

CITY OF TRACY  
DETERMINATION OF  
THE DEVELOPMENT SERVICES DEPARTMENT

Application Number D21-0001

A determination of the Development Services Department approving a Development Review permit to construct an automobile service station, 4,028 sq. ft. convenience store, and self-service carwash tunnel on a portion of Assessor Parcel Number 209-460-35. The applicant is Jim Rubnitz, and Owner is R&B Delta II, LLC.

Staff has reviewed the application and determined that the following City regulations apply:

1. Cordes Ranch Specific Plan Zone (TMC Chapter 10.08, Article 22.2)
2. Development Review (TMC Chapter 10.08, Article 30)
3. City of Tracy Design Goals and Standards

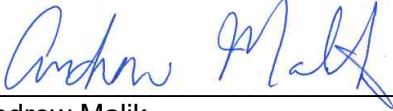
The project is within the scope of the development program evaluated in the certified CRSP EIR and consistent with the land use designations and development densities and intensities assigned to the proposed Project site by the CRSP zoning. Cumulative and offsite impacts associated with development of the proposed Project site, as proposed, were fully addressed in the CRSP EIR (SCH# 2011122015). Since the proposed Project is within the scope of the development program evaluated in the CRSP EIR and no subsequent EIR is required pursuant to Section 15162 of the CEQA Guidelines, then under Section 15168(c) of the CEQA Guidelines, no further environmental review is required for the Project.

In addition, the City has determined, pursuant to Section 21083.3 of CEQA and Section 15183 of the CEQA Guidelines, that the Project is consistent with the land use designation and development intensity for the Project site established by the CRSP zoning, as analyzed in the previously certified CRSP EIR, and implementation of the proposed Project would not result in any new specific environmental effects that are peculiar to the Project or the Project site. Therefore, under Sections 21083.3 and 15183, no further environmental review is required for the Project.

THE DEVELOPMENT SERVICES DEPARTMENT, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY APPROVES DEVELOPMENT REVIEW APPLICATION NUMBER D21-0001, SUBJECT TO CONDITIONS CONTAINED IN EXHIBIT 1 AND BASED ON THE FOLLOWING FINDINGS:

1. The proposal increases the quality of the project site and enhances the property in a manner that therefore improves the property in relation to the surrounding area and the citizens of Tracy because the proposal consists of desirable elements such as variation in façade depth/height and ample use of awnings, exterior wall sconces, and wrought iron trellises that break up the façade and add interesting details on all four sides of the building.
2. The project is consistent with the City's Cordes Ranch Specific Plan Zone, Chapter 10.08, Article 22.2 of the Tracy Municipal Code, the City of Tracy General Plan, the Citywide Design Goals and Standards, and other City regulations because the automobile service

station, convenience store, and self-service carwash tunnel are permitted uses and will be constructed to adhere to parking, landscaping, and setbacks requirements.



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Andrew Malik  
Assistant City Manager

06.09.2021

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Date of Action

**City of Tracy**  
**Conditions of Approval**

Automobile Service Station, Convenience Store, and Car Wash  
Northeast Corner of International Parkway and Daylight Road  
Assessor's Parcel Number 209-460-35  
Development Review Permit  
Application Number D21-0001  
June 9, 2021

These Conditions of Approval shall apply to the Development Review Permit to construct a automobile service station, 4,028 sq. ft. convenience store, and self-serve carwash tunnel, located at the northeast corner of International Parkway and Daylight Road on a portion of Assessor Parcel Number 209-460-35 known as West Parkway Village (hereinafter "Project"), proposed by Jim Rubnitz (hereinafter "Applicant").

**A. Definitions.**

The following definitions shall apply to these Conditions of Approval:

1. "Applicant" means any person, or other legal entity, defined as a "Developer".
2. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.
3. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed engineer designated by the City Manager, the Development Services Director, or the City Engineer to perform the duties set forth herein.
4. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, ordinances, resolutions, policies, procedures, City's Design Goals and Standards, and the City's Design Documents (including the Standard Plans, Standard Specifications, Design Standards, and relevant Public Facility Master Plans).
5. "Director" means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
6. "Conditions of Approval" shall mean the conditions of approval applicable to the automobile service station, 4,028 sq. ft. convenience store, and self-service carwash tunnel, Application Number D21-0001.
7. "Property" means the subject property of the Development Review Permit to construct a automobile service station, 4,028 sq. ft. convenience store, and self-serve carwash tunnel, located at the northeast corner of International Parkway and Daylight Road on a portion of Assessor Parcel Number 209-460-35, Application Number D21-0001.

**B. Planning Division Conditions of Approval**

1. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to: the Planning and Zoning Law (Government Code sections 65000, et seq.), the Subdivision Map Act (Government Code sections 66410, et seq.), the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and the Guidelines for California Environmental Quality Act (California Administrative Code, title 14, sections 15000, et seq., "CEQA Guidelines").
2. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City Regulations.
3. Pursuant to Government Code Section 66020, including Section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code Section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.
4. The project shall be developed in substantial compliance with the plans received by the Development Services Department on March 25, 2021, to the satisfaction of the Development Services Director.
5. Prior to final inspection or certificate of occupancy, the back side of any visible roof parapets shall consist of the same material and be painted the same color as the front side of the roof parapets, to the satisfaction of the Development Services Director.
6. Prior to issuance of a building permit, the applicant shall submit site plans and construction details that demonstrate 12-inch wide concrete curbs along the perimeter of landscape planters where such planters are parallel and adjacent to vehicular parking spaces to provide access to vehicles without stepping into the landscape planters, to the satisfaction of the Development Services Director.
7. Prior to issuance of a building permit, detailed plans shall be submitted to demonstrate compliance with onsite landscaping standards as established in the Cordes Ranch Specific Plan and the Tracy Municipal Code Off-Street Parking ordinance. Such plans shall demonstrate no less than 40% of the total parking area be shaded by canopy trees at tree maturity. Trees shall be a minimum of 24" box size, shrubs shall be a minimum size of 5 gallon, and groundcover shall be a minimum size of 1 gallon. Furthermore, such plans shall demonstrate that all landscape areas, including bioswales, are appropriately comprised of a combination of trees, shrubs, groundcover, and irrigation to the satisfaction of the Development Services Director.
8. Prior to the issuance of a building permit, the Developer shall execute a two-year landscape and irrigation maintenance agreement and submit financial security, such as



a performance bond, to ensure the success of all on-site landscaping for the term of the agreement. The security amount shall be equal to \$2.50 per square foot of the landscaped area or equal to the actual labor and material installation cost of all on-site landscaping and irrigation.

9. Prior to issuance of a building permit, the applicant shall submit landscape plan details that demonstrate climbing vines underneath the wrought iron trellises on the north elevation of the self-serve carwash tunnel, to the satisfaction of the Development Services Director.
10. Prior to issuance of a building permit, the construction documents shall comply with California Building Standards Commission (Cal Green Code Emergency Standards; Title 24, Part 11) regarding landscaping and irrigation water efficiency, to the satisfaction of the Utilities Director.
11. Prior to the issuance of a building permit, the developer shall demonstrate compliance with all applicable requirements of the 2015 Model Water Efficient Landscape Ordinance, to the satisfaction of the Water Resources Division in the Utilities Department.
12. Prior to the issuance of a building permit, the developer shall comply with all applicable Stormwater Quality Regulations, to the satisfaction of the Water Resources Division in the Utilities Department.
13. Prior to the issuance of a building permit, the applicant shall submit detailed plans that demonstrate a minimum of one foot candle throughout the parking area as defined in TMC Section 10.08.3450.
14. Prior to final inspection or certificate of occupancy, all exterior and parking area lighting shall be directed downward or shielded, to prevent glare or spray of light into the public rights-of-way and onto any adjacent private property, to the satisfaction of the Development Services Director.
15. Prior to issuance of a building permit, the Developer shall submit construction documents, plans, specifications, and/or calculations to the Building Safety Division, which meet all applicable requirements of Title 24 California Code of Regulations, to the satisfaction of the Chief Building Official.
16. Prior to issuance of a building permit, the Developer shall submit plans that clearly depict an accessible route per California Building Code (CBC) 11B-206.2.2 from each building to the trash enclosure and all facilities on-site, to the satisfaction of the Chief Building Official.
17. Prior to issuance of a building permit, the Developer shall conform with all requirements of the California Fire Code as amended by the Tracy Municipal Code, to the satisfaction of the South County Fire Authority.

18. Prior to final inspection or certificate of occupancy, no roof mounted equipment, including, but not limited to, HVAC units, vents, fans, antennas, sky lights and dishes, whether proposed as part of this application, potential future equipment, or any portion thereof, shall be visible from any public right-of-way to the satisfaction of the Development Services Director. Plans to demonstrate such compliance shall be submitted to the City prior to the issuance of a building permit.
19. Prior to the issuance of a building permit, the developer shall submit plans demonstrating that the trash enclosure shall be a masonry enclosure at a minimum height of seven feet, exterior materials and colors to match the proposed building, solid metal doors painted to match the proposed building colors, a roof designed with complementary materials and design, and a concrete apron in front of the enclosure where the dumpsters, loading/transport equipment, or vehicles will maneuver, to the satisfaction of the Development Services Director.
20. Prior to final inspection or certificate of occupancy, all PG&E transformers, phone company boxes, Fire Department connections, backflow preventers, irrigation controllers, and other on-site utilities, shall be vaulted or screened from view from any public right-of-way, behind structures or landscaping, to the satisfaction of the Development Services Director.
21. Prior to final inspection or certificate of occupancy, all vents, gutters, downspouts, flashing, electrical conduits, etc. shall be painted to match the adjacent building surface or otherwise designed in harmony with the building exterior, to the satisfaction of the Development Services Director.
22. No signs are approved as a part of this development review permit. Approval of a separate sign permit application by the Development Services Department is necessary prior to the installation of any signs.
23. Outdoor vending machines such as newspaper racks or beverage dispensing machines are not permitted.
24. Prior to issuance of a building or grading permit, the developer shall demonstrate compliance with the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan (SJMSCP) and the Incidental Take Minimization Measures prepared by San Joaquin Council of Government (SJCOG), to the satisfaction of the Development Services Director.
25. Prior to issuance of a building permit, the Developer shall comply with all applicable requirements of the San Joaquin Valley Air Pollution Control District (APCD), including District Rule 9510, Regulation VIII, and payment of all applicable fees, to the satisfaction of the APCD.

**C. Engineering Division Conditions of Approval**

**C.1. General Conditions**

C.1.1. Developer shall comply with the applicable requirements of the technical analyses and reports prepared for the Project listed as follows:

- a) "Cordes Ranch Specific Plan" prepared by David Babcock & Associates, dated September 3, 2013 ("Specific Plan").
- b) "Cordes Ranch Specific Plan Final Environmental Impact Report", prepared by The Planning Center | DC&E, dated September 3, 2013 ("FEIR"), adopted by City Council on September 3, 2013 (Resolution No. 2013-143).
- c) "Mitigation Measures and Monitoring Program for the Cordes Ranch Specific Plan", adopted by the City Council September 3, 2013 (Resolution No. 2013-143).
- d) "Cordes Ranch Specific Plan – Storm Drainage Technical Report" prepared by Storm Water Consulting, Inc. and Stantec, Inc., dated December 2012, and any subsequent amendments or updates.
- e) "Cordes Ranch Specific Plan Tier 2 Infrastructure Evaluation of Potable and Recycled Water Systems" prepared by West Yost Associates, Inc. dated July 7, 2014, and any amendments or updates.
- f) "Wastewater Master Plan Tier 2 – Cordes Ranch Specific Plan Application Review" prepared by CH2MHill, Inc. dated January 2013, and any subsequent amendments or updates.
- g) "Traffic Study for Implementation of Cordes Ranch Scheme 100" Technical Memorandum prepared by Kimley Horn, dated January 12, 2016, and subsequent amendments, dated September 28, 2018 or updates.
- h) "West Parkway Village Traffic Study" Technical Memorandum prepared by Kimley Horn, dated August 30, 2019, and subsequent amendments or updates. ("Traffic Analysis").
- i) "Hydraulic Evaluation of West Parkway Village prepared by West Yost Associates, Inc., dated October 23, 2019 as approved by the City Engineer ("*Water System Analysis*"), and any subsequent amendments or updates.

**C.2. Grading Permit**

The City will not accept a Grading Permit application for the Project until Developer provides all documents related to said Grading Permit required by the applicable City

Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.2.1. Grading and Drainage Plans prepared on a 24" x 36" size polyester film (mylar). Grading and Drainage Plans shall be prepared under the supervision of and stamped and signed by a Registered Civil Engineer.
- C.2.2. Payment of the applicable Grading Permit fees which include grading plan checking and inspection fees, and other applicable fees as required by these Conditions of Approval.
- C.2.3. Prior to the issuance of the Grading Permit, Developer shall submit to the Utilities Department ([stephanie.hiestand@cityoftracy.org](mailto:stephanie.hiestand@cityoftracy.org)) one (1) electronic copy and one (1) hard copy of the Storm Water Pollution Prevention Plan (SWPPP) as submitted in Stormwater Multiple Applications and Reporting Tracker System (SMARTS) along with either a copy of the Notice of Intent (NOI) with the state-issued Wastewater Discharge Identification number (WDID) or a copy of the receipt for the NOI. After the completion of the Project, the Developer is responsible for filing the Notice of Termination (NOT) required by SWQCB, and shall provide the City, a copy of the completed Notice of Termination. Cost of preparing the SWPPP, NOI and NOT including the annual storm drainage fees and the filing fees of the NOI and NOT shall be paid by the Developer. Developer shall comply with all the requirements of the SWPPP, applicable Best Management Practices (BMPs) and the Stormwater Post-Construction Standards adopted by the City in 2015 and any subsequent amendment(s).
- C.2.4. Two (2) sets of the Project's Geotechnical Report signed and stamped by a licensed Geo-technical Engineer licensed to practice in the State of California, as required in Condition C.4.4(a), below. The technical report must include relevant information related to soil types and characteristics, soil bearing capacity, percolation rate, and elevation of the highest observed groundwater level.
- C.2.5. Two (2) sets of Hydrologic and Storm Drainage Calculations for the design of the on-site storm drainage system.
- C.2.6. Developer shall provide a copy of the approved Incidental Take Minimization Measures (ITMM) habitat survey [San Joaquin County Multi-Species Habitat Conservation & Open Space Plan (SJMSCP)] from San Joaquin Council of Governments (SJCOG).
- C.2.7. A copy of the Approved Fugitive Dust and Emissions Control Plan that meets San Joaquin Valley Air Pollution Control District (SJVAPCD) as required in Mitigation Measure AQ-1 and AQ-2 of the Mitigation Monitoring and Reporting Program of the Cordes Ranch Specific Plan Final Environmental Impact Report (CRSP EIR).

- C.2.8. Documentation of any necessary authorizations from Regional Water Quality Control Board (RWQCB) as required in the applicable mitigation measures identified in the Cordes Ranch Specific Plan EIR.
- C.2.9. Documentation of construction easement(s) or agreement(s) from owners of adjacent properties for any grading work within their parcels, or for grading work impacting their property.
- C.2.10. Permit(s), agreement(s) and approval of other public agencies that have jurisdiction over the required public facilities, if applicable.
- C.2.11. Documentation of joint access easements, parking and utility easements of agreements from owners of adjacent properties.
- C.3. Encroachment Permit - No applications for encroachment permit will be accepted by the City as complete until the Developer provides all relevant documents related to said encroachment permit required by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:
  - C.3.1. Improvement Plans prepared on a 24" x 36" size 4-mil thick polyester film (mylar) and these Conditions of Approval. Improvement Plans shall be prepared under the supervision of, and stamped and signed by a Registered Civil, Traffic, Electrical, Mechanical Engineer, and Registered Landscape Architect for the relevant work.
  - C.3.2. Signed and stamped Engineer's Estimate that summarizes the cost of constructing all the public improvements shown on the Improvement Plans.
  - C.3.3. Signed and notarized Offsite Improvement Agreement (OIA) and Improvement Security, to guarantee completion of the identified public improvements that are necessary to serve the Project as required by these Conditions of Approval. The form and amount of Improvement Security shall be in accordance with Section 12.36.080 of the Tracy Municipal Code (TMC), and the OIA. The Developer's obligations in the OIA shall be deemed to be satisfied upon City Council's acceptance of the public improvements and release of the Improvement Security.
  - C.3.4. If required, signed and notarized Deferred Improvement Agreement (DIA) and Improvement Security, to allow deferment of completion of improvements as required by these Conditions of Approval. The form and amount of Improvement Security shall be in accordance with the DIA and Section 12.36.080 of the TMC. The Developer's obligations in the DIA shall be deemed to be satisfied upon the release of the Improvement Security.
  - C.3.5. Check payment for the applicable engineering review fees which include plan checking, permit and agreement processing, testing, construction inspection, and other applicable fees as required by these Conditions of

Approval. The engineering review fees will be calculated based on the fee rate adopted by the City Council on May 16, 2017, per Resolution 2017-098.

- C.3.6. Traffic Control Plan signed and stamped by a Registered Civil Engineer or Traffic Engineer licensed in the State of California.
- C.3.7. South San Joaquin County Fire Authority's Fire Marshal's signature, if applicable, on the Improvement Plans indicating their approval for the fire service connection and fire and emergency vehicle access for the Project.
- C.4. Improvement Plans - Improvement Plans shall contain the design, construction details and specifications of public improvements that are necessary to serve the Project. The Improvement Plans shall be drawn on a 24" x 36" size 4-mil thick polyester film (mylar) and shall be prepared under the supervision of, and stamped and signed by a Registered Civil, Traffic, Electrical, Mechanical Engineer, and Registered Landscape Architect for the relevant work. The Improvement Plans shall be completed to comply with City Regulations, these Conditions of Approval, and the following requirements:
  - C.4.1. The Improvement Plans shall be prepared in mylar with the City of Tracy standard title and signature block.
  - C.4.2. Obtain all applicable signatures by City departments and from outside agencies (where applicable) on the mylar including signatures by the Fire Marshal, prior to the Developer submitting the mylars to Engineering Division for City Engineer's approval.
  - C.4.3. The improvement plans shall be prepared to specifically include, but not be limited to, the following items:
    - a. All existing and proposed utilities such as domestic water line, irrigation service, storm drain, and sanitary sewer, including the size and location of the pipes.
    - b. All supporting engineering calculations, materials information or technical specifications, cost estimate, and technical reports.
    - c. Two (2) copies of the Project's Geotechnical /Soils Report, prepared or signed and stamped by a Geotechnical Engineer.
    - d. Three (3) sets of the Project's Storm Water Pollution Prevention Plan (SWPPP), Best Management Practices (BMPs) and a copy of the Notice of Intent (NOI) with the State-issued Wastewater Discharge Identification number (WDID#).

C.4.4. Grading and Storm Drainage Plans

Site Grading

- a) Include all proposed erosion control methods and construction details to be employed and specify materials to be used. All grading work shall be performed and completed in accordance with the recommendation(s) of the Project's Geotechnical Engineer. A copy of the Project's Geotechnical Report must be submitted with the Grading and Storm Drainage Plans.
- b) When the grade differential between the Project Site and adjacent property(s) exceeds 12 inches, a reinforced concrete or masonry block, or engineered retaining wall is required for retaining soil. The Grading Plan shall show construction detail(s) of the retaining wall or masonry wall. The entire retaining wall and footing shall be constructed within the Project Site. A structural calculation shall be submitted with the Grading and Storm Drainage Plans.
- c) An engineered fill may be accepted as a substitute of a retaining wall, if any, subject to approval by the City Engineer. The Grading and Storm Drainage Plans must show the extent of the slope easement(s). The Developer shall be responsible for obtaining permission from owner(s) of the adjacent and affected property(s). The slope easement must be recorded, prior to the issuance of the final building certificate of occupancy.
- d) Grading for the site shall be designed such that the Project's storm water can overland release to either a public street or to a public storm drainage facility.
- e) Prior to approval of a grading permit for the Project, the Developer shall submit a drainage report and drainage calculations for the project site based on the Master Plan criteria and starting water surface elevation for review by City's consultant. The Developer shall be responsible to pay for the review.
- f) If applicable, show all existing irrigation structure(s), channel(s) and pipe(s) that are to remain or to be relocated or to be removed, if any, after coordinating with the irrigation district or owner of the irrigation facilities. If there are irrigation facilities including tile drains, that are required to remain to serve existing adjacent agricultural uses, the Developer shall design, coordinate and construct required modifications to the improvements, if required, to the reasonable satisfaction of the City.

### Storm Drainage

#### Permanent Storm Drainage Connection

- g) The Developer shall design all the required downstream utilities located in Daylight Road and east side of the project prior to the issuance of permits.
- h) The Project's permanent storm drainage connection(s) shall be designed and constructed to meet City Standards and the recommendations in the Storm Drainage Technical Report.
- i) The Developer shall provide a Stormwater Quality Control Plan (SWQCP) detailing the methods in which the development will address compliance with the applicable City's Multi-Agency Post-Construction Stormwater Standards Manual (Manual). Prior to the issuance of the grading permit for the project, the SWQCP shall be approved by the City Engineer.

#### Temporary Drainage System – Retention Basin

- j) Temporary retention is required to serve this project until DET LW8 and the downstream outfall system is completed and operational. The Project will utilize DET LW8 to satisfy the requirements for temporary retention set forth in the City Design Standards. Developer shall provide calculations to demonstrate that adequate capacity DET LW8 is available to serve the Project. All costs of design and construction of improvements required for temporary storage shall be paid for by the Developer. No fee credits or reimbursements will be applicable for these improvements.
- k) In order to convey storm drainage from the Project to DET LW8, the storm drain line from Daylight Road to DET LW8 shall be designed and constructed per City standards. This storm drain shall be located within the easement to be dedicated to the City. Improvements to the maintenance/access road within the easement shall be constructed per approved plans by the City Engineer, and as acceptable to Public Works Department. Prologis, the developer of International Park of Commerce has executed an Inspection Improvement Agreement with security to construct these improvements. City has no obligation to complete these improvements, and hence does not represent that these facilities will be completed in time for certificate of occupancy for the Project. If these improvements are not completed, the Developer may request approval for onsite temporary retention basin(s) per City Design Standards.
- l) Acceptance of the DET LW8 basin parcel by the City will be upon completion of the downstream facilities, and upon the determination by the City Engineer that the basin is constructed and operational per the Storm Drainage Master Plan.



- m) As detailed in the Cordes Ranch Specific Plan Tier 2 Storm Drainage Technical Report, the public street system serving the project site will need to include storm water quality treatment provisions. Storm water runoff from International Parkway and Daylight Road shall be treated in conformance with the Multi-Agency Post-Construction Stormwater Standards Manual, dated June 2015.
- n) Calculations related to the design and sizing of on-site storm water treatment facilities must be submitted with the Grading and Storm Drainage Plans and approved by City's Stormwater Coordinator prior to issuance of the Grading Permit for the Project.
- o) The design and construction details of the Project's storm drainage system and treatment facilities shall meet City Regulations and shall comply with the applicable requirements of the Multi-Agency Post-Construction Stormwater Standards Manual, dated June 2015, and any subsequent amendments. Developer shall submit improvement plans for storm drainage system including Planter 3 to provide storm water treatment for the Project.
- p) Prior to the final inspection of the building to be constructed on the Property, the Developer shall submit a signed and notarized Stormwater Treatment Facilities Maintenance Agreement (STFMA) as a guarantee for the performance of Developer's responsibility towards the repair and maintenance of on-site storm water treatment facilities.

C.4.5. Sanitary Sewer Improvement Plans

- a) As provided in the *Final Draft Report Wastewater Master Plan Tier 2 – Cordes Ranch Specific Plan Application Review*, the City will allow up to 0.145 MGD (145,000 gallons per day) of Dry Weather Flow from the Cordes Ranch Specific Plan Area to enter the Hansen Trunk Sewer on an interim basis.
- b) To verify available capacity, and to monitor the impacts of the added flows from the Cordes Ranch Specific Plan Area prior to the completion of the Lammers Trunk Sewer, the Developer shall continue to track potable water meter records and provide periodic reports to the City or as directed by the City Engineer.
- c) At the time of application for building permit for the Project, if the City determines that existing capacity in the Hansen Trunk Sewer is not available to serve the Project, then the improvements identified in the Wastewater Master Plan must be constructed as necessary to provide the additional conveyance capacity required.
- d) In order to convey wastewater from the Project to existing City system, the sewer main from Daylight Road to the connection point shall be designed and constructed per City standards. This sewer line shall be

located within the easement to be dedicated to the City. Improvements to the maintenance/access road within the easement shall be constructed per approved plans by the City Engineer, and as acceptable to Public Works Department. Prologis, the developer of International Park of Commerce has executed an Inspection Improvement Agreement with security to construct these improvements. City has no obligation to complete these improvements, and hence does not represent that these facilities will be completed in time for certificate of occupancy for the Project.

- e) The Developer shall pay all impact fees for Wastewater Treatment and Wastewater Conveyance. The Project will also be responsible to pay a fair share contribution for the long-term use of the Hansen Trunk Sewer conveyance.
- f) Prior to the issuance of Building Permit for the Project, Developer shall submit improvement plans and secure approval of plans from the City's Building Division, for the design of on-site sewer improvements. The Developer shall design and install sanitary sewer facilities including the Project's sewer connection in accordance with City Regulations and utility improvement plans approved by the City Engineer.

C.4.6. Water Distribution System

- a) Developer shall comply with the recommendations for on-site and off-site infrastructure including storage requirements as identified in the Water System Analysis. If additional improvements beyond the proposed improvements shown on the preliminary plans submitted with the Development Review Application are identified in the Water System Analysis and approved by the City Engineer, the Developer shall comply with the recommendations in the Water System Analysis. Developer shall prepare improvement plans and construct required improvements identified in the Water System Analysis.
- b) During the construction phases of the Project, the Developer is responsible for providing water infrastructure (temporary or permanent) capable of delivering adequate fire flows and pressure appropriate to the various stages of construction and as approved by the South San Joaquin County Fire Authority's Fire Marshal.
- c) The Developer shall design and install fire hydrants at the locations approved by the South San Joaquin County Fire Authority's Fire Marshal. Prior to the issuance of a Building Permit, the Developer shall submit calculations and plans as required by the Fire Department and obtain written approvals for the proposed fire system for the design, location and construction details of the fire service connection to the Project, and for the location and spacing of fire hydrants that are to be installed to serve the Project.

- d) Prior to issuance of temporary certificate of occupancy (or final certificate of occupancy, if TCO is not requested), the Developer shall demonstrate to the satisfaction of the Fire Marshal that all applicable fire flow parameters are met.
- e) All costs associated with the installation of the Project's permanent water connection(s) as identified in the Water System Analysis including the cost of removing and replacing asphalt concrete pavement, pavement marking and striping such as crosswalk lines and lane line markings, replacing traffic detecting loops, conduits, and wires, relocating existing utilities that may be in conflict with the water connection(s), and other improvements shall be paid by the Developer.
- f) Interruption to the water supply to the existing businesses and other users within International Park of Commerce or Patterson Pass Business Park will not be allowed to facilitate construction of on-site or off-site improvements related to the Project. The Developer shall be responsible for notifying business owner(s) and users, regarding construction work that involves traffic rerouting or other traffic related and access impacts to the existing businesses. The written notice, as approved by the City Engineer, shall be delivered to the affected residents or business owner(s) at least 72 hours before start of work. Prior to starting the work described in this section, the Developer shall submit a Work Plan acceptable to the City that demonstrates no interruptions to the water supply, and Traffic Control Plan to be used during the installation of the offsite water mains and connections.
- g) The Developer shall design and install domestic and irrigation water service connection, including a remote-read master water meter (the water meter to be located within City's right-of-way) and a Reduced Pressure Type back-flow protection device in accordance with City Regulations. The domestic and irrigation water service connection(s) must be completed before the final inspection of the building. Sub-metering will be allowed within private property. The City will not perform water consumption reading on sub-meters. The Developer will be responsible for relocating or reinstalling water sub-meters. The City shall maintain water lines from the master water meter to the point of connection with the water distribution main (inclusive) only. Repair and maintenance of all on-site water lines, laterals, sub-meters, valves, fittings, fire hydrant and appurtenances shall be the responsibility of the Developer.
- h) The Developer shall design all the required downstream utilities located in Daylight Road and east side of the project prior to the issuance of permits.
- i) Water main in the loop road shall be designed and constructed per City Standards and dedicated to the City within a 30-foot -wide easement. The Developer shall enter into a Maintenance Agreement with the City

prior to issuance of Final Certificate of Occupancy for the first building within the project.

- j) The domestic and irrigation water service connection(s) must be completed before issuance of the final certificate of occupancy of buildings. Sub-metering will be allowed within private property. The City will not perform water consumption reading on sub-meters. The City shall maintain water lines within easements from the master water meter to the point of connection with the water distribution main (inclusive) only. Repair and maintenance of all on-site water lines, laterals, sub-meters, valves, fittings, fire hydrant and appurtenances shall be the responsibility of the Developer.

C.4.7. Project Driveways

All recommended improvements for driveways and improvements on International Parkway and Daylight Road recommended in the Traffic Analysis shall be completed prior to issuance of Certificate of Occupancy.

C.4.8. Street Improvements

The Developer shall prepare and submit improvement plans for frontage improvements on International Parkway and Daylight Road in compliance with the Specific Plan, City of Tracy Master Plans and Design Standards. The frontage improvements shall include curb, gutter, sidewalk, driveways, landscape with automatic irrigation, streetlights, fire hydrants and associated improvements between the curb and the street right-of-way.

- a) Developer shall submit improvement plans for the private street/access road for Parcel 8 West Parkway Village (where water and sewer line easements will be dedicated to the City) to the City for review and approval. The Private Drive shall be privately owned and maintained by the Developer/owner. Public Access Easement, Emergency Vehicle Access Easement, and utility easements for the private street/ access road shall be dedicated prior to issuance of final certificate of occupancy.
- b) Prior to issuance of temporary/ final certificate of occupancy, acceptance of street improvements and rights-of-way dedication on International Parkway and Daylight Road as identified in the improvement plans titled "International Park of Commerce – Street Improvement Plans – Phase 1G, 1J, prepared by Kier & Wright, Inc., shall be completed.
- c) Developer shall acquire right-of-way required to install frontage improvements on the east side of International Parkway along the frontage of parcel currently owned by PG&E and dedicate it to the City. Prologis, the developer of International Park of Commerce may acquire the PG&E parcel and dedicate to the City. The acquisition and dedication of the PG&E parcel to the City shall be accomplished prior to issuance certificate of occupancy for the Project. A portion of the PG&E

parcel will be outside of City Right-of-way; the Developer shall be responsible to install landscaping improvements within this portion of the PG&E parcel. Developer shall prepare all required documents and pay for costs of processing a quitclaim (by the City) of the parcel to the Developer, or enter into a Maintenance Agreement with the City to maintain the landscaping.

- d) The Developer shall design and install Class 1 Bike Trail along the full frontage of the Project on International Parkway at the ultimate location per City Standards and in accordance with recommendations in the memorandum dated February 03, 2020 prepared by Kimley-Horn Associates.

- C.4.9. Prior to acceptance of the frontage improvements on International Parkway and Daylight Road, the Developer shall enter into agreement(s) with the City that address the maintenance of the landscaping improvements and access rights to the Developer for maintaining landscaping improvements. The Developer shall also enter into an agreement to install, operate, maintain, repair and replace the private utilities (i.e., fiber optic communications lines and appurtenances) within the City's right-of-way and easements.
- C.4.10. The Developer shall submit a Traffic Control Plan for each phase of work, to show the method and type of construction signs to be used for regulating traffic at the work areas within these streets. The Traffic Control Plan shall be prepared by a Civil Engineer or Traffic Engineer licensed to practice in the State of California.
- C.4.11. The Developer shall prepare joint trench plans in compliance with utility companies' requirements and City regulations and obtain approval of the plans. All private utility services to serve Project such as electric, telephone and cable TV to the building must be installed underground, and to be installed at the location approved by the respective owner(s) of the utilities.
- C.4.12. The Developer shall submit Joint Utility Trench Plans for the installation of electric, gas, telephone and TV cable main and service lines that are necessary to be installed to serve the Project. These utilities shall be installed within the 10-foot wide Public Utility Easement (PUE) that will be offered for dedication to the City. The Developer shall coordinate, as feasible, with the respective owner(s) of the utilities for the design of these underground utilities to ensure they can be installed within the 10-foot wide PUE to the extent feasible (and except in the event, that additional space beyond the 10-foot PUE is required, as determined by the utilities owner(s)).
- C.4.13. Pavement cuts or utility trench(s) on existing street(s) for the installation of water distribution main, storm drain, sewer line, electric, gas, cable TV, and telephone will require the application of 2" asphalt concrete overlay and replacement of pavement striping and marking that are disturbed during construction. The limits of asphalt concrete overlay shall be 25 feet from both sides of the trench and shall extend over the entire width of the adjacent

travel lane(s) if pavement excavation encroaches to the adjacent travel lane or up to the street centerline or the median curb. If the utility trench extends beyond the street centerline, the asphalt concrete overlay shall be applied over the entire width of the street (to the lip of gutter or edge of pavement, whichever applies).

C.5. Building Permit - No building permit will be approved by the City until the Developer demonstrates, to the satisfaction of the City Engineer, compliance with all required Conditions of Approval, including, but not limited to, the following:

- C.5.1. Check payment of the applicable City Wide Roadway and Traffic, Water, Recycled Water, Wastewater, Storm Drainage, Public Safety, Public Facilities, and Park Development Impact Fees (adopted by Resolution 2017-098) as these relate to the Project, and as otherwise required by the Cordes Ranch Development Agreement and these Conditions of Approval.
- C.5.2. Payment of the San Joaquin County Facilities Fees as required in Chapter 13.24 of the TMC, and these Conditions of Approval.
- C.5.3. Check payment of any applicable Regional Transportation Impact Fees (RTIF) as required in Mitigation Measure TRANS-7 of the Mitigation Monitoring and Reporting Program of the Cordes Ranch Final Environmental Impact Report and these Conditions of Approval.
- C.5.4. Check payment of any applicable Agricultural Conversion or Mitigation Fee as required in Chapter 13.28 of the Tracy Municipal Code and Mitigation Measure AG-1 of the Mitigation Monitoring and Reporting Program of the Cordes Ranch Final Environmental Impact Report and these Conditions of Approval.

C.6. Acceptance of Public Improvements - Public improvements, Public Right-of-Way dedications, and Public Easements will not be accepted by the City Council until after the Developer completes construction of the relevant public improvements, and also demonstrates to the City Engineer satisfactory completion of the following:

- C.6.1. Correction of all items listed in the deficiency report prepared by the assigned Engineering Inspector relating to public improvements subject to City Council's acceptance.
- C.6.2. Certified "As-Built" Improvement Plans (or Record Drawings). Upon completion of the construction by the Developer, the City shall temporarily release the originals of the Improvement Plans to the Developer so that the Developer will be able to document revisions to show the "As Built" configuration of all improvements.
- C.6.3. Reasonable written permission from irrigation district or affected owner(s), if applicable, as required in Condition C.10.4, below. The cost of relocating and/or removing irrigation facilities and/or tile drains is the sole responsibility of the Developer.

- C.6.4. Completion of off-site water, storm drainage and wastewater facilities required to serve the Project. If the off-site improvements are to be constructed by others, it shall be the Developer's responsibility to coordinate timing of completion of improvements with the responsible party to ensure timely completion.
- C.7. Final Building Certificate of Occupancy - No Final Building Certificate of Occupancy will be issued by the City until after the Developer provides reasonable documentation which demonstrates, to the satisfaction of the City Engineer, that:
  - C.7.1. The Developer has satisfied all the requirements set forth in Condition C.5 above.
  - C.7.2. The Developer has completed construction of all required public facilities for the building for which a certificate of occupancy is requested and all the improvements required in these Conditions of Approval. Unless specifically provided in these Conditions of Approval, or some other applicable City Regulations, the Developer shall use diligent and good faith efforts in taking all actions necessary to construct all public facilities required to serve the Project, and the Developer shall bear all costs related to construction of the public facilities (including all costs of design, construction, construction management, plan check, inspection, land acquisition, program implementation, and contingency).
- C.8. Improvement Security – The Developer shall provide improvement security for all public facilities, as required by the OIA, and these Conditions of Approval. The form of the improvement security may be a surety bond, letter of credit or other form in accordance with section 12.36.080 of the TMC and the Development Agreement. The amount of improvement security shall be as follows:
  - C.8.1. Faithful Performance (100% of the estimated cost of constructing the public facilities),
  - C.8.2. Labor & Materials (100% of the estimated cost of constructing the public facilities), and
  - C.8.3. Warranty (10% of the estimated cost of constructing the public facilities)
- C.9. Release of Improvement Security - Improvement Security(s) described herein shall be released to the Developer after City Council's acceptance of public improvements, and after the Developer demonstrates, to the satisfaction of the City Engineer, compliance of these Conditions of Approval, and completion of the following:
  - C.9.1. Improvement Security for Faithful Performance, Labor & Materials, and Warranty shall be released to the Developer in accordance with Section 12.36.080 of the TMC.

- C.9.2. Written request from the Developer and a copy of the recorded Notice of Completion.
- C.9.3. Monumentation Bond will be released to the Developer after City Council's acceptance of the public improvements and all monumentation shown on the Final Map is installed and tagged by a Land Surveyor licensed to practice in the State of California.

C.10. Special Conditions

- C.10.1. All streets and utilities improvements within City's right-of-way shall be designed and constructed in accordance with City Design Standards and the City's Facilities Master Plan for storm drainage, roadway, wastewater and water adopted by the City, or as otherwise specifically approved by the City.
- C.10.2. Prior to beginning of construction, the Developer shall be responsible to obtain any easements, rights-of-way and/or agreements with property owners as applicable for all improvements.
- C.10.3. All existing on-site wells, if any, shall be abandoned or removed in accordance with the City and San Joaquin County requirements. The Developer shall be responsible for all costs associated with the abandonment or removal of the existing well(s) including the cost of permit(s) and inspection. The Developer shall submit a copy of written approval(s) or permit(s) obtained from San Joaquin County regarding the removal and abandonment of any existing well(s), prior to the issuance of the Grading Permit.
- C.10.4. The Developer shall abandon or remove all existing irrigation structures, channels and pipes, if any, as directed by the City after coordination with the irrigation district, if the facilities are no longer required for irrigation purposes. The Developer shall submit report for a site sub-surface investigation for determining the presence of irrigation and drainage tile drains within and around the Project Site, if any, and submit a report prepared and signed by a Geo-technical Engineer. In the event that tile drains exist within and around the Project Site, the Developer has the option to either relocate or abandon the on-site tile drains as required for the proposed development. All existing tile drains and proposed improvements for the relocation or removal of tile drains must be shown on the Grading and Storm Drainage Plans. Any tile drains under the proposed buildings shall be abandoned or relocated as may be required, to the satisfaction of the City. The Developer or the property owner(s) will be responsible for maintenance of tile drains to remain or the relocated tile drains and associated improvements. Additionally, the Developer will be responsible for monitoring the groundwater levels, and for the mitigations, if any, that may be required, by any applicable laws and regulations.



- C.10.5. Any damages to existing improvements within the street right-of-way due to construction related activities shall be repaired or replaced as directed by the City at Developer's cost.
- C.10.6. All improvement plans shall contain a note stating that the Developer (or Contractor) will be responsible to preserve and protect all existing survey monuments and other survey markers. Any damaged, displaced, obliterated or lost monuments or survey markers shall be re-established or replaced by a licensed Land Surveyor at the Developer's (or Contractor's) sole expense. A corner record must be filed in accordance with the State law for any reset monuments (California Business and Professions Code Section 8871).
- C.10.7. Developer shall comply with the requirements relating to Fire Apparatus Access Roads and other Fire Code requirements to the satisfaction of the Fire Department.
- C.10.8. Nothing contained herein shall be construed to permit any violation of relevant ordinances and regulations of the City of Tracy, or other public agency having jurisdiction. This Condition of Approval does not preclude the City from requiring pertinent revisions and additional requirements to the Grading Permit, Encroachment Permit, Building Permit, Improvement Plans, OIA, and DIA, if the City Engineer finds it necessary due to public health and safety reasons, and it is in the best interest of the City. The Developer shall bear all the cost for the inclusion, design, and implementations of such additions and requirements, without reimbursement or any payment from the City.

**D. Public Works and Finance Departments Conditions of Approval**

**Street/Streetlight/Landscaping Replacement and Maintenance.** (For Industrial/Commercial development)

No later than October 31, 2021, the applicant shall make a written election, in a form approved by the City, of the funding mechanism by which the applicant will fund, in perpetuity, the costs of the operation and maintenance of the streets (from curb-to-curb, excluding gutters) to a Pavement Management System standard of PCI 70 (seventy), which could include street reconstruction, as reasonably determined by the City, the electric utility costs of operating the streetlights and signals that will serve the Project (collectively, the "Infrastructure"), and the costs related to public landscaping maintenance costs. Developer must prepare its improvement plans and fund a landscaping budget analysis (to be performed by a consultant to the City) to establish the scope and cost estimates of the public landscaping maintenance costs. Prior to October 31, 2021, the City and the applicant may negotiate additional details of the Infrastructure and the funding mechanism, which details may include, without limitation, (a) the scope of the Infrastructure; (b) the geographical scope of the applicant's funding obligation; (c) the costs; (d) the inclusion of third-party owners or developers in such funding mechanism; and (e) any other issues that arise during such negotiations.

The ultimate funding mechanism may include the following options or other options that may arise during the negotiations:

a. Community Facilities District (CFD) or other funding mechanism. An agreement with the City, to be signed by the Finance Director, which may, at the City's option, be recorded against the geographical scope negotiated in the agreement ("Project Site") which stipulates that prior to the City's acceptance of the Infrastructure, the Developer will either (i) form a CFD that includes the Project Site, (ii) annex the Project Site into an existing CFD or (iii) establish another lawful funding mechanism that is reasonably acceptable to the City. If a CFD is used, formation of the CFD must include, but not be limited to, compliance with the Mello – Roos Community Facilities Act of 1982 (Gov. Code, § 53311 et seq.), affirmative votes, and the recordation of a Notice of Special Tax Lien. Developer shall be responsible for all costs associated with the CFD proceedings or the implementation of the other lawful funding mechanism.

Or

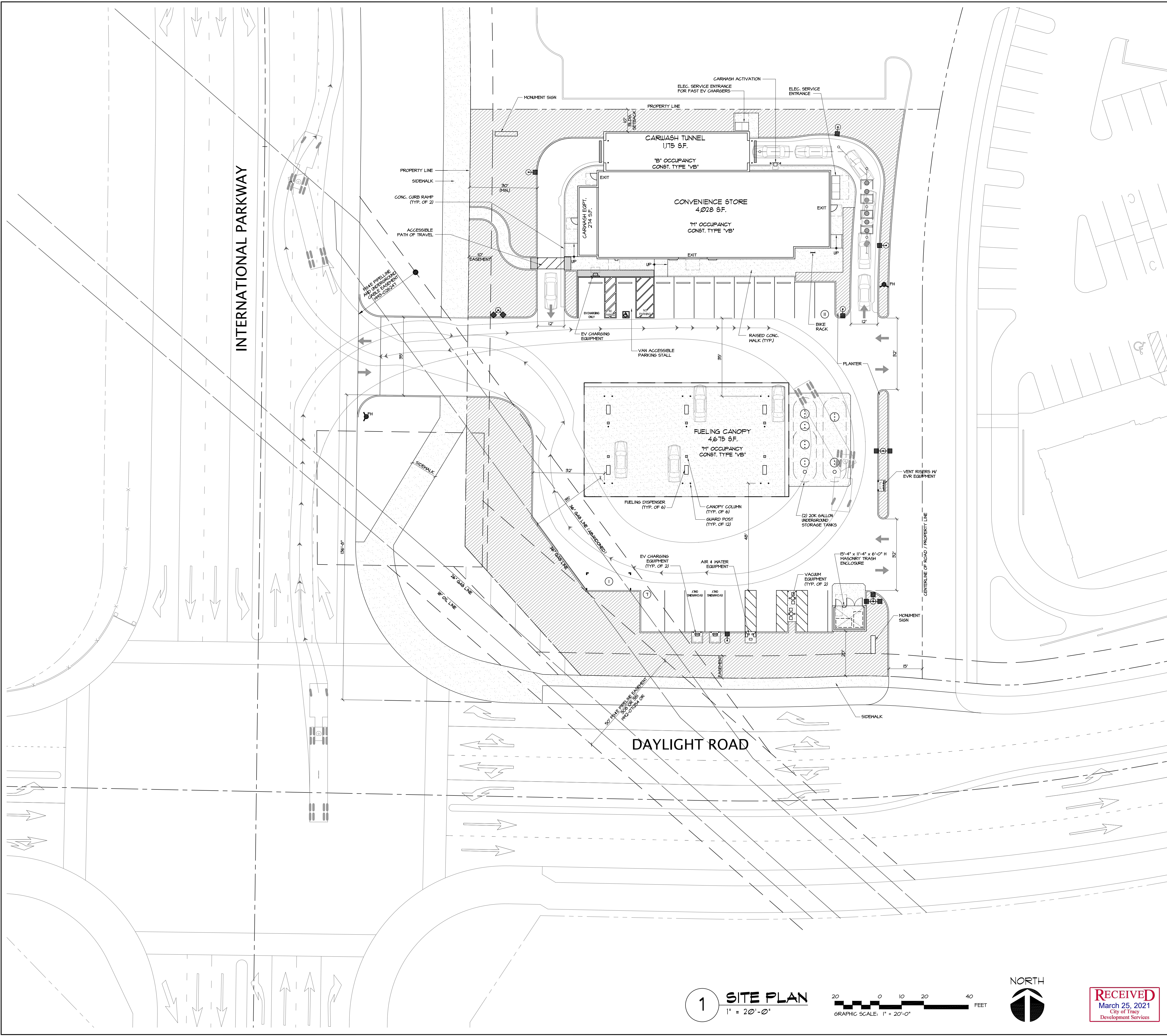
b. Direct funding. An agreement with the City, which shall be recorded against the Project Site, which stipulates that prior to the City's acceptance of the Infrastructure, Developer will deposit with the City such funds as are necessary to fund in perpetuity the long-term on-going costs of operation, maintenance and replacement of the Infrastructure, including all costs required to operate the streetlights and signals.

Or

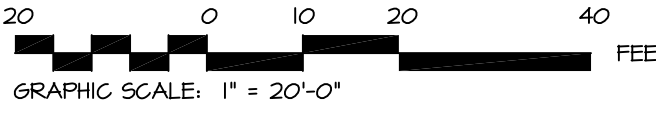
c. POA. Developer shall, at its expense, form a Property Owner's Association (POA) for the entire Project Site that will fund the on-going operation, maintenance and replacement costs of the agreed-upon Infrastructure serving the Project Site, with CC&Rs reasonably acceptable to the City Attorney. If the POA is the chosen funding mechanism, Developer must also annex into an existing CFD in a "dormant" capacity, with the required funding to be triggered if the POA is not created prior to the City's acceptance of any Infrastructure, or if the POA becomes, in the City's reasonable determination, unable to continue to fund the on-going operation, maintenance and replacement of the Infrastructure. If a POA and dormant CFD are the chosen funding mechanism, the CFD tax or assessment must be disclosed to all prospective buyers of all or any portion of the Project Site.



S:\1-Projects\20-6615 Tracy\Drawings\Planning\20-6615-SD1.dwg modified by mtauser4 at Mar 25, 2021 - 11:54am



1 SITE PLAN  
1" = 20'-0"



## DRAWING INDEX

SD1	PROPOSED SITE PLAN
SD1-L	SITE LIGHTING PHOTOMETRIC
C.1	TOPOGRAPHIC SURVEY
C.2	PRELIMINARY GRADING REVIEW
C.3	PRELIMINARY UTILITY PLAN
C.4	OVERALL UTILITY PLAN
C.5	STORM WATER QUALITY CONTROL PLAN
C.6	P&E NOTES
LC1	PRELIMINARY LANDSCAPE PLAN
AI.1	CONVENIENCE STORE & CARWASH FLOOR PLAN
A2.1	CONVENIENCE STORE & CARWASH EXTERIOR ELEVATIONS
A2.2	CONVENIENCE STORE & CARWASH EXTERIOR ELEVATIONS
CA1	CANOPY ELEVATIONS
CA2	CANOPY ELEVATIONS

## SITE INFORMATION

APN #:	209-460-035
ZONING:	GENERAL COMMERCIAL (GC)
PROPOSED USE:	GAS STATION, CONVENIENCE STORE & CARWASH
SITE AREA GROSS:	±50,418 S.F. = 1.16 ACRES
TOTAL LANDSCAPE AREA:	12,536 S.F. (25%) PROVIDED
(10% REQ'D PER 16THROUGH 30 PARKING STALLS)	
MAXIMUM FLOOR AREA RATIO:	45%
RETAIL COMMERCIAL FAR = 10,152 S.F. < 22,724 S.F.	0.45x50,418=22,724 S.F.
BUILDINGS:	
CONVENIENCE STORE	4,028 S.F.
FUELING CANOPY	4,675 S.F.
CARWASH TUNNEL & EQUIPMENT RM.	1,444 S.F.
TOTAL BLDG. AREA	10,152 S.F.
PARKING REQUIREMENTS:	
CONVENIENCE STORE:	
1 SPACE PER 250 S.F. (4,028 S.F. / 250):	16 SPACES
TOTAL PARKING REQUIRED:	16 SPACES
PARKING PROVIDED:	
STANDARD PARKING STALLS (9'x18'-6"):	10 SPACES
PARKING STALL (10'-0"x18'-6"):	1 SPACE
PARALLEL PARKING STALL (8'x20"):	1 SPACE
VAN ACCESSIBLE PARKING STALL (11'x18'-6"):	1 SPACE
VACUUM PARKING STALLS (13'x18'-6"):	2 SPACES
AIR/WATER STALL (13'x18'-6"):	1 SPACE
ELECTRIC VEHICLE CHARGING STATIONS:	
STANDARD EV PARKING STALL (9'x18'-6"):	2 SPACES
VAN ACCESSIBLE PARKING STALL (11'x18'-6"):	1 SPACE
TOTAL PARKING PROVIDED:	14 SPACES

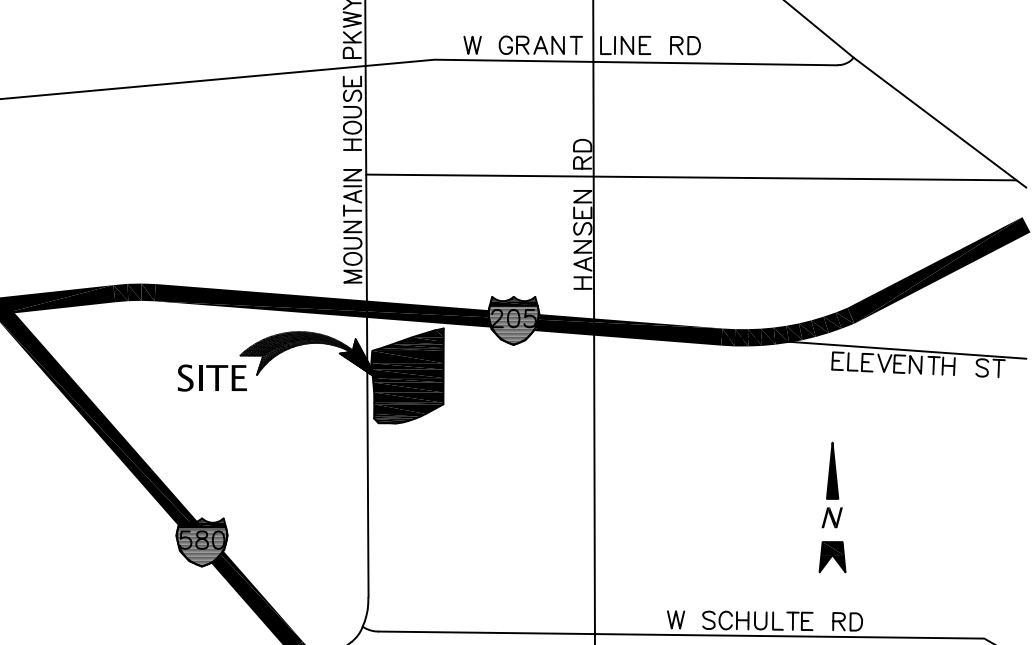
## SITE PLAN LEGEND

	NEW LANDSCAPING
	NEW CONCRETE PAVING
	4 FT. WIDE (MIN.) ACCESSIBLE ROUTE OF TRAVEL, SHALL NOT EXCEED 5% SLOPE IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE
	EXISTING CURB TO REMAIN
	NEW CONCRETE CURB

## PROJECT DIRECTORY

ARCHITECT	DEVELOPER
M I ARCHITECTS, INC.	MR. JIM RUENITZ
2221 OLYMPIC BLVD., SUITE 100	17610 BLANCHARD DRIVE
WALNUT CREEK, CA 94595	MONTE SERENO, CA 95030
TEL: (925) 287-1174 x1	TEL: (408) 813-6416
FAX: (925) 943-1581	
CELL: (925) 878-9875	
MR. MUTHANA IBRAHIM, ARCHITECT	

## VICINITY MAP



**M I Architects, Inc.**

ARCHITECTURE  
PLANNING  
MANAGEMENT  
DESIGN

2221 OLYMPIC BLVD.,  
SUITE 100  
WALNUT CREEK, CA  
94595  
925-287-1174 Tel  
925-943-1581 Fax  
925-878-9875 Cell  
muthana@miarchitect.com  
www.miarchitect.com

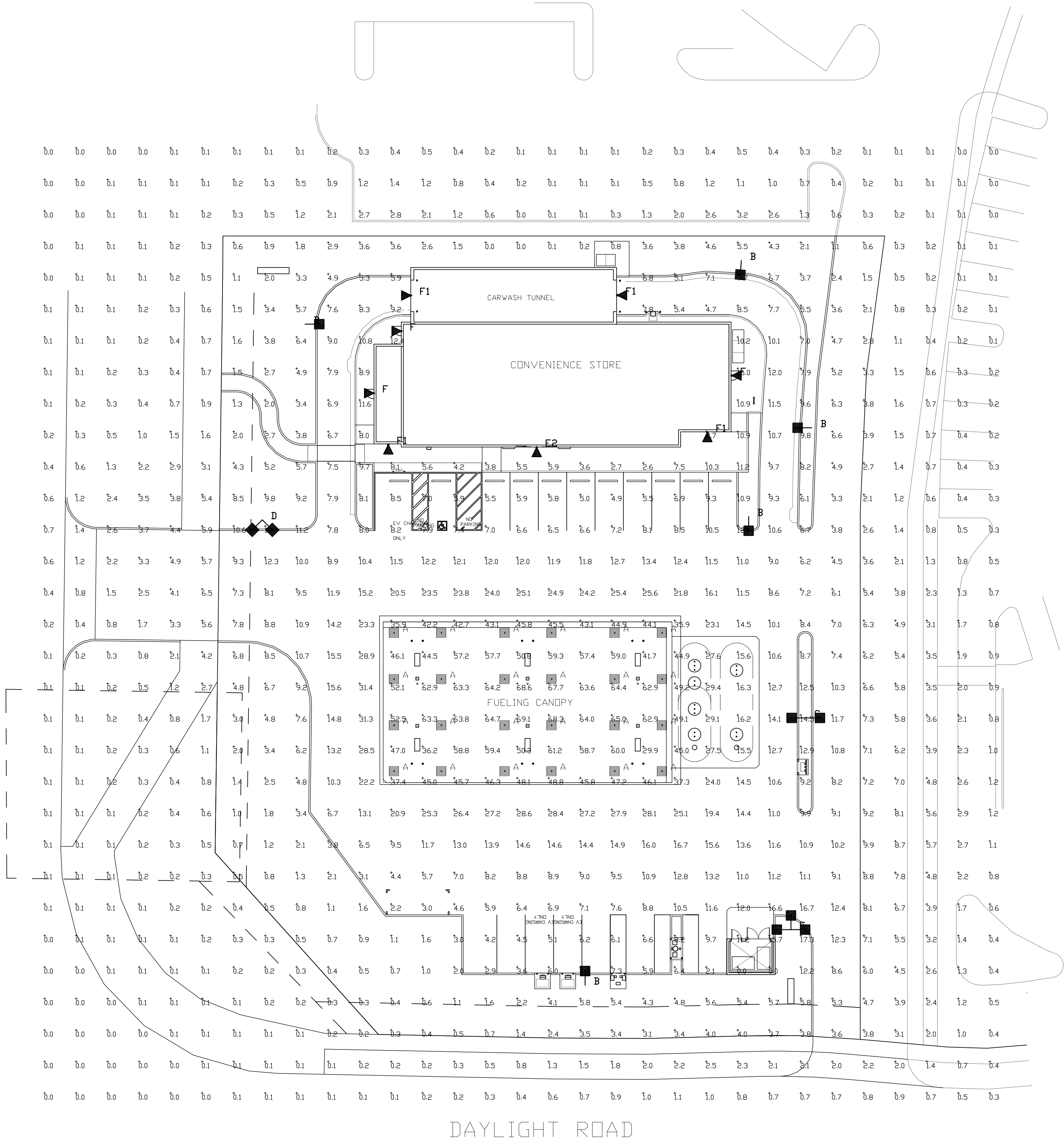
CHEVRON GAS STATION & CARWASH  
CONVENIENCE STORE & CARWASH  
NEC INTERNATIONAL PARKWAY & DAYLIGHT ROAD  
TRACY, CA

DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EXPRESSED HEREIN SHALL CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF M I ARCHITECTS, INC. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF M I ARCHITECTS, INC. IS PROHIBITED.

ISSUED FOR CONSTRUCTION		
ISSUED FOR PLAN CHECK		
ISSUED FOR PLANNING		
NO.	DATE	DESCRIPTION
△		
△		
△		
△		
△		
SITE PLAN		
PROJECT #: 20-6615		
DRAWN: EMQ	CHECKED: MII	
SCALE: AS NOTED	DATE: 10-14-19	
SD1		
SHEET	OF	



INTERNATIONAL PARKWAY



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	7.84	69.1	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	52.29	69.1	29.9	1.75	2.31
INSIDE CURB	Illuminance	Fc	10.86	31.4	0.8	13.58	39.25



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens
	24	A	SINGLE	SCV-LED-20L-SC-50 MTD @ 20'-4"	1.000	1.000	1.000	20141
	5	B	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-SINGLE-18'POLE+2'BASE	1.000	1.000	1.000	19664
	1	C	D180	SLM-LED-18L-SIL-FT-50-70CRI-D180-18'POLE+2'BASE	1.000	1.000	1.000	39328
	1	D	2 @ 90 DEGREES	SLM-LED-18L-SIL-FT-50-70CRI-D90-18'POLE+2'BASE	1.000	1.000	1.000	39328
	1	E	3 @ 90 DEGREE	SLM-LED-18L-SIL-FT-50-70CRI-T90-18'POLE+2'BASE	1.000	1.000	1.000	58992
	3	F	SINGLE	XWM-FT-LED-06L-50 MTD @ 9'	1.000	1.000	1.000	5936
	4	F1	SINGLE	XWM-FT-LED-06L-50 MTD @ 11'	1.000	1.000	1.000	5936
	1	F2	SINGLE	XWM-FT-LED-06L-50 MTD @ 12'	1.000	1.000	1.000	5936

Total Project Watts  
Total Watts = 5266.802

SD1-L



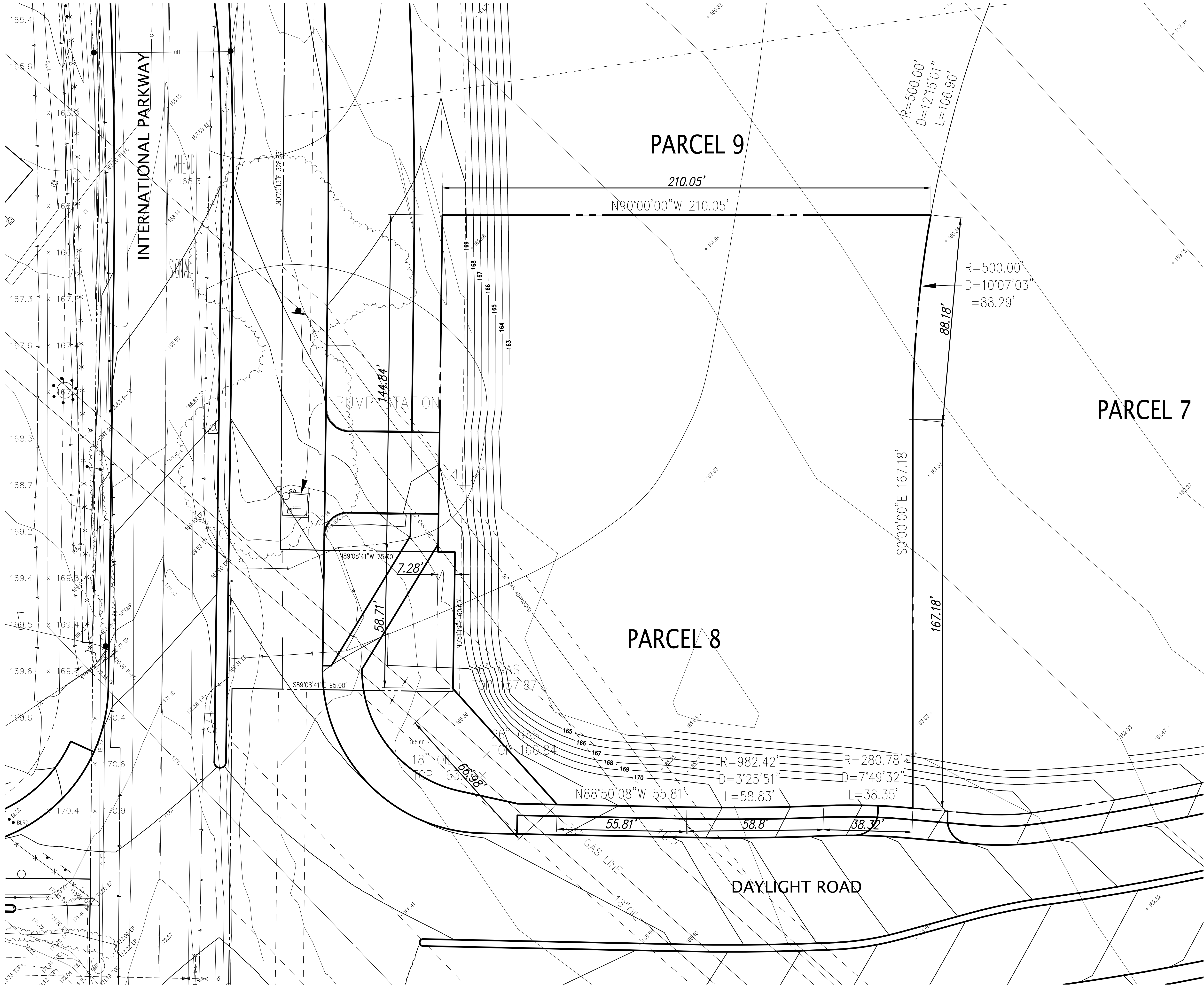
LIGHTING PROPOSAL LO-152358-3

CHEVRON  
INTERNATIONAL PKWY & DAYLIGHT RD  
TRACY, CA

BY:AHK DATE:9-28-20 REV:3/22/21 SHEET 1 OF 1

SCALE: 1"=20'

0 20



NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING. PROPERTY LINE PLOT ONLY.
2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
4. BENCHMARK: TOP OF A STEEL PIN IN A MONUMENT WELL AT THE INTERSECTION OF SCHULTE ROAD AND HANSEN ROAD.  
ELEVATION = 180.32 FEET (CITY OF TRACY NAVD 1988 DATUM)

LEGEND

CLP	ASPHALT BERM
CL	CAST IRON PIPE
CL	CENTERLINE
CL	CONCRETE CURB
CL	CONCRETE CURB & GUTTER
CL	CONTOUR LINE
CL	OBSCURED CONTOUR LINE
CL	EDGE OF PAVEMENT
CL	ELECTRIC LINE
CL	FENCE LINE
CL	FIBER OPTICS LINE
CL	FIRE SERVICE & VALVE
CL	GAS LINE-VALVE & METER
CL	HIGH PRESSURE GAS LINE
CL	LOT LINE
CL	MONUMENT/MONUMENT LINE
CL	OIL LINE
CL	OVERHEAD POWER LINE
CL	PROPERTY LINE
CL	SANITARY SEWER-MANHOLE & CLEANOUT
CL	SIDEWALK
CL	SPOT ELEVATION
CL	STORM DRAIN-MANHOLE & CATCH BASIN
CL	TELEPHONE LINE
CL	WATER LINE & VALVE
CL	BACKFLOW PREVENTION DEVICE
CL	FIRE DEPARTMENT CONNECTION
CL	FIRE HYDRANT
CL	POST INDICATOR VALVE
CL	POWER POLE/JOINT POLE
CL	TRANSFORMER
CL	TRAFFIC SIGN
CL	TREE
CL	UTILITY BOX
CL	BENCHMARK/TEMPORARY BENCHMARK
CL	IRON PIN
CL	ANGLE POINT
CL	ANGLE POINT
CL	ASPHALT PAVEMENT
CL	BOTTOM OF PIPE
CL	BEGIN
CL	BUILDING LINE
CL	BOLLARD
CL	BACK-SIGHT CHECK
CL	BACK OF WALK
CL	CONCRETE
CL	CAST IRON PIPE
CL	CLEANOUT
CL	DOCK
CL	EAST
CL	EDGE OF PAVEMENT
CL	EASEMENT
CL	ELECTRICAL VAULT
CL	EDGE OF WALK
CL	FIRE DEPARTMENT CONNECTION
CL	FIRE HYDRANT
CL	FENCE
CL	FOUND
CL	FIBER OPTICS
CL	FIRE SERVICE
CL	FOR-SIGHT CHECK
CL	GAS LINE
CL	GRADE BREAK
CL	GAS MARKER/METER
CL	GUY ANCHOR
CL	HIGH PRESSURE GAS LINE
CL	HIGH PRESSURE OIL LINE
CL	INVERT ELEVATION
CL	IRON PIPE
CL	IRRIGATION LINE
CL	JOINT POWER POLE
CL	JOINT TRENCH
CL	LIP OF GUTTER
CL	LANE LINE
CL	MONUMENT
CL	NORTH
CL	NORTH EAST
CL	NORTH WEST
CL	OFFICIAL RECORDS
CL	OVERHEAD
CL	PAVEMENT
CL	PACIFIC GAS & ELECTRIC
CL	PARCEL MAP
CL	POINT OF CONNECTION
CL	POWER POLE
CL	RIM ELEVATION
CL	RECLAIMED WATER LINE
CL	SOUTH
CL	STORM DRAIN
CL	STORM DRAIN MANHOLE
CL	STREET LIGHT
CL	SANITARY SEWER
CL	SANITARY SEWER EASEMENT
CL	SANITARY SEWER MANHOLE
CL	SOUTH WEST
CL	TELEPHONE BOX
CL	TOP OF CURB
CL	TELEPHONE POLE
CL	TREE
CL	TRAFFIC SIGNAL BOX
CL	TRAFFIC SIGNAL POLE
CL	GAS-OIL-STREAM CHEMICAL
CL	WEST
CL	WATER VALVE

CITY OF TRACY



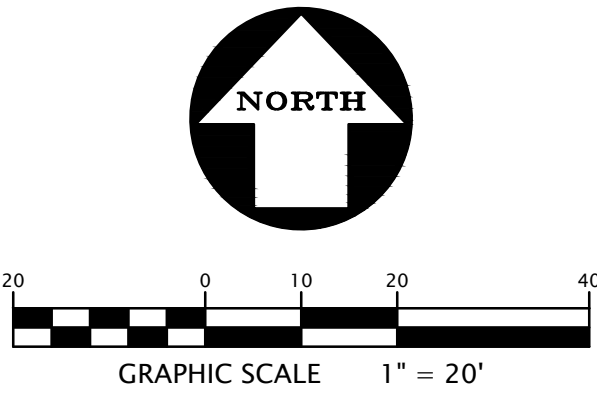
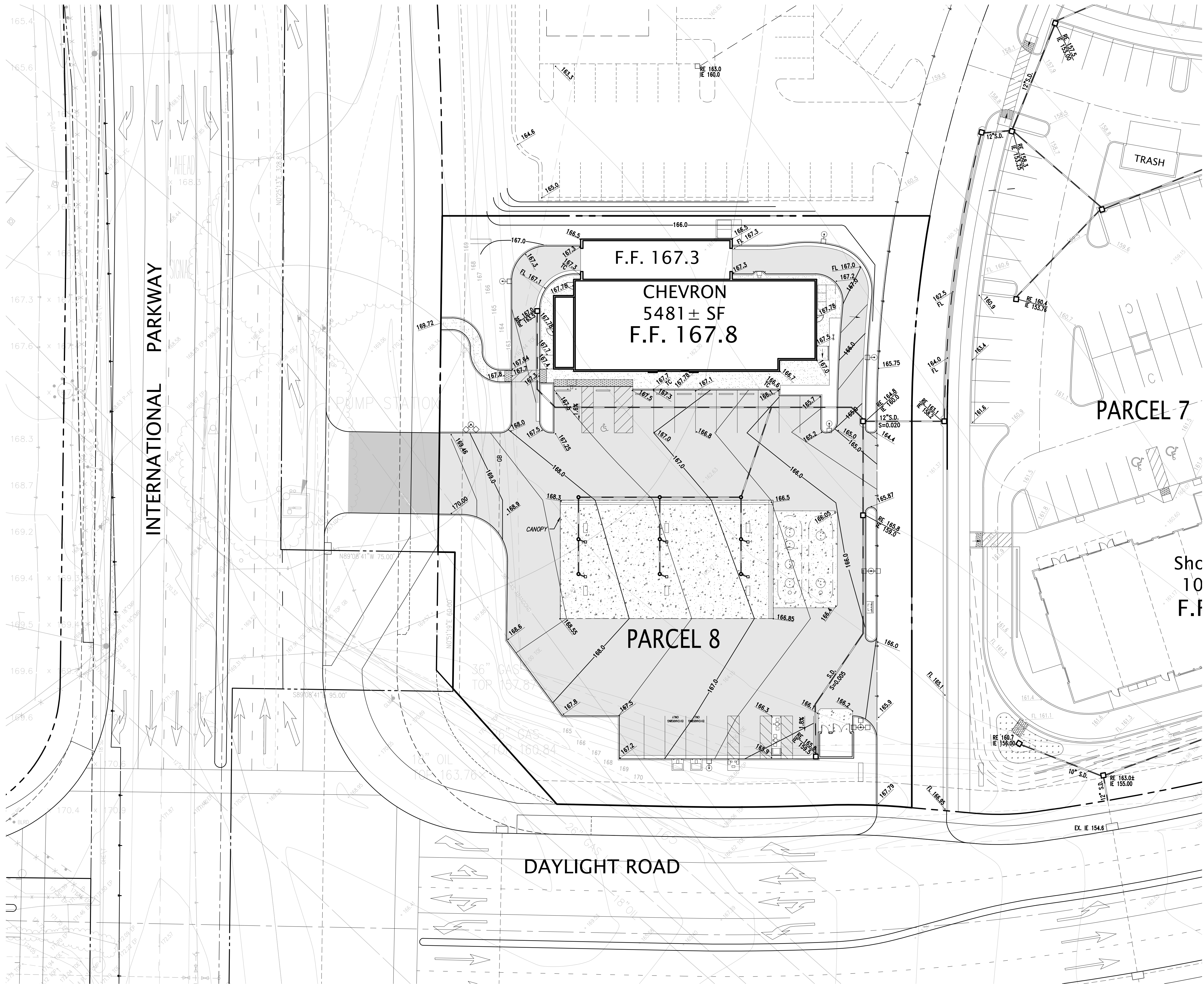
**KIER+WRIGHT**  
2850 Collier Canyon Road  
Livermore, California 94551  
Phone (925) 245-9788  
www.kierwright.com

SYMBOL	DATE	REVISIONS	DESCRIPTION	APPROVED
	11/20/20		CITY SUBMITTAL	

DESIGNED BY: M.F.B.	DRAWN BY: M.C.	CHECKED BY: M.F.B.	SCALE: 1" = 20'
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**PARCEL 8**  
**WEST PARKWAY VILLAGE**  
**INTERNATIONAL PARK OF COMMERCE**  
**TOPOGRAPHIC SURVEY**





CITY OF TRACY

APPROVAL OF THESE PLANS DOES NOT RELEASE THE INVENTOR OF THE LIABILITY OF THE INVENTOR OR THE CITY OF TRACY FOR ANY DAMAGE TO PERSONS OR PROPERTY THAT MAY BE CAUSED BY THE CONSTRUCTION OF THE PROJECT. THE CITY OF TRACY IS NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE CITY OF TRACY IS NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE CITY OF TRACY IS NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

DATE: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_



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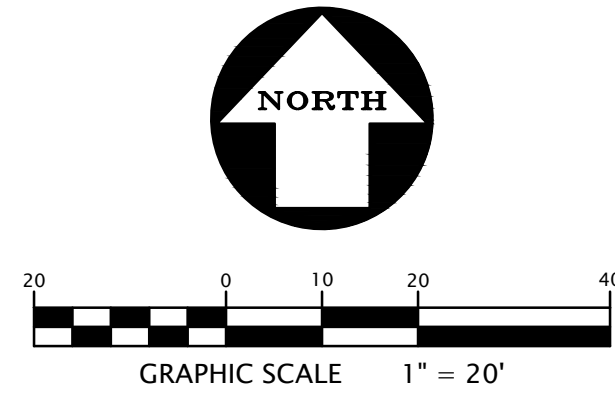
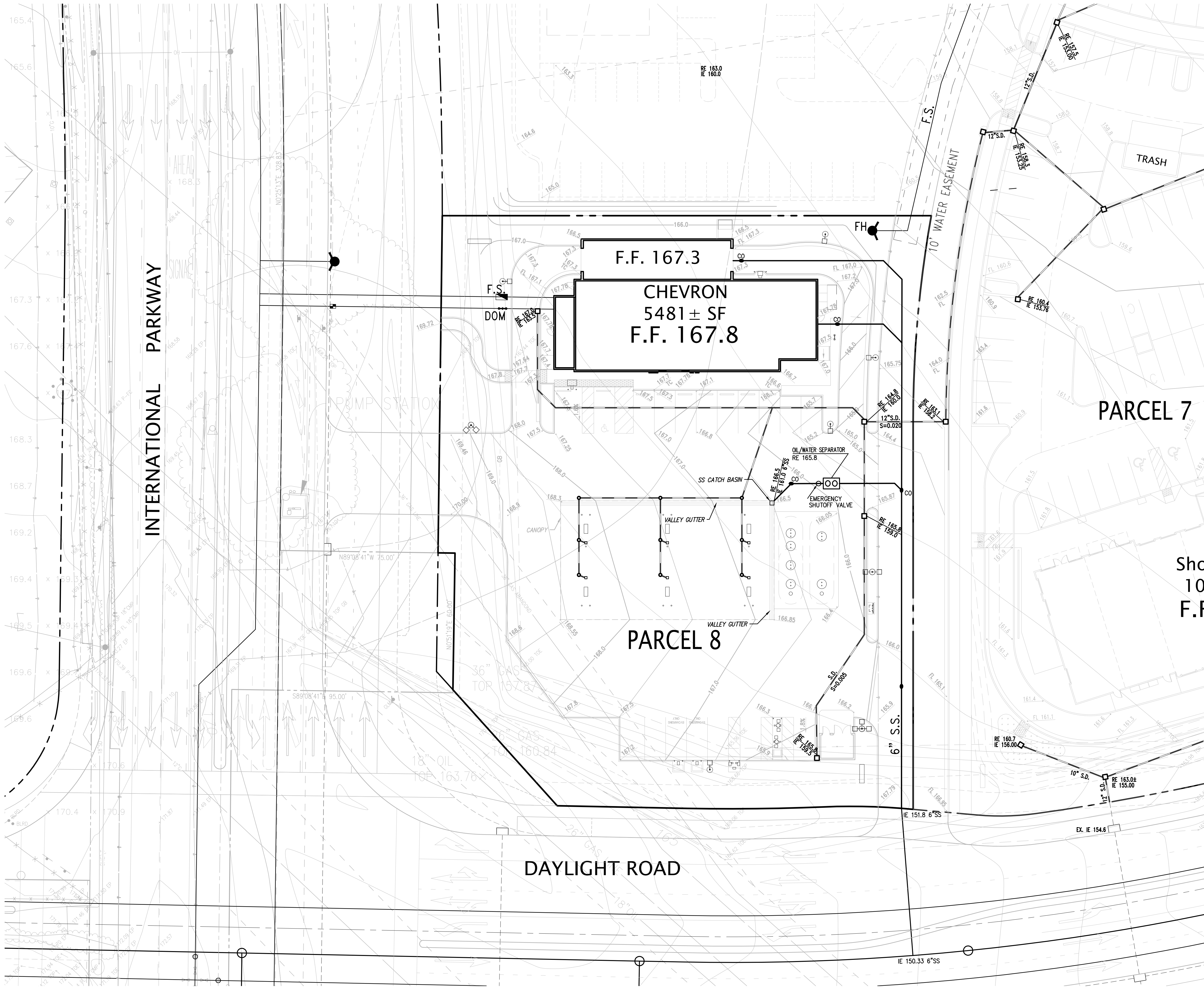
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	11/20/20		CITY SUBMITTAL	

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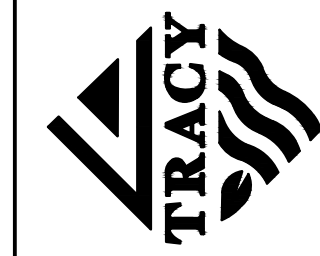
PARCEL 8  
WEST PARKWAY VILLAGE  
INTERNATIONAL PARK OF COMMERCE  
PRELIMINARY GRADING PLAN

SHEET  
C.2  
OF 6 SHEETS





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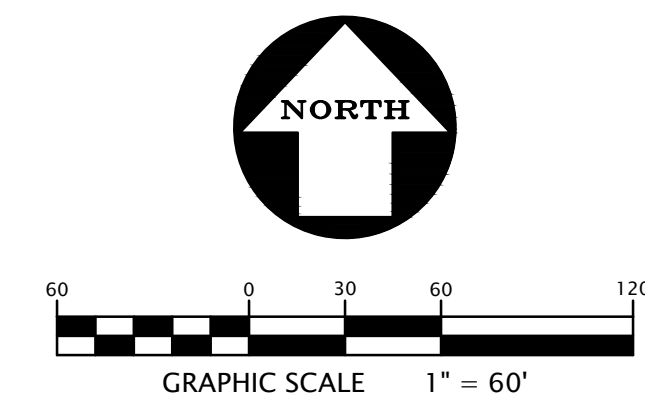
REVISIONS			APPROVED
SYMBOL	DATE	DESCRIPTION	
		CITY SUBMITTAL	

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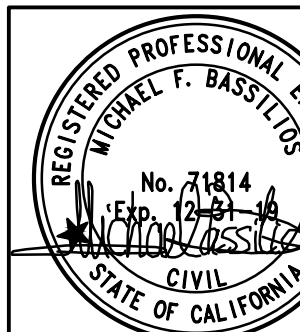
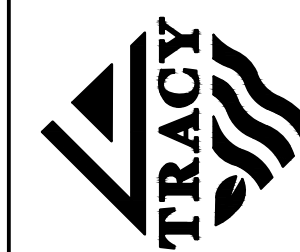
**PARCEL 8**  
**WEST PARKWAY VILLAGE**  
**INTERNATIONAL PARK OF COMMERCE**  
**PRELIMINARY UTILITY PLAN**


SHEET  
**C.3**  
OF 6 SHEETS





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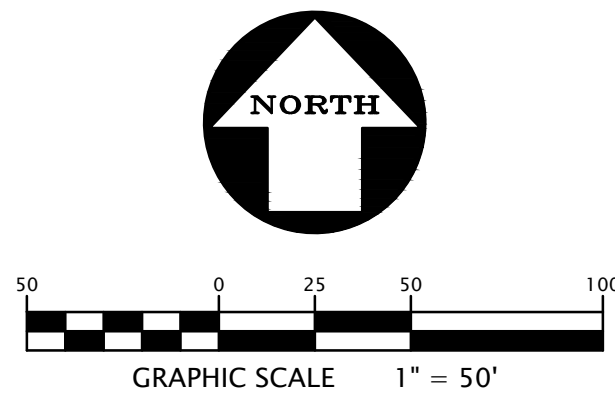
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PARCEL 8  
WEST PARKWAY VILLAGE  
INTERNATIONAL PARK OF COMMERCE  
OVERALL UTILITY PLAN

SHEET  
C.4  
OF 6 SHEETS





N. T. S.





## Attachment 1 – Gas Facilities

There could be gas transmission pipelines in this area which would be considered critical facilities for PG&E and a high priority subsurface installation under California law. Care must be taken to ensure safety and accessibility. So, please ensure that if PG&E approves work near gas transmission pipelines it is done in adherence with the below stipulations. Additionally, the following link provides additional information regarding legal requirements under California excavation laws: <https://www.usanorth811.org/images/pdfs/CA-AJW-2018.pdf>

1. **Standby Inspection:** A PG&E Gas Transmission Standby Inspector must be present during any demolition or construction activity that comes within 10 feet of the gas pipeline. This includes all grading, trenching, substructure depth verifications (potholes), asphalt or concrete demolition/removal, removal of trees, signs, light poles, etc. This inspection can be coordinated through the Underground Service Alert (USA) service at 811. A minimum notice of 48 hours is required. Ensure the USA markings and notifications are maintained throughout the duration of your work.
2. **Access:** At any time, PG&E may need to access, excavate, and perform work on the gas pipeline. Any construction equipment, materials, or spoils may need to be removed upon notice. Any temporary construction fencing installed within PG&E's easement would also need to be capable of being removed at any time upon notice. Any plans to cut temporary slopes exceeding a 1:4 grade within 10 feet of a gas transmission pipeline need to be approved by PG&E Pipeline Services in writing PRIOR to performing the work.
3. **Wheel Loads:** To prevent damage to the buried gas pipeline, there are weight limits that must be enforced whenever any equipment gets within 10 feet of traversing the pipe.

Ensure a list of the axle weights of all equipment being used is available for PG&E's Standby Inspector. To confirm the depth of cover, the pipeline may need to be potholed by hand in a few areas.

Due to the complex variability of tracked equipment, vibratory compaction equipment, and cranes, PG&E must evaluate those items on a case-by-case basis prior to use over the gas pipeline (provide a list of any proposed equipment of this type noting model numbers and specific attachments).

No equipment may be set up over the gas pipeline while operating. Ensure crane outriggers are at least 10 feet from the centerline of the gas pipeline. Transport trucks must not be parked over the gas pipeline while being loaded or unloaded.

4. Grading: PG&E requires a minimum of 36 inches of cover over gas pipelines (or existing grade if less) and a maximum of 7 feet of cover at all locations. The graded surface cannot exceed a cross slope of 1:4.
5. Excavating: Any digging within 2 feet of a gas pipeline must be dug by hand. Note that while the minimum clearance is only 12 inches, any excavation work within 24 inches of the edge of a pipeline must be done with hand tools. So to avoid having to dig a trench entirely with hand tools, the edge of the trench must be over 24 inches away. (Doing the math for a 24 inch



wide trench being dug along a 36 inch pipeline, the centerline of the trench would need to be at least 54 inches [ $24/2 + 24 + 36/2 = 54$ ] away, or be entirely dug by hand.)

Water jetting to assist vacuum excavating must be limited to 1000 psig and directed at a 40° angle to the pipe. All pile driving must be kept a minimum of 3 feet away.

Any plans to expose and support a PG&E gas transmission pipeline across an open excavation need to be approved by PG&E Pipeline Services in writing PRIOR to performing the work.

6. **Boring/Trenchless Installations:** PG&E Pipeline Services must review and approve all plans to bore across or parallel to (within 10 feet) a gas transmission pipeline. There are stringent criteria to pothole the gas transmission facility at regular intervals for all parallel bore installations.

For bore paths that cross gas transmission pipelines perpendicularly, the pipeline must be potholed a minimum of 2 feet in the horizontal direction of the bore path and a minimum of 12 inches in the vertical direction from the bottom of the pipe with minimum clearances measured from the edge of the pipe in both directions. Standby personnel must watch the locator trace (and every ream pass) the path of the bore as it approaches the pipeline and visually monitor the pothole (with the exposed transmission pipe) as the bore traverses the pipeline to ensure adequate clearance with the pipeline. The pothole width must account for the inaccuracy of the locating equipment.

7. Substructures: All utility crossings of a gas pipeline should be made as close to perpendicular as feasible (90° +/- 15°). All utility lines crossing the gas pipeline must have a minimum of 12 inches of separation from the gas pipeline. Parallel utilities, pole bases, water line 'kicker blocks', storm drain inlets, water meters, valves, back pressure devices or other utility substructures are not allowed in the PG&E gas pipeline easement.

If previously retired PG&E facilities are in conflict with proposed substructures, PG&E must verify they are safe prior to removal. This includes verification testing of the contents of the facilities, as well as environmental testing of the coating and internal surfaces. Timelines for PG&E completion of this verification will vary depending on the type and location of facilities in conflict.

8. Structures: No structures are to be built within the PG&E gas pipeline easement. This includes buildings, retaining walls, fences, decks, patios, carports, septic tanks, storage sheds, tanks, loading ramps, or any structure that could limit PG&E's ability to access its facilities.

9. Fencing: Permanent fencing is not allowed within PG&E easements except for perpendicular crossings which must include a 16 foot wide gate for vehicular access. Gates will be secured with PG&E corporation locks.

10. Landscaping: Landscaping must be designed to allow PG&E to access the pipeline for maintenance and not interfere with pipeline coatings or other cathodic protection systems. No trees, shrubs, brush, vines, and other vegetation may be planted within the easement area. Only those plants, ground covers, grasses, flowers, and low-growing plants that grow unsupported to a maximum of four feet (4') in height at maturity may be planted within the easement area.

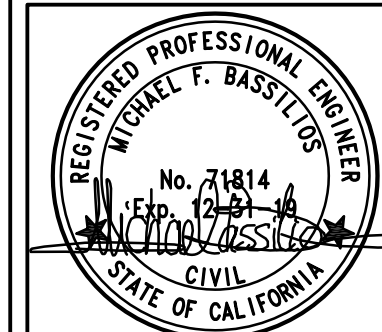
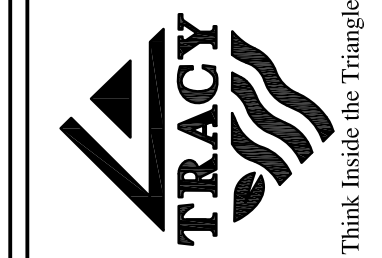


11. Cathodic Protection: PG&E pipelines are protected from corrosion with an "Impressed Current" cathodic protection system. Any proposed facilities, such as metal conduit, pipes, service lines, ground rods, anodes, wires, etc. that might affect the pipeline cathodic protection system must be reviewed and approved by PG&E Corrosion Engineering.

12. Pipeline Marker Signs: PG&E needs to maintain pipeline marker signs for gas transmission pipelines in order to ensure public awareness of the presence of the pipelines. With prior written approval from PG&E Pipeline Services, an existing PG&E pipeline marker sign that is in direct conflict with proposed developments may be temporarily relocated to accommodate construction work. The pipeline marker must be moved back once construction is complete.

13. PG&E is also the provider of distribution facilities throughout many of the areas within the state of California. Therefore, any plans that impact PG&E's facilities must be reviewed and approved by PG&E to ensure that no impact occurs which may endanger the safe operation of its facilities.

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DESIGNED BY: M.F.B.	DRAWN BY: M.G.	CHECKED BY: M.F.B.	SCALE: 1" = 20'
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PARCEL 8  
WEST PARKWAY VILLAGE  
INTERNATIONAL PARK OF COMMERCE  
PG&E NOTES

SHEET

**C.6**

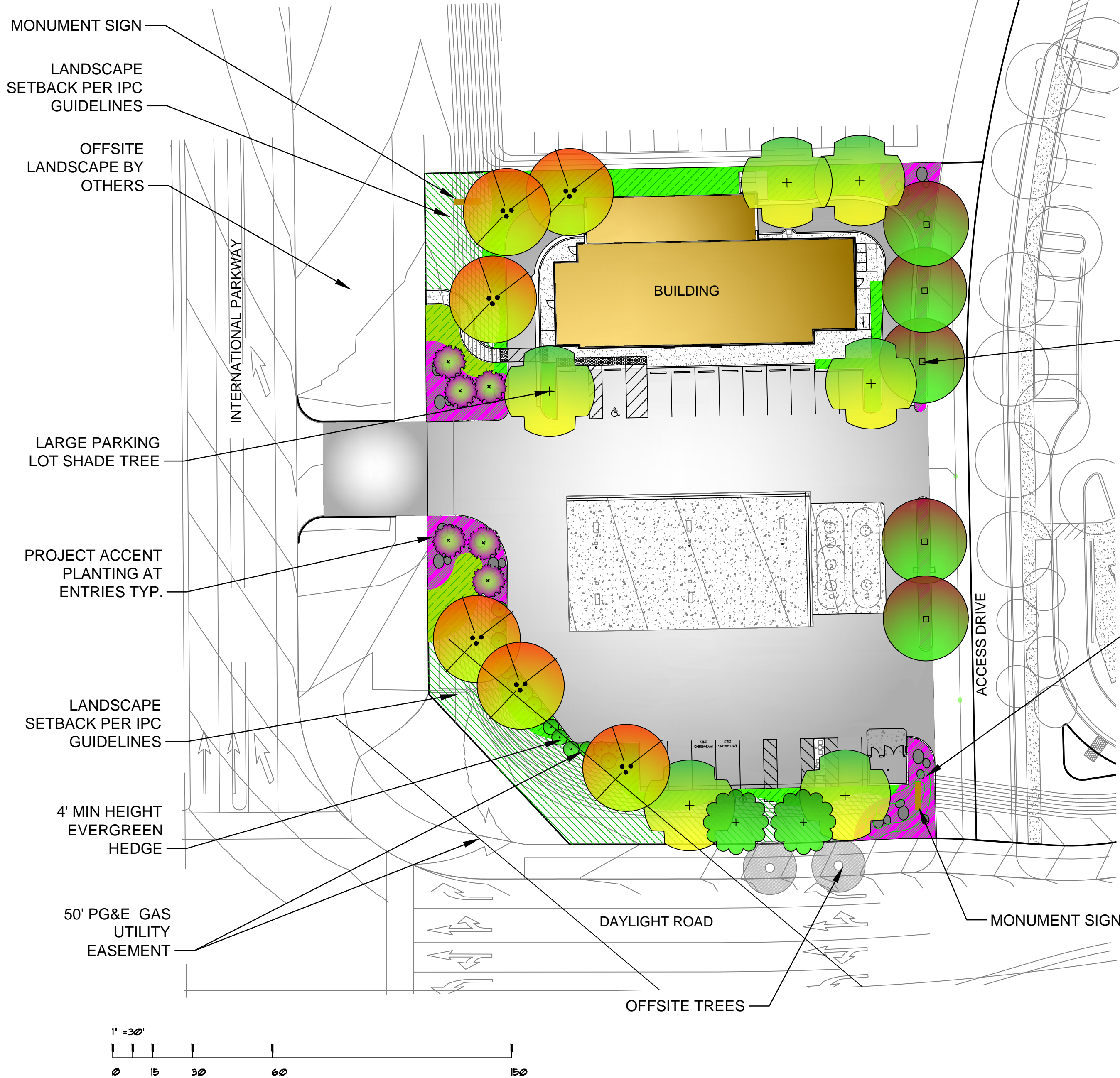
OF 6 SHEETS



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PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 30'-0"



LANDSCAPE MULCHES:

BARK MULCH-ALL PLANTERS NOT DESIGNATED FOR ROCK, D.G. OR SEEDING. CHIPPED OR SHREDDED WOOD PINE OR FIR WASTE MULCH - PLACE 4" MIN. DEPTH OF SHREDDED NON-FLOATABLE WOOD WASTE FROM A LOCAL PRODUCER. 3/4"- 2" LENGTH COLOR BROWN W/ NO VISIBLE CONTAMINANTS. PLACE 4" MIN. DEPTH OF BARK IN ALL PLANT BASINS IN ROCK MULCH AREAS.

2'-4" DIA. FRACTURED ROCK BOULDERS. BOULDER COLOR AND TEXTURE TO BLEND WITH TAN ROCK MULCH. BURY BOULDER BY 1/2" IN SOIL AND OR DG. MULCH.

4" MINIMUM DEPTH OF 4"-8" HIDDEN CANYON FRACTURED TAN ROCK AS AVAILABLE FROM SAN BENITO SUPPLY. PLACE OVER DEWITT PRO 5 LANDSCAPE FABRIC. TREAT WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLACING FABRIC. INSTALL FABRIC PER MFG.DIRECTION. PLACE BARK PER LEGEND IN PLANT BASINS.

3" MINIMUM DEPTH OF DECOMPOSED GRANITE AS AVAILABLE FROM A LOCAL SOURCE PLACE OVER DEWITT PRO 5 LANDSCAPE FABRIC. TREAT WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLACING FABRIC. INSTALL FABRIC PER MFG.DIRECTION. PLACE BARK PER LEGEND IN PLANT BASINS.

LANDSCAPE CALCULATIONS:

TOTAL PARKING AREA = 5,186 S.F.  
PARKING AREA INCLUDES THE FOLLOWING:  
1. PAVEMENT INCLUDING ISLANDS, STALLS, AISLES AND ACCESS DRIVES  
2. ADJACENT BUILDING FRONTAGE LANDSCAPE AREA INC. WALKS  
PARKING AREA LANDSCAPE REQUIRED = 1,037 S.F. (20% OF PARKING AREA)  
PARKING AREA LANDSCAPE PROVIDED = 1,501 S.F. (28%)  
NO. OF STANDARD PARKING SPACES = 19  
TREES REQUIRED = 4 (1/5 SPACES)  
TREES PROVIDED = 5  
REQUIRED PARKING AREA SHADE = 2,074 S.F. (MIN. 40% OF PARKING AREA)  
PARKING AREA SHADE PROVIDED AT MATURITY = 3,140 (60%)  
0 LARGE SHADE TREES @ 100% 40' DIAMETER (1,256 S.F.) = 0 SF  
0 LARGE SHADE TREES @ 75% 40' DIAMETER (942 S.F.) = 0 SF  
5 LARGE SHADE TREES @ 50% 40' DIAMETER (628 S.F.) = 3,140 SF  
ACCESS DRIVE TO CENTER= 3,197 S.F.  
ACCESS DRIVE SHADE REQUIRED: 1,278 SF  
ACCESS DRIVE SHADE PROVIDED: 3,140 SF  
5 LARGE SHADE TREES @ 50% 40' DIAMETER (628 S.F.) = 3,140 SF  
MINIMUM STREETSCAPE LANDSCAPE REQUIRED:  
DAYLIGHT ROAD - 15' SETBACK  
INTERNATIONAL PARKWAY - 30' SETBACK  
TOTAL SITE LANDSCAPE AREA: 11,347 S.F. (EXCLUDING PARKING LOT LS)  
SITE TREES REQUIRED (EXCLUDING PARKING LOT TREES) 1/1000 S.F.= 11  
SITE TREES PROVIDED: 26

WATER EFFICIENT LANDSCAPE REQUIREMENTS

AUTOMATIC CONTROLLER W/ ET DATA, REPEAT CYCLING  
MINIMAL DROUGHT TOLERANT TURF - EMPLOYEES AREA ONLY  
IRRIGATION ZONES PER PLANT WATER REQUIREMENTS  
HUNTER MINI-CLIK RAIN SENSOR/ SOIL MOISTURE SENSOR TO BE SPECIFIED  
SOIL AMENDMENTS TO BE INCORPORATED  
PLANTER SURFACE AREAS TO BE MULCHED  
WATER USAGE TO MEET STATE WATER EFFICIENT LANDSCAPE STANDARD

LANDSCAPE LEGEND

- PRIVATE ENTRY TREE (DRAKE ELM)
- STREET TREE PER IPC GUIDELINES (FRONTIER ELM)
- LARGE DECIDUOUS TREE (HOLLY OAK & CHINESE PISTACHE)
- TALL COLUMNAR DECIDUOUS TREE TO ACCENT ENTRY / EXIT DRIVES (GINKO)
- FLOWERING ACCENT TREE (CRAPE MYRTLE)
- EVERGREEN SCREEN SHRUBS 5' MIN. HT.
- LOW TO MEDIUM FLOWERING SHRUBS w/ ACCENT PERENNIALS & GRASSES
- 1'-4' TALL MASS GROUPINGS OF SHRUBS W/ HIDDEN CANYON ROCK MULCH 1 1/2" - 8" DIA.
- PROJECT ACCENT PLANTING FLOWERING SHRUBS & PERENNIAL ACCENT. LARGE BOULDERS w/ GRASS ACCENTS BARK MULCH w/ HIDDEN CANYON ROCK ACCENTS
- LANDSCAPED SETBACK PER IPC GUIDELINES
- SCREEN PLANTING EVERGREEN SHRUBS 4' - 5' TALL BARK MULCH

PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	WATER REGIME HYDROZONE	MATURE HABIT H X W
<strong>TREES</strong>				
QUERCUS ILEX	HOLLY OAK	24" BOX	VL	40' X 40'
PISTACIA C. 'KEITH DAVEY'	CHINESE PISTACHE	24" BOX	L	50' X 30'
ULMUS 'FRONTIER'	FRONTIER ELM	24" BOX	L	50' X 60'
LAGERSTROEMIA 'TUSCARORA'	CRAPE MYRTLE	24" BOX	L	20' X 12'
GINKO B. 'SENTRY'	COULUMNAR GINKO	24" BOX	L	45' X 15'
ULMUS P. 'DRAKE'	DRAKE ELM	24" BOX	M	50' X 50'
<strong>EVERGREEN SCREENING SHRUBS</strong>				
ARBUTUS U. 'COMPACTA'	DW. STRAWBERRY	5 GAL.	L	6' X 6' PLANT 6' OC
ARCTOSTAPHYLOS 'HOWARD MCMINN'	MANZANITA	5 GAL.	L	12' X 15' PLANT 10' OC
<strong>GRASSES</strong>				
FESTUCA MAIREI	ATLAS FESCUE	1 GAL.	L	2' X 3' PLANT 3' OC
PENNISETUM SETACEUM 'HAMMILIN'	FOUNTAIN GRASS	1 GAL.	L	3' X 3'
LOMANDRA L. 'BREEZE'	BREEZE MAT RUSH	1 GAL.	L	3' X 3' PLANT 3' OC
PENNISETUM ORIENTALE	ORIENTAL FOUNTAIN GRASS	1 GAL.	L	3' X 3' PLANT 3' OC
<strong>DROUGHT TOLERANT SHRUBS</strong>				
NERIUM OLEANDER 'PETITE SALMON'	PETITE OLEANDER	5 GAL.	L	5' X 5' PLANT 5' OC
HAMMUS C. 'MOUND SAN BRUNO'	COFFEEBERRY	5 GAL.	L	4' X 5' PLANT 5' OC
HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.	L	3' X 3' PLANT 4' OC
ROSMARINUS O. 'TUSCAN BLUE'	UPRIGHT ROSEMARY	5 GAL.	L	4' X 4'
CISTUS X 'SKANBERGII'	SKANBURG ROCKROSE	5 GAL.	L	3' X 5' PLANT 5' OC
SALVIA C. 'POZO BLUE'	CLEVELAND SAGE	5 GAL.	L	3' X 3'
CALLISTEMON 'LITTLE JOHN'	DW. CALLISTEMON	5 GAL.	L	3' X 5' PLANT 5' OC
LANTANA 'DWARF YELLOW'	DWARF YELLOW LANTANA	1 GAL.	L	2' X 5'
WESTRINGIA F. 'MORNING LIGHT'	COAST ROSEMARY	5 GAL.	L	3' X 3'
BERBERIS T. 'HELMOND PILLAR'	UPRIGHT RED BARBERRY	5 GAL.	L	5' X 2'
LEUCOPHYLLUM F. 'BERSTAR DWARF'	TEXAS RANGER	5 GAL.	L	3' X 3'
<strong>PERENNIALS</strong>				
TULBAGHIA V. 'TRICOLOR'	SOCIERTY GARLIC	1 GAL.	L	1' X 1.5'
ACHILLEA 'MOONSHINE'	YARROW	1 GAL.	L	2 X 2
DIETES V. 'VARIEGATA'	FORT NIGHT LILY	1 GAL.	L	3' X 3'

NOTE: ROOT BARRIERS SHALL BE INSTALLED PER TREE PLANTING DETAIL SHEET L3.1 WHERE TREES ARE WITHIN 10' OF PAVEMENT.

THE LANDSCAPE CONTRACTOR SHALL FIELD PLACE PLANTS AROUND ABOVE GROUND UTILITIES TO SCREEN UTILITIES FROM PUBLIC STREETS AND PARKING AREAS AFTER PLACEMENT AND CONSTRUCTION OF UTILITY. PLANTINGS PER PLAN SHALL BE UTILIZED. PLANTS MAY BE RE-SPACED IN VICINITY OF UTILITY TO ACCOMODATE SCREENING. CONTACT LANDSCAPE ARCHITECT IF PLANTING REQUIRES CLARIFICATION.

PRELIMINARY LANDSCAPE PLAN

-	ISSUED FOR CONSTRUCTION
-	ISSUED FOR PLAN CHECK
12-26-20	ISSUED FOR PLANNING
3-17-21	REVIEW COMMENTS

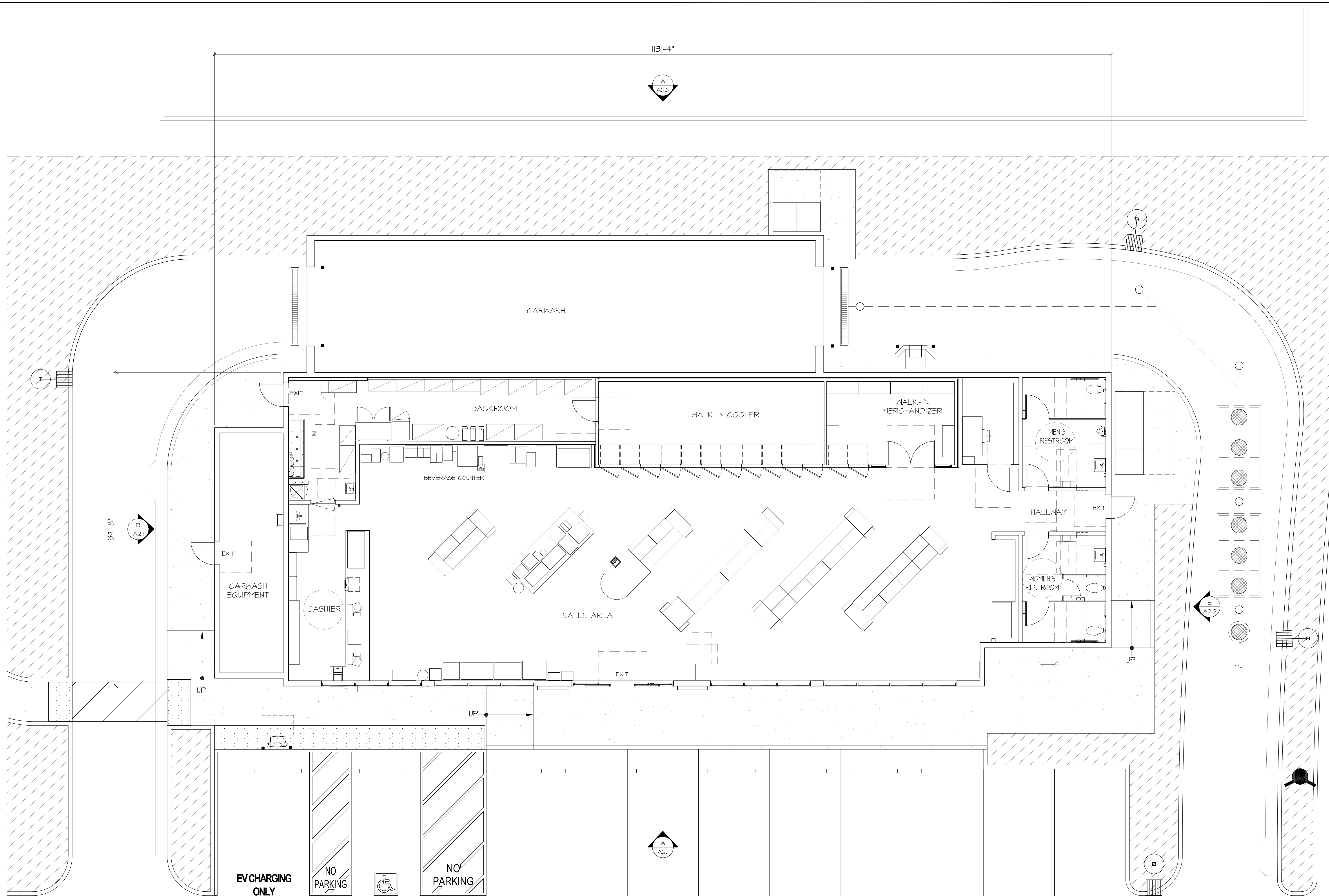
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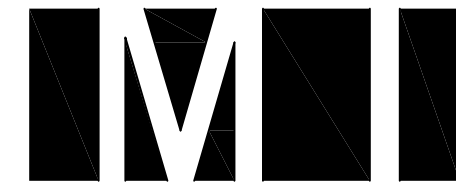
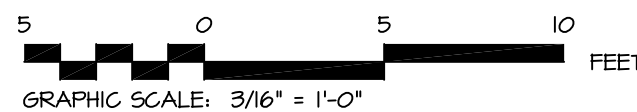
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1 FLOOR PLAN  
3/16" = 1'-0"



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M I Architects, Inc.  
ARCHITECTURE  
PLANNING  
MANAGEMENT  
DESIGN  
2221 OLYMPIC BLVD.,  
SUITE 100  
WALNUT CREEK, CA  
94595  
925-287-1174 Tel  
925-943-1581 Fax  
925-878-9875 Cell  
muthana@miarchitect.com  
www.miarchitect.com

CHEVRON GAS STATION  
CONVENIENCE STORE & CARWASH  
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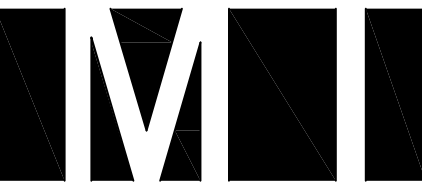
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CONVENIENCE STORE /  
CARWASH FLOOR PLAN

PROJECT #: 20-6615  
DRAWN: EMQ CHECKED: MII  
SCALE: AS NOTED DATE: 10-14-19

A1.1

SHEET OF

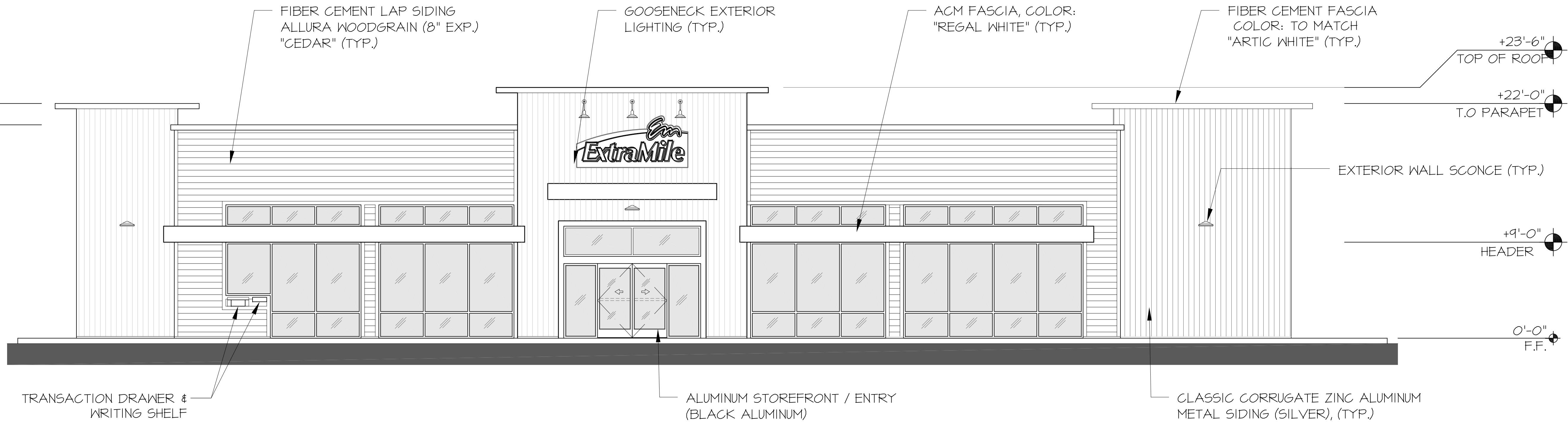


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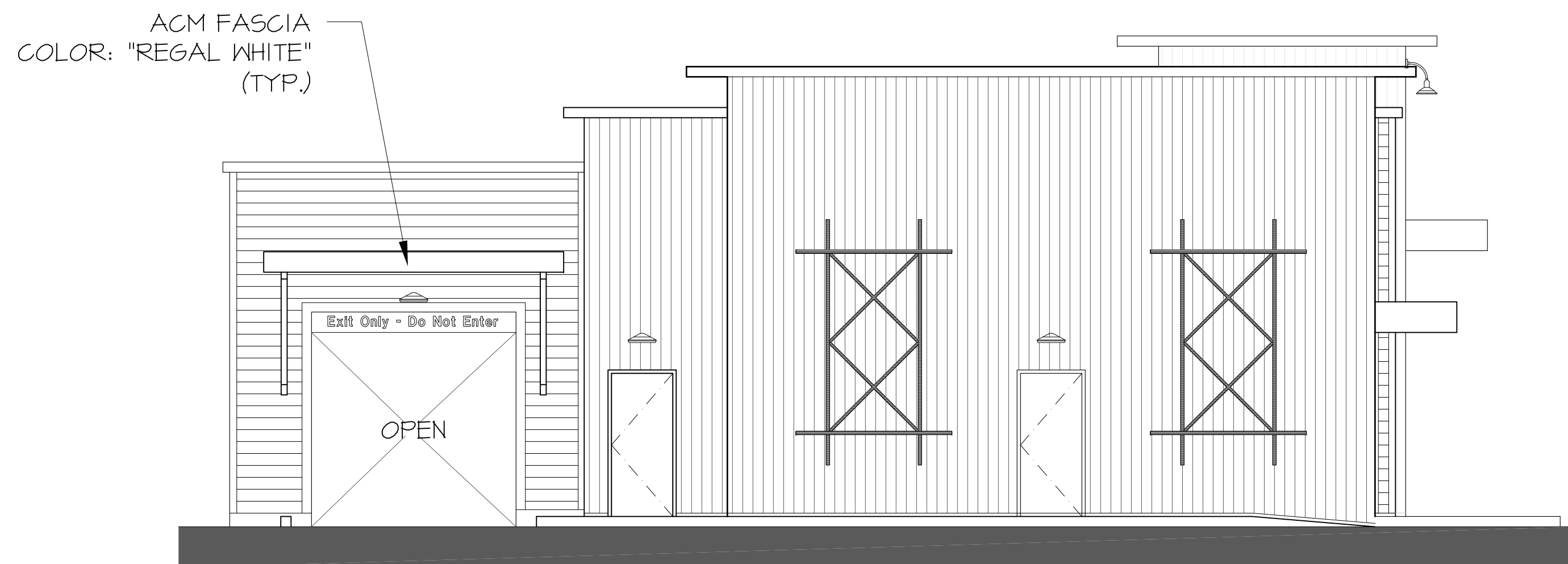
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94595  
925-287-1174 Tel  
925-943-1581 Fax  
925-878-9875 Cell  
muthana@miarchitect.com  
www.miarchitect.com

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**A SOUTH ELEVATION**  
3/16" = 1'-0"



**B WEST ELEVATION**  
3/16" = 1'-0"

- ISSUED FOR CONSTRUCTION  
- ISSUED FOR PLAN CHECK  
- ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION
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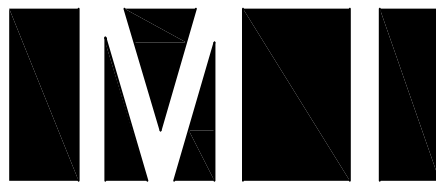
EXTERIOR ELEVATIONS

PROJECT #: 20-6615  
DRAWN: EMQ CHECKED: MII  
SCALE: AS NOTED DATE: 10-14-19

A2.1

SHEET OF

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MANAGEMENT  
DESIGN

2221 OLYMPIC BLVD.,

SUITE 100

WALNUT CREEK, CA

94595

925-287-1174 Tel

925-943-1581 Fax

925-878-9875 Cell

muthana@miarchitect.com

www.miarchitect.com

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CONVENIENCE STORE & CARWASH  
NEC INTERNATIONAL PARKWAY & DAYLIGHT ROAD  
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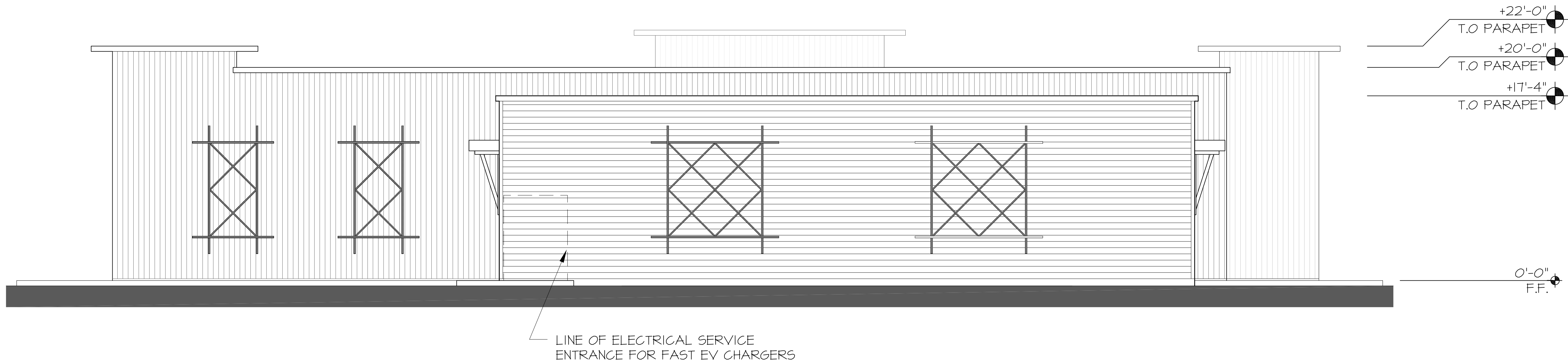
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EXTERIOR ELEVATIONS

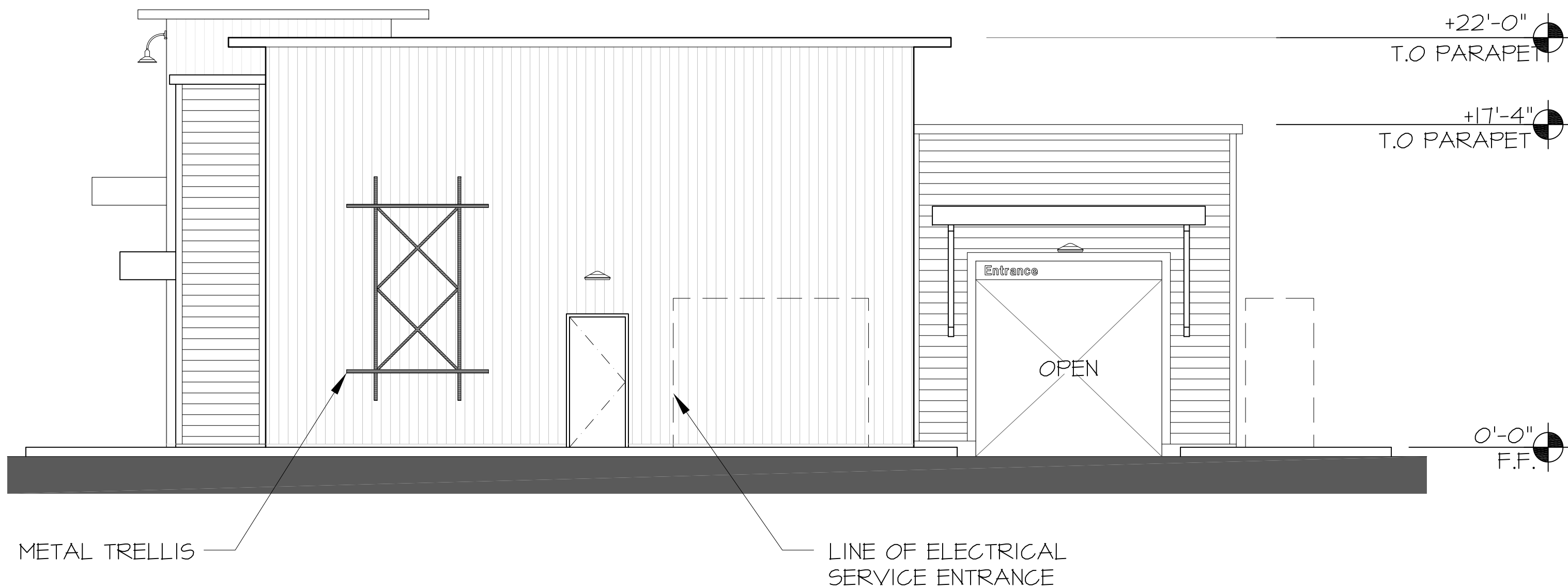
PROJECT #: 20-6615  
DRAWN: EMQ CHECKED: MII  
SCALE: AS NOTED DATE: 10-14-19

**A2.2**

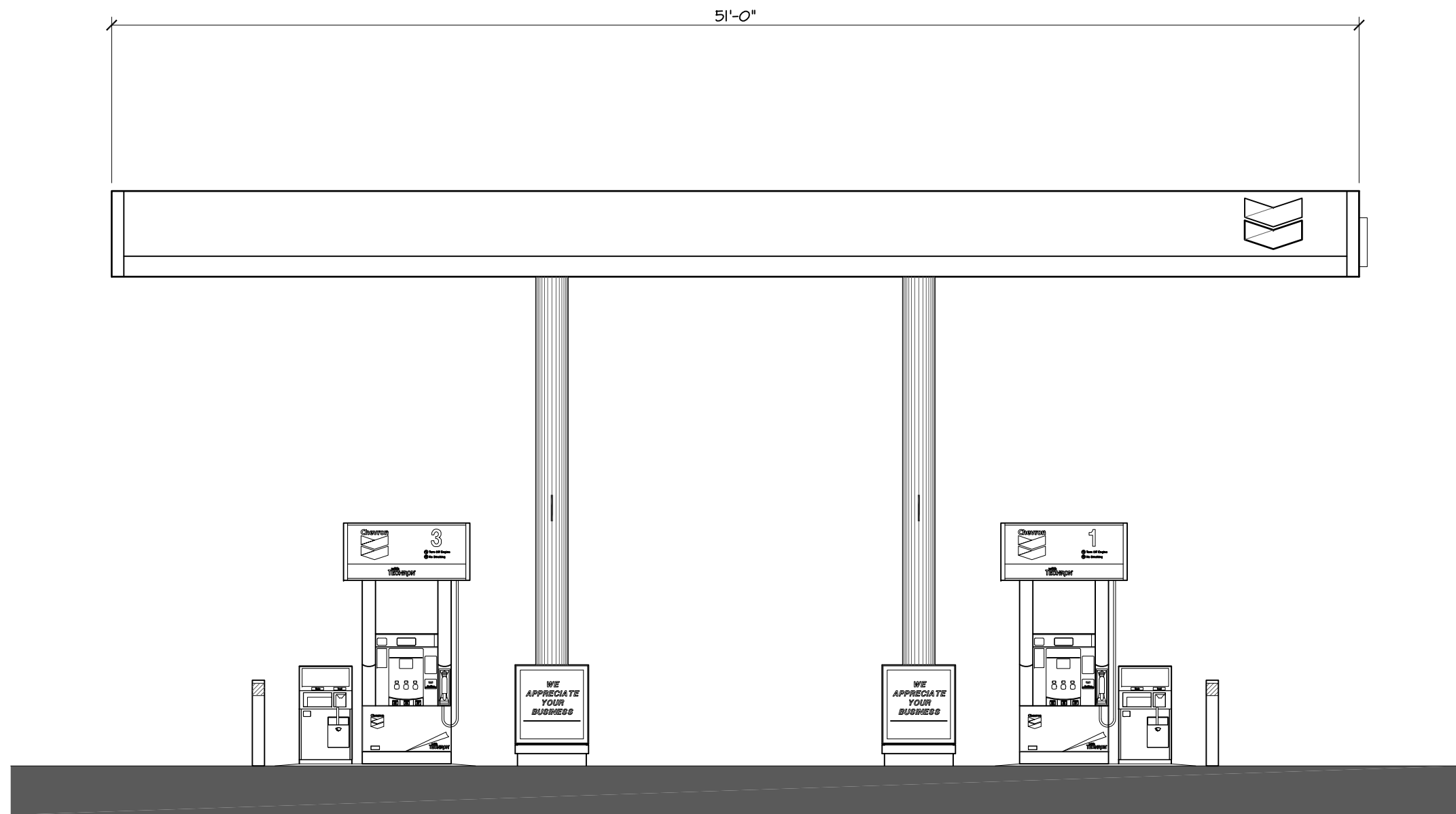
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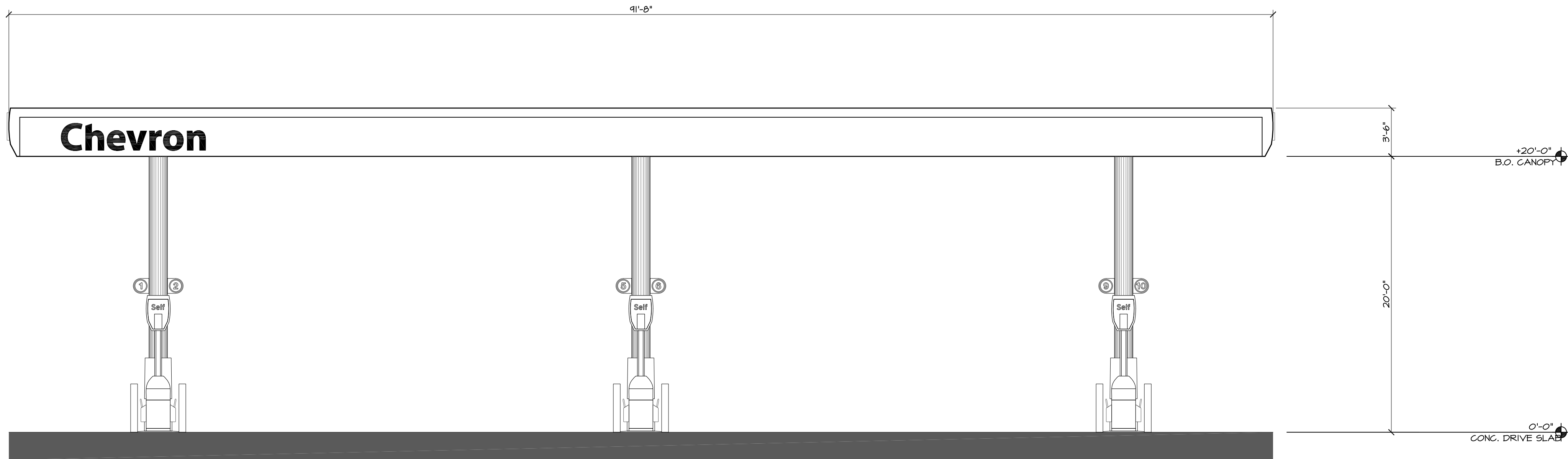
**A NORTH ELEVATION**  
3/16" = 1'-0"



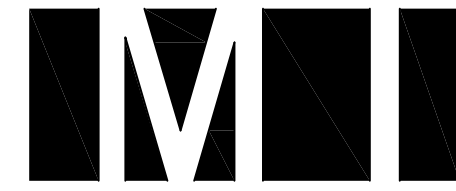
**B EAST ELEVATION**  
3/16" = 1'-0"



**A** WEST ELEVATION (INTERNATIONAL PARKWAY)  
3/16" = 1'-0"



**B** SOUTH ELEVATION (DAYLIGHT ROAD)  
3/16" = 1'-0"



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SUITE 100  
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94595  
925-287-1174 Tel  
925-943-1581 Fax  
925-878-9875 Cell  
muthana@miarchitect.com  
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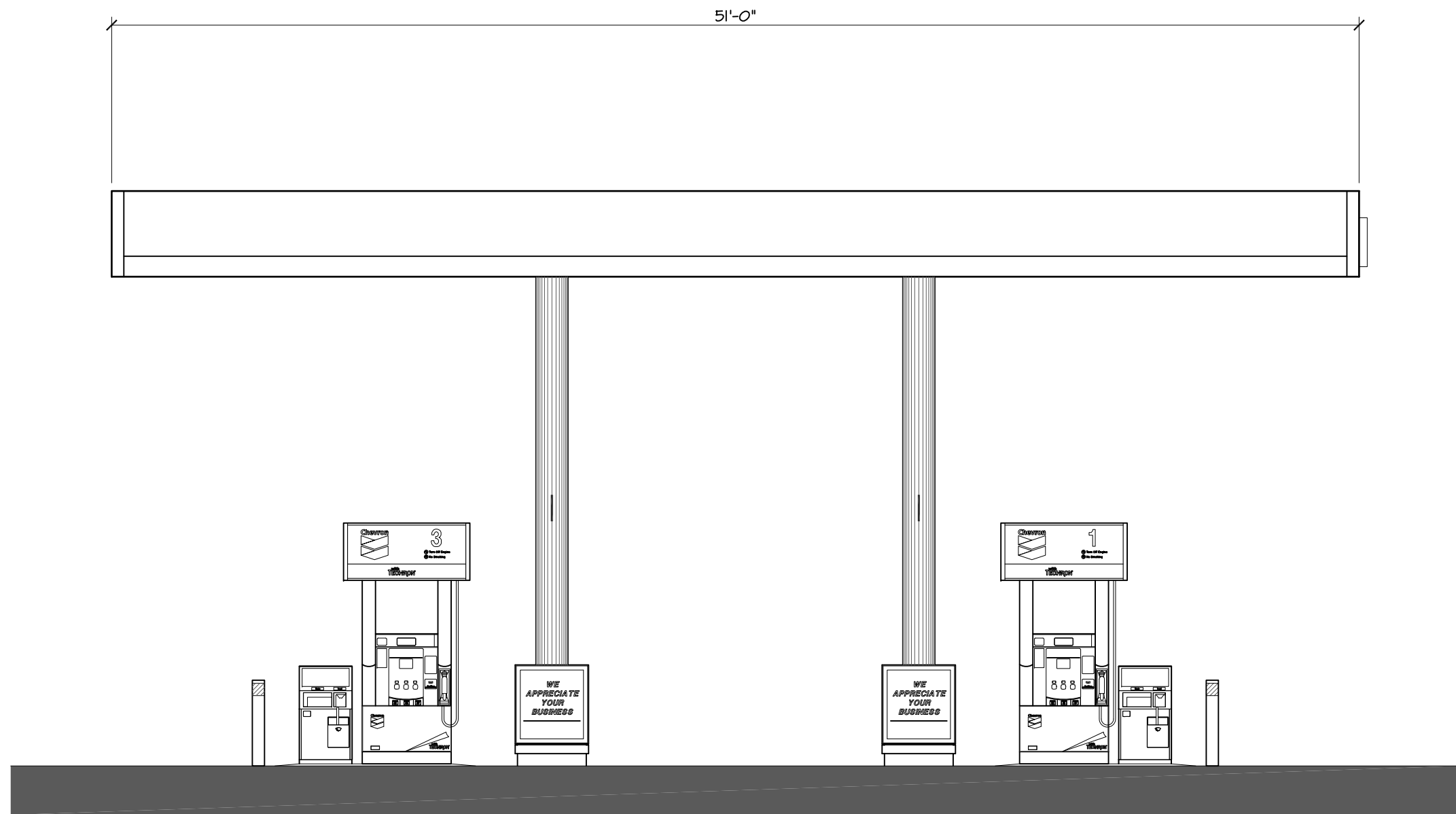
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CANOPY ELEVATIONS

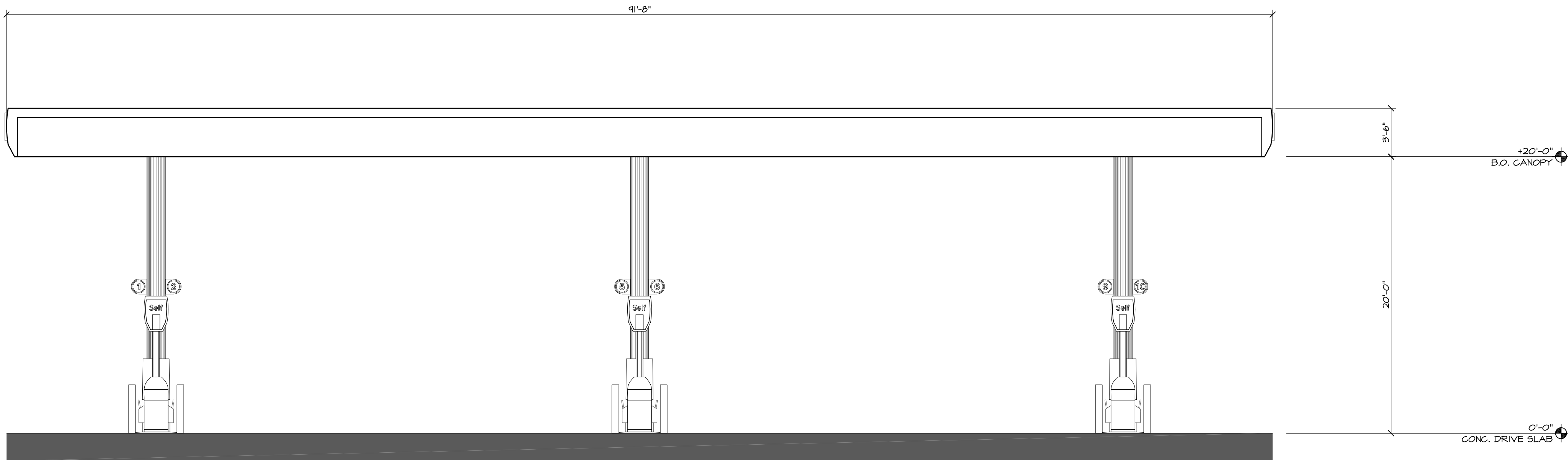
PROJECT #: 20-6615  
DRAWN: EMQ CHECKED: MII  
SCALE: AS NOTED DATE: 10-14-19

CA1

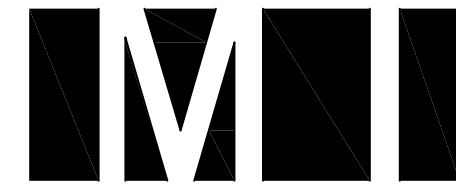
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**A** EAST ELEVATION  
3/16" = 1'-0"



**B** NORTH ELEVATION  
3/16" = 1'-0"



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WALNUT CREEK, CA  
94595  
925-287-1174 Tel  
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CANOPY ELEVATIONS

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SCALE: AS NOTED DATE: 10-14-19

CA2

SHEET OF



S:\1-Projects\20-6615 Tracy\Drawings\Planning\Rendering\20-6615-A2.1-A2.2\_Rev.dwg modified by mouser2 at Mar 25, 2021 - 4:40pm



**A** SOUTH ELEVATION  
3/16" = 1'-0"



**B** WEST ELEVATION  
3/16" = 1'-0"



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SUITE 100  
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925-943-1581 Fax  
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EXTERIOR ELEVATIONS

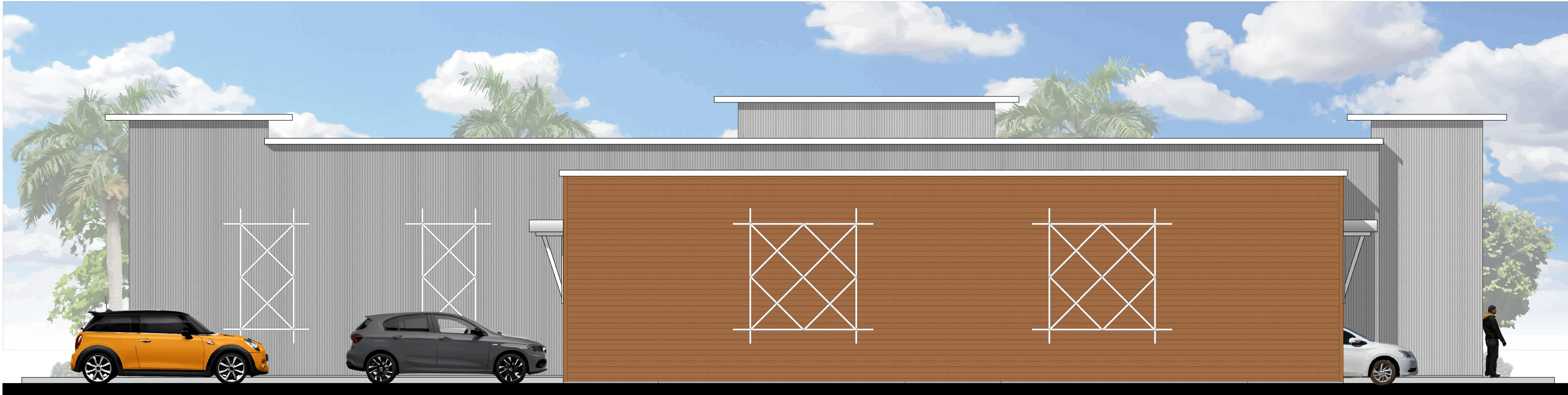
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SCALE: AS NOTED DATE: 10-14-19

**A2.1**

SHEET OF



S:\1-Projects\20-6615 Tracy\Design\Planning\Rendering\20-6615-A2.1-A2.2\_Rev.dwg modified by mouser2 at Mar 25, 2021 - 4:41pm



**A** NORTH ELEVATION  
3/16" = 1'-0"



**B** EAST ELEVATION  
3/16" = 1'-0"



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925-287-1174 Tel  
925-943-1581 Fax  
925-878-9875 Cell  
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EXTERIOR ELEVATIONS

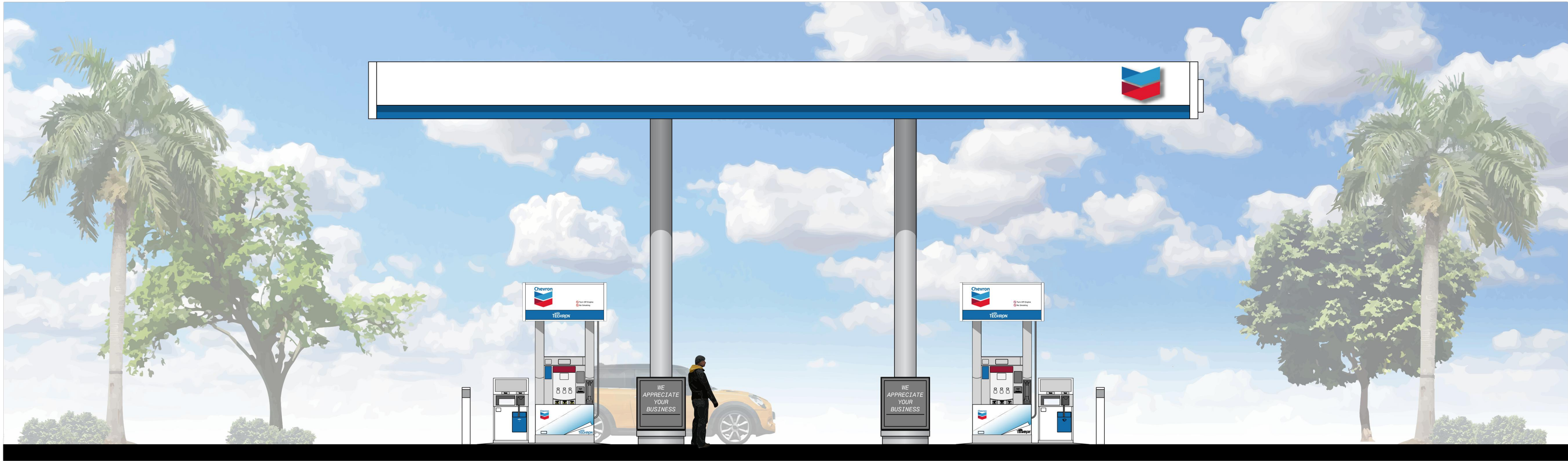
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**A2.2**

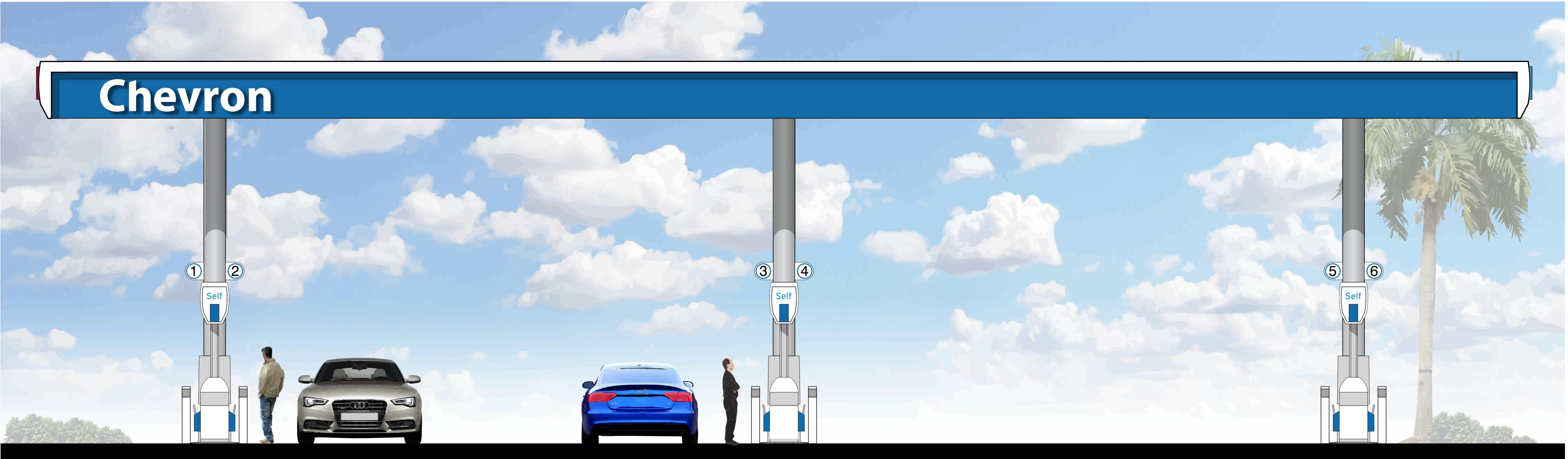
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**A** WEST ELEVATION (INTERNATIONAL PARKWAY)  
3/16" = 1'-0"



**B** SOUTH ELEVATION (DAYLIGHT ROAD)  
3/16" = 1'-0"



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SUITE 100  
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925-287-1174 Tel  
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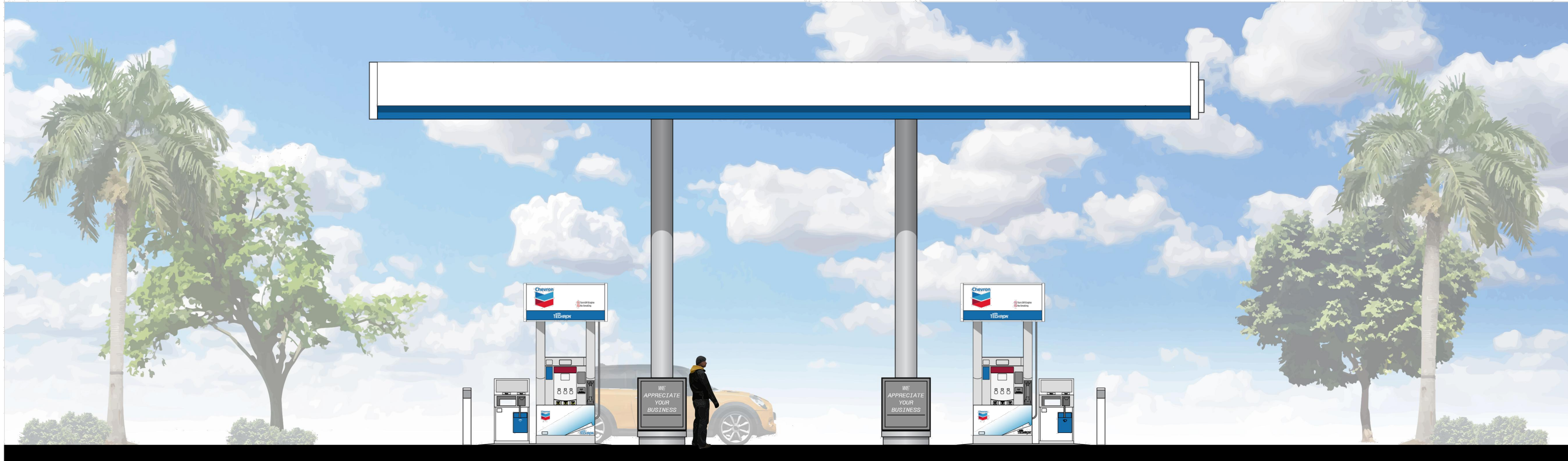
CANOPY ELEVATIONS

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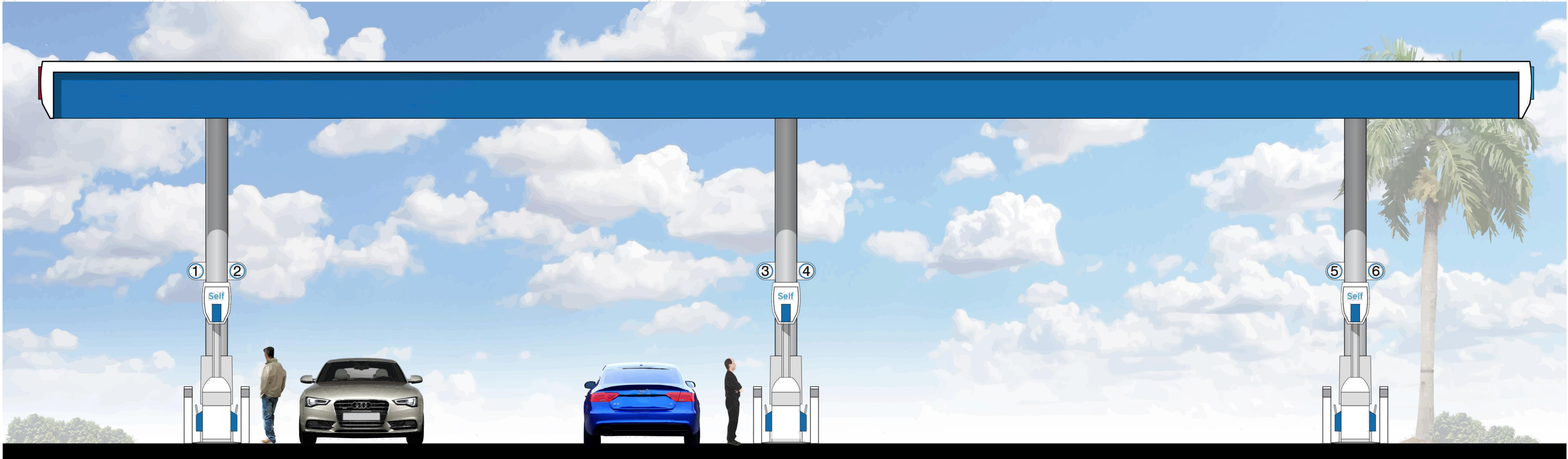
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**A EAST ELEVATION**  
3/16" = 1'-0"



**B NORTH ELEVATION**  
3/16" = 1'-0"



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SUITE 100  
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**CA2**

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