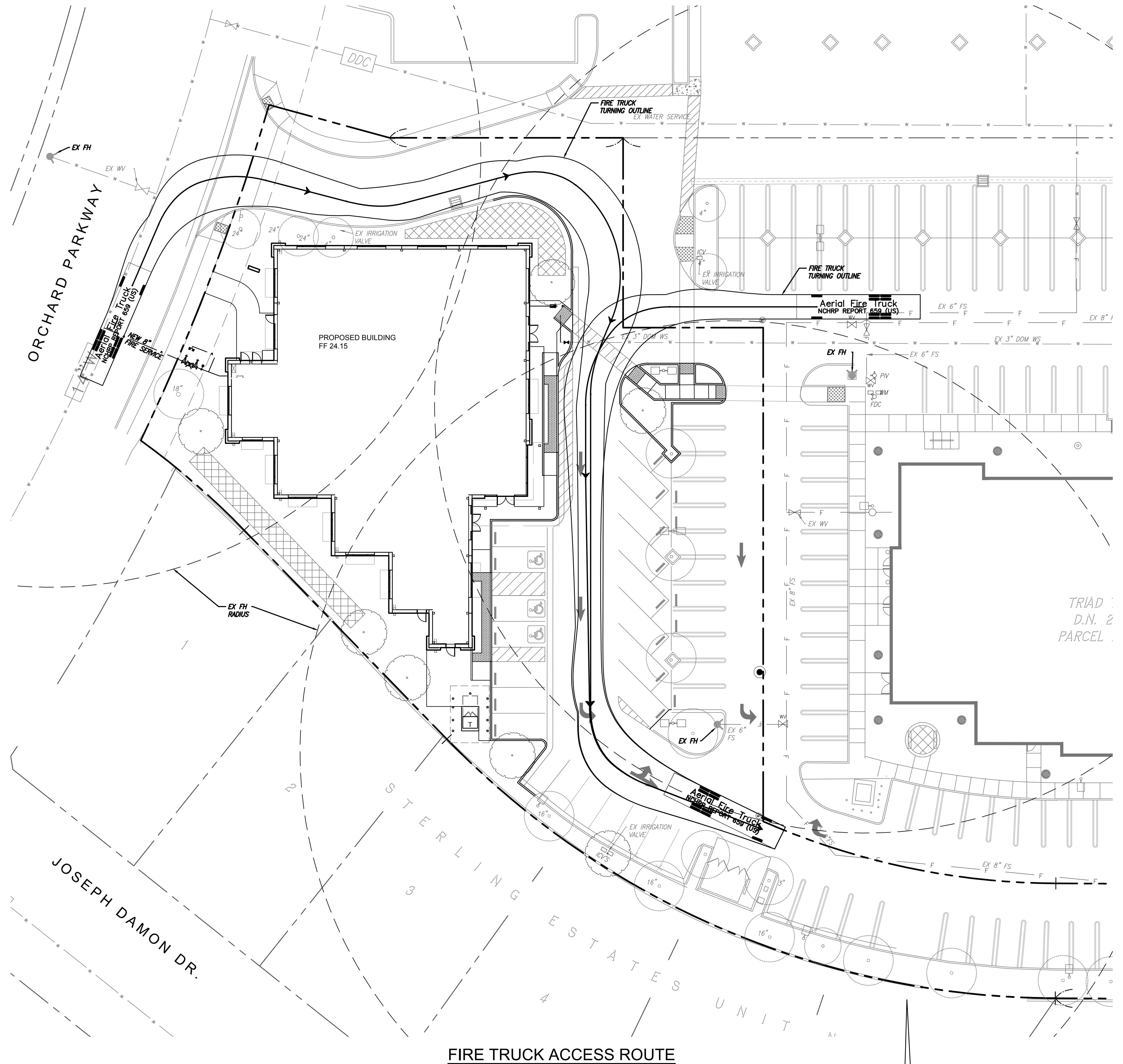
XXXXXXXX XXXXXX CITY ENGINEER DATE:

# UTILITY PLAN

1	2	3	4	5	6	7	8
PM:	RK						
DRAWN BY:	DG						
JOB NO.:	5180						

SHEET

# C4.0



## FIRE TRUCK ACCESS ROUTE

## FIRE PROTECTION NOTES

1. FIRE SERVICE IS SHOWN AS A SCHEMATIC DESIGN, FIRE SERVICES TO BE DESIGNED BY OTHERS. FH AND DESIGN WILL BE SHOWN ON THE SHOP DRAWINGS SUBMITTAL AND WILL BE COORDINATED WITH THE FIRE DEPARTMENT.

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3. KEY BOXES: A KNOX BOX SHALL BE INSTALLED PER THE DIRECTION OF THE FIRE DEPARTMENT.

4. ALL FDC'S SHALL BE LOCATED ON THE BUILDING UNLESS NOTED OTHERWISE.

5. CONSTRUCTION TYPE: V-N, 10,684 SQUARE FEET, PROPOSED HEIGHT: 21'. VERIFY WITH ARCHITECTURAL PLANS.

6. DOMESTIC WATER PIPE SHALL BE SCHEDULE 40 PVC.

7. ALL SANITARY SEWER PIPE SHALL BE SDR-26 PVC .

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3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE JURISDICTION, THE RATING AGENCY AND THE ARCHITECT ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO THE START OF WORK.
4. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL COORDINATE WITH THE OVERHEAD SPRINKLER CONTRACTOR FOR LOCATION OF RISER ASSEMBLIES.

A scale bar diagram with a horizontal line divided into four segments. The first segment is white and labeled '0'. The next three segments are black and labeled '10'', '20'', and '40'' respectively. Below the line, the text 'SCALE: 1" = 20'' is written.

## UNDERGROUND ALERT:

1. ALL EXISTING UTILITY LOCATIONS AND DEPTHS ARE APPROXIMATE ONLY.
2. CONTRACTOR SHALL POTHOLE AND VERIFY PRIOR TO CONSTRUCTION
3. CONTRACTOR TO CONTACT USA FOR UTILITY MARKINGS PRIOR TO CONSTRUCTION  
PHONE: 811-DIG

## ITY OF TRACY

oval of these plans does not release the developer of the responsibility  
correction of mistakes, errors, or omissions contained therein. If during  
course of construction of the improvements public interest requires  
modification of or a departure from the specifications and details of the city  
pacy or these plans, the city engineer shall have the authority to require  
modifications or departure and to specify the manner in which the same  
be made at no cost to the city. Approved as to design only based on the  
information submitted hereon. Approved for the city of tracy.

XXXXX XXXXX CITY ENGINEER DATE:

ONE-STORY MEDICAL OFFICE  
BUILDING  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377

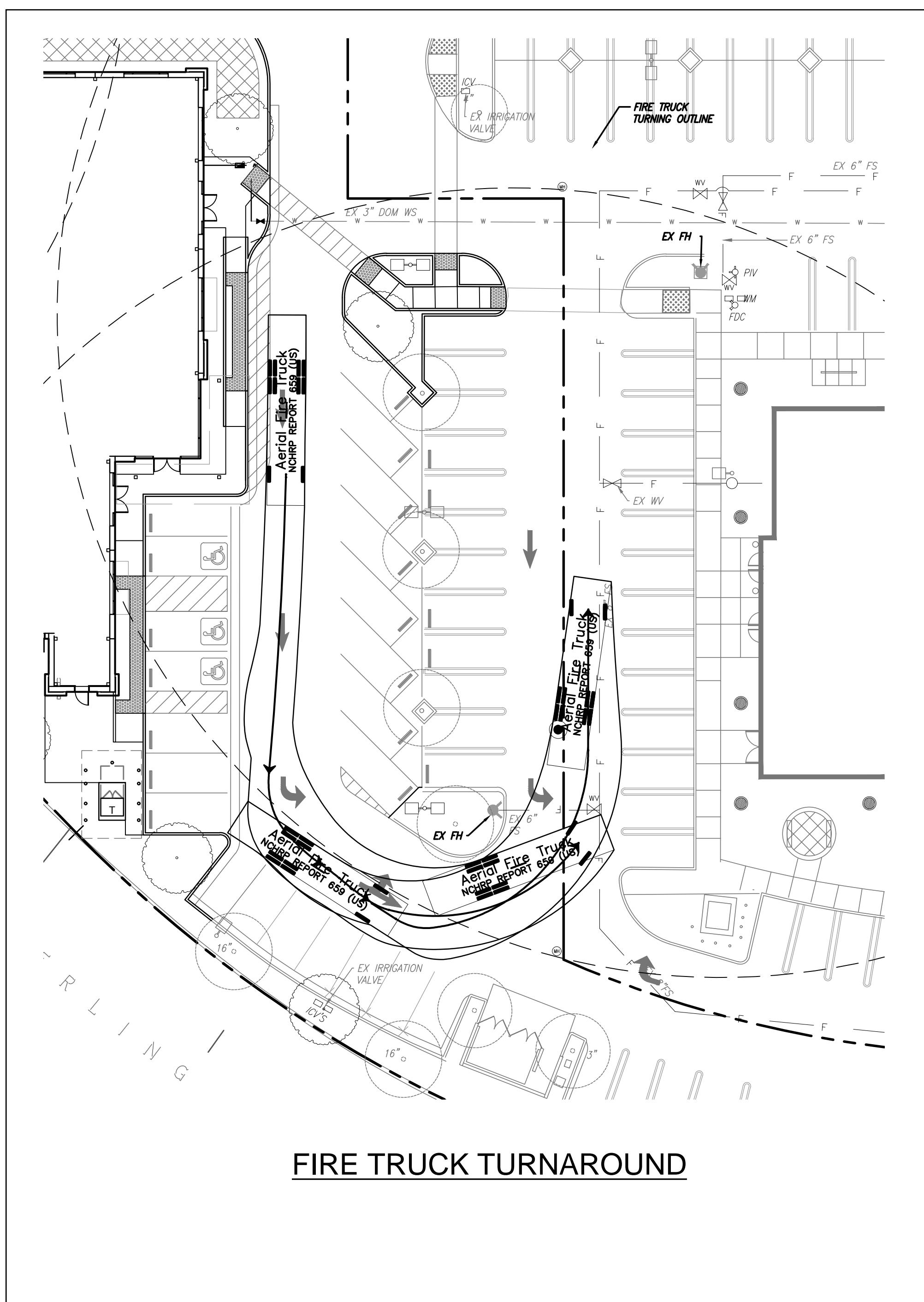
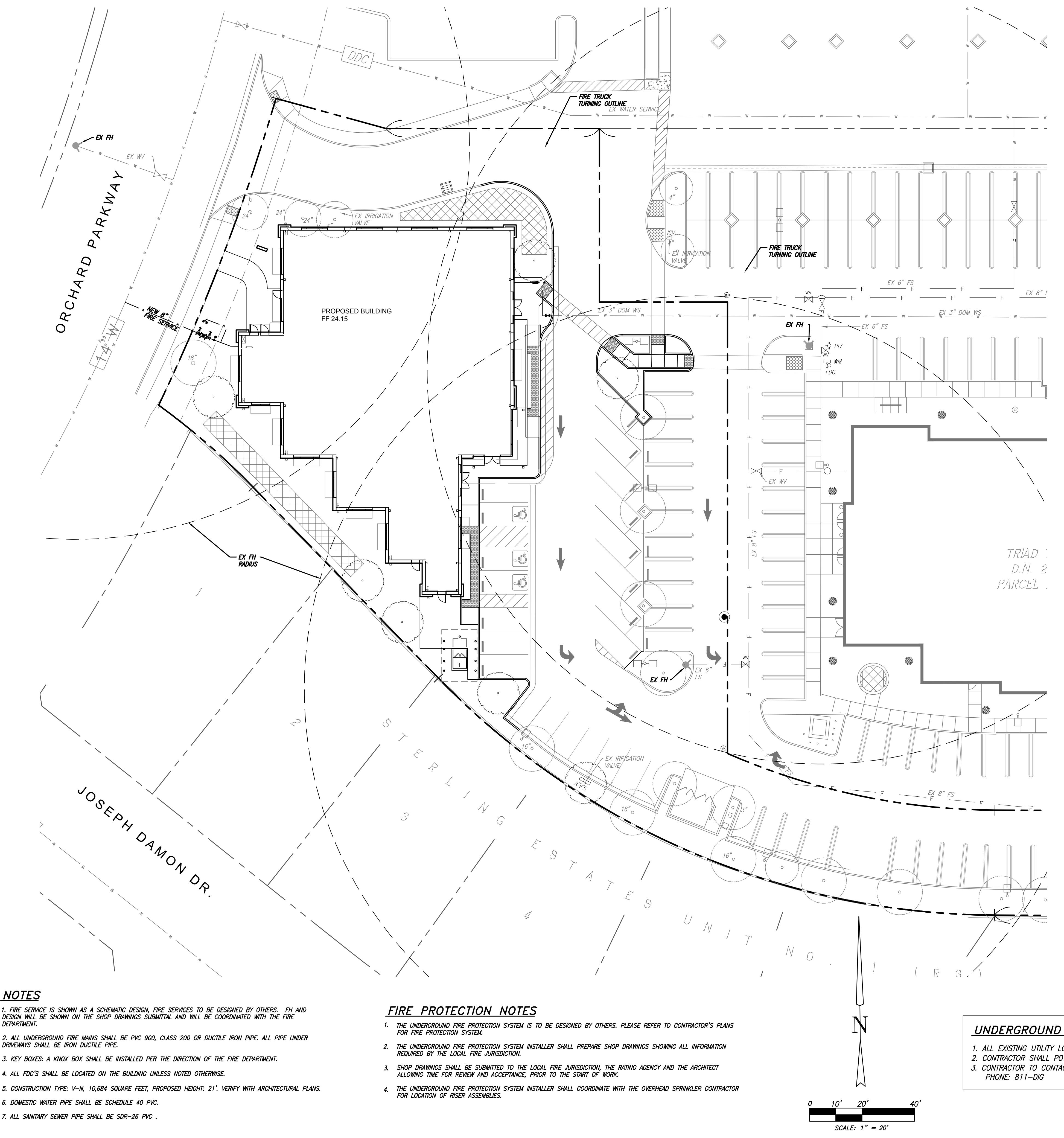
FIRE SERVICE PLAN			
DATE	REMARKS	PLANNING SUBMITTAL #1	PLANNING SUBMITTAL #2
1/2020			
1/2020			
1/2020			
1/2021			

1	2	3	4	5	6	7
PM:	RK					
DRAWN BY:	DG					
JOB NO.:	5180					

SHEET

## C4.1

# FIRE TRUCK TURNING MOVEMENT #1



**ONE-STORY MEDICAL OFFICE  
BUILDING  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377**

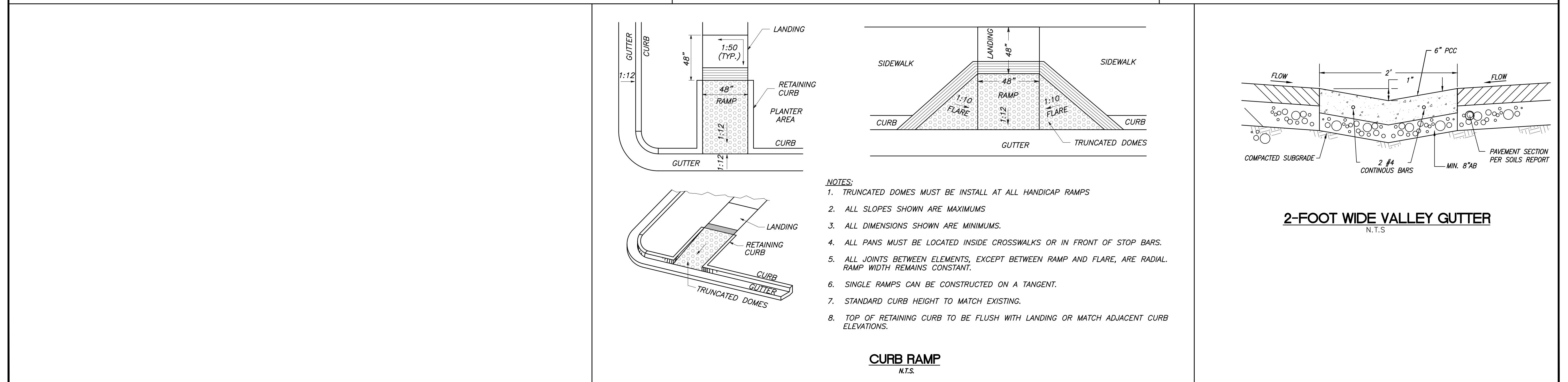
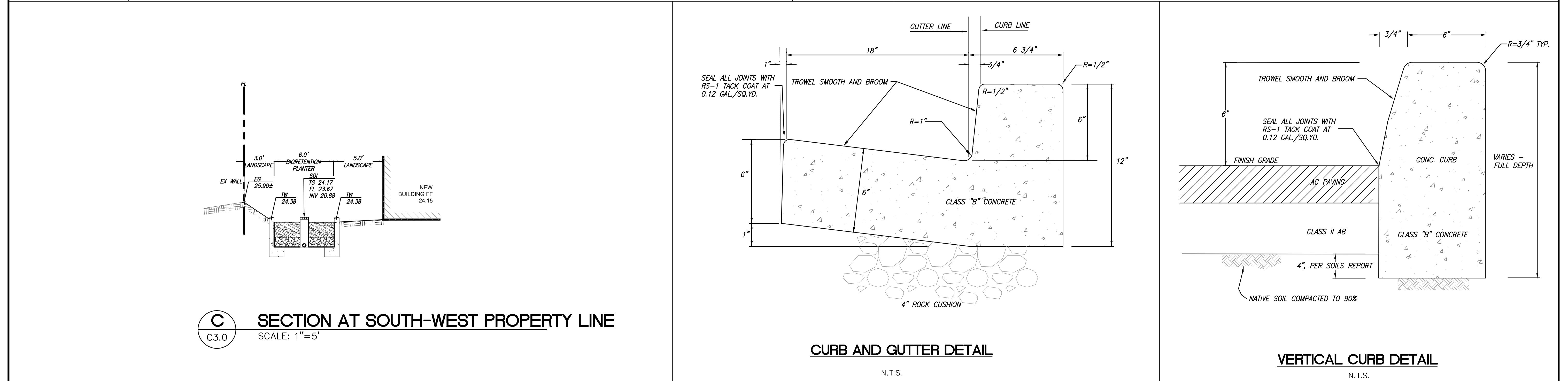
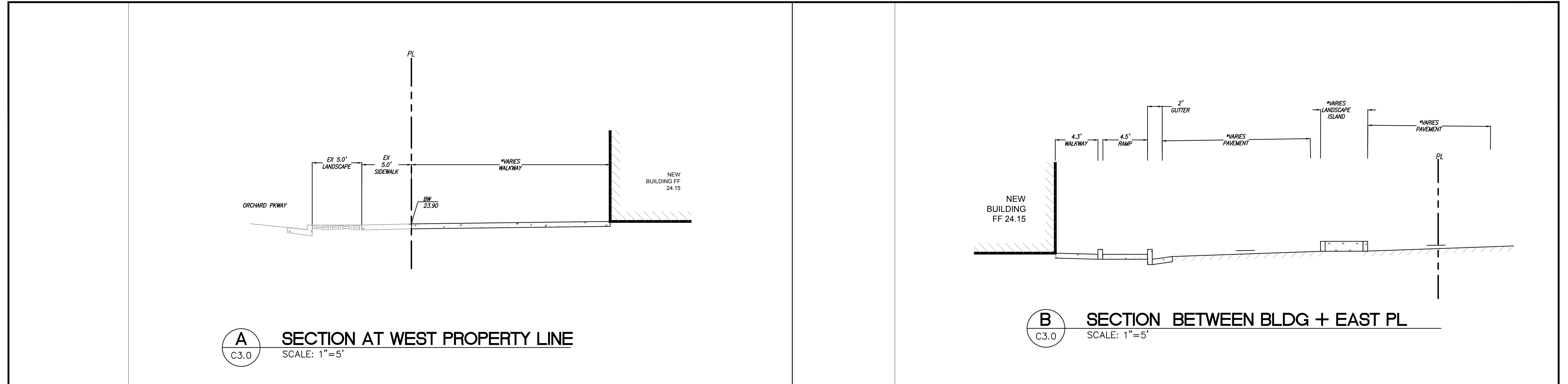
FIRE SERVICE PLAN	
REMARKS	
1	5/20/2020 PLANNING SUBMITTAL #1
2	7/28/2020 PLANNING SUBMITTAL #2
3	12/18/2020 PLANNING SUBMITTAL #3
4	2/1/2021 PLANNING SUBMITTAL #4
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PM:	RK
DRAWN BY:	DG
JOB NO.:	5180

SHEET	C4.1a
Mon, 01 Feb 2021	

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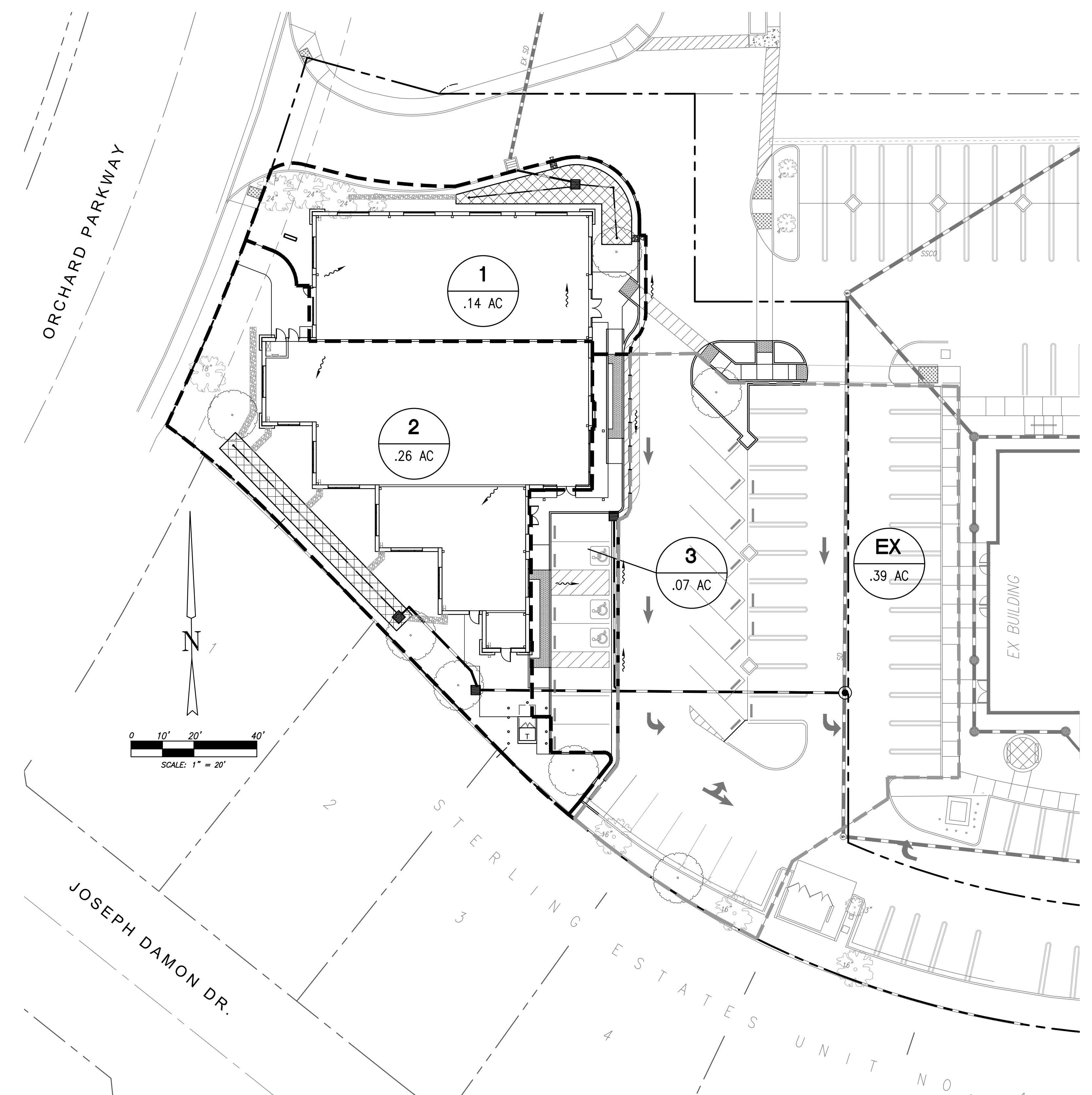




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San Jose, CA 95110 (408) 286-4555



**ONE-STORY MEDICAL OFFICE BUILDING  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377**

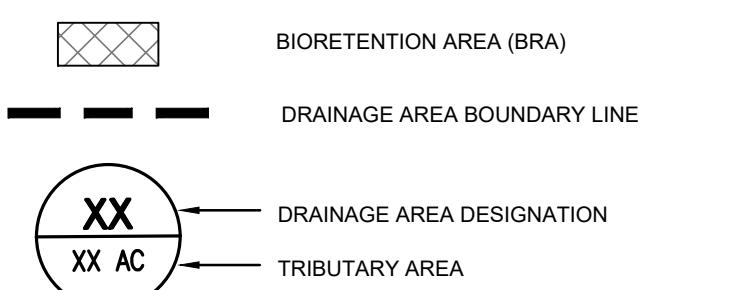


TREATMENT CONTROL MEASURE SUMMARY TABLE												
DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (in)
1	1	Onsite	Bioretention lined w/ underdrain	LID	SDV	6,171	4,111	2,060	30.32%	277	582	6
2	2	Onsite	Bioretention lined w/ underdrain	LID	SDV	11,134	7,909	3,225	54.70%	574	564	6
3	3	Onsite	Untreated	Non-LID	N/A	3,048	3,048	0	-	-	-	-
						<b>Totals:</b>	20,353	15,068	5,285	85.02%	851	1146
Footnotes:												
* "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.												
** Sizing for Bioretention Area Required calculated using the SDV Method												

### PROJECT SITE INFORMATION:

1. SOILS TYPE: C
2. GROUND WATER DEPTH: 8.5 FT±
3. NAME OF RECEIVING BODY: DETENTION POND: 'OLD RIVER'
4. FLOOD ZONE: XX
5. FLOOD ELEVATION (IF APPLICABLE): XXXXX

### LEGEND



### BIOTREATMENT SOIL REQUIREMENTS

- BIOTREATMENT PLANTING MEDIA SHALL MEET THE REQUIREMENTS AS OUTLINED IN SECTION 6 OF THE MULTI-AGENCY POST-CONSTRUCTION STORMWATER STANDARDS MANUAL AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 60-70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO SECTION 6 FOR SAND AND COMPOST MATERIAL SPECIFICATIONS. CONTRACTOR MAY OBTAIN A COPY OF THE MULTI-AGENCY POST-CONSTRUCTION STORMWATER STANDARDS MANUAL AT: <https://www.ci.tracy.ca.us>
- PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

### STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS, TO PREVENT MOSQUITO GENERATION. SHOULD ANY MOSQUITO ISSUE ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT. MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANS. DO NOT OVER WATER.

### BIOTREATMENT & FLOW-THROUGH PLANTER NOTES:

1. SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
2. PLACE 3 INCHES OF COMPOSTED, NON-FLAMMABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS.
3. SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS.
4. CURB CUTS SHALL BE A MINIMUM 18' WIDE AND SPACED AT 10' O.C. INTERVALS OR LESS AND SLOPED TO DIRECT STORMWATER TO DRAIN INTO THE BASINS. CURB CUTS SHALL ALSO NOT BE PLACED INLINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.
5. A MINIMUM 0.2' DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
6. DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.

\*\* NOTE: EXISTING AREA OF 0.39 ACRES AS DENOTED ON THIS PLAN WAS INCLUDED IN THE ORIGINAL TREATMENT CALCULATIONS FOR GRANT LINE COMMONS. THIS AREA IS TRIBUTARY TO PART OF A STORM DRAIN SYSTEM THAT IS TREATED BY A MEDIA FILTER CONSTRUCTED WITH PHASE 1 OF THE DEVELOPMENT PROJECT.

ONE-STORY MEDICAL OFFICE  
BUILDING  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377

PRELIMINARY PROJECT STORMWATER PLAN	
DATE	REMARKS
1 5/20/2020	PLANNING SUBMITTAL #1
2 7/28/2020	PLANNING SUBMITTAL #2
3 12/18/2020	PLANNING SUBMITTAL #3
4 2/1/2021	PLANNING SUBMITTAL #4
5	
6	
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PM:	RK
DRAWN BY:	DG
JOB NO.:	5180

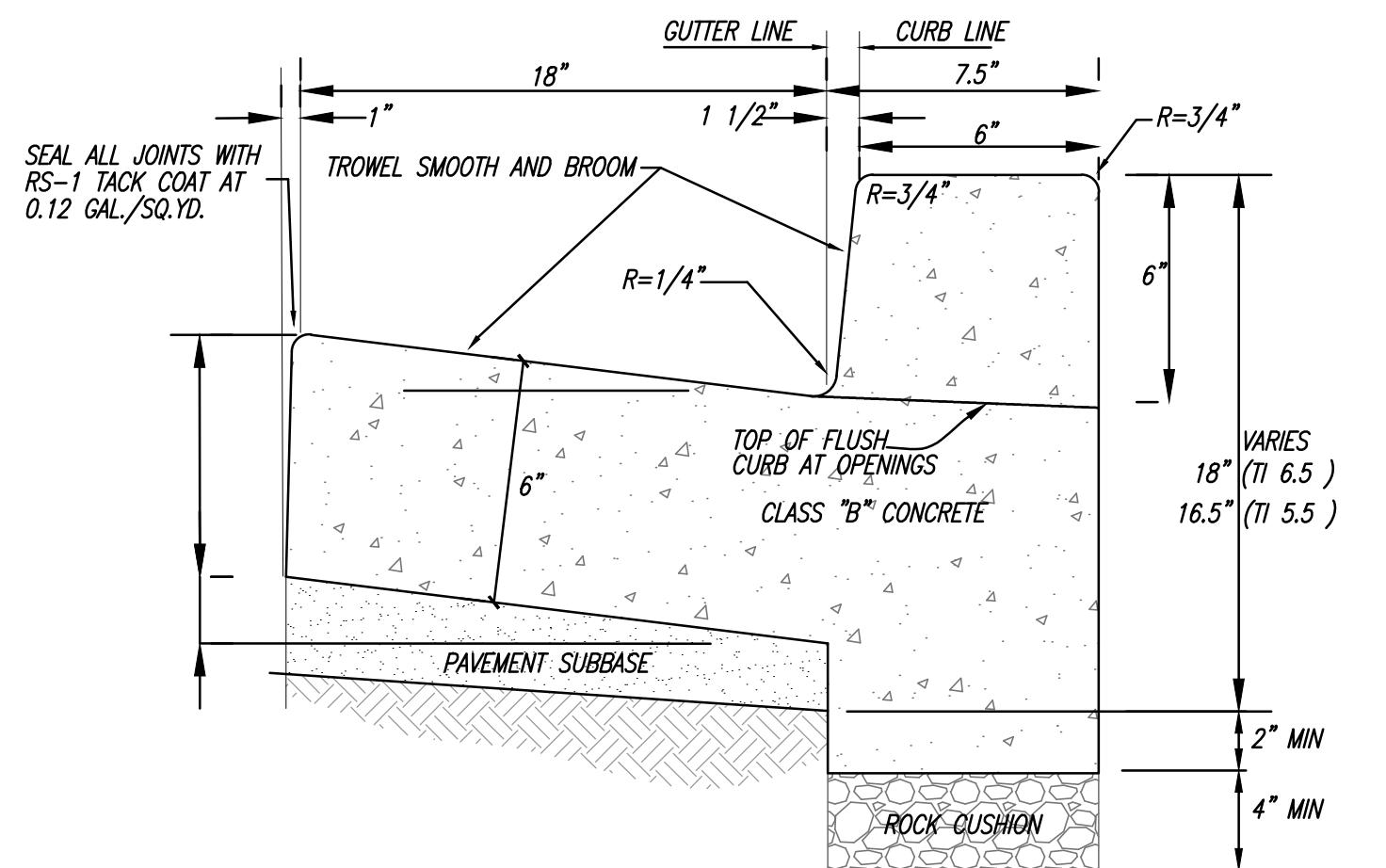
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San Jose, CA 95110 (408) 286-4555

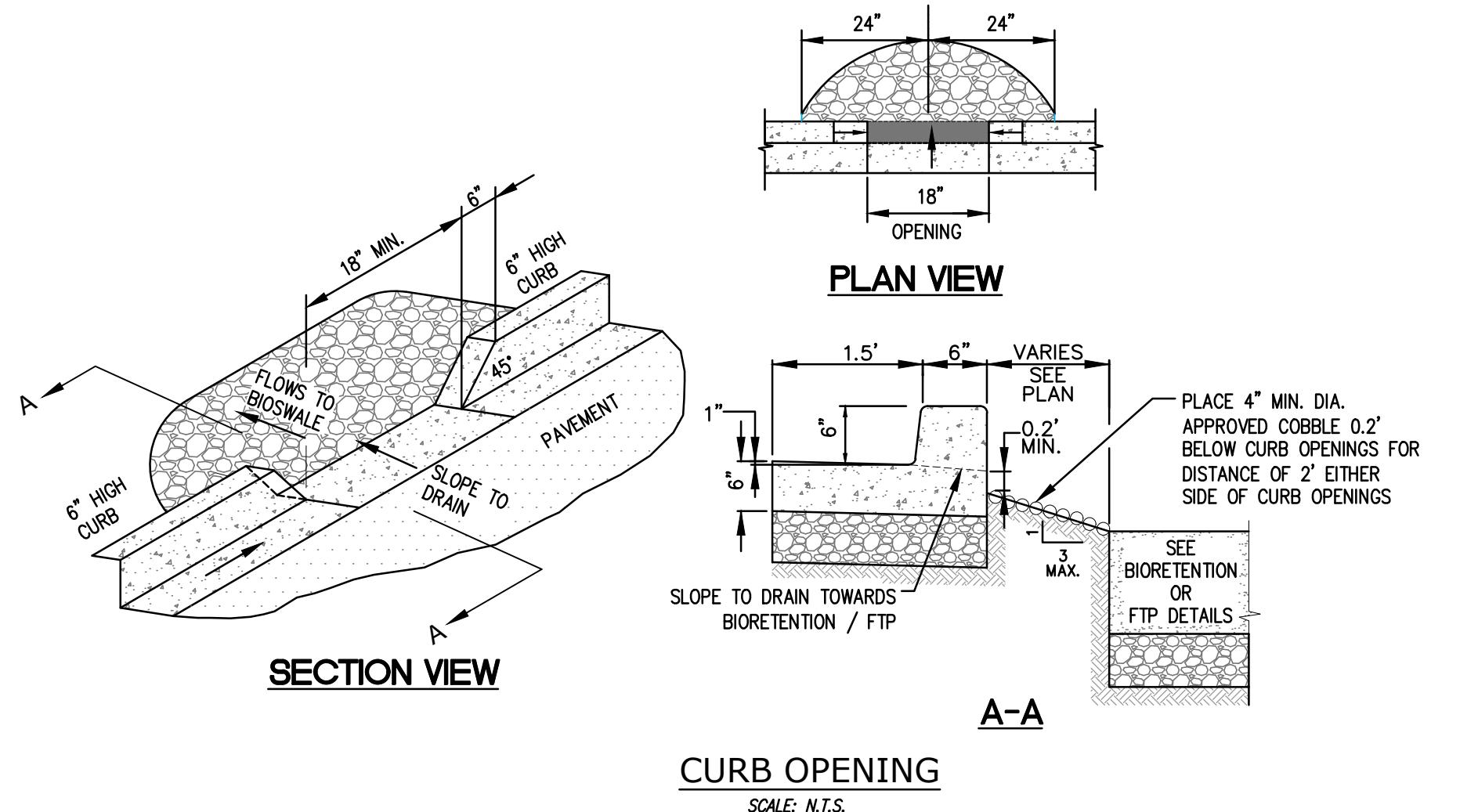
**TABLE 1**  
**ROUTINE MAINTENANCE ACTIVITIES FOR BIORETENTION AREAS**

ROUTINE MAINTENANCE ACTIVITIES FOR BIORETENTION AREAS		
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIORETENTION AREA AND ITS INLETS AND OUTLETS; AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 - 3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2" – 3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	
11	INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON



### P.C.C. CURB AND GUTTER, TYP.

SCALE: N.T.S.



## CURB OPENING

SALES

## **OPERATION AND MAINTENANCE INFORMATION:**

## PROPERTY INFORMATION:

I.A. PROPERTY ADDRESS:  
ORCHARD PARKWAY AT GRA  
LINE ROAD

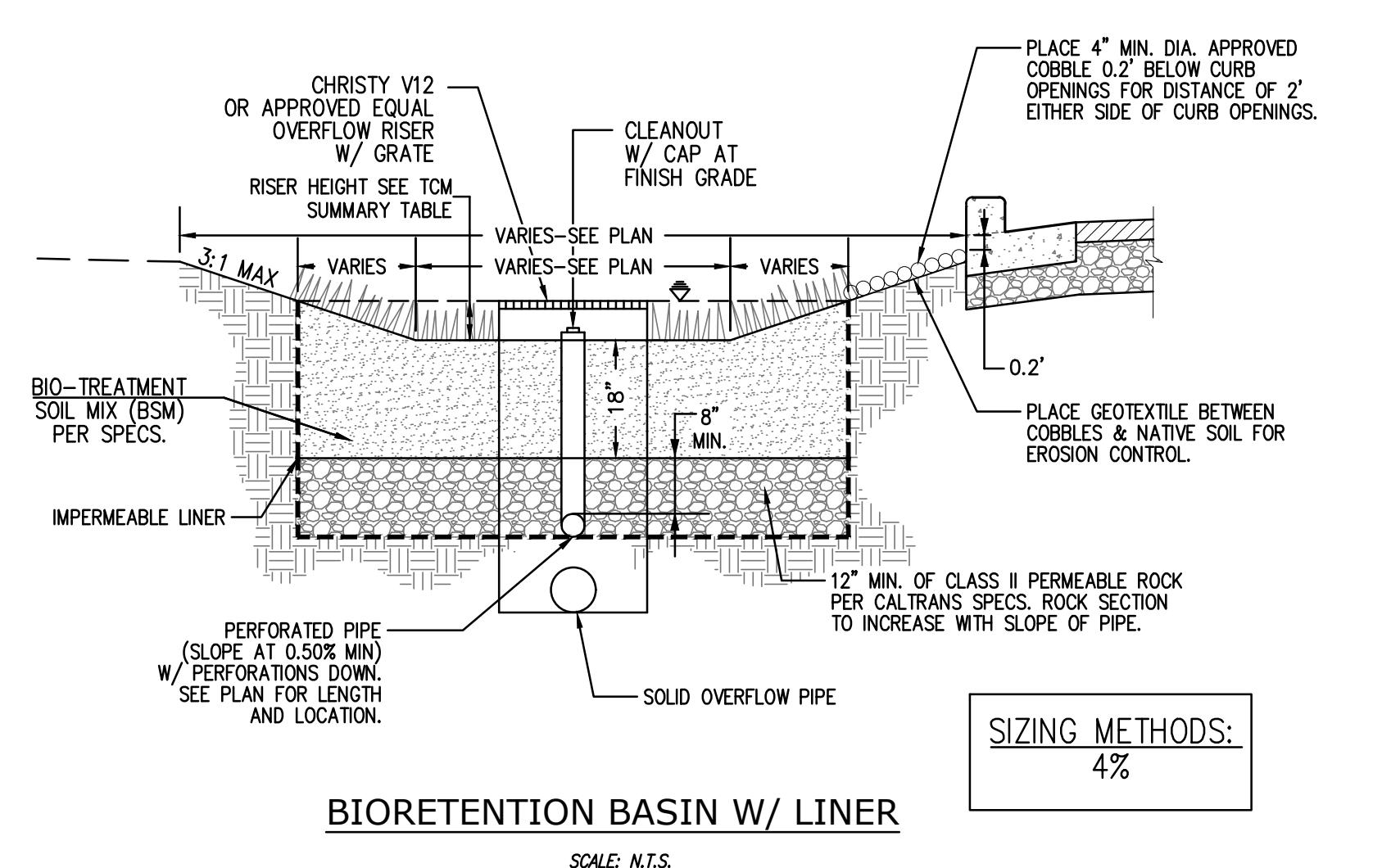
I.B. PROPERTY OWNER:  
TRIAD TRACY II, L.P.

#### RESPONSIBLE PARTY FOR MAINTENANCE

II.A. CONTACT:  
RICK NEEDHAM

II.B. PHONE NUMBER OF CONTACT  
(949) 683-4804

**II.C. EMAIL:**



## BIORETENTION BASIN W/ LINER

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SCM15-NTC

ONE-STORY MEDICAL OFFICE  
BUILDING  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377



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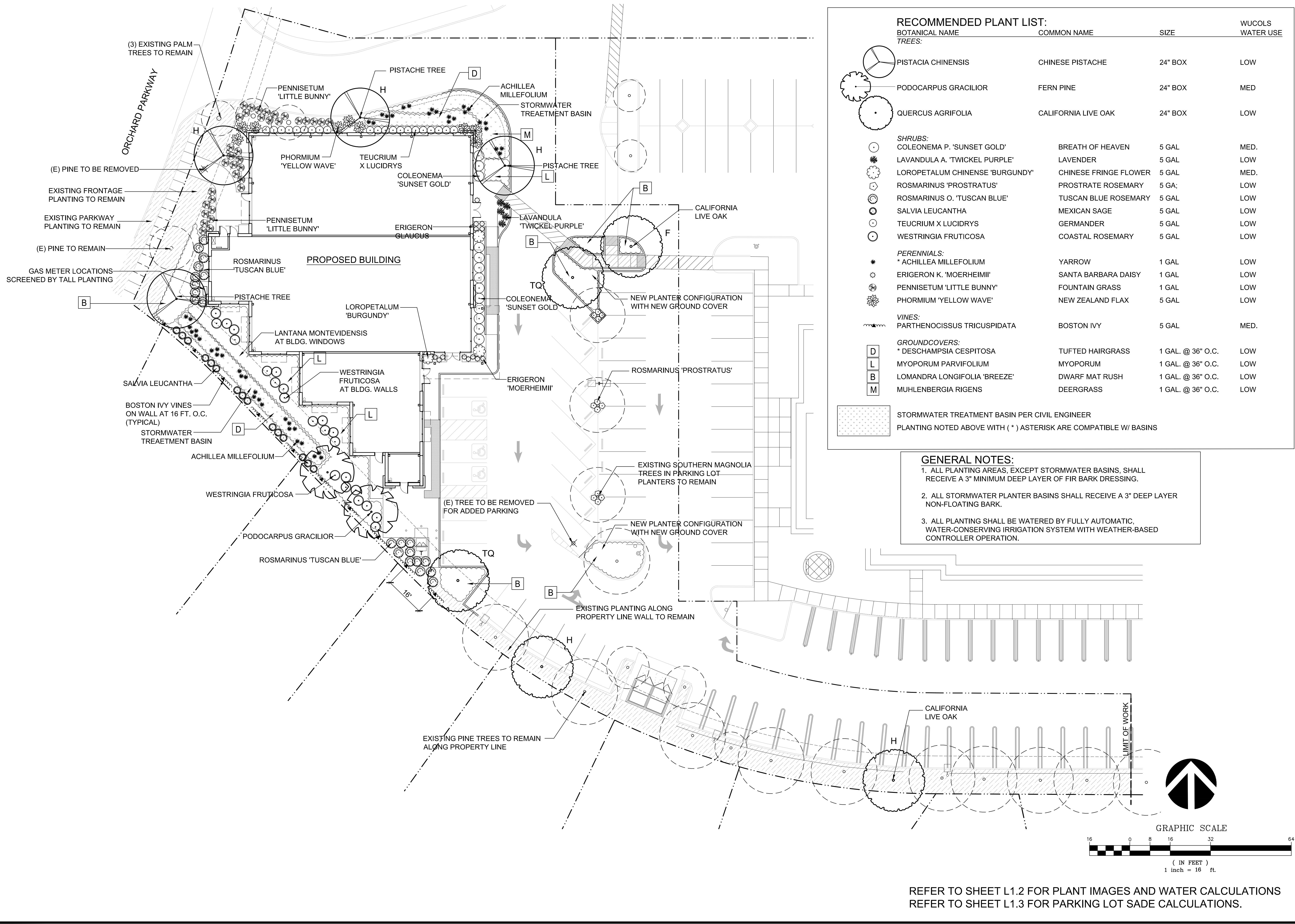
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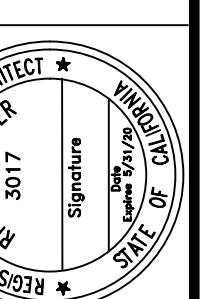
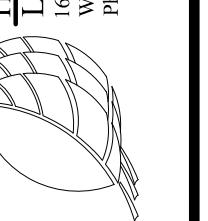
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1371 Technology Drive Suite 880  
San Jose, Ca 95110 (408) 286-4555

PRELIMINARY STORMWATER CONTROL DETAILS		
	DATE	REMARKS
1	5/20/2020	PLANNING SUBMITTAL #1
2	7/28/2020	PLANNING SUBMITTAL #2
3	12/18/2020	PLANNING SUBMITTAL #3
4	2/1/2021	PLANNING SUBMITTAL #4
5		
6		
7		

**SHEET**





TRACY - MOB  
 ORCHARD PARKWAY  
 TRACY, CA

PLANT IMAGES &  
 WELD CALC'S

DESIGNED:  
 RS DRAWN:  
 JD

CHECKED:  
 JOB NO:

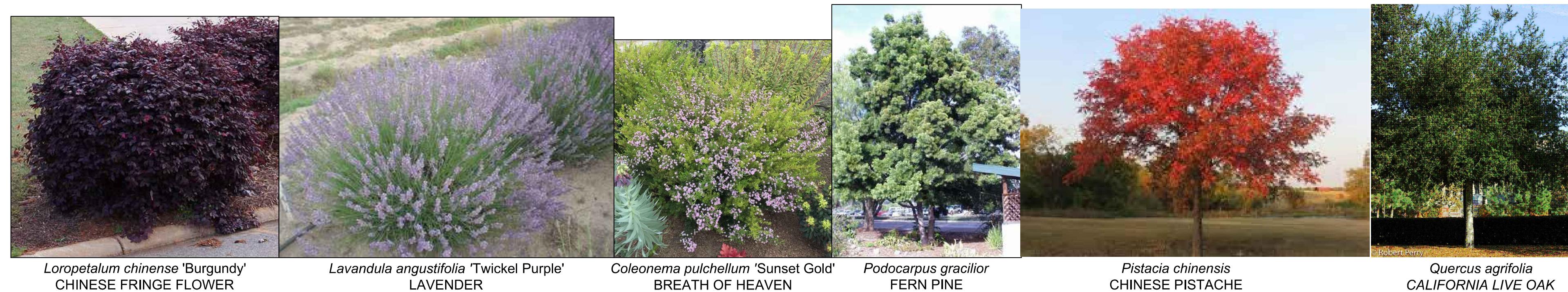
DATE:  
 10-8-20

SCALE

SHEET

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OF SHEETS



*Loropetalum chinense 'Burgundy'*  
 CHINESE FRINGE FLOWER

*Lavandula angustifolia 'Twinkel Purple'*  
 LAVENDER

*Coleonema pulchellum 'Sunset Gold'*  
 BREATH OF HEAVEN

*Podocarpus gracilior*  
 FERN PINE

*Pistacia chinensis*  
 CHINESE PISTACHE

*Quercus agrifolia*  
 CALIFORNIA LIVE OAK



*Parthenocissus tricuspidata*  
 BOSTON IVY

*Phormium 'Yellow Wave'*  
 NEW ZEALAND FLAX

*Pennisetum 'Little Bunny'*  
 FOUNTAIN GRASS

*Erigeron glaucus*  
 SEASIDE DAISY

*Achillea millefolium*  
 YARROW

*Westringia fruticosa*  
 COASTAL ROSEMARY

*Teucrium x Lucidrys*  
 GERMANDER

*Salvia leucantha*  
 MEXICAN SAGE

*Rosmarinus officinalis 'Tuscan Blue'*  
 TUSCAN BLUE ROSEMARY



*Muhlenbergia rigens*  
 DEERGRASS

*Lomandra longifolia 'Breeze'*  
 DWARF MAT RUSH

*Lantana montevidensis*  
 TRAILING LANTANA

*Deschampsia cespitosa*  
 TUFTED HAIRGRASS

*Coprosma x 'Kirkii'*  
 CREEPING COPROSMA

WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (ET<sub>0</sub>):

48.5

HYDROZONE #	HYDROZONE TYPE / (PLANT WATER USE)	PLANT TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)	% OF TOTAL LANDSCAPE AREA
REGULAR LANDSCAPE AREA:										
1	LOW WATER USE	SHRUBS	0.3	N/A	0.81	0.37037037	5224	1934.814815	58179.9	91%
2	MEDIUM WATER USE	SHRUBS	0.5	N/A	0.81	0.61728395	418	256.0246914	7758.8	7%
3	MEDIUM WATER USE	TREES	0.5	N/A	0.81	0.61728395	27	16.66666667	501.2	0%
4	MEDIUM WATER USE	VINES	0.5	N/A	0.81	0.61728395	60	37.03703704	1113.7	1%
TOTALS:							5729	2247		100%

SPECIAL LANDSCAPE AREAS:

REC. AREA			1	0	0
POOL			1	0	0
WATER FEATURE 2			1	0	0
			TOTALS:	0	0
				ETWU TOTAL:	67.554
				MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):	77.522

ETAF CALCULATIONS:

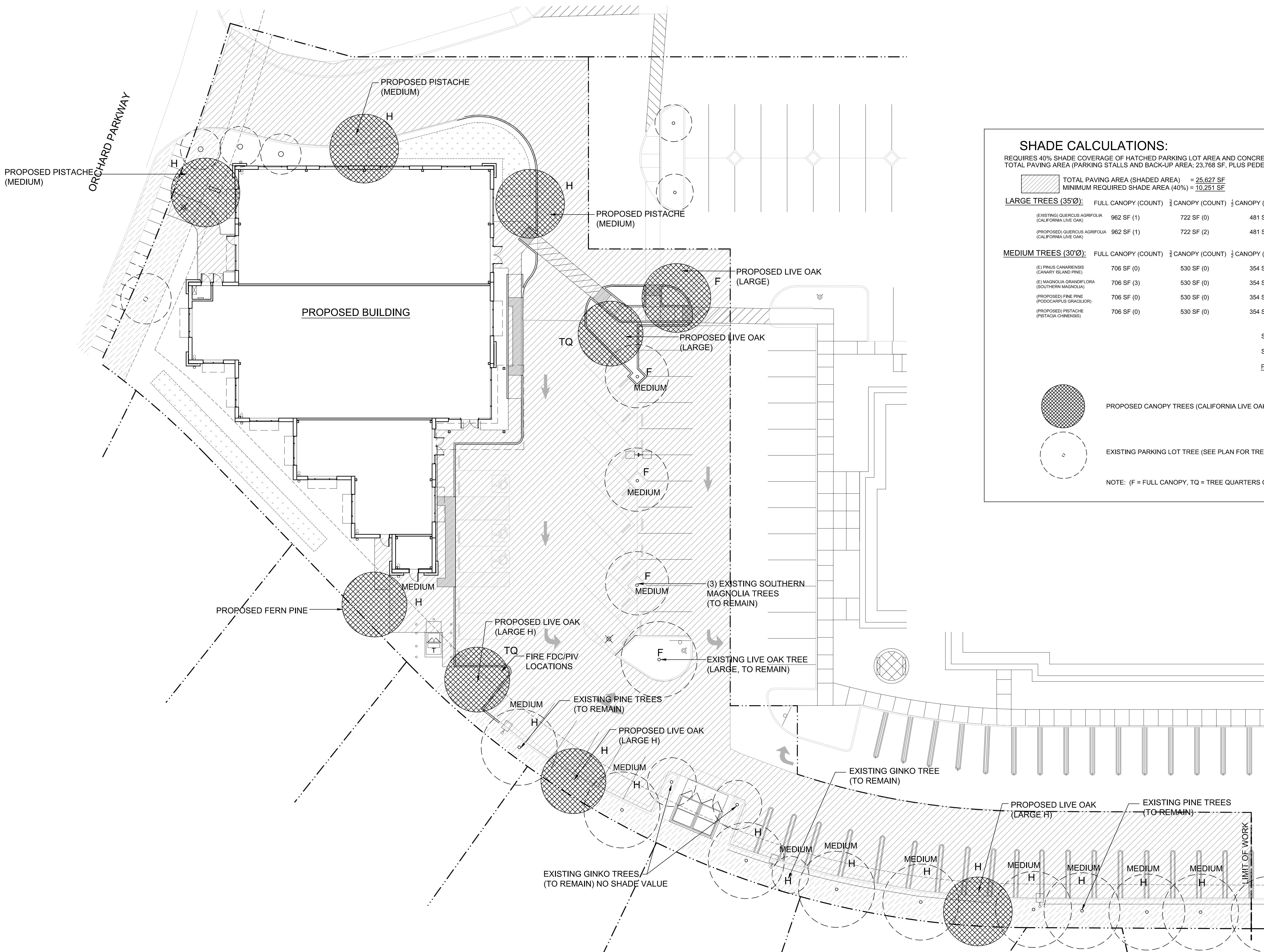
REGULAR LANDSCAPE AREAS:

TOTAL ETAF x AREA	2,247
TOTAL LANDSCAPE AREA	5,729
AVERAGE ETAF	0.39

NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.

ALL LANDSCAPE AREAS:

TOTAL ETAF x AREA	2,247
TOTAL LANDSCAPE AREA	5,729
SITEWIDE ETAF	0.39



### SHADE CALCULATIONS:

REQUIRES 40% SHADE COVERAGE OF HATCHED PARKING LOT AREA AND CONCRETE WALKWAYS IN 15 YEARS  
 TOTAL PAVING AREA (PARKING STALLS AND BACK-UP AREA: 23,768 SF, PLUS PEDESTRIAN WALKWAYS: 1,859 SF = 25,627 SF

TOTAL PAVING AREA (SHADE AREA) = 25,627 SF  
 MINIMUM REQUIRED SHADE AREA (40%) = 10,251 SF

**LARGE TREES (35'Ø):** FULL CANOPY (COUNT)  $\frac{1}{4}$  CANOPY (COUNT)  $\frac{1}{2}$  CANOPY (COUNT)  $\frac{3}{4}$  CANOPY (COUNT) TOTAL

(EXISTING) *QUERCUS AGRIFOLIA* (CALIFORNIA LIVE OAK) 962 SF (1) 722 SF (0) 481 SF (0) 240 SF (0) 962 SF  
 (PROPOSED) *QUERCUS AGRIFOLIA* (CALIFORNIA LIVE OAK) 962 SF (1) 722 SF (2) 481 SF (2) 240 SF (0) 3368 SF

**MEDIUM TREES (30'Ø):** FULL CANOPY (COUNT)  $\frac{1}{4}$  CANOPY (COUNT)  $\frac{1}{2}$  CANOPY (COUNT)  $\frac{3}{4}$  CANOPY (COUNT) TOTAL

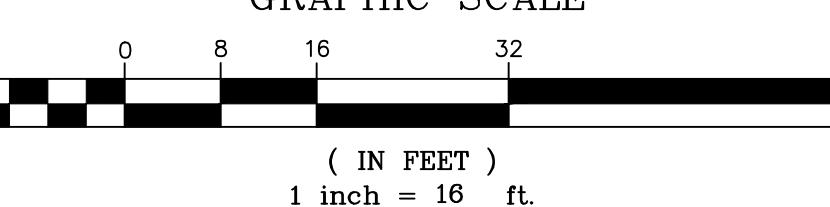
(EXISTING) *PINUS CANARIENSIS* (CANARY ISLAND PINE) 706 SF (0) 530 SF (0) 354 SF (9) 177 SF (0) 3186 SF  
 (EXISTING) *MAGNOLIA GRANDIFLORA* (SOUTHERN MAGNOLIA) 706 SF (3) 530 SF (0) 354 SF (0) 177 SF (0) 2118 SF  
 (PROPOSED) *FINE PINE* (*PODOCARPUS GRACILIOR*) 706 SF (0) 530 SF (0) 354 SF (2) 177 SF (0) 708 SF  
 (PROPOSED) *PISTACHE* (*PISTACIA CHINENSIS*) 706 SF (0) 530 SF (0) 354 SF (3) 177 SF (0) 1062 SF

SHADE PROVIDED: 11,404 SF  
 SHADE REQUIRED: 10,251 SF  
 PERCENT SHADeD: 45%

PROPOSED CANOPY TREES (CALIFORNIA LIVE OAK, FERN PINE, CHINESE PISTACHE)

EXISTING PARKING LOT TREE (SEE PLAN FOR TREE COMMON NAME)

NOTE: (F = FULL CANOPY, TQ = TREE QUARTERS CANOPY, H = HALF CANOPY)



THE NOTICE OF WARE MALCOLM PRIOR TO THE COMMENCEMENT OF ANY WORK.

# WARE MALCOLM

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planning  
interiors  
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civil engineering  
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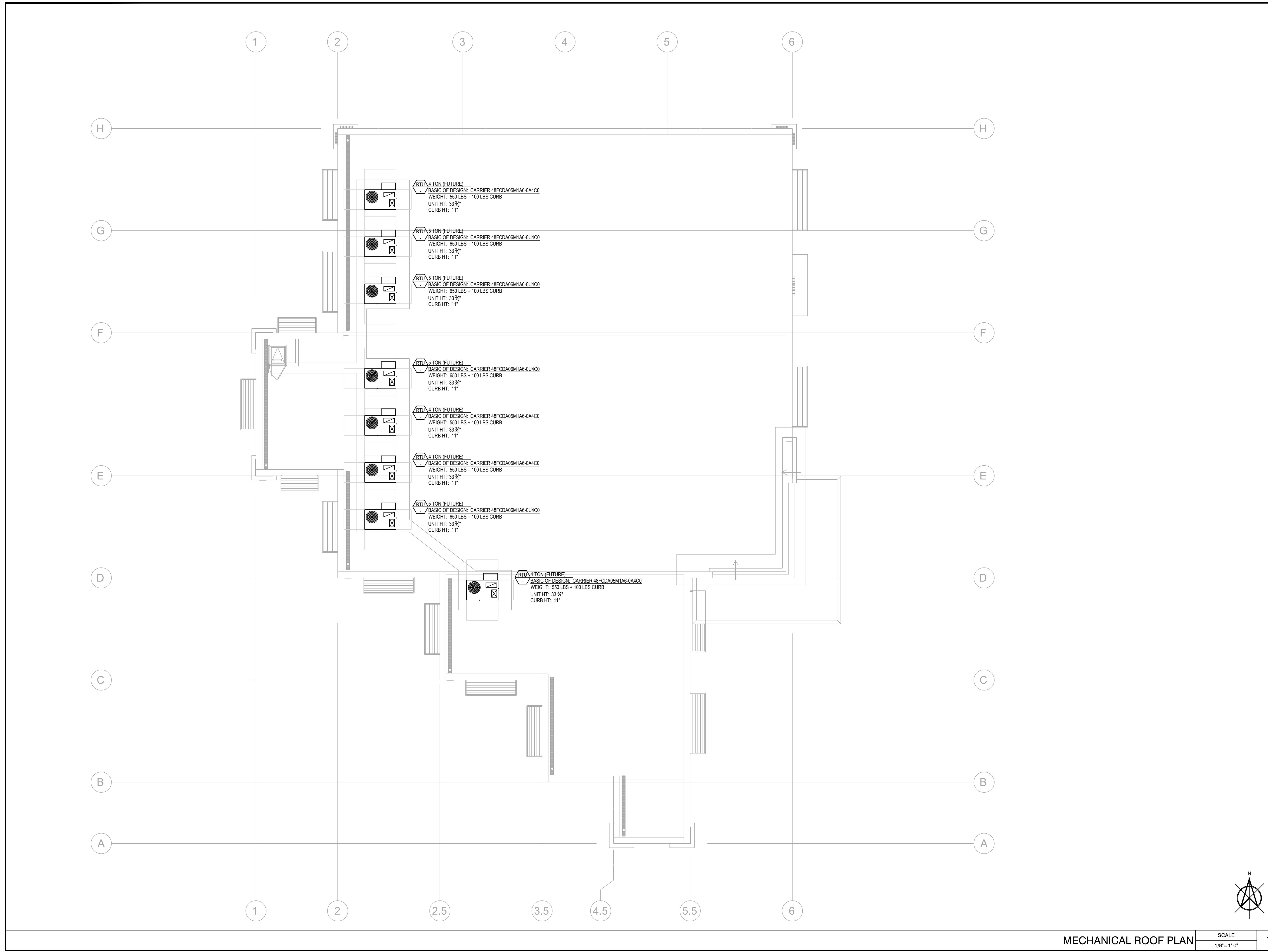
**TARCY MOB**  
**ORCHARD PARKWAY**

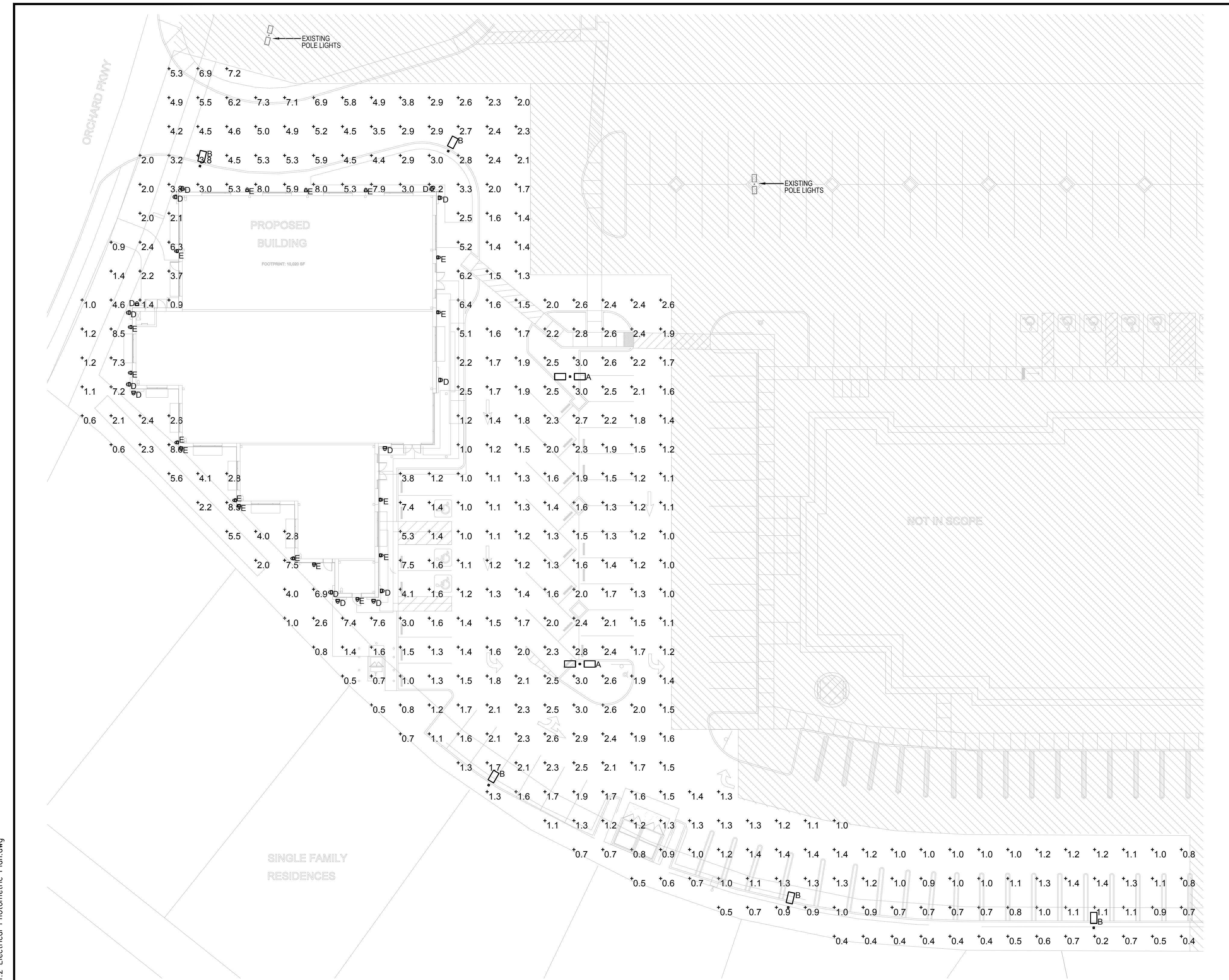
**TRACY, CALIFORNIA 95377**

PA / PM:	KH/WL
DRAWN BY:	
JOB NO.:	SNR19-0079-00

SHEET

M3.0





## NOTES:

1. POLE MOUNTED FIXTURES ARE 28' ABOVE GROUND.  
 2. CALCULATION ZONE POINT-BY-POINT 10' x 10' IS ON THE GROUND.

## Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
General Hardscape	+	2.3 fc	8.6 fc	0.2 fc	43.0:1	11.5:1

## Schedule

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	PHOTOMETRIC PLAN	
									DATE	REMARKS
□	A	2	SIGNIFY GARDCO	GL13-3-70LA-6435-NW	GULLWING LED GL13	(4) LEDGINE 3.1 LIGHT ARRAYS OF 16 LEDs (LUXEON T) DRIVEN AT 350mA	1	GL13-3-70LA-6435-NW.ies	6751	0.98
□	B	5	SIGNIFY GARDCO	GL13-3-85LA-8035-NW-HS	GULLWING LED GL13 WITH EXTERNAL SHIELDING	(5) LEDGINE 3.1 LIGHT ARRAYS OF 16 LEDs (LUXEON T) DRIVEN AT 350mA	1	gl13-3-85la-8035-nw-hs.ies	6470	0.98
▽>	D	14	VISA LIGHTING	OW1295	WALL MOUNT RECTANGULAR 37" VERTICAL	LED 3500K -L	1	OW1295-L35K-L.ies	1738	0.92
▽>	E	17	Lithonia Lighting	WST LED P1 50K VW MVOLT	WST LED, Performance package 1, 5000 K, visual comfort wide, MVOLT	LED	1	WST_LED_P1_50K_VW_MVOLT.ies	1659	0.92

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TARCY MOB  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377

PA / PM: KH/ML  
DRAWN BY: SO  
JOB NO.: SNR19-0079-00  
SHEET E1.0  
SCALE 1"=20'-0"  
Mon, 01 Feb 2021

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Rev: 2018/11/07

**OW1295 - IMAGE™**

**VISA LIGHTING**

Type:  Project:  Visalighting.com/products/IMAGE

Order Code: OW1295 - MVOLT - FRAME - ACCENT BAR AND END CAP - OPTIONS

Fill in shaded boxes using information listed below

**A SOURCE (Select one) and VOLTAGE**  
MVOLT fixture accepts 120 through 277 input voltage  
LED sources are 830R, with 3-step MacAdam and are dimmable 0-10V to 1%

Sources	CCT	Delivered Lumens	Power (Watts)	Voltage
• L30K-L	3000K	1700	19	MVOLT
• L35K-L	3500K	1700	19	
• L40K-L	4000K	1700	19	
• L30K-H	3000K	2500	29	
• L35K-H	3500K	2500	29	
• L40K-H	4000K	2500	29	

**FINISHES** Select one  Frame Finish and one  Accent Bar and End Cap Finish or Material. See page 2 for color chart.

Frame	Accent Bar and End Cap	Color	Finish	Code	Color	Finish	Code
AG7038	Agile Grey	CVBL	Cove Blue	GW9002	Grey White	PB1035	Pearl Beige
BMAT	Bronze Matte	CW9001	Cream	HTHR	Heather	RUST	Rust
BRNZ	Bronze	GLM	Glimmer	JB9005	Jet Black	SUNG	Sungold
BSL	Blade Silver	OSL	Graphite Silver	OBZR	Old Bronze	TW9016	Traffic White

**Metals (Premium) for Accent Bar and End Cap only**

Accent Bar	End Cap	Color	Finish	Code
BSS	Brushed Stainless Steel	PSS	Polished Stainless Steel	

**BUTTONS** (Multiple Selections Allowed)

HM Horizontal mount (vertical is standard)  
XPS Express 10 day shipping. Items marked with a bullet (•) are not available with XPS

**DIMENSIONS**  
Depth is measured from wall to front of fixture  
H = Height D = Depth W = Width

H: 36-7/8" (937 mm)  
D: 7-1/4" (184 mm)  
W: 7-1/4" (184 mm)

Frame Accent Bar and End Cap

ADA XPS LED ETL Listed 5 Year Warranty

800-788-VISA Visalighting.com Page 1

TYPE "D"

Rev: 2018/11/07

**OW1295 - IMAGE**

**VISA LIGHTING**

**Photometrics**

**Technical Information**

- Integral power supply
- Modular design for replacement of LED source and power supply
- Removable cam-action hinged frame for ease of maintenance
- Vertical mounting standard (horizontal mounting optional)
- Housing is a steel die-cast aluminum box (body) with provided hardware
- Extruded aluminum body/cap, die-cast end caps, vertical center accent and frame side rails. Solid metal formed accent bars, gasketed and sealed construction
- 1/8" thick white acrylic diffuser
- Fit for 120V, 277V, 480V
- UL and ETL Flame Class rated
- No VOC powder coat paint finish
- ETL listed for wet location mounting 4' above grade

**Relative Scale Drawing**

Door Height = 7" Silicon Height = 6" Silicon Width = 6"

**Painted Finishes (Standard)**

TW9016	CW9001	GW9002	JB9005	AG7038	HTHR	CVBL
Traffic White (BAL016)	Cream (BAL001)	Grey White (BAL002)	Jet Black (BAL005)	Agile Grey (BAL038)	Heather	Cove Blue
BSL	OSL	GLM	SUNG	SUNG	BRNZ	
OBZR	BMAT	PB1035	RUST			
Old Bronze	Bronze Matte	Pearl Beige (BAL035)	Rust			

Specify color code when ordering. For accurate color matching, individual paint and finish samples are available upon request. For additional information see Visalighting.com/materials-finishes

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800-788-VISA Visalighting.com Page 2

TYPE "E"

**WST LED**  
Architectural Wall Sconce

Catalog Number:   
Notes:   
Type:

Hit the Tab key or mouse over the page to see all interactive elements.

**SA Capable Luminaire**

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability!
- This luminaire is part of an A+ Certified solution for ROAM™ or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background

To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).

See ordering tree for details.

A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#).

**Specifications**

**Luminaire**

Height: 8-1/2" (21.59 cm)  
Width: 17" (43.21 cm)  
Depth: 10-3/16" (26.99 cm)  
Weight: 20 lbs (9.1 kg)

**Optional Back Box (PBBW)**

Height: 8-49" (21.56 cm)  
Width: 17.01" (43.21 cm)  
Depth: 1.70" (4.32 cm)

**Optional Back Box (BBW)**

Height: 4" (10.2 cm)  
Width: 5-1/2" (14.0 cm)  
Depth: 1-1/2" (3.8 cm)

**LITHONIA LIGHTING** COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com) WSTLED Rev. 09/06/19

**Acuity Options** Indicated by this color background.

**Ordering Information**

WST LED	Performance Package	Color Temperature	Distribution	Voltage	Mounting
WST LED	P1 1,500 Lumen package P2 3,000 Lumen package P3 6,000 Lumen package	27K 2700K 30K 3000K 40K 4000K 50K 5000K	VF Visual comfort forward throw VW Visual comfort wide	MVOLT 277 120 <sup>1</sup> 347 <sup>1</sup> 208 <sup>2</sup> 480 <sup>2</sup> 240 <sup>3</sup>	Shipped included (blank) Surface mounting bracket Shipped separately BBW Surface-mounted back box <sup>4</sup> PBBW Premium surface-mounted back box <sup>4</sup>

**Options**

NLTAR2PIR	nlIGHT AIR Wireless enabled motion sensor/ambient sensor for 8'-15' mounting heights <sup>5</sup>	Flood (required)
NLTAR2PIR	nlIGHT AIR Wireless enabled motion sensor/ambient sensor for 15'-30' mounting heights <sup>5</sup>	DDBD Dark bronze
PE	Photoelectric cell, button type <sup>6</sup>	DRBD Black
PER	NEMA twist lock receptacle only (controls ordered separate) <sup>8</sup>	DNAD Natural aluminum
PER7	Five-wire receptacle only (controls ordered separate) <sup>8</sup>	DWDW White
PIR	Motion/Ambient Light Sensor, 8'-15' mounting height <sup>14</sup>	DSSE Sandstone
PIR1FC3	Motion/Ambient Light Sensor, 8'-15' mounting height, ambient sensor enabled at 11 <sup>14</sup>	DBDDBX Textured dark bronze
PIR1FC3V	180° motion/ambient light sensor, 15'-30' mounting height <sup>14</sup>	DBLBX Textured black
PIR1FC3V	Motion/Ambient Light Sensor, 15'-30' mounting height, ambient sensor enabled at 11 <sup>14</sup>	DNADX Textured natural aluminum
SE	Single face 120, 277, 480V <sup>10</sup>	DWGD Textured white
DF	Double face 120, 240, 480V <sup>10</sup>	DSSTD Textured sandstone
DS	Dual switching <sup>11</sup>	
DMG	120V dimming extend out back of housing for external control (controlled separately) <sup>12</sup>	
E7WH	Emergency battery backup, Non CEC compliant (7W) <sup>13</sup>	

**Accessories**

Ordered and shipped separately.

WSTCPBM DDBD U	Premium surface-mounted back box	NOTES
WSTCPBM DDBD U	Surface-mounted back box	1. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
WSTCPBM DDBD U	Recessed back plate	2. Single face 120V requires 120V, 277V or 347V Double face (DF) requires 208V, 240V or 480V.
		3. Also available as a separate accessory; see accessories information.
		4. Not available with PBBW.
		5. Not available with VG or WG. See PER Table.
		6. Reference Motion Sensor table.
		7. Need to specify 120, 208, 240 or 277 voltage.

**Emergency Battery Operation**

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss, meeting interpretations of NFPA 70/NEC 2008 - 700.16 and NFPA 101 Life Safety Code Section 1.9, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions. The examples below show illuminance of 1 fc, average and 0.1 fc minimum of the P1 power package and VF distribution product in emergency mode.

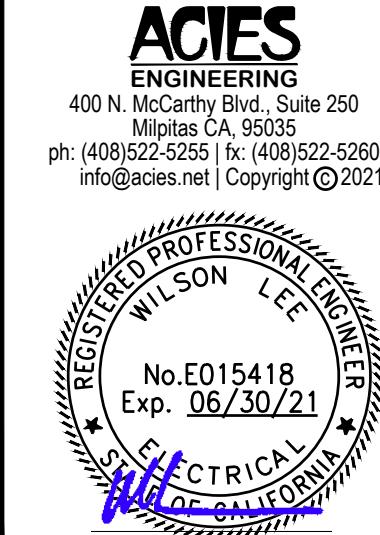
10' x 10' Gridlines  
8' and 12' Mounting Height

WST LED P1 27K VF MVOLT E7WH

WST LED P2 40K VF MVOLT E20WH

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**TARCY MOB**  
ORCHARD PARKWAY  
TRACY, CALIFORNIA 95377

LIGHTING CUTSHEET & DETAILS  
DATE: 02/28/2020 PLANNING SUBMITTAL  
REMARKS: 03/24/2020 PLAN CHECK COMMENTS #1  
1 02/23/2021 PLANNING DEPT SUBMITTAL #3

PA / PM: KH/ML  
DRAWN BY: SO  
JOB NO.: SNCR19-0079-00  
SHEET: E1.3  
Mon, 01 Feb 2021

SCALES  
NOT TO SCALE  
1