

DIRECTOR PUBLIC HEARING
AGENDA ITEM 1 of 1

REQUEST

THE PROPOSAL IS FOR A DEVELOPMENT REVIEW PERMIT FOR FAÇADE IMPROVEMENTS AND RELATED SITE IMPROVEMENTS FOR THE NORTH POLE GAS STATION. THE PROJECT IS LOCATED AT 574 W. GRANT LINE ROAD, ON THE SOUTHEAST CORNER OF TRACY BOULEVARD AND GRANT LINE ROAD. THIS SITE IS COMPRISED OF TWO PARCELS (APNs 233-030-01 AND 233-030-04) TOTALING APPROXIMATELY 0.63 ACRES.

Project Description

The project includes substantial façade improvements to the North Pole Gas Station convenience store located on the southeast corner of Tracy Boulevard and Grant Line Road. In 1986, the convenience store was constructed on the east side of the project site as an expansion to the existing gas station (Project Number 18-86-D). The existing building is approximately 6,600 square feet and constructed of metal. Since the building was constructed, there have not been any major improvements to the exterior.

The project proposal includes adding enhanced materials and design by incorporating the use of stucco in place of the metal, stone cladding columns and belly band, metal awnings, a decorative cornice at the roofline, metal lattice, wall sconces, and an enhanced building entry. These improvements will achieve an attractive, high-quality building on a well-traveled corner of the city. The proposed and existing elevations can be located as Attachment A of this document.

Other improvements proposed with the project include a parapet wall to screen all roof mounted equipment and the construction of a trash enclosure. The trash enclosure will be constructed of stucco and painted to match the convenience store and aid in screening all waste material.

No changes to the fueling stations are proposed with this project.

The property is zoned General Highway Commercial (GHC). The current land use of automotive services is a permitted in the GHC zone per TMC Section 10.08.2510. No changes to the land use are proposed with this application. All other GHC zone standards have been met. The proposal is also consistent with the General Plan designation of Commercial.

ENVIRONMENTAL DOCUMENTATION

The project is categorically exempt from the California Environmental Quality Act pursuant to Guidelines Section 15301 pertaining to the minor alteration of existing structures where there is negligible or no expansion of an existing use. No further environmental assessment is required.

RECOMMENDATION

Staff recommends that the Development Services Director approve the Development Review Permit for façade improvements and related site improvements for the North Pole Gas Station, Application Number D20-0026, based on the findings contained in the Director's Determination dated February 1, 2022.

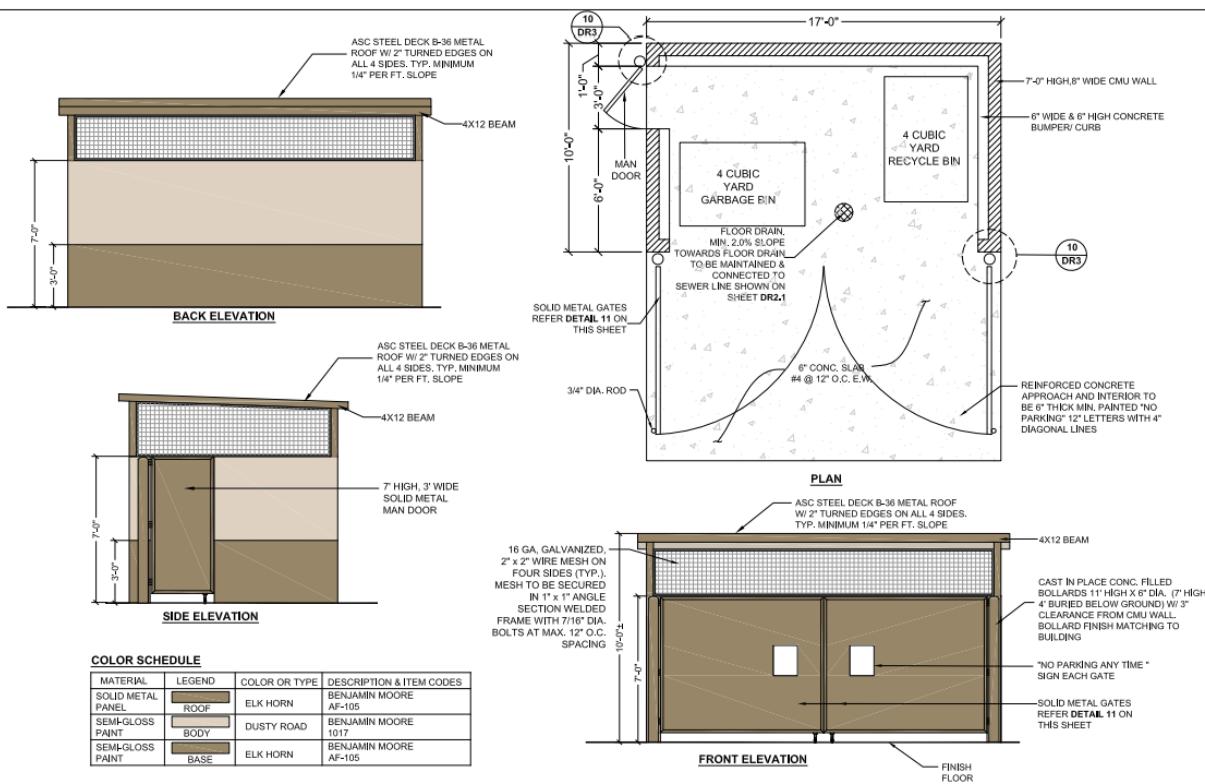
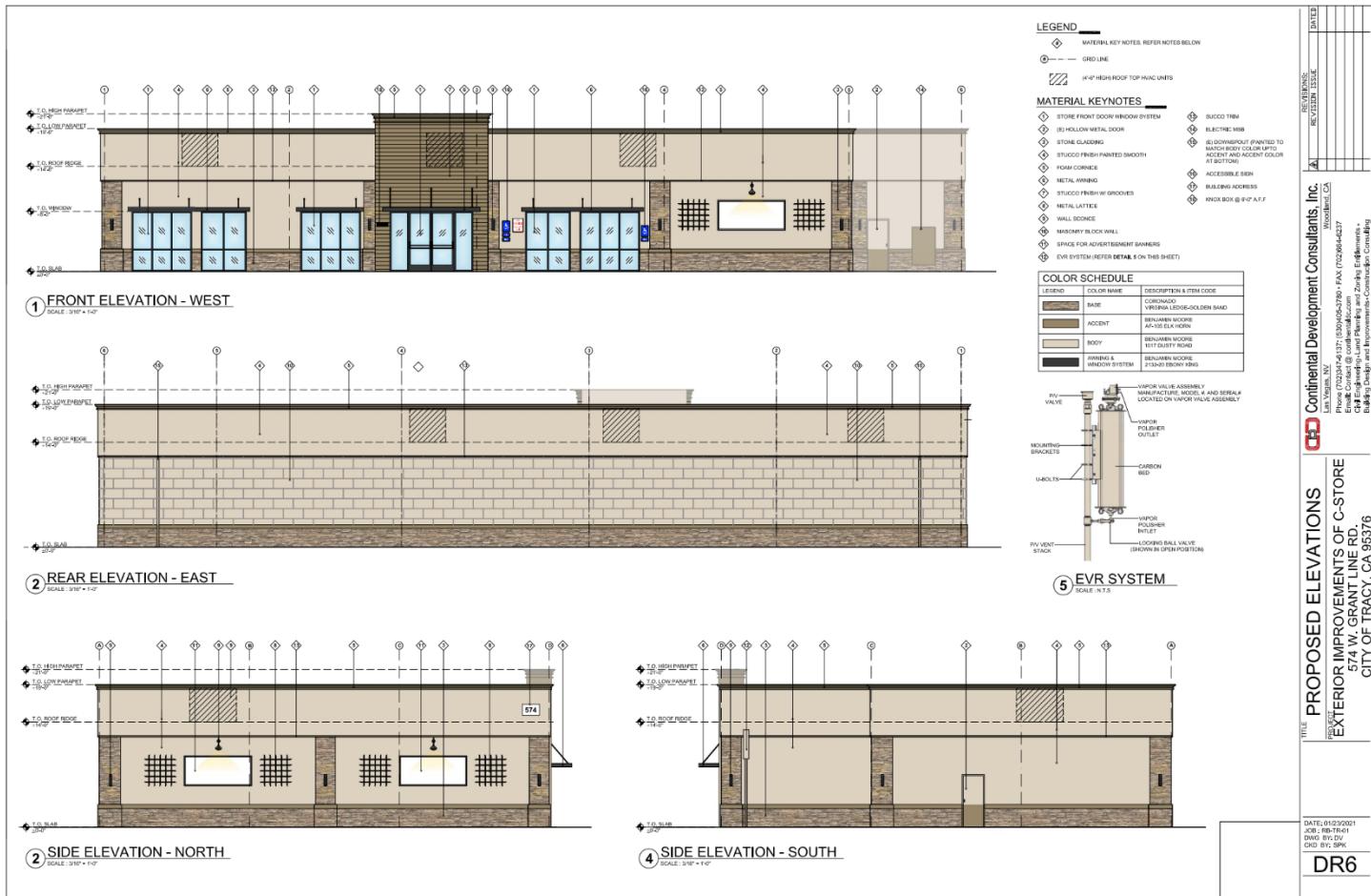
Prepared by: Genevieve Federighi, Associate Planner

Approved by: Scott Claar, Senior Planner

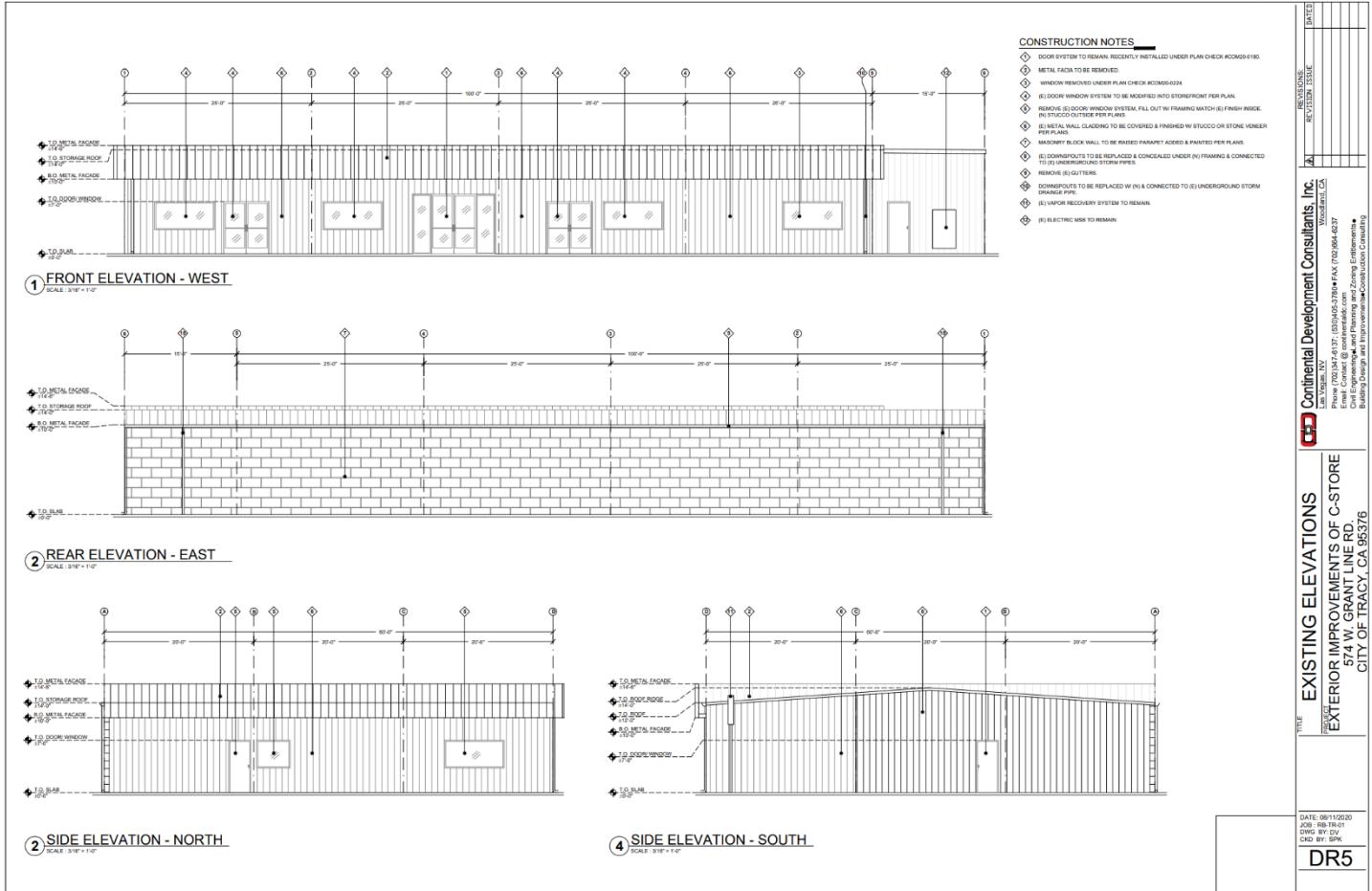
ATTACHMENTS

- A: Elevations (Proposed and Existing)
- B: Director Determination (Includes Conditions of Approval as Exhibit 1 and Full Plan Set dated February 5, 2021 as Attachment 1 of Exhibit 1)
- C: Director Hearing Notice

Attachment A



Attachment A (continued)



CITY OF TRACY

DETERMINATION OF
THE DEVELOPMENT SERVICES DIRECTOR
North Pole Gas Station Facade Improvements
547 W. Grant Line Road

Application Number D20-0026

A determination of the Development Services Director approving a Development Review Permit application for façade improvements and related site improvements, on an approximately 0.63 acre lot, located at 547 W. Grant Line Road, Tracy (Assessor's Parcel Numbers 233-030-01 and 04).

Staff has reviewed the application and determined that the following City regulations apply:

1. Tracy Municipal Code
2. General Highway Commercial (TMC Chapter 10.08, Article 19)
3. Development Review (TMC Chapter 10.08, Article 30)
4. City of Tracy Design Goals and Standards

The Development Services Director has determined that the project is categorically exempt from California Environmental Quality Act (CEQA) pursuant to Guidelines Section 15301 pertaining to the minor alteration of existing structures where there is negligible or no expansion of an existing use and no further environmental assessment is required.

**THE DEVELOPMENT SERVICES DIRECTOR, AFTER CONSIDERING ALL OF
THE EVIDENCE PRESENTED, HEREBY APPROVES DEVELOPMENT
REVIEW PERMIT FOR APPLICATION NUMBER D20-0026 FOR FAÇADE
IMPROVEMENTS AND RELATED SITE IMPROVEMENTS, SUBJECT TO
CONDITIONS CONTAINED IN EXHIBIT 1 AND BASED ON THE FOLLOWING
FINDINGS:**

Findings:

1. The proposal increases the quality of the project site and enhances the property in a manner that therefore improves the property in relationship to the surrounding area and the citizens of Tracy. The façade improvements incorporate enhanced materials and design through the use of various materials and architectural accents including a parapet wall to screen the roof equipment, decorative stone columns and belly band, awnings, lattice, decorative lighting, and the use of a foam cornice along the roofline. Additionally, a trash enclosure will be constructed of complimentary materials to aid in screening all waste material.

2. The project conforms to all applicable City standards and regulations. The project will not change the existing land use and therefore will remain conforming to the general plan designation of commercial. Also, the proposed design has incorporated design features consistent with Design Goals and Standards architectural design standards for retail buildings including providing accent materials and covered doorways.

William Dean
Interim Development Services Director

Date of Action

Exhibit 1 – Project Conditions of Approval

Exhibit 1
North Pole Gas Station Façade Improvements
Conditions of Approval
Application Number D20-0026
February 1, 2022

These Conditions of Approval shall apply to the real property described as the North Pole Gas Station Façade Improvements Development Review Permit, Application Number D20-0026. The subject property is located at 547 W. Grant Line Road (APNs 233-030-01 and 233-030-04).

A. The following definitions shall apply to these Conditions of Approval:

1. “Applicant” means any person, or other legal entity, defined as a “Developer”.
2. “City Engineer” means the City Engineer of the City of Tracy, or any other duly licensed engineer designated by the City Manager, or the Development Services Director, or the City Engineer to perform the duties set forth herein.
3. “City Regulations” means all written laws, rules and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, ordinances, resolutions, policies, procedures, and the City’s Design documents (the Streets and Utilities Standard Plans, Design Standards, Parks and Streetscape Standard Plans, Standard Specifications, and Manual of Storm Water Quality Control Standards for New Development and Redevelopment, and Relevant Public Facilities Master Plans).
4. “Conditions of Approval” shall mean the conditions of approval applicable to the real property described as North Pole Gas Station Façade Improvements Development Review Permit, Application Number D20-0026. The subject property is located at 547 W. Grant Line Road (APNs 233-030-01 and 04).
5. “Development Services Director” means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
6. “Project” means Development Review Permit Application Number D20-0026 located on the real property at 547 W. Grant Line Road (APNs 233-030-01 and 04).
7. “Property” means the real property located at 547 W. Grant Line Road (APNs 233-030-01 and 04).

B. General Conditions of Approval:

1. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to: the Planning and Zoning Law (Government Code sections 65000, *et seq.*), the Subdivision Map Act (Government Code sections 66410, *et seq.*), the California Environmental Quality Act (Public Resources Code sections 21000, *et seq.*, “CEQA”), and the Guidelines for California Environmental Quality Act (California Administrative Code, title 14, sections 15000, *et seq.*, “CEQA Guidelines”).
2. Unless specifically modified by these Conditions of Approval, the Project shall comply with all City Regulations.
3. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all mitigation measures identified in the General Plan Environmental Impact Report, dated February 1, 2011.
4. Pursuant to Government Code section 66020, including section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.
5. Except as otherwise modified herein, all construction shall be consistent with the plans (Attachment A) received by the Development Services Department on February 5, 2021.
6. No signs are approved as part of this development application. Prior to the installation of any signs, the applicant shall submit a sign permit application and receive approval from the Development Services Director in accordance with City Regulations.
7. No roof-mounted equipment or utilities including, but not limited to HVAC units, fans, vents, antennas, and dishes, whether proposed as part of this application or future improvements, shall be visible from the Grant Line Road, Tracy Boulevard, or any other public right-of-way. All roof-mounted equipment shall be screened from view from the public rights-of-way by the exterior parapet walls of the building, or otherwise, to the satisfaction of the Development Services Director.
8. All vents, gutters, downspouts, flashing, electrical conduit, gas meters, bollards, electrical panels and doors, and other wall-mounted or building-attached utilities shall be painted to match the color of the adjacent building surface to the satisfaction of the Development Services Director.

9. Prior to final inspection or certificate of occupancy, all exterior and parking area lighting shall be directed downward or shielded, to prevent glare or spray of light into the public rights-of-way or adjacent or nearby residential property, to the satisfaction of the Development Services Director.
10. All PG&E transformers, phone company boxes, Fire Department connections, backflow preventers, irrigation controllers, and other on-site utilities, shall be vaulted or screened from view from any public right-of-way, behind structures or landscaping, to the satisfaction of the Development Services Director.
11. Trash enclosures and access doors shall be designed in accordance with stormwater quality standards (covered, connection to sanitary sewer, as applicable), be at least seven feet tall as measured from the grade outside of the trash enclosure, be of masonry construction with solid (opaque) metal doors, and compatible in materials and color with the adjacent building to the satisfaction of the Development Services Director.
12. The project shall comply with all applicable provisions of the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan, including Incidental Take Minimization Measures applicable at the time of permit and a pre-construction survey prior to ground disturbance, to the satisfaction of San Joaquin Council of Governments.
13. Prior to construction, the applicant shall submit construction documents to the City of Tracy Building Division and the South San Joaquin County Fire Authority for review and approval.

C: Engineering Conditions of Approval

C.1. General Conditions

Developer shall comply with the applicable sections of approved documents and/or recommendations of the technical analyses/reports prepared for the Project listed as follows:

1) NONE

C.2. RESERVED
C.3. RESERVED
C.4. RESERVED

C.5. Improvement Agreement(s)

All construction activity involving public improvements will require a fully executed improvement agreement (Off-site, Subdivision, and/or Inspection). Any construction activity involving public improvements without a fully executed improvement agreement is prohibited. All public improvements shall be performed and completed in accordance with the recommendation(s) of the Project's Registered Civil Engineer. Prior to the consideration of City

Council's approval of said improvement agreement, the Developer shall provide all documents related to said improvements required by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

C.5.1. Off-site and/or Public Infrastructure Improvement Plans prepared on a twenty-four (24) inch x thirty-six (36) inch size four (4) millimeter thick mylar that incorporate all requirements described in the documents described in these Conditions of Approval, the City's Design Documents as defined in Title 12 of the Tracy Municipal Code. Developer shall use the latest title block and, if necessary, contain a signature block for the Fire Marshal. Improvement Plans shall be prepared under the supervision of, and stamped and signed by a Registered Civil, Traffic, Electrical, Mechanical Engineer, and Registered Landscape Architect for the relevant work. Developer shall obtain all applicable signatures by City departments and outside agencies (where applicable) on the mylars including signatures by Fire Marshal to submitting the mylars to Engineering Division for City Engineer's signature. The improvement plans shall be prepared to specifically include, but not be limited to, the following items:

- a. All existing and proposed utilities such as domestic water line, irrigation service, fire service line, storm drain, and sanitary sewer, including the size and location of the pipes.
- b. All supporting engineering calculations, materials information or technical specifications, cost estimate, and technical reports. All improvement plans shall contain a note stating that the Developer (or Contractor) will be responsible to preserve and protect all existing survey monuments and other survey markers such as benchmarks.
- c. RESERVED

C.5.1.d. RESERVED

C.5.1.e. RESERVED

C.5.1.f. RESERVED

C.5.1.g. Streets – Although the frontage improvements for the project are constructed, the Developer shall reconstruct/repair damaged frontage improvements. Frontage improvements include but are not limited to the following: curb, gutter, sidewalk, street widening, landscaping, street lighting, undergrounding of overhead utilities and other improvements. All streets and utilities improvements within City right-of-way shall be designed and constructed in accordance

with City Regulations, and City's Design Standards including the City's Facilities Master Plan for storm drainage, roadways, wastewater, and water as adopted, amended, and updated by the City, or as otherwise specifically approved by the City.

North Tracy Boulevard and West Grant Line Road

Developer shall dedicate and record a ten (10) feet wide Public Utility Easement (P.U.E.) along the project frontage.

Developer shall install Class II Bicycle Lane Markings Detail per 2020 City Design Standard Plan No. 147 at both the southerly (eastbound) and northerly (westbound) bike lane segments of the east leg at the North Tracy Boulevard and West Grant Line Road intersection.

If applicable, Developer shall construct driveways that conform to Section 3.08(F) of the 2020 Design Standards. Driveways shall have one and half (1.5) feet of full-height (i.e. six (6) inches) of vertical curb from the driveway's edge. Driveways shall be fire truck accessible to the satisfaction of the City Engineer.

Developer shall upgrade the existing pedestrian curb ramp located at the southeast corner of the North Tracy Boulevard and West Grant Line Road intersection to current pedestrian and ADA standards. The said upgrades will require the construction of curb ramp modifications, accessible pedestrian signal (APS) modifications, and installation of a pedestrian push button.

APS modifications include the retrofit of the existing equipment with a complete Polara APS system, including upgrading the existing controller with McCain Software (if applicable).

Along the project frontage, if applicable, Developer shall landscape and irrigate the existing parkways per current adopted City landscape standards. Landscape and irrigation plans shall be prepared on a 24-inch x 36-inch size 4-millimeter thick mylar that incorporate all requirements described in the documents described in these Conditions of Approval, the City's Design Documents as defined in Title 12 of the Tracy Municipal Code. Developer shall use the latest title block. Said landscape and irrigation plan shall be prepared by a California licensed landscape architect. Developer can either protect-in-place the existing sidewalk and repair any cracked, settled, and/or damaged sidewalk or remove and replace the sidewalk so long as the replacement sidewalk is similar to the current sidewalk, i.e. similar width, meanders, etc.

Developer shall also install a street tree in each of the empty two (2) [minimum] tree wells south of the project's westerly frontage, in accordance with Title 7 of the TMC. Developer shall also repair the existing or construct a new irrigation system to the said tree wells so that they are properly and automatically irrigated. The landscaping and irrigation shall conform to MWELO standards. Developer shall also remove existing sign monument and its appurtenances, and any other existing items such as bollards, mailboxes, etc.

C.5.1. Joint Trench Plans and Composite Utility Plans, prepared on a twenty-four (24) inch x thirty-six (36) inch size four (4) millimeter thick mylar for the

installation of dry utilities such as electric, gas, TV cable, telephone, and others that will be located within the twenty-four (24) feet wide to forty-six (46) feet wide [the width varies] PUE to be installed to serve the Project. All private utility services to serve Project must be installed underground or relocated to be underground, and to be installed at the location approved by the respective owner(s) of the utilities from the street or an existing or proposed utility easement to the building(s). If necessary, the Developer shall dedicate ten (10) feet wide PUE for access to these new utilities for re-installation, replacement, repair, and maintenance work to be performed by the respective utility owner(s) in the future.

C.5.2. Signed and stamped Engineer's Estimate that summarizes the cost of constructing all the public improvements shown on the Improvement Plans. The cost estimate shall show the cost of designing the public improvements.

Payment of applicable fees required by these Conditions of Approval and City Regulations, including but not limited to, plan checking, grading and encroachment permits and agreement processing, construction inspection, and testing fees. The engineering review fees will be calculated based on the fee rate adopted by the City Council on September 2, 2014, per Resolution 2014-141 and on May 16, 2017, per Resolution 2017-098. Developer shall submit payment in the form of a check for the aforementioned fees.

C.5.3. Traffic Control Plan - Prior to starting the work for any work within City's right-of-way, the Developer shall submit a Traffic Control Plan (TCP). TCP can be split among the different construction phases. TCP will show the method and type of construction signs to be used for regulating traffic at the work areas within these streets. TCP shall conform to the Manual on Uniform Traffic Control Devices as amended by the State of California, latest edition (MUTCD-CA). TCP shall be prepared under the supervision of, signed and stamped by a Registered Civil Engineer or Registered Traffic Engineer.

Access and Traffic Circulation to Existing Businesses/Residents - Developer shall take all steps necessary to plan and construct site improvements such that construction operations do not impact safety and access (including emergency vehicles) to the existing businesses and residents throughout the duration of construction. Developer shall coordinate with the owners and cooperate to minimize impacts on existing businesses. All costs of measures needed to provide safe and functional access shall be borne by the Developer.

C.5.4. No street trench shall be left open, uncovered, and/or unprotected during night hours and when the Developer's contractor is not performing construction activities. Appropriate signs and barricades shall be installed on the street and on all trenches during such times. If the Developer or its contractor elects to use steel plates to cover street trenches, said steel plates will be skid-resistance, and shall be ramped on all sides. Ramps will be a minimum two-

foot wide and will run the entire length of each side.

C.5.6 If at any point during utility installation or construction in general that the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and subsequent Cultural Resource Policy or mitigation in any applicable environmental document.

C.5.7 Improvement Security - Developer shall provide improvement security for all public facilities, as required by the Improvement Agreement. The form of the improvement security may be a bond, or other form in accordance with the Government Code, and the TMC. The amount of the improvement security shall be in accordance with Title 12 of the TMC.

Insurance – Developer shall provide written evidence of insurance coverage that meets the terms of the Improvement Agreement.

C.6. Building Permit

Prior to the release of a building permit within Project boundaries, the Developer shall demonstrate, to the satisfaction of the City Engineer, compliance with all required Conditions of Approval, including, but not limited to, the following:

C.6.1 Developer has completed all requirements set forth in Condition C.1, through C.5, above.

C.6.2 Developer pays the applicable development impact fees as required in the TMC, these Conditions of Approval, and City Regulations.

C.6.3 RESERVED

C.6.4 Developer has completed all requirements set forth in Condition C.8

C.7 Acceptance of Public Improvements

Prior to the consideration of City Council's acceptance of public improvements, the Developer shall demonstrate to the reasonable satisfaction of the City Engineer, completion of the following:

C.7.1 Developer has satisfied all the requirements set forth in these Conditions of Approval.

C.7.2 Developer submitted the Storm water Treatment Facilities Maintenance Agreement

(STFMA) to the Utilities Department.

C.7.3 Developer has satisfactorily completed construction of all required/conditioned improvements. Unless specifically provided in these Conditions of Approval, or some other applicable City Regulations, the Developer shall use diligent and good faith efforts in taking all actions necessary to construct all public facilities required to serve the Project, and the Developer shall bear all costs related to construction of the public facilities (including all costs of design, construction, construction management, plan check, inspection, land acquisition, program implementation, and contingency).

C.7.4 Certified "As-Built" Improvement Plans (or Record Drawings). Upon completion of the construction by the Developer, the City, at its sole discretion, temporarily release the original mylars of the Improvement Plans to the Developer so that the Developer will be able to document revisions to show the "As-Built" configuration of all improvements.

C.7.5 Developer shall be responsible for any repairs or reconstruction of street pavement, curb, gutter and sidewalk and other public improvements along the frontage of the Project, if determined by the City Engineer to be in poor condition or damaged by construction activities related to the Project.

C.7.6 Developer has completed the ninety (90) day public landscaping maintenance period.

C.7.7 Per Section 21107.5 of the California Vehicle Code, Developer shall install signs at all entrance(s) of the Project stating that the streets are privately owned and maintained and are not subject to the public traffic regulations or control. Said signs must be conspicuously placed, plainly visible, and legible during daylight hours from a distance of one hundred (100) feet.

C.7.8 Survey Monuments – Any altered, damaged, or destroyed survey monuments and/or benchmarks shall be re-established. Developer shall submit centerline tie sheets or a record of survey for the following: new public streets; re-established survey monuments, and/or benchmarks. If the Developer destroyed, altered, and/or reconstructed any existing curb returns, Developer shall also submit corner records. Any survey document will be submitted the City and to the San Joaquin County Surveyor to comply with California Business and Professions Code Section 8771(c). Said work shall be executed by a California licensed Land Surveyor at the Developer's sole expense.

C.8 Special Conditions

C.8.1 When street cuts are made for the installation of utilities, the Developer shall conform to Section 3.14 of the 2020 Design Standards and is required to install a two (2) inch thick asphalt concrete (AC) overlay with reinforcing fabric at least twenty-five (25) feet from all sides of each utility trench. A two (2) inch deep grind on the existing AC pavement will be required where the AC overlay will be applied and shall be uniform thickness in order to maintain current pavement

grades, cross and longitudinal slopes. This pavement repair requirement is when cuts/trenches are perpendicular and parallel to the street's direction.

C.8.2 Nothing contained herein shall be construed to permit any violation of relevant ordinances and regulations of the City of Tracy, or other public agency having jurisdiction. This Condition of Approval does not preclude the City from requiring pertinent revisions and additional requirements to the improvement plans, prior to the City Engineer's signature on the improvement plans, and prior to issuance of Grading Permit, Encroachment Permit, Building Permit, if the City Engineer finds it necessary due to public health and safety reasons, and it is in the best interest of the City. The Developer shall bear all the cost for the inclusion, design, and implementations of such additions and requirements, without reimbursement or any payment from the City.

C.8.3 Prior to the release of the Building Permit, if water is required for the project, the Developer shall obtain an account for the water service and register the water meter with the Finance Department. Developer shall pay all fees associated with obtaining the account number for the water service.

C.8.4 Prior to the release of the Building Permit, the Developer shall construct all APS and push button modifications and shall be fully operational at the intersection of North Tracy Boulevard and West Grant Line Road.

C.8.5 In the event that the on-site construction costs become in excess of \$500,000, the Developer will be required to place the overhead utilities on located at the southwest corner of the project underground in accordance with Title 7 of the TMC.

D. Water Conditions of Approval

D.1 General Conditions

The Developer shall pay the water impact fees prior to pulling the first building permit for the project.

E. Wastewater Conditions of Approval

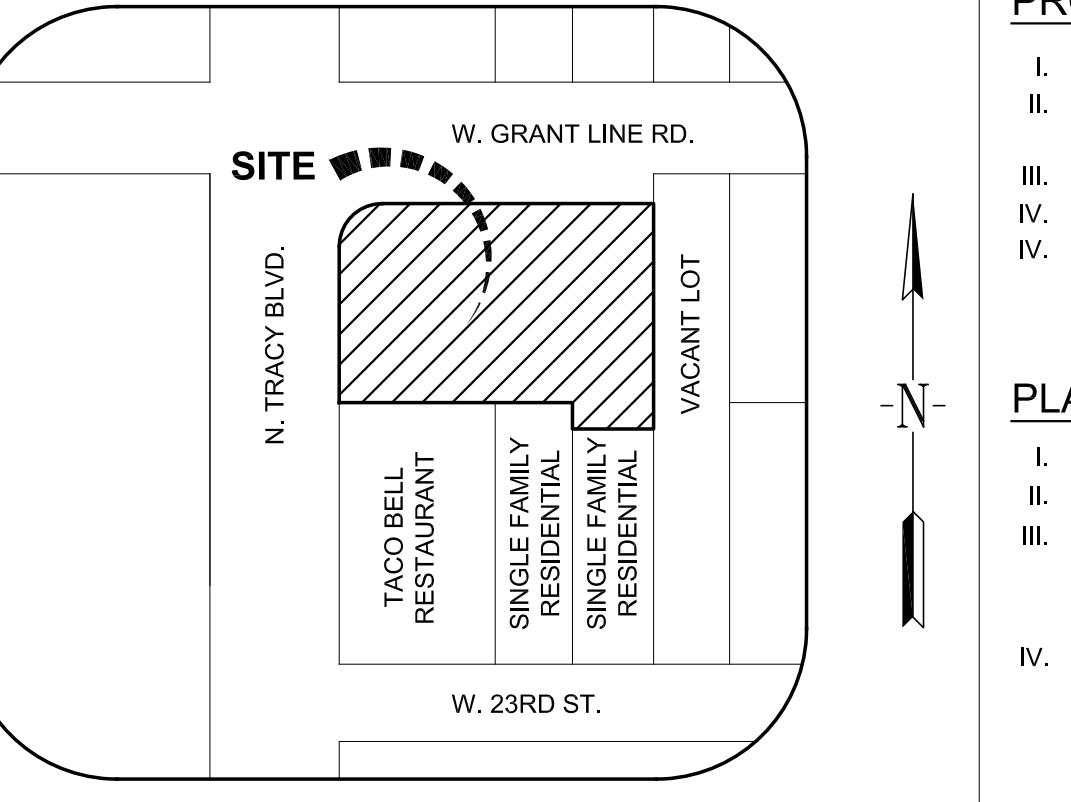
E.1 General Conditions

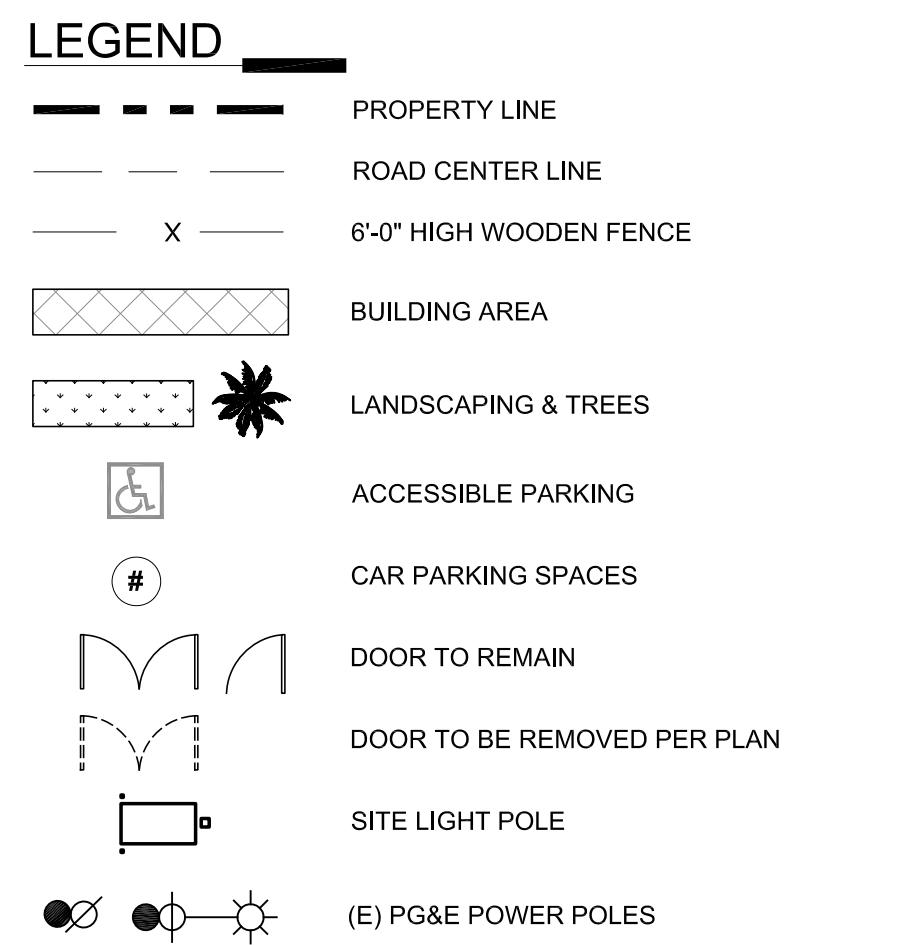
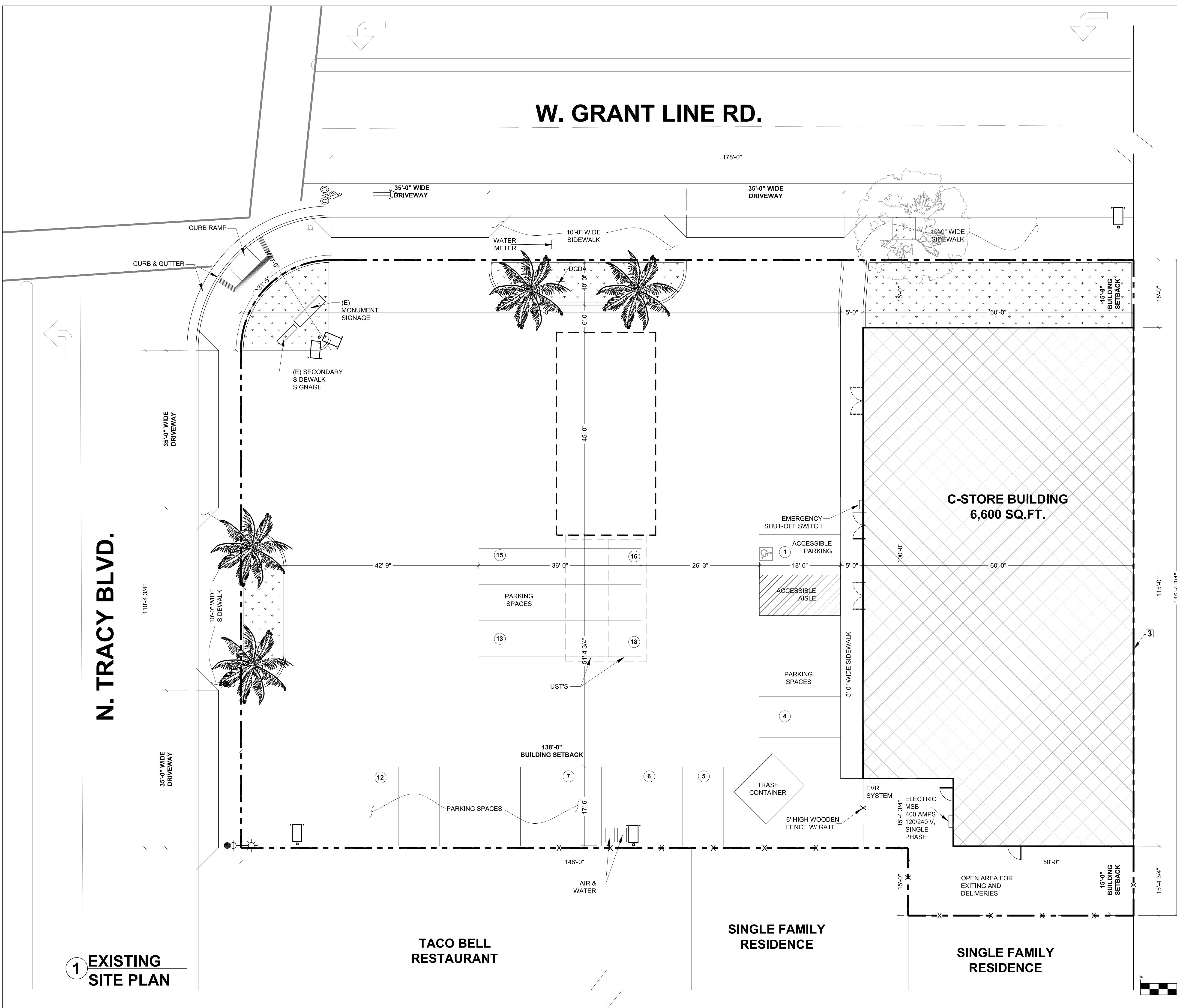
The Developer shall pay the wastewater treatment capacity development Impact fees prior to pulling the first building permit for the project.

Attachments:

Attachment 1 – Plan Set received by the City of Tracy on February 5, 2021

**DEVELOPMENT REVIEW
FOR
EXTERIOR IMPROVEMENTS OF C-STORE
NORTH POLE GAS & FOOD INC.
574 W. GRANT LINE ROAD
CITY OF TRACY, CA 95376
AREA - 0.63 ACRES
APN # 233-03-001 & # 233-03-004**

VICINITY MAP		PROJECT DATA	SHEET INDEX																																																																																																																																																																		
	<p>PROJECT INFORMATION:</p> <p>I. PROJECT NAME: EXTERIOR BUILDING IMPROVEMENTS OF C-STORE II. PROJECT LOCATION: 574 W. GRANT LINE RD. CITY OF TRACY, CA 95376 III. ASSESSOR'S PARCEL NUMBER: # 233-03-001 & # 233-03-004 IV. JURISDICTION: CITY OF TRACY IV. SITE AREA: 0.63 ACRES (APPROX. 27,440 SQ.FT.)</p> <p>PLANNING INFORMATION:</p> <p>I. ZONING: GENERAL HIGHWAY COMMERCIAL (GHC) II. GENERAL PLAN: COMMERCIAL III. HEIGHT ALLOWED: NO LIMIT PER MUNICIPAL CODE ARTICLE 10.08.2580 PROPOSED: 21'-0" IV. BUILDING SETBACKS: (MUNICIPAL CODE ARTICLE 10.08.3480) <table border="1" data-bbox="1375 3428 2039 3580"> <thead> <tr> <th></th> <th>REQUIRED</th> <th>EXISTING</th> </tr> </thead> <tbody> <tr> <td>FRONT</td> <td>15'-0"</td> <td>138'-0"</td> </tr> <tr> <td>STREET SIDE</td> <td>15'-0"</td> <td>15'-0"</td> </tr> <tr> <td>REAR</td> <td>0'-0"</td> <td>1'-0"</td> </tr> <tr> <td>INTERIOR SIDE</td> <td>15'-0"</td> <td>15'-0"</td> </tr> </tbody> </table> V. PARKING ANALYSIS: (MUNICIPAL CODE ARTICLE 26, SECTION 10.08.3480 - PERMITTED PARKING CHART) REQUIRED: 1 SPACE PER 250 SQ.FT. OF GROSS FLOOR AREA 6,600 SQ.FT. (C-STORE GROSS AREA) / 250 = 27 PARKING AFTER REDUCTION FOR EXISTING USE PER CODE @20% OF 22 TOTAL PARKING: 22 PROVIDED: 22 (STANDARD - 15 COMPACT (30%) - 7) VI. SITE AREA & ANALYSIS: <table border="1" data-bbox="2039 3907 3179 4386"> <thead> <tr> <th>DESCRIPTION</th> <th>EXISTING (SQ.FT.)</th> <th>PROPOSED (SQ.FT.)</th> <th>REMARKS</th> </tr> </thead> <tbody> <tr> <td colspan="4">IMPERVIOUS AREA</td> </tr> <tr> <td>BUILDING FOOTPRINT</td> <td>6,600 (24%)</td> <td>6,600 (24%)</td> <td>SAME</td> </tr> <tr> <td>CONCRETE PAVING INCL. CANOPY AREA</td> <td>3,795 (13.8%)</td> <td>4,625 (16.8%)</td> <td>NOMINAL INCREASE</td> </tr> <tr> <td>ASPHALT PAVING</td> <td>15,283 (55.8%)</td> <td>14,453 (52.8%)</td> <td>NOMINAL DECREASE</td> </tr> <tr> <td colspan="4">Pervious Area</td> </tr> <tr> <td>LANDSCAPING</td> <td>1,762 (6.4%)</td> <td>1,762 (6.4%)</td> <td>SAME</td> </tr> <tr> <td>TOTAL</td> <td>27,440 (100%)</td> <td>27,440 (100%)</td> <td></td> </tr> </tbody> </table> </p>		REQUIRED	EXISTING	FRONT	15'-0"	138'-0"	STREET SIDE	15'-0"	15'-0"	REAR	0'-0"	1'-0"	INTERIOR SIDE	15'-0"	15'-0"	DESCRIPTION	EXISTING (SQ.FT.)	PROPOSED (SQ.FT.)	REMARKS	IMPERVIOUS AREA				BUILDING FOOTPRINT	6,600 (24%)	6,600 (24%)	SAME	CONCRETE PAVING INCL. CANOPY AREA	3,795 (13.8%)	4,625 (16.8%)	NOMINAL INCREASE	ASPHALT PAVING	15,283 (55.8%)	14,453 (52.8%)	NOMINAL DECREASE	Pervious Area				LANDSCAPING	1,762 (6.4%)	1,762 (6.4%)	SAME	TOTAL	27,440 (100%)	27,440 (100%)		<p>BUILDING INFORMATION:</p> <p>I. BUILDING CODES: 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ENERGY CODE 2019 GREEN BUILDING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA FIRE CODE MUNICIPAL CODE 2020</p> <p>II. OCCUPANCY GROUP: M III. USE: C-STORE (EXISTING) IV. CONSTRUCTION TYPE: III-A (BUILDING FRAME) V. FIRE SPRINKLERS: NO VI. NUMBER OF STORIES: ONE VII. OCCUPANT LOAD CALCULATIONS</p> <table border="1" data-bbox="3849 3294 4983 3944"> <thead> <tr> <th rowspan="2">ROOM/AREA DETAIL</th> <th rowspan="2">FUNCTION OF SPACE AS PER SEC.1004</th> <th colspan="2">OCCUPANT LOAD FACTOR PER TABLE 1004.5</th> <th colspan="2">ROOM AREA (SQ. FT.)</th> <th rowspan="2">NUMBER OF OCCUPANTS (ROUNDED TO 1)</th> <th rowspan="2">REMARKS</th> </tr> <tr> <th>GROSS</th> <th>NET</th> <th>GROSS</th> <th>NET</th> </tr> </thead> <tbody> <tr> <td>CUSTOMER AREA</td> <td>MERCANTILE</td> <td>1:60</td> <td>--</td> <td>3586</td> <td>--</td> <td>60</td> <td></td> </tr> <tr> <td>SALES COUNTER</td> <td>BUSINESS</td> <td>1:150</td> <td>--</td> <td>230</td> <td>--</td> <td>2</td> <td></td> </tr> <tr> <td>WALK IN COOLER</td> <td></td> <td></td> <td></td> <td>268</td> <td>--</td> <td>1</td> <td></td> </tr> <tr> <td>UTILITY ROOM</td> <td>ACCESSORY STORAGE AREA</td> <td>1:300</td> <td>--</td> <td>146</td> <td>--</td> <td>1</td> <td></td> </tr> <tr> <td>OFFICE</td> <td>BUSINESS</td> <td>1:150</td> <td>--</td> <td>158</td> <td>--</td> <td>2</td> <td></td> </tr> <tr> <td>EMPLOYEE RESTROOM</td> <td></td> <td></td> <td></td> <td>43</td> <td>--</td> <td>1</td> <td></td> </tr> <tr> <td>LIQUOR STORAGE</td> <td>ACCESSORY STORAGE AREA</td> <td>1:300</td> <td>--</td> <td>398</td> <td>--</td> <td>2</td> <td></td> </tr> <tr> <td>STORE</td> <td></td> <td></td> <td></td> <td>160</td> <td>--</td> <td>1</td> <td></td> </tr> <tr> <td>STORAGE</td> <td></td> <td></td> <td></td> <td>861</td> <td>--</td> <td>3</td> <td></td> </tr> <tr> <td>CORRIDOR</td> <td></td> <td colspan="4">NOT APPLICABLE</td> <td></td> <td></td> </tr> <tr> <td>MEN'S RESTROOM</td> <td>ACCESSORY STORAGE AREA</td> <td>1:300</td> <td>--</td> <td>90</td> <td>--</td> <td>1</td> <td></td> </tr> <tr> <td>WOMEN'S RESTROOM</td> <td></td> <td></td> <td></td> <td>62</td> <td>--</td> <td>1</td> <td></td> </tr> <tr> <td></td> <td></td> <td colspan="4">TOTAL 75</td> <td></td> <td></td> </tr> </tbody> </table> <p>VIII. EXIT ANALYSIS</p> <ul style="list-style-type: none"> REQUIRED 2 EXITS EXISTING UPTO 500 OCCUPANTS AS PER TABLE 1006.3.2. 2 EXITS EXISTING FOR 75 OCCUPANTS TO REMAIN, WHEREAS OTHER TWO EXISTING EXITS TO BE CLOSED PER PLANS. HENCE OK. <p>SHEET INDEX:</p> <p>DR0 COVER SHEET DR1 EXISTING SITE PLAN DR2 PROPOSED SITE PLAN DR2.1 PROPOSED SANITARY SEWER PLAN DR3 SITE DETAILS DR4 EXISTING & PROPOSED FLOOR PLANS DR5 EXISTING ELEVATIONS DR6 PROPOSED ELEVATIONS DR7 PERSPECTIVE VIEWS</p> <p>SCOPE OF WORK:</p> <ul style="list-style-type: none"> UPGRADE THE EXTERIOR OF EXISTING CONVENIENCE STORE HOUSED IN METAL BUILDING INTO A MODERN LOOKING CONVENIENCE STORE FINISHED WITH STUCCO HAVING SCREENED ROOF TOP EQUIPMENT BEHIND NEW PARAPET. MODIFICATION OF ACCESSIBLE PATH OF TRAVEL & ACCESSIBLE PARKING IN COMPLIANCE WITH CHAPTER 11B. ADDITION OF TRASH ENCLOSURE. SIGNAGE UNDER SEPARATE PERMIT BY OTHERS. <p>SUBMITTAL CHECKLIST EXCLUSIONS:</p> <ul style="list-style-type: none"> EXISTING SITE LAYOUT INCLUDING BUILDING, PARKING, LANDSCAPING, ACCESS DRIVEWAYS & UNDERGROUND UTILITIES TO REMAIN. ONLY ELEVATION IMPROVEMENTS & (N) TRASH ENCLOSURE CONSTRUCTION ARE PROPOSED. <p>HENCE ITEMS BELOW ARE EXCLUDED FROM SUBMITTAL:</p> <ul style="list-style-type: none"> PRELIMINARY TITLE REPORT TOPOGRAPHIC SURVEY OF EXISTING LANDSCAPING PLANS 	ROOM/AREA DETAIL	FUNCTION OF SPACE AS PER SEC.1004	OCCUPANT LOAD FACTOR PER TABLE 1004.5		ROOM AREA (SQ. FT.)		NUMBER OF OCCUPANTS (ROUNDED TO 1)	REMARKS	GROSS	NET	GROSS	NET	CUSTOMER AREA	MERCANTILE	1:60	--	3586	--	60		SALES COUNTER	BUSINESS	1:150	--	230	--	2		WALK IN COOLER				268	--	1		UTILITY ROOM	ACCESSORY STORAGE AREA	1:300	--	146	--	1		OFFICE	BUSINESS	1:150	--	158	--	2		EMPLOYEE RESTROOM				43	--	1		LIQUOR STORAGE	ACCESSORY STORAGE AREA	1:300	--	398	--	2		STORE				160	--	1		STORAGE				861	--	3		CORRIDOR		NOT APPLICABLE						MEN'S RESTROOM	ACCESSORY STORAGE AREA	1:300	--	90	--	1		WOMEN'S RESTROOM				62	--	1				TOTAL 75					
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SITE NOTES

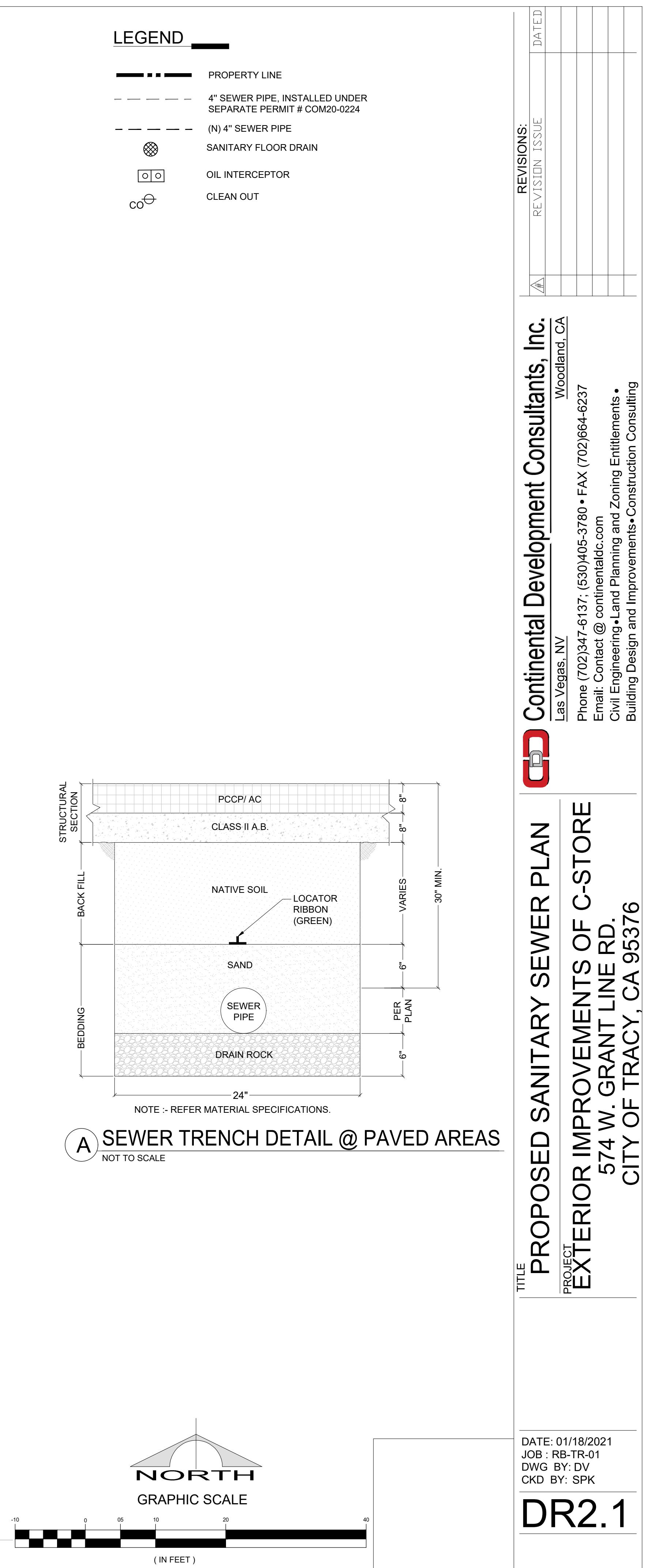
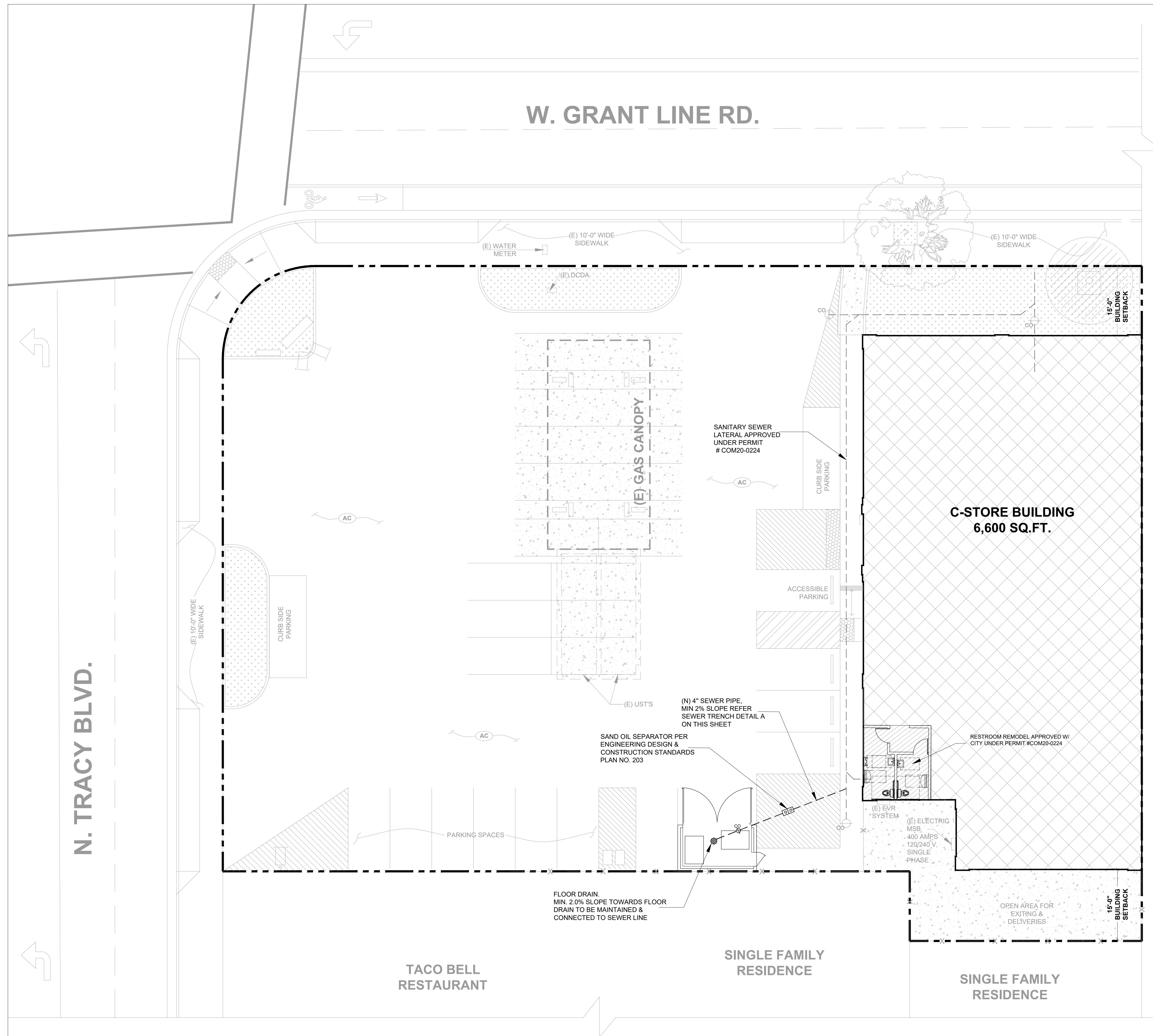
1. THE DIMENSIONS SHOWN ON SITE PLAN ARE APPROXIMATE & ARE BASED ON AS-BUILT PLANS & ASSESSORS PARCEL MAP.
2. (E) LANDSCAPING, TOPOGRAPHY & GRADING/PAVING TO REMAIN (ONLY ELEVATION IMPROVEMENTS ARE PROPOSED).

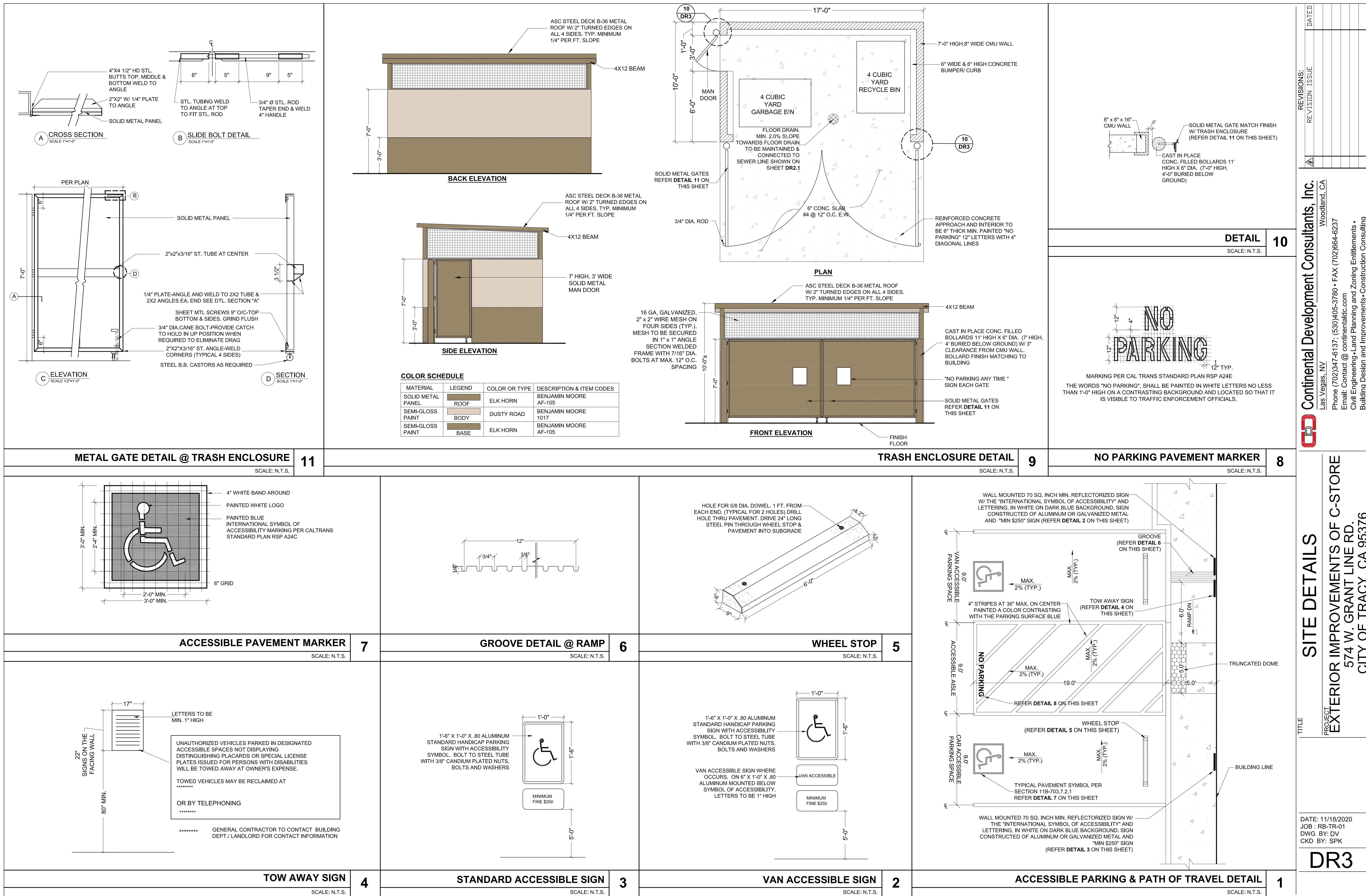
EXISTING SITE PLAN		CONTINENTAL DEVELOPMENT CONSULTANTS, INC.
		Las Vegas, NV
		Phone (702)347-6137; (503)405-3780 • FAX (702)664-6237
		Email: Contact @ continentaldc.com
		Civil Engineering-Land Planning and Zoning Entitlements • Building Design and Improvements-Construction Consulting
		PROJECT EXTERIOR IMPROVEMENTS OF C-STORE
		574 W. GRANT LINE RD.
		CITY OF TRACY, CA 95376
DR1	REVISIONS:	DATED

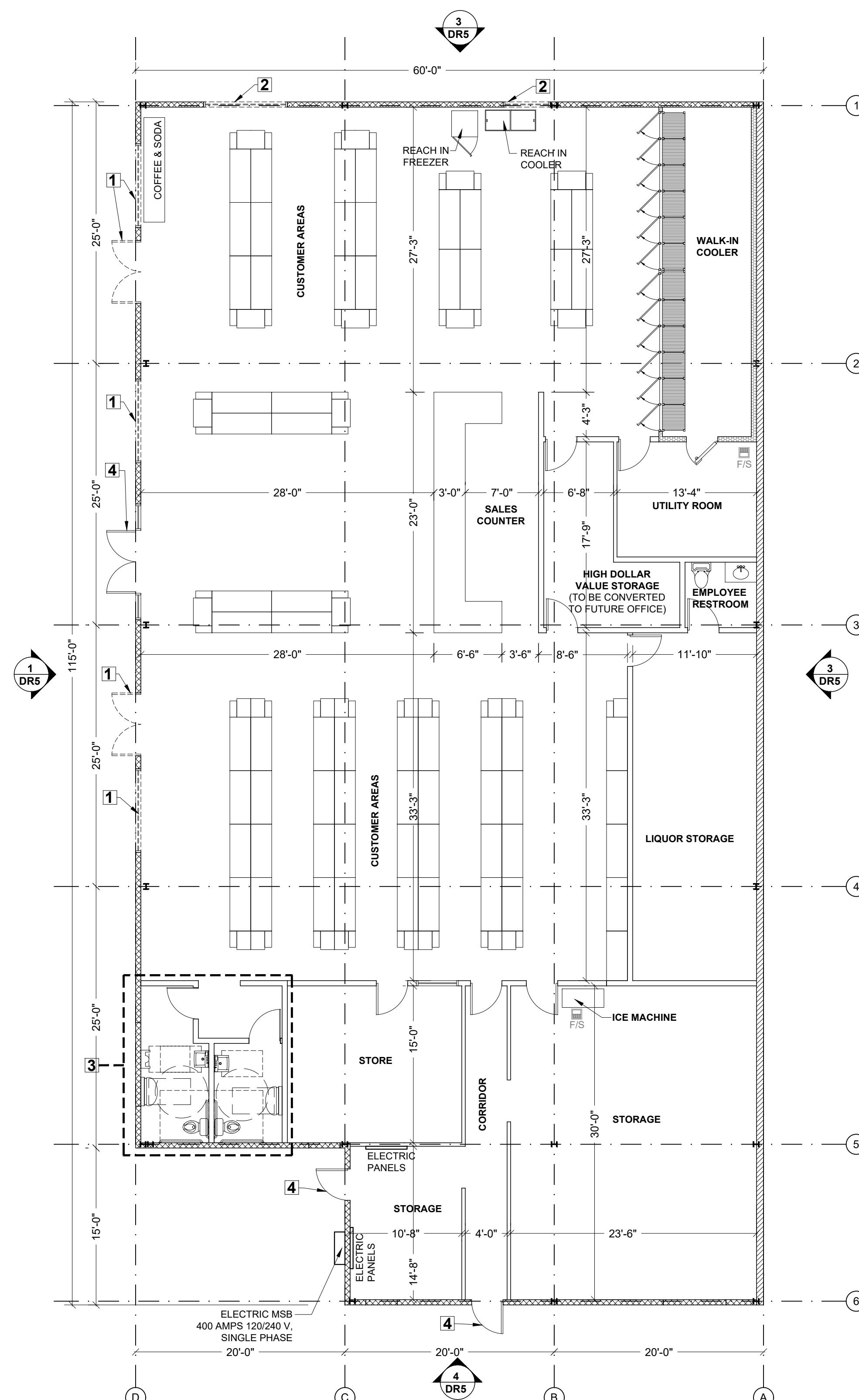
EXISTING SITE VIEW (FROM N. TRACY BLVD.)

GRAPHIC SCALE

DATE: 1/23/2021
JOB : RB-TR-01
DWG BY: AK
CKD BY: SPK





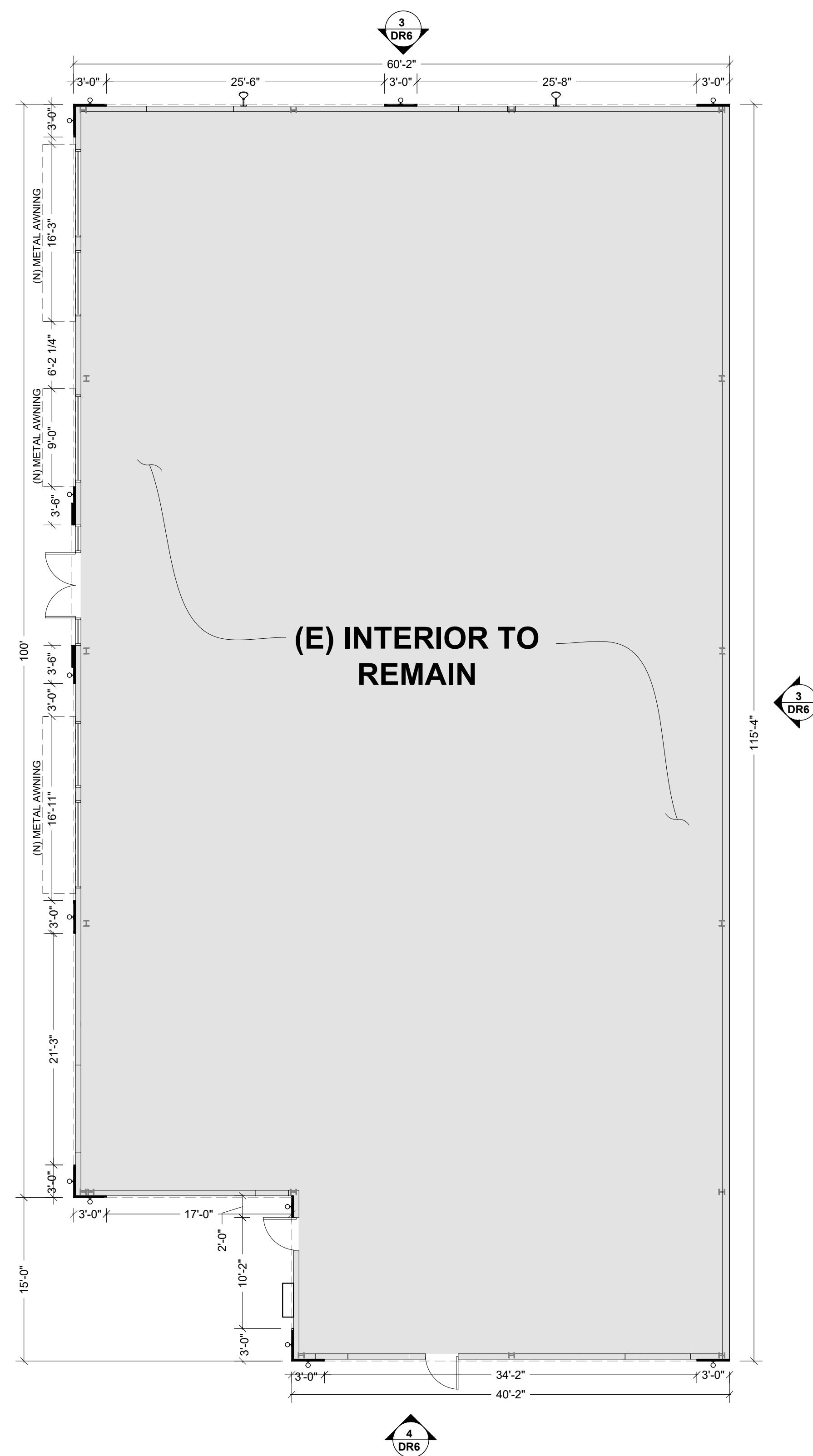


LEGEND

- (E) 4 HR. RATED, 8 x 8 x 16 MASONRY BLOCK WALL
- (E) EXTERIOR WALL CLADDED WITH 26 GAUZE METAL WALL PANELS OUTSIDE W/ 2 x 4 WOOD STUDS @ 16" O.C. (MAX.) CONNECTED TO CONCRETE SLAB W/ 1/2" x 7" HILTI BOLTS, 4 1/2" EMBEDMENT @ 48 O.C. (MAX.) W/ TOP CONNECTION OF 1/2" Ø CARRIAGE BOLTS @ 60" O.C. (MAX.) FINISHED W/ 1/2" GYP. BOARD INSIDE
- (E) GALVANIZED METAL WALL AT WALK-IN COOLER
- (E) INTERIOR PARTITION WALL 2 x 4 WOOD STUDS @ 16" O.C. (MAX.) FINISHED W/ 1/2" GYP. BOARD ON BOTH SIDES
- (N) 2 x 2 WOOD STUD POP-OUT BELOW (N) PARAPET @ FACIA
- (E) WINDOW SYSTEM TO REMAIN
- (E) STRUCTURAL STEEL COLUMN
- (E) FLOOR SINK
- (E) DOOR TO REMAIN
- (E) WINDOW SYSTEM TO BE REPLACED
- (E) DOOR TO BE REMOVED
- (N) WALL SCONCE
- (#) GRID LINE

CONSTRUCTION NOTES

- 1 (E) DOOR & WINDOW SYSTEM BE REPLACED W/ (N) STOREFRONT WINDOW SYSTEM PER PLAN.
- 2 REMOVE (E) DOOR/ WINDOW SYSTEM, FILL OUT W/ FRAMING MATCH (E) FINISH INSIDE. (N) STUCCO OUTSIDE PER PLANS.
- 3 RESTROOM REMODEL IN PROCESS W/ CITY UNDER PLAN CHECK #COM20-0224
- 4 THREE DOORS REMAINED AFTER PROPOSED EXTERIOR IMPROVEMENTS TO SERVE AS EMERGENCY EXITS.



EXISTING & PROPOSED FLOOR PLANS

PROJECT EXTERIOR IMPROVEMENTS OF C-STORE

LOCATION 574 W. GRANT LINE RD.

CITY CITY OF TRACY, CA 95376

CONTINENTAL DEVELOPMENT CONSULTANTS, INC.

Woodland, CA

Las Vegas, NV

Email: Contact @ continentaldc.com

Civil Engineering-Land Planning and Zoning Entitlements • Building Design and Improvements • Construction Consulting

REVISIONS: **A**

REVISION ISSUE: **1**

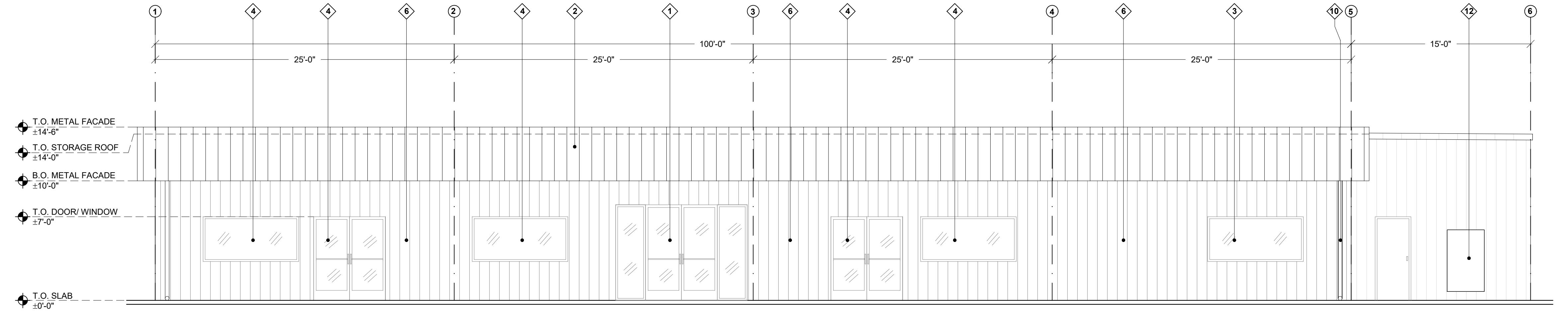
DATE: **11/18/2020**

JOB: **RB-TR-01**

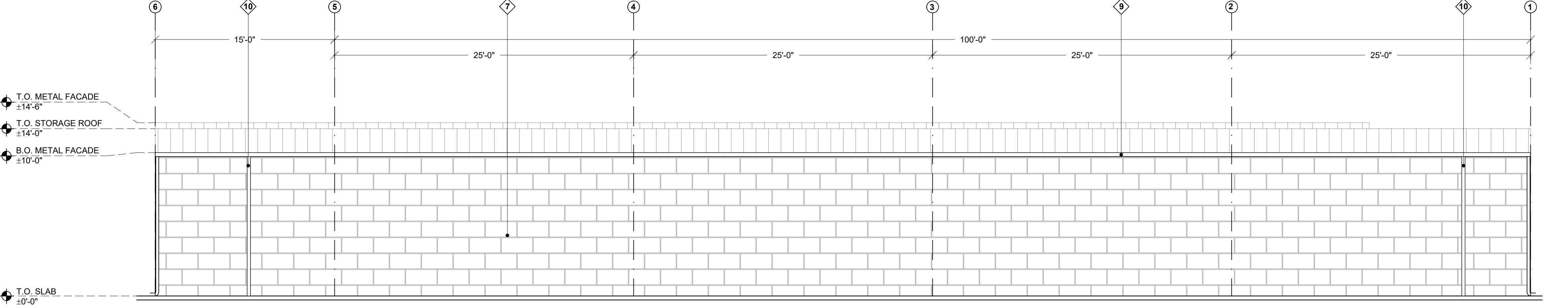
DWG BY: **DV**

CKD BY: **SPK**

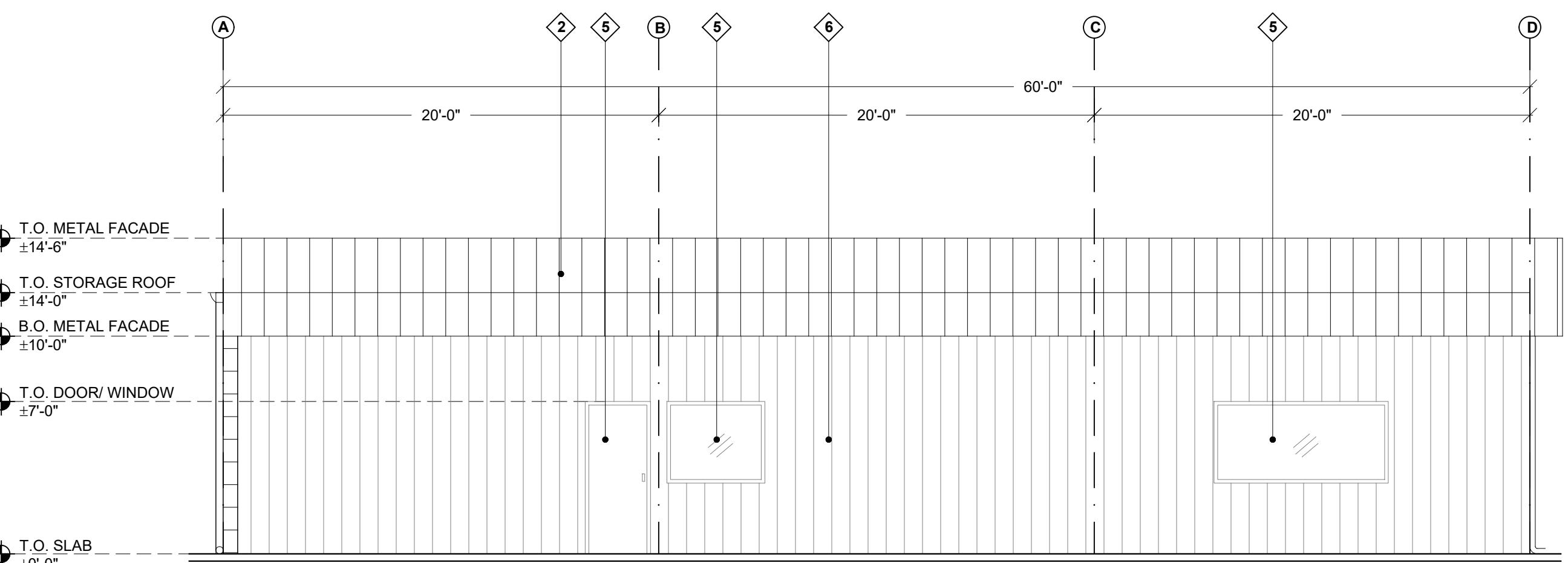
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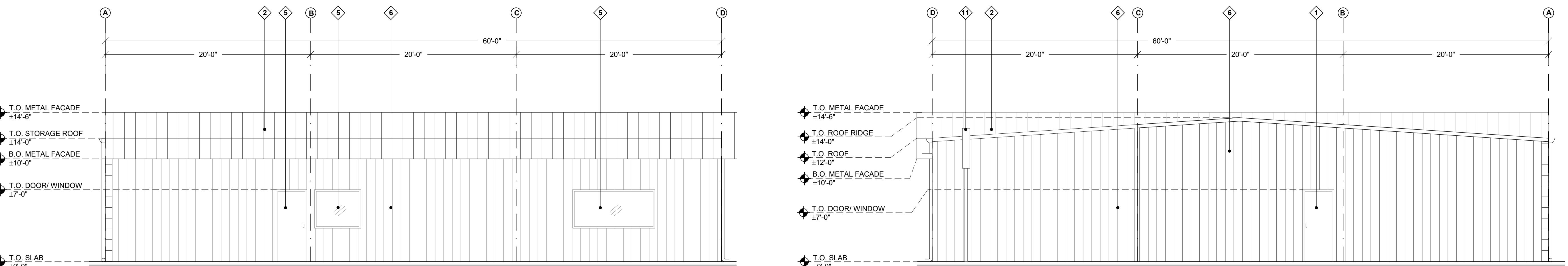
1 FRONT ELEVATION - WEST
SCALE : 3/16" = 1'-0"



2 REAR ELEVATION - EAST
SCALE : 3/16" = 1'-0"



2 SIDE ELEVATION - NORTH
SCALE : 3/16" = 1'-0"



4 SIDE ELEVATION - SOUTH
SCALE : 3/16" = 1'-0"

CONSTRUCTION NOTES

- ① DOOR SYSTEM TO REMAIN. RECENTLY INSTALLED UNDER PLAN CHECK #COM20-0180.
- ② METAL FACIA TO BE REMOVED.
- ③ WINDOW REMOVED UNDER PLAN CHECK #COM20-0224.
- ④ (E) DOOR/ WINDOW SYSTEM TO BE MODIFIED INTO STOREFRONT PER PLAN.
- ⑤ REMOVE (E) DOOR/ WINDOW SYSTEM, FILL OUT W/ FRAMING MATCH (E) FINISH INSIDE. (N) STUCCO OUTSIDE PER PLANS.
- ⑥ (E) METAL WALL CLADDING TO BE COVERED & FINISHED W/ STUCCO OR STONE VENEER PER PLANS.
- ⑦ MASONRY BLOCK WALL TO BE RAISED PARAPET ADDED & PAINTED PER PLANS.
- ⑧ (E) DOWNSPOUTS TO BE REPLACED & CONCEALED UNDER (N) FRAMING & CONNECTED TO (E) UNDERGROUND STORM PIPES.
- ⑨ REMOVE (E) GUTTERS.
- ⑩ DOWNSPOUTS TO BE REPLACED W/ (N) & CONNECTED TO (E) UNDERGROUND STORM DRAINE PIPE.
- ⑪ (E) VAPOR RECOVERY SYSTEM TO REMAIN.
- ⑫ (E) ELECTRIC MSB TO REMAIN.

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Las Vegas, NV
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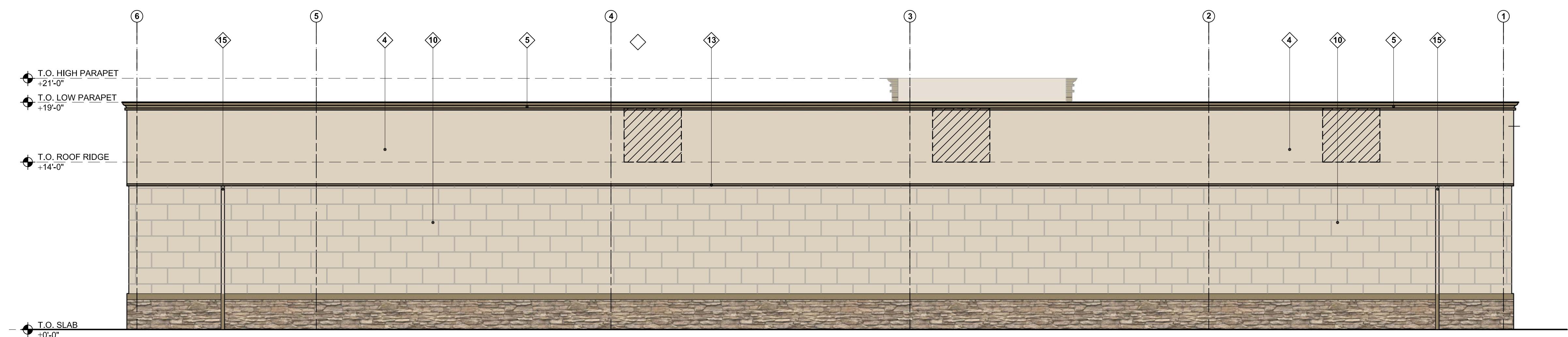
EXISTING ELEVATIONS
PROJECT EXTERIOR IMPROVEMENTS OF C-STORE
574 W. GRANT LINE RD.
CITY OF TRACY, CA 95376

DATE: 08/11/2020
JOB : RB-TR-01
DWG BY: DV
CKD BY: SPK

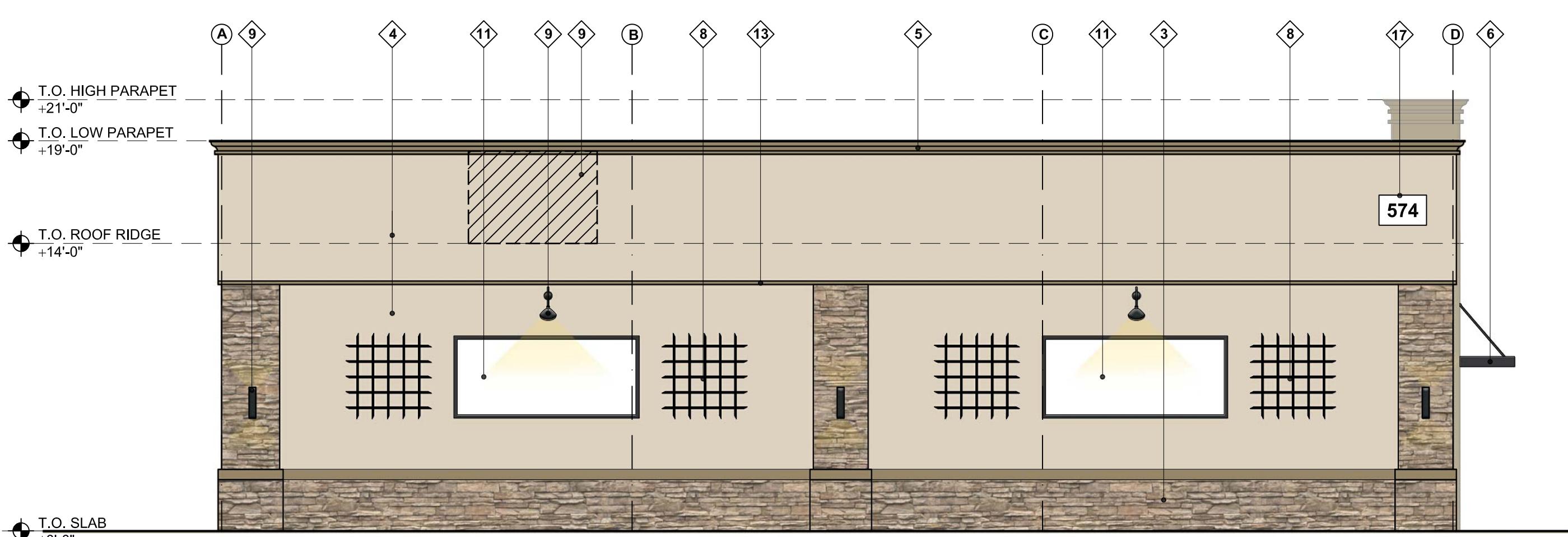
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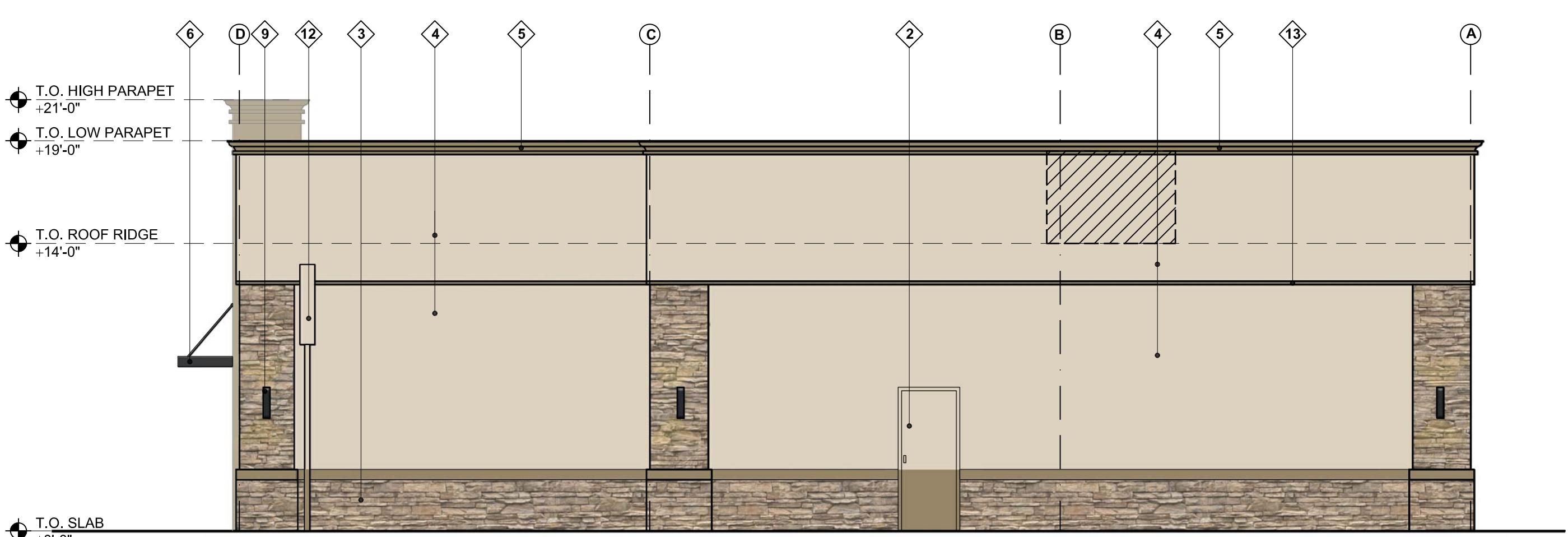
1 FRONT ELEVATION - WEST
SCALE : 3/16" = 1'-0"



2 REAR ELEVATION - EAST
SCALE : 3/16" = 1'-0"



2 SIDE ELEVATION - NORTH
SCALE : 3/16" = 1'-0"



4 SIDE ELEVATION - SOUTH
SCALE : 3/16" = 1'-0"

LEGEND

MATERIAL KEY NOTES. REFER NOTES BELOW

GRID LINE

4'-6" HIGH ROOF TOP HVAC UNITS

MATERIAL KEYNOTES

- 1 STORE FRONT DOOR/ WINDOW SYSTEM
- 2 (E) HOLLOW METAL DOOR
- 3 STONE CLADDING
- 4 STUCCO FINISH PAINTED SMOOTH
- 5 FOAM CORNICE
- 6 METAL AWNING
- 7 STUCCO FINISH W/ GROOVES
- 8 METAL LATTICE
- 9 WALL SCONCE
- 10 MASONRY BLOCK WALL
- 11 SPACE FOR ADVERTISEMENT BANNERS
- 12 EVR SYSTEM (REFER DETAIL 5 ON THIS SHEET)
- 13 SUCCO TRIM
- 14 ELECTRIC MSB
- 15 (E) DOWNSPOUT (PAINTED TO MATCH BODY COLOR UPTO ACCENT AND ACCENT COLOR AT BOTTOM)
- 16 ACCESSIBLE SIGN
- 17 BUILDING ADDRESS
- 18 KNOX BOX @ 6'-0" A.F.F.

REVISIONS: REVISION ISSUE:

DATE:

Continental Development Consultants, Inc.

Woodland, CA

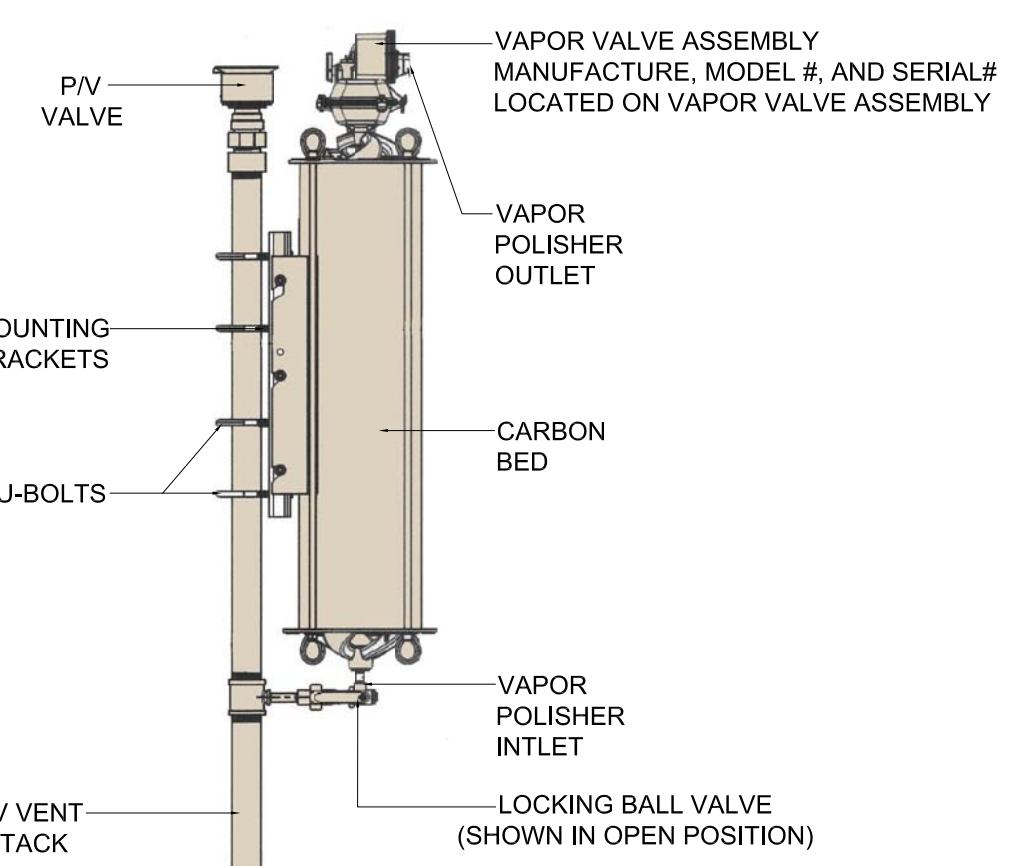
702/664-6237

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Email: Contact @ continentaldc.com
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COLOR SCHEDULE

LEGEND	COLOR NAME	DESCRIPTION & ITEM CODE
	BASE	CORONADO VIRGINIA LEDGE-GOLDEN SAND
	ACCENT	BENJAMIN MOORE AF-105 ELK HORN
	BODY	BENJAMIN MOORE 1017 DUSTY ROAD
	AWNING & WINDOW SYSTEM	BENJAMIN MOORE 2132-20 EBONY KING



5 EVR SYSTEM
SCALE : N.T.S

PROPOSED ELEVATIONS

PROJECT

EXTERIOR IMPROVEMENTS OF C-STORE
574 W. GRANT LINE RD.
CITY OF TRACY, CA 95376

DATE: 01/23/2021
JOB : RB-TR-01
DWG BY: DV
CKD BY: SPK

DR6



① VIEW - 1



② VIEW - 2



③ VIEW - 3



④ VIEW - 4

TITLE		PERSPECTIVE VIEWS	
PROJECT		EXTERIOR IMPROVEMENTS OF C-STORE	
574 W. GRANT LINE RD. CITY OF TRACY, CA 95376			
DATE: 11/19/2020		REVISIONS:	
JOB: RB-TR-01		REVISION ISSUE	
DWG BY: DV		DATED	
CKD BY: SPK			
DR7			

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DEVELOPMENT SERVICES PUBLIC HEARING

The City of Tracy Development Services Director will hold a Public Hearing on Tuesday, February 1, 2022, at 2:00 p.m. or as soon thereafter as possible, via teleconference to consider:

D20-0026: NORTH POLE GAS STATION FAÇADE IMPROVEMENTS LOCATED AT 574 W. GRANT LINE ROAD, ASSESSOR'S PARCEL NUMBERS 233-030-01 AND 233-030-04. THE APPLICANT IS SUKHJIT SINGH AND THE OWNER IS GURVINDER SINGH - Public hearing to consider an application for a Development Review Permit to approve façade improvements for the existing North Pole gas station located on the southeast corner of Grant Line Road and Tracy Boulevard. The project is categorically exempt from the California Environmental Quality Act pursuant to Guidelines Section 15301 pertaining to the minor alteration of existing structures where there is negligible or no expansion of an existing use. *The Project Planner is Genevieve Federighi, Associate Planner, (209) 831-6435, Genevieve.Federighi@cityoftracy.org.*

All interested persons are invited to participate by calling the teleconference line at **(209) 425-4338** Conference ID: **702 485 635#** to submit statements orally during the meeting; or in writing before the meeting by sending written statements to *publiccomment@cityoftracy.org*.

Should you decide to challenge the decision of the DS Director, you may be limited to those issues that were raised for consideration at the hearing.

WILLIAM DEAN
Interim Development Services Director

Publish: January 21, 2022