

AGENDA ITEM 2

REQUEST

PUBLIC HEARING TO CONSIDER (1) A DEVELOPMENT REVIEW APPLICATION FOR THE CONSTRUCTION OF THE AMENITY CENTER FOR THE TRACY VILLAGE (REGENCY AT TRACY LAKES) ACTIVE ADULT SUBDIVISION AND SPECIFIC PLAN AREA, INCLUDING A 14,185 SQUARE FOOT AMENITY CENTER BUILDING, A 1,018 SQUARE FOOT POOL PAVILION, A 986 SQUARE FOOT PUMP HOUSE AND A 234 SQUARE FOOT FARM SHED WITH THE COMPLEX ALSO INCLUDING PARKING AND VARIOUS OUTDOOR RECREATIONAL FACILITIES, SUCH AS A POOL, COMMUNITY GARDEN, PICKLE BALL COURTS, BOCCE BALL COURTS, SHADE STRUCTURES AND LANDSCAPE AND HARDSCAPE FEATURES; AND (2) TO DETERMINE THAT THE PROJECT IS CONSISTENT WITH THE TRACY VILLAGE ENVIRONMENTAL IMPACT REPORT (EIR) CERTIFIED ON MAY 18, 2018, PURSUANT TO CEQA GUIDELINES SECTION 15183 PERTAINING TO PROJECTS THAT ARE CONSISTENT WITH A SPECIFIC PLAN EIR. APPLICANT IS ALEX RAYMOND, PERMIT ADVISORS, AND OWNER IS DRP CA 6, LLC. APPLICATION NUMBER D23-0001.

Project Description

The Tracy Village Specific Plan area was approved in 2018, and subsequently annexed into the City of Tracy, for the construction of an “active adult” community, consisting of 590 single-family homes, with amenities including a lake system and various community buildings for use by the residents. The architectural elevations and floor plans for the single-family homes were approved by the City in February of 2022, and construction is underway for the first phase of houses. The gatehouse at the subdivision entry is under construction, and offsite improvements of nearby intersections are underway for the project.

When the Specific Plan for the Tracy Village project was approved, it included an overall site plan for the project, showing the location of the lake system, the lots, and a number of other structures and amenities such as a pool, recreation center, pickleball courts, parks and community gardens (Attachment A). This application is to approve the architecture and detailed site plan for the amenity center.

The amenity center consists of a combination of buildings and recreational features to serve the members of this community and include the following buildings and facilities:

- Amenity Center Building-14,185 square feet containing a great room, lounge, gym, indoor pool, meeting rooms and other related facilities such as restrooms
- Pool Pavilion-1,018 square feet with restrooms and an outdoor covered kitchen and dining space
- Lake pump house-986 square foot structure to house the pumps to keep the lakes maintained

- Farm shed-234 square foot building housing gardening materials adjacent to the community gardens
- Outdoor pool
- Six pickle ball courts
- Two bocce ball courts
- 57-space parking lot
- Raised beds and orchard plantings in the community garden
- Tables, chairs, benches, and shade structures walking paths and landscaping for the enjoyment of outdoor areas

The Specific Plan has design requirements for all the community buildings on the site to be designed in either Italian/Tuscan or a Modern Farmhouse style. The proposed structures within the amenity center are designed in the Modern Farmhouse style, with lots of windows, board and batten siding, and stone veneer (Attachment B).

The project will implement Energy Star appliances to conform with the sustainability guidelines in the Specific Plan. In addition to the benefits of energy conscious appliances, the project also utilizes renewable materials and features where possible. The landscape and building materials are to be locally sourced where available and economically feasible. All but two of the west facing windows are equipped with shadings or overhangs to prevent additional sun exposure and reduce interior temperatures. The main amenity center building's roof is also designed to be solar ready for the installation of photovoltaic panels in the future.

Environmental Document

The proposed project is consistent with the Tracy Village Specific Plan Environmental Impact Report (EIR), approved by the City Council on May 18, 2018. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required. An analysis of the project shows that there will be no significant on or off-site impacts as a result of this particular project which were not already discussed in the Tracy Village EIR. There is also no evidence of any significant impacts to occur off-site as a result of the project, as traffic, air quality, land use and other potential cumulative impacts have already been considered within the original environmental documentation. No new evidence of potentially significant effects has been identified as a result of this project.

RECOMMENDATION

Staff recommends that the Development Services Director approve the Amenity Center for the Tracy Village subdivision, located adjacent to the subdivision entry from Valpico Road (Assessor's Parcel Numbers 244-030-03 and 04, based on the findings contained in the Director's Determination dated June 20, 2023 (Attachment C).

Director Public Hearing
Agenda Item 2
June 20, 2023
Page 2

Prepared by Victoria Lombardo, Senior Planner
Approved by Bill Dean, Assistant Development Services Director

ATTACHMENTS

- A: Overall Tracy Village Site Plan
- B: Amenity Center Site Plan, Elevations and Landscape Plans
- C: Development Services Director Determination

Chapter Three



Legend

- | | |
|----------------------------|--------------------------|
| ① Main Entry Park | ⑥ Secondary Entry Park |
| ② Main Recreation Facility | ⑦ Dog Park |
| ③ Pedestrian Bridge | ⑧ Minor Recreation Area |
| ④ Wetland Planter | ⑨ Pedestrian Connections |
| ⑤ Promenade Outlook | |



Figure 3.1: Conceptual Landscape Plan

REGENCY AT TRACY LAKES POOL PAVILION

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480/922-3200

LANDSCAPE ARCHITECT
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SAN CLEMENTE, CA 92672
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REVISIONS

NO.	DATE	DESCRIPTION

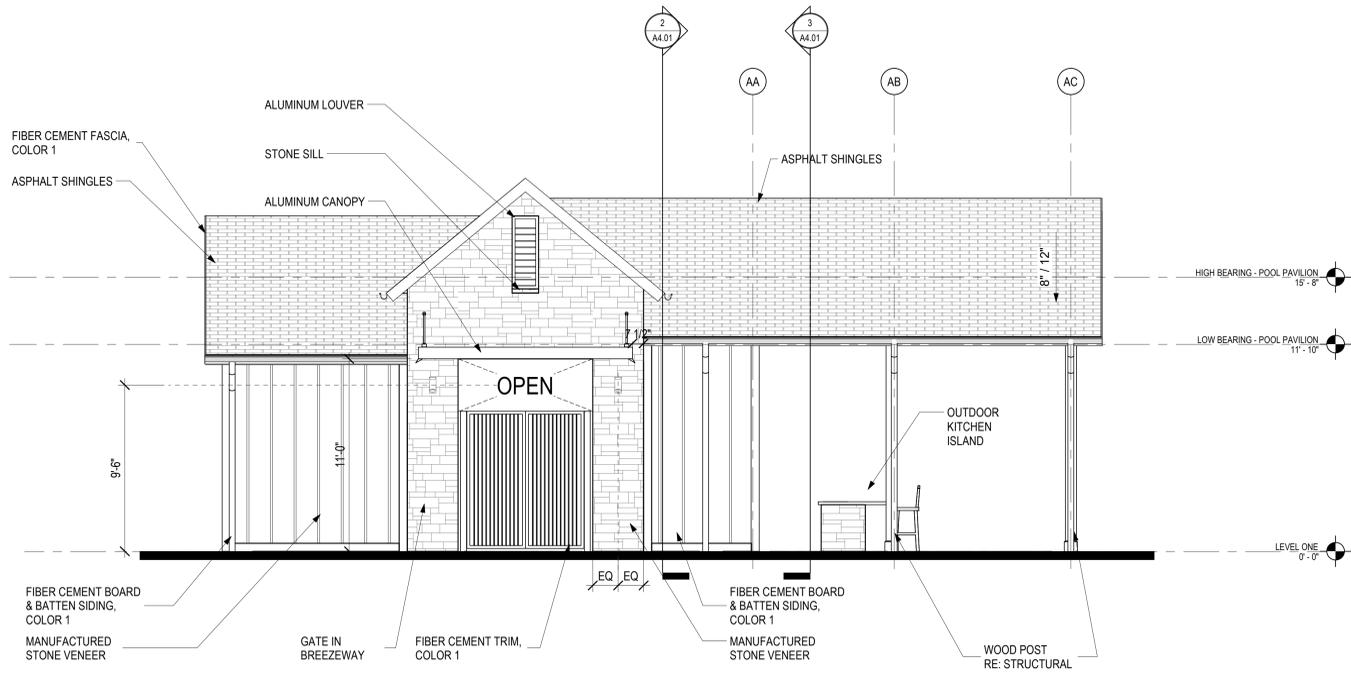
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211772

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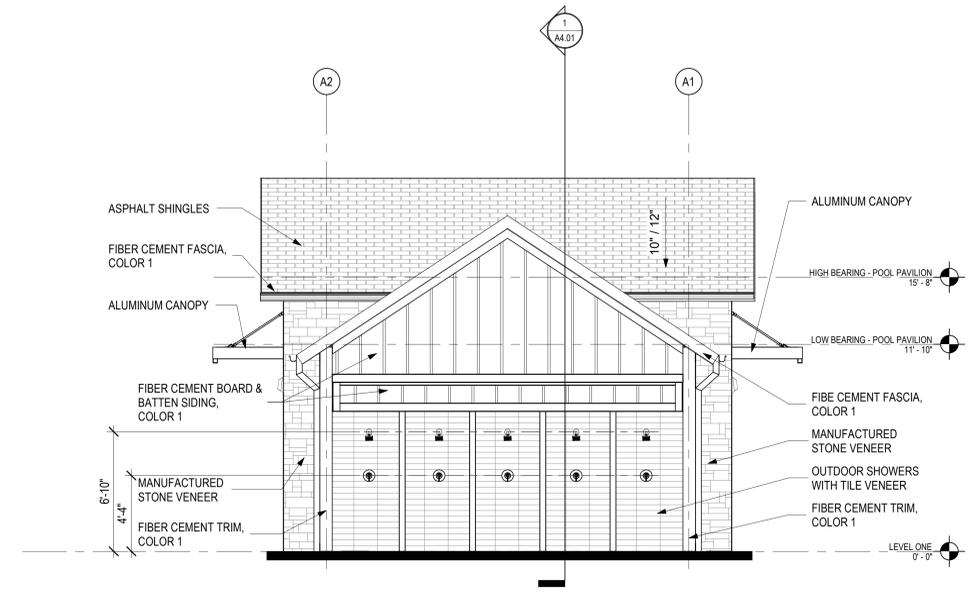
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01/27/2023

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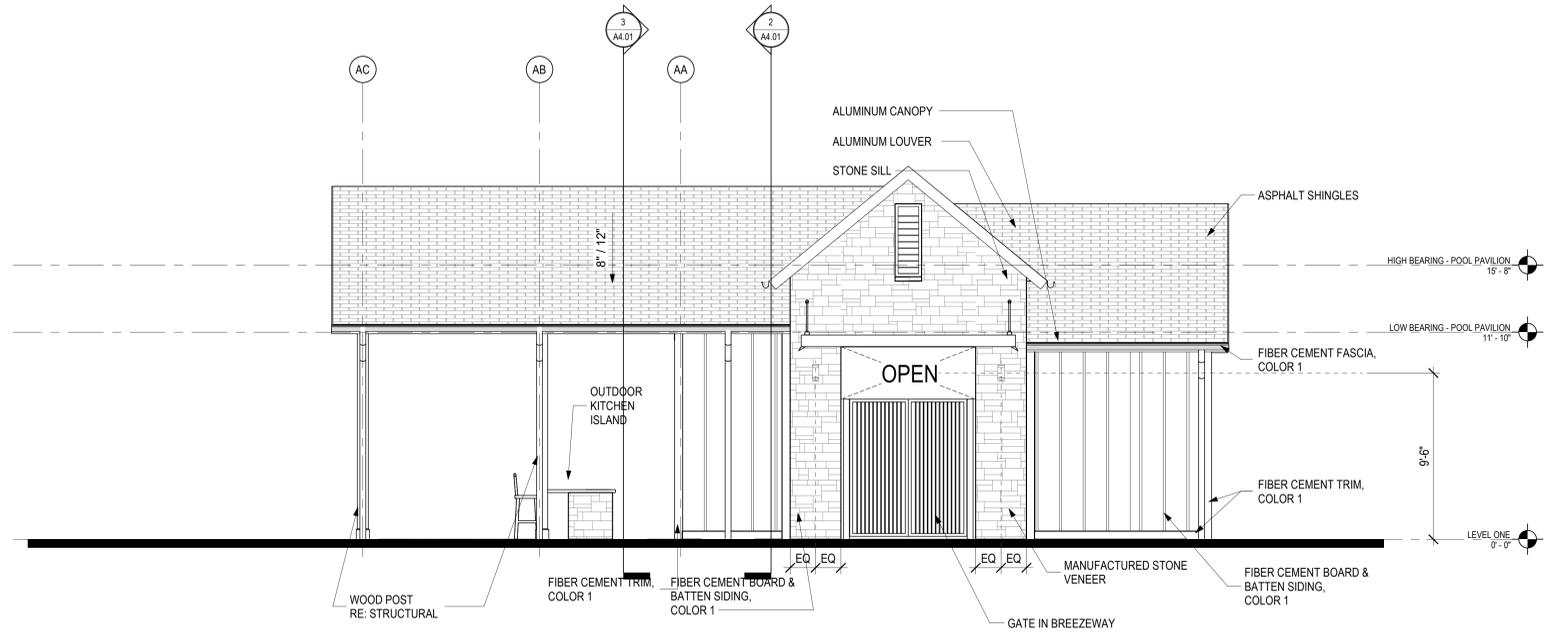
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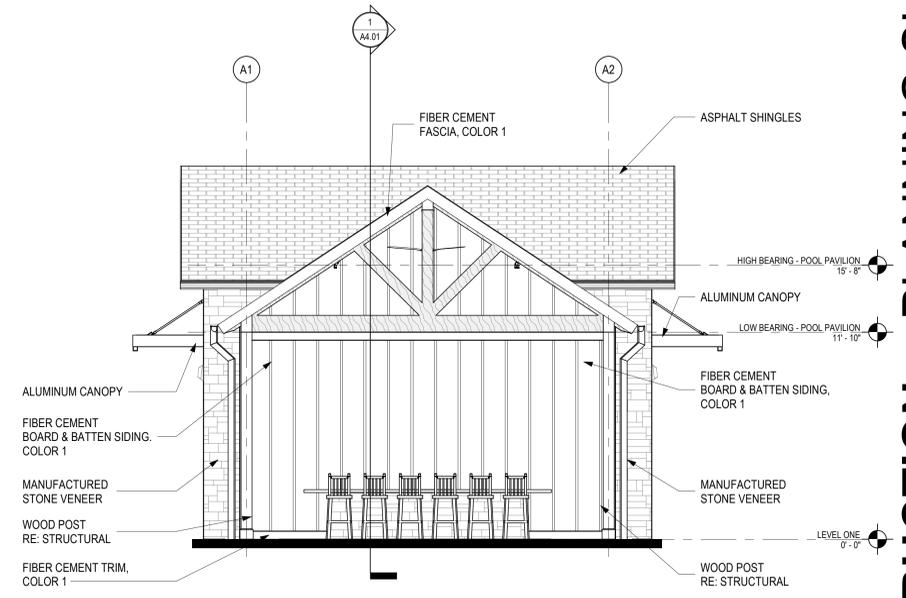
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A3.01 1/4" = 1'-0"



2 POOL PAVILION - EAST ELEVATION
A3.01 1/4" = 1'-0"



3 POOL PAVILION - SOUTH ELEVATION
A3.01 1/4" = 1'-0"



4 POOL PAVILION - WEST ELEVATION
A3.01 1/4" = 1'-0"

EXTERIOR FINISH LEGEND	
THIN STONE VENEER	CORONADO STONE, 3" SPLIT LIMESTONE - CREAM
FIBER CEMENT BOARD & BATTEN SIDING	COLOR 1 - SW 7076 CYBERSPACE COLOR 2 - SW 7006 EXTRA WHITE
FIBER CEMENT TRIM	TO MATCH FIELD COLOR
FIBER CEMENT FASCIA	COLOR 1 - SW 7076 CYBERSPACE
ASPHALT SHINGLES	CHARCOAL BLACK
DOORS & WINDOWS	DARK BRONZE
PAINTED STEEL (CANOPIES, COLUMNS, ATTIC LOUVERS)	SW 7076 CYBERSPACE

REGENCY AT TRACY LAKES PUMP HOUSE
 TRACY, CA



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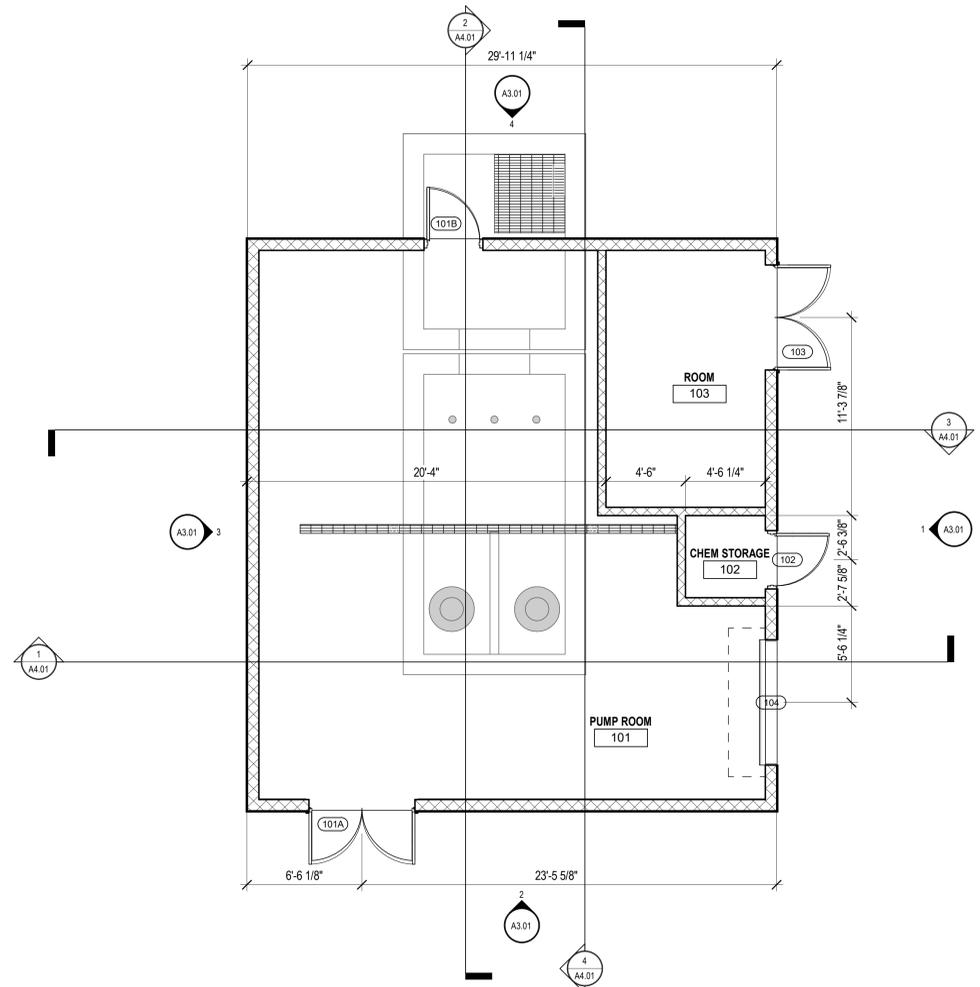
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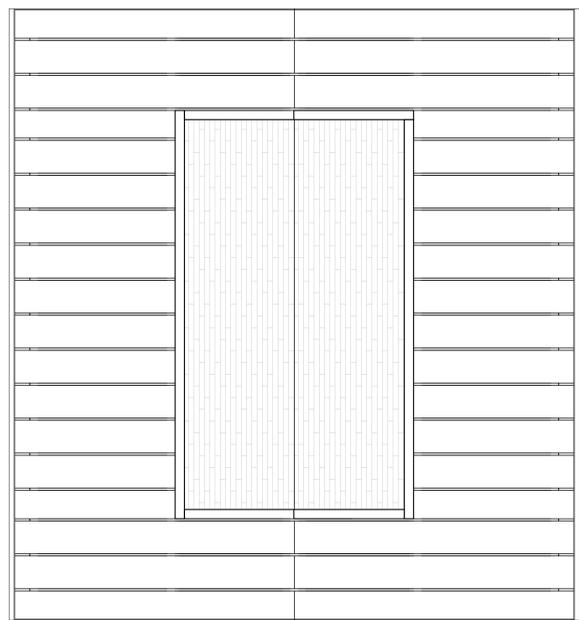
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DATE 01/27/2023

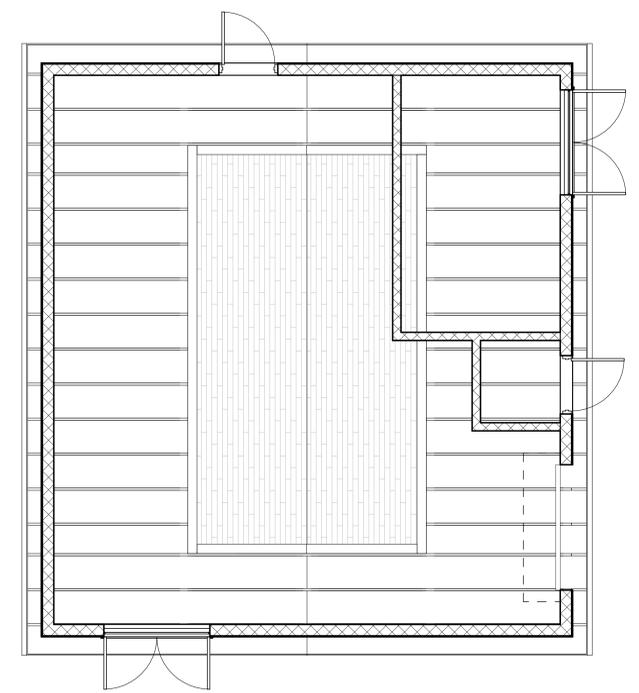
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1 FLOOR PLAN
 A1.00 1/4" = 1'-0"



2 ROOF PLAN
 A1.00 1/4" = 1'-0"



3 REFLECTED CEILING PLAN
 A1.00 1/4" = 1'-0"



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REGENCY AT TRACY LAKES PUMP HOUSE

TRACY, CA

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REGENCY AT TRACY LAKES PUMP HOUSE
 TRACY, CA



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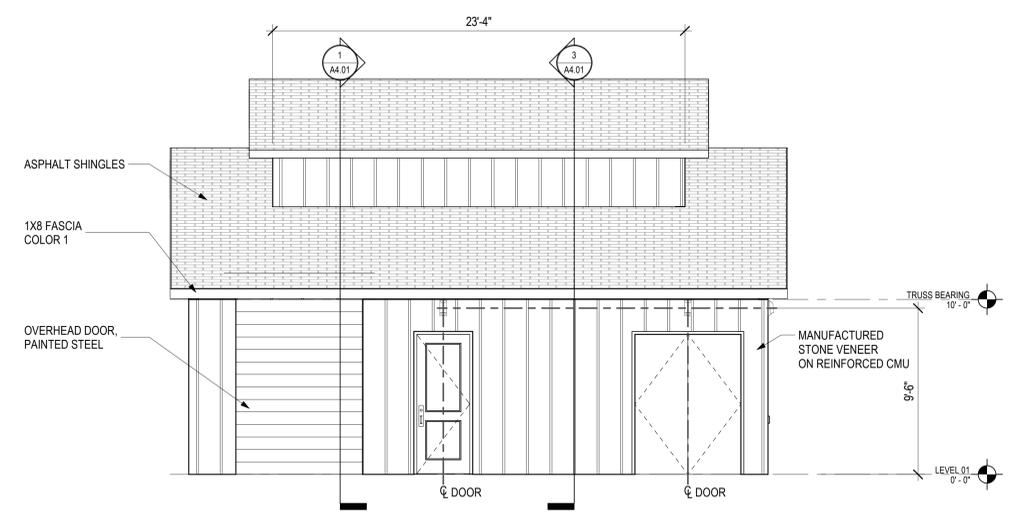
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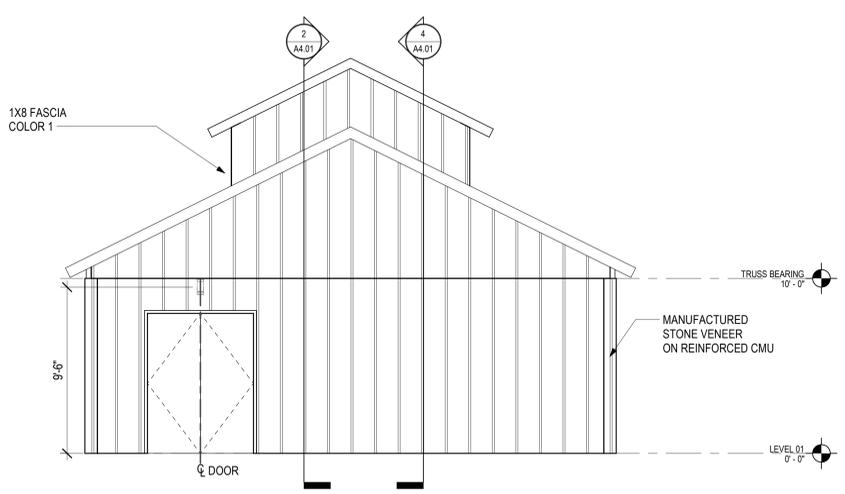
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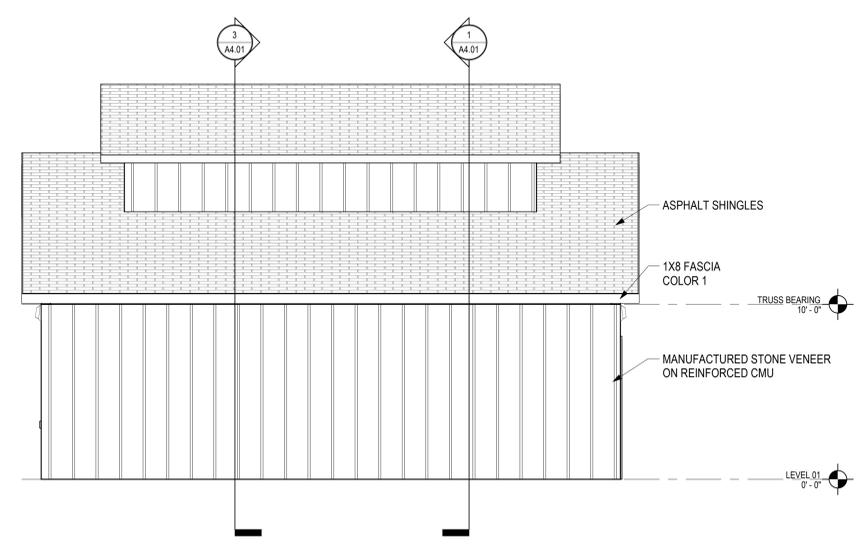
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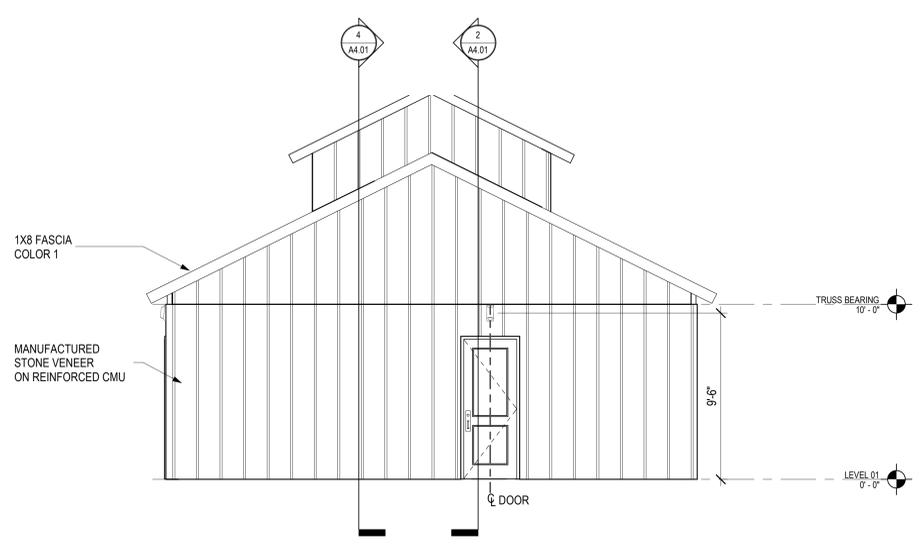
1 EXTERIOR ELEVATION A
 A3.01 1/4" = 1'-0"



2 EXTERIOR ELEVATION B
 A3.01 1/4" = 1'-0"



3 EXTERIOR ELEVATION C
 A3.01 1/4" = 1'-0"



4 EXTERIOR ELEVATION D
 A3.01 1/4" = 1'-0"

EXTERIOR FINISH LEGEND	
THIN STONE VENEER	CORONADO STONE, 3" SPLIT LIMESTONE - CREAM
ASPHALT SHINGLES	CHARCOAL BLACK
DOORS & WINDOWS	DARK BRONZE
PAINTED STEEL (CANOPIES, COLUMNS)	SW 7076 CYBERSPACE
FIBER CEMENT FASCIA	COLOR 1 - SW 7076 CYBERSPACE

Landscape Construction Documents for:

Regency at Tracy Lakes

Active Adult Amenity Center Loop Road West, Tracy, CA

Prepared for:

Toll Brothers - Northern California Division



Landscape Architecture
Urban Design
Planning
Habitat Restoration

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Regency at Tracy Lakes
Active Adult Amenity Center
Loop Road West, Tracy, CA
(Tract #3917)
Toll Brothers

ABBREVIATIONS:

AC Asphalt Concrete	FD Floor Drain	PA Planting Area
A/C Air Condenser	FDN Foundation	PI Point of Intersection
AD Area Drain	FF Finish Floor	PIP Protect in Place
ADA American with Disabilities Act	FFE Finish Floor Elevation	PL Property Line
AGG Aggregate	FG Finish Grade	POC Point of Connection
ALIGN Alignment	FL Finish Line	POVC Point of Vertical Curve
APPROX Approximate	FL Flow Line	PREP Preparation
ARCH Architectural	FOB Face of Building	PSI Pounds per Square Inch
	FOC Face of Curb	PT Point of Tangency
BC Bottom of Curb	FOF Face of Finish	PVC Poly Vinyl Chloride
B/CR Beginning Curve Radius	FOS Face of Step	PVI Point of Vertical Intersection
BD Board	FOW Face of Wall	PVMT Pavement
BF Bottom of Fence	FS Finish Surface	R Radius
BL Base Line	FTG Footing	RCP Reinforced Concrete Pipe
BUDG Building	G Gas	RD Roof Drain
BH Benchmark	GA Gauge	RE Rim Elevation
BOC Back of Curb	GALV Galvanized	RECEPT Receptacle
BOP Bottom of Pipe	GB Grade Break	REF Reference
BOR Bottom of Ramp	GC General Contractor	RENF Reinforced
BOS Bottom of Slope	GFCI Ground Fault Circuit Interrupter	REQ Required
BOT Bottom	GO Grid Origin	REV Revision
BS Bottom of Step	GR Grade	RL Ridge Line
BVC Beginning of Vertical Curve	GRV Gate Valve	RO Rough Opening
BW Bottom of Wall	HB Hose Bibb	ROW Right of Way
	HC Handicap	R/W Right of Way
CAB Crushed Aggregate Base	HE Horizontal	RP Radius Point
CB Catch Basin	HORIZ Horizontal	S Sewer
CFS Cubic Feet per Second	HP High Point	SCH Schedule
CI Cast Iron	ID Inside Diameter	SCO Sewer Clean Out
CL Centerline	I Isolation Joint	SF Square Feet
CLR Clearance	IN Inch	SHT Sheet
CMB Crushed Miscellaneous Base	INW Invert	SIM Similar
CMP Compacted Metal Pipe	JB Junction Box	SPEC Specification
CMU Concrete Masonry Unit	IT Joint	SQ Square
CONC Concrete	LB Pound	STA Station
CONT Continuous	LOW Low Point	STD Standard
		STL Steel
		STRUC Structural
		SS Stainless Steel
		TC Top of Curb
		THK Thick
		TOB Top of Beam
		TOC Top of Cap
		TOG Top of Grade
		TOD Top of Drive
		TOR Top of Ramp
		TS Top of Slab
		TW Top of Wall
		UNO Unless Noted Otherwise
		V Vertical
		VERT Vertical
		W West
		W/W With
		W/O Without
		WC Water Closet
		WI Wrought Iron
		WP Waterproof
		WS Water Surface

CONSULTANT TEAM:

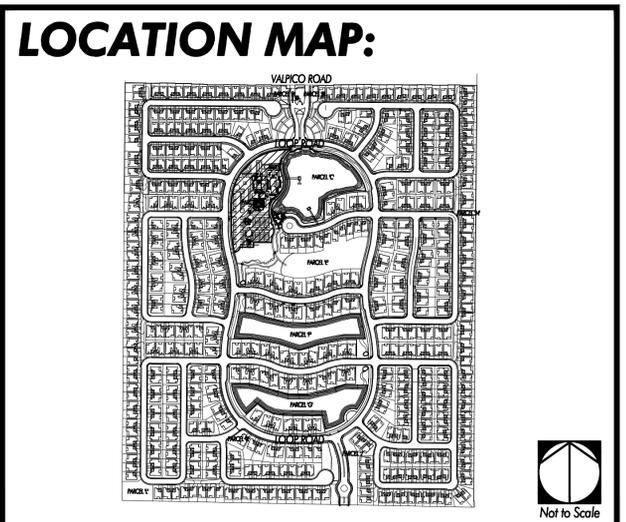
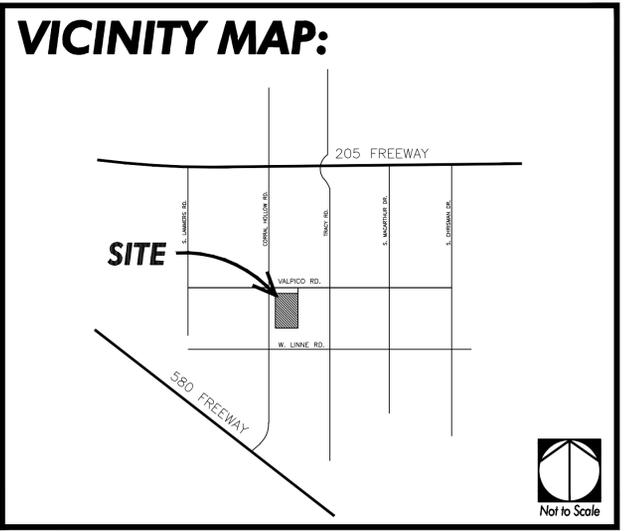
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SUBMITTALS:

Date	Description
05/09/22	100% DD Submittal
06/06/22	50% Construction Set
01/27/23	Planning - 1st Submittal Set
04/03/23	Planning - 2nd Submittal Set

SHEET INDEX:

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23	LI-1.02	Irrigation Plan			
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35	LP-1.01	Planting Plan			
36	LP-1.02	Planting Plan			



NOT FOR CONSTRUCTION



Sheet Title: **COVER SHEET**

Job No.: TB227-R

Scale: None

Drawn: FM, SC

Checked: -

Sheet Number: **CS-0.01**

TB227-R: Planning - 2nd Submittal Set (04-03-2023)

SITE AMENITIES SCHEDULE:

KEY	DESCRIPTION	MATERIAL	MFG.	MODEL #	SUPPLIER	COLOR	FINISH	DETAIL	COMMENTS
SA-1	BOCCIE BALL COURT:							8/LC-5.06	
	Frame	PIP Concrete	Custom	N/A	Custom	'Mesa Buff Davis 5447	TopCast 03		
	Surface	Decomposed Granite	N/A	See Comments	Bocce Court Pro (800) 215-7372	'Golden Pearl Bocce Blends'	Per Manufacturer		
SA-2	FIRE PIT:							7/LC-5.06	Counter material to match interiors.
	Base	TBD	Cooke Furniture	TBD	Cooke Furniture (888) 303-2453	TBD	TBD		
	Counter	-	Cooke Furniture	-	Cooke Furniture (888) 303-2453	'Wrought Iron II'	-		
	Fire Pit Media	Lava Rock with White Sphere Set	Cooke Furniture	-	Cooke Furniture (888) 303-2453	-	-		
	Glass Screen	Tempered Glass	Cooke Furniture	Starphire Glass	Cooke Furniture (888) 303-2453	None	None		
SA-3	PICKLEBALL COURT:							1/LC-5.03	
	Post	Steel	Wilson	511-241BKW	Wilson	'Black'	Factory		
	Net	N/A	Wilson	501-728W	Wilson	N/A	Factory		
	Tie Down Strap	N/A	Wilson	504-753AW	Wilson	N/A	N/A		
	Perimeter Court/ Border	Picklemaster Proclusion System	SportMaster	Over Asphalt	SportMaster (714) 771-7325	'Light Green'	N/A		
	Court	Picklemaster Proclusion System	SportMaster	Over Asphalt	SportMaster (714) 771-7325	'Dark Green'	N/A		
	Non-volley Zone	Picklemaster Proclusion System	SportMaster	Over Asphalt	SportMaster (714) 771-7325	'Sandstone'	N/A		
SA-4	TRASH ENCLOSURE:							8/LC-5.04, 4/LC-5.05	
	Wall	CMU Build-up	Orco Block	8'x8'x16'	Orco Block www.orco.com	TBD	Split-face		
	Cap	CMU Cap	Orco Block	8'x2'x16'	Orco Block www.orco.com	TBD	Split-face		
	Post and Beam	Structural Steel	Custom	N/A	Sherwin Williams www.sherwin-williams.com	'Cyberspace' SW7076	Painted; Semi-gloss		
	Lattice	Cedar Wood	Custom	N/A	TBD	TBD	TBD		

POOL SCHEDULE:

KEY	DESCRIPTION	MATERIAL	SUPPLIER	COLOR	FINISH	DETAIL	COMMENTS
PO-1	Swimming Pool Safety Equipment Storage Rack	Steel	N/A	'Cyberspace' SW7076	Metallized and Painted	5/LC-5.03	-
PO-2	Pool & Spa Tile	Nordic Shores Mosaic Pattern	NPT www.nptpool.com	'Volcanic' NSH-Volcanic	N/A	7/LC-5.01	Joint: 3/8" flush Grout: Custom Bldg. Products - #TBD
PO-3	Spa Shut-off Switch Controller	Tubular Steel	N/A	'Cyberspace' SW7076	Metallized and Painted	7/LC-5.03	-
PO-4	Etched Pool/Spa Depth Marker	None	N/A	Contrasting Color to Pool Coping	N/A	7/LC-5.01	-
PO-5	Pool & Spa Step/ Bench Tile	2'x2" Straight Stack Tile	NPT www.nptpool.com	'Navy Blue' HM-240	Glazed	7/LC-5.01	Joint: 3/8" flush Grout: Custom Bldg. Products - #TBD

SITE FURNITURE SCHEDULE:

KEY	DESCRIPTION	MFG.	MODEL #	SUPPLIER	SIZE	COLOR	FINISH	DETAIL	COMMENTS
SF-1	Bench	Alabama Sawyer	Beam Bench Large Reclaimed Wood Bench	Alabama Sawyer www.alasaw.com	6'	-	Clear	-	Install per manufacturer's guidelines
SF-2	Shade Structure at Pool Deck	Stur Design	CP-348-8C-40x 438-UW28-CV	Stur Design (855) 207-9669	Custom: 3-Section 8-Column	TBD	TBD	TBD	Install per manufacturer's guidelines
SF-3	Shade Structure at Dining Area	Stur Design	CP-278-6C-132x 492-UW28-CV	Stur Design (855) 207-9669	Custom: 2-Section 6-Column	TBD	TBD	TBD	Install per manufacturer's guidelines
SF-4	Lounge Chairs	TBD	TBD	TBD	TBD	TBD	TBD	-	Install per manufacturer's guidelines
SF-5	Picnic Tables and Chairs	TBD	TBD	TBD	TBD	TBD	TBD	-	Install per manufacturer's guidelines

PAVING SCHEDULE:

KEY	DESCRIPTION	COLOR	FINISH	MFG./SUPPLIER	PATTERN	THK.	REINF.	CEMENT	BASE	JOINTING	DETAIL	COMMENTS
P-1	Stamped Asphalt	TBD	Stamp	Custom	TBD	Per Geotech	Per Geotech Report	Per Geotech Report	Per Geotech Report	N/A	Per Civil	-
P-2	Concrete Paving	'Mesa Buff Davis 5447	TopCast 03	Davis Colors (323) 269-7311	Per Plan	4"	Per Civil	Per Geotech Report	Per Geotech Report	1/4" Sawcut	1,2/LC-5.01	-
P-3	Curb at Pool Enclosure Fence	Natural	Broom	N/A	None	Per Detail	Per Detail	Per Geotech Report	Per Geotech Report	1/4" Sawcut at 10'-0" o.c.	4/LC-5.02	-
P-4	Concrete Pavers	'Victorian' Melville Plank	N/A	Belgard (909) 355-6422	See Comments	60 mm	Per Geotech Report	Per Geotech Report	Per Geotech Report	Sanded	3/LC-5.01	Large and Small staggered running bond
P-5	Pool and Spa Coping	'Pebble' See Comments	Sandstone	Precast Innovations (714) 921-4060	PC 520	Per Pool Consult.	N/A	N/A	N/A	1/4" Grout to match	7/LC-5.01	Color to match paving Davis 'Mesa Buff'
P-6	Concrete Paving at Trash Enclosure	Natural	Medium Broom	N/A	Per Plan	6"	Per Geotech Report	Per Geotech Report	Per Geotech Report	1/4" Tooled	1,2/LC-5.01	-
P-7	Landscape Edging	N/A	Steel	Coyote Landscape (800) 321-1115	Rowedge 4" rolled; 1/8 th.	2-1/2"	N/A	N/A	N/A	N/A	5/LC-5.01	-
P-8	Decomposed Granite	'Mojave Gold'	Stabilized	Southwest Boulder (760) 328-5877	N/A	3"	N/A	N/A	Compacted Native	N/A	4/LC-5.01	-
P-9	Concrete Paving at Boardwalk	'Mesa Buff Davis 5447	TopCast 03	Davis Colors (323) 269-7311	Per Plan	Per Civil	Per Civil	Per Civil	Per Civil	1/4" Sawcut	1,2/LC-5.01	-
P-10	Concrete Steps	'Mesa Buff Davis 5447	TopCast 03	Davis Colors (323) 269-7311	Per Detail	Per Detail	Per Detail	Per Geotech Report	Per Geotech Report	Per Detail	TBD	-
P-11	Concrete Curb	Natural	Broom	N/A	None	Per Detail	Per Detail	Per Geotech Report	Per Geotech Report	1/4" Sawcut at 10'-0" o.c.	TBD	-

Footnotes:
 1. Provide (2) 3x3 mock-ups to be approved by Landscape Architect and Owner. Mock-up to remain on-site for duration of project construction.
 2. Use Techniseal joint stabilizer.
 3. Contractor to confirm paver size and thickness are as noted on the Construction Schedule. Pavers to be set even and level to meet all ADA code and requirements.
 4. Tile paving to be stagger, align and lay out to match interiors.

WALL SCHEDULE:

KEY	DESCRIPTION	HEIGHT	WIDTH	MATERIAL	COLOR	FINISH	CAP	CAP COLOR	CAP FINISH	SUPPLIER	DETAIL	COMMENTS
W-1	Pool Enclosure Wall	6'-0"	8'	CMU block 8'x8'x16'	TBD	Split-face	8'x2'x16'	TBD	Split-face	Orco Block www.orco.com	1/LC-5.02, 3/S3.02	Grout: OBP 'TBD'
W-2	Low Wall	2'-0"	10'	CMU block 12'x12'x16'	TBD	Split-face	10'x2'x16'	TBD	Split-face	Orco Block www.orco.com	3/LC-5.02 5/S3.02	Grout: OBP 'TBD'
W-3	Wall at Ramp	Per Detail	Per Detail	CMU block 8'x8'x16'	TBD	Split-face	8'x2'x16'	TBD	Split-face	Orco Block www.orco.com	TBD	Grout: OBP 'TBD'
W-4	Wall at Steps	Per Detail	Per Detail	CMU block 8'x8'x16'	TBD	Split-face	8'x2'x16'	TBD	Split-face	Orco Block www.orco.com	TBD	Grout: OBP 'TBD'

FENCE SCHEDULE:

KEY	DESCRIPTION	HEIGHT	MATERIAL	COLOR	FINISH	DETAIL	COMMENTS
F-1	Pool Enclosure Fence	5'-6"	Tubular Steel	'Cyberspace' SW7076	Metallized and Painted	4/LC-5.02, 8/S3.01	-
F-2	Pickleball Court Fence	Per Detail	Galvanized Steel Chain Link	'Dark Green'	Vinyl Coated	4/LC-5.03	-
F-3	Decorative Fence at Courtyard	5'-0"	Kebony Wood and Structural Steel	Natural 'Cyberspace' SW7076	Natural Metallized and Painted	8/LC-5.03 7/S3.01	-

RAILING SCHEDULE:

KEY	DESCRIPTION	HEIGHT	MATERIAL	COLOR	FINISH	DETAIL	COMMENTS
R-1	Handrail at Steps	Per Detail	Tubular Steel	'Cyberspace' SW7076	Metallized and Painted	x/LC-5.04	-
R-2	Handrail at Ramp	Per Detail	Tubular Steel	'Cyberspace' SW7076	Metallized and Painted	x/LC-5.04	-

GATE SCHEDULE:

KEY	DESCRIPTION	HGT./WIDTH	MATERIAL	COLOR	FINISH	HINGE	LOCKSET	SUPPLIER	DETAIL	COMMENTS
G-1	Pool Enclosure Gate	Per Detail	Tubular Steel	'Cyberspace' SW7076	Metallized and Painted	Per Detail	Per Detail	Per Detail	8/LC-5.02 9/S3.01	-
G-2	Trash Enclosure Gate	Per Detail	Tubular Steel Steel Decking	'Cyberspace' SW7076	Metallized and Painted	Barrel Hinge #44-2003	Per Detail	King Architectural (714) 7398-4760	4/LC-5.05	-
G-3	Gate at Courtyard	Per Detail	Kebony Wood	N/A	Natural	Per Detail	Per Detail	Per Detail	8/LC-5.03	-
G-4	Gate at Pickleball Court	Per Detail	Galvanized Steel Chain Link	'Dark Green'	Vinyl Coated	Per Detail	Per Detail	Per Detail	8/LC-5.05	-



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Sheet Title:
CONSTRUCTION SCHEDULES

Job No. : TB227-R
 Scale: None
 Drawn: XX
 Checked: -

Sheet Number:

LC-0.01

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Sheet Title:

**CONSTRUCTION
SCHEDULES and NOTES**

Job No. : TB227-R
Scale: None
Drawn: XX (Initials)
Checked: -

Sheet Number:

LC-0.02

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TB227-R: Planning - 2nd Submittal Set (04-03-2023)

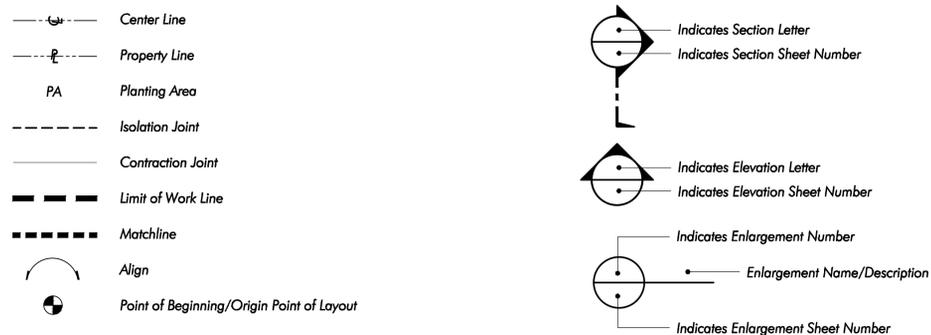
CONSTRUCTION KEY NOTES:

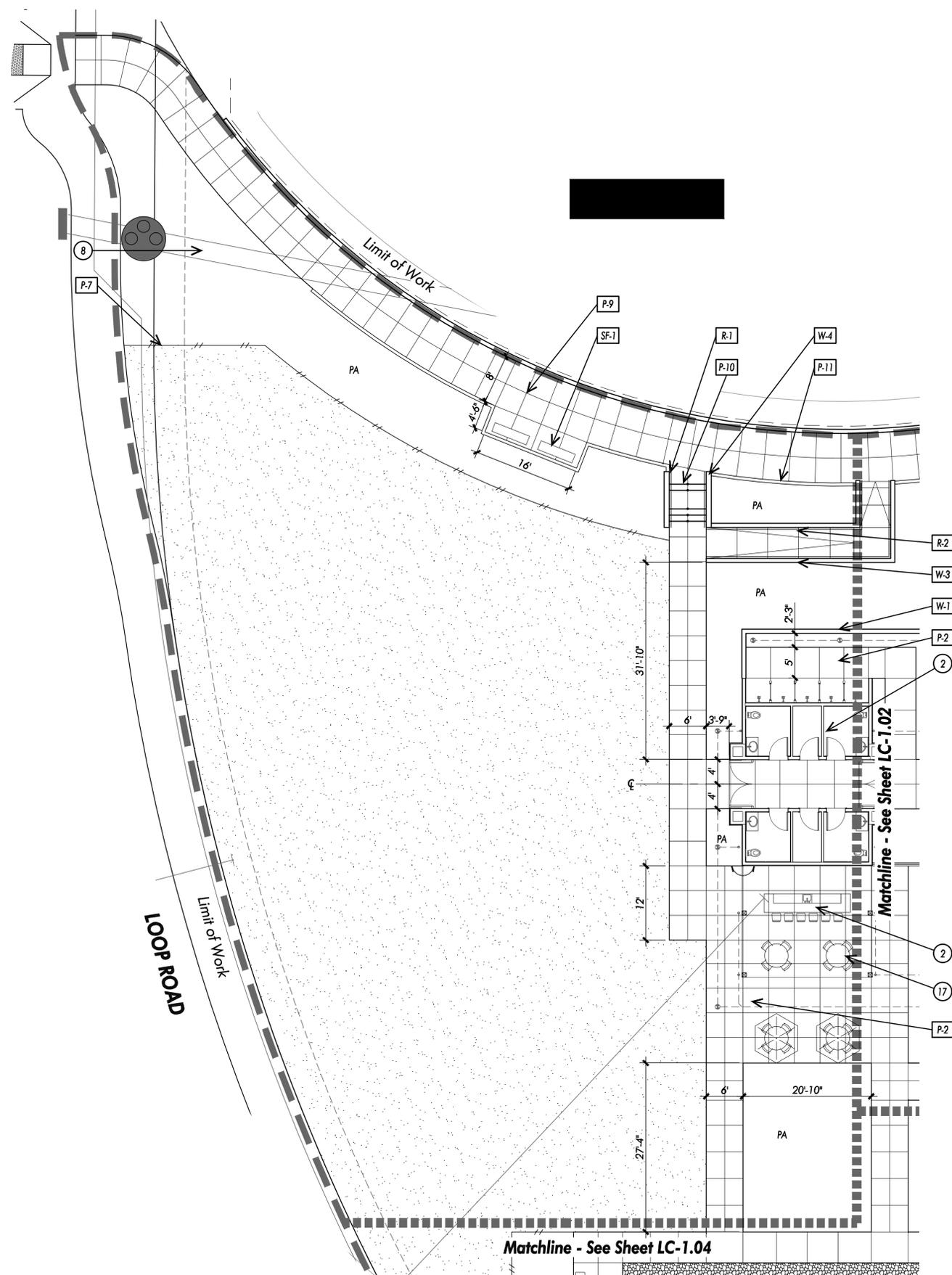
- ① Curb and gutter - per Civil Engineer
- ② Building - per Architect
- ③ Street light - per Civil Engineer
- ④ Parking Lot - per Civil Engineer
- ⑤ ADA Ramp - per Civil Engineer
- ⑥ Pool Slot Drain - per Civil Engineer
- ⑦ Transformer / Electrical Structure - per Dry Utilities Consultant
- ⑧ Storm Drain - per Civil Engineer
- ⑨ Fire Hydrant - per Civil Engineer
- ⑩ Catch Basin - per Civil Engineer
- ⑪ Pool Cut-off Wall - per Civil Engineer and Geotechnical Report
- ⑫ Fence and Gate - per FarmScapes
- ⑬ Shower Flooring - per Architect
- ⑭ Hardscape - per Interior Designer
- ⑮ Pool Safety Signage - per Signage Consultant
- ⑯ Shovel Cut Landscape Edging
- ⑰ Furniture - per Interior Designer
- ⑱ Pool/ Spa Lift - per Pool Consultant

GENERAL CONSTRUCTION NOTES:

1. Conform Work to requirements of latest adopted edition of Uniform Building Code and applicable local and state codes, plans, specifications, ordinances and regulations.
2. Prior to beginning work, become familiar with existing site conditions, including underground utilities, and above grade features such as grading, walls, fences, structures, etc. Contractor will be held responsible for his own damage.
3. Upon being awarded Contract, make necessary arrangements to insure that materials, supplies, and manpower will be available when needed to construct this project in an orderly and timely fashion.
4. Do not begin work until Contractor's "Construction Set" drawings are current and have required public agency approvals.
5. Verify property lines and limits of work prior to commencing work.
6. Refer to project specifications for additional information.
7. Obtain necessary permits and pay for related inspection fees required to install Work.
8. Written dimensions take precedence over scaling of Drawings.
9. Where conflicts occur between Drawings and actual field conditions, notify Owner's Authorized Representative immediately for clarification. Failure to provide notification may hold Contractor liable for costs incurred to rectify problem, if required.
10. Prior to installing paving, refer to the project's geotechnical report. Report discrepancies between the geotechnical report's recommendations and information noted in the Paving Schedule.
11. Do not willfully proceed with construction operations when it is obvious that unknown obstructions and grade differences exist that may not have been known during the design process. Bring these conditions immediately to attention of Owner's Authorized Representative for resolution. Assume full responsibility for costs incurred and required modifications due to lack of providing such notification.
12. Be responsible for coordinating work with Owner, Owner's Authorized Representative, General Contractor and his sub-contractor's, public agencies, and project design consultants.
13. Ensure that rough grade has been accepted by Owner prior to beginning work.
14. Ensure that fine grades have been established correctly and approved by Owner's Authorized Representative prior to beginning hardscape work.
15. Provide the following grade drops from paving finish surface: Turf areas - 1 1/2", groundcover/shrub areas - 3".
16. Ensure that Contractor-installed underground elements such as drainlines, irrigation mainlines and laterals, electrical conduit, sleeves, etc. are in place, operational, and approved by public agency inspection prior to installation of hardscape work.
17. Paving mock-ups may be required on this project - refer to Paving Schedule and specifications for additional information.
18. Ensure that curved edges such as walkways, headerboard, and mowstrips have smooth and continuous curves.
19. Notify Owner's Authorized Representative with proper amount of lead-time as indicated in specifications prior to a Contractor-requested site meeting. Failure to provide appropriate lead time may result in Contractor being backcharged for Owner's Authorized Representative's time.
20. Refer to Civil Engineer's drawings for precise grading, step quantities, and drainage information.
21. Dimensions are to the face of CMU or studs, unless indicated otherwise.
22. Provide isolation joints when paving abuts vertical edges such as walls, steps, curbs, and columns.

SYMBOLS LEGEND:





SITE AMENITIES SCHEDULE:

KEY	DESCRIPTION	DETAIL
SA-1	Bocce Ball Court	8/LC-5.06
SA-2	Fire Pit	7/LC-5.06
SA-3	Pickleball Court	1/LC-5.03
SA-4	Trash Enclosure	8/LC-5.04, 4/LC-5.05

PAVING SCHEDULE:

KEY	DESCRIPTION	DETAIL
P-1	Stamped Asphalt	Per Civil
P-2	Concrete Paving	1,2/LC-5.01
P-3	Curb at Pool Enclosure Fence	4/LC-5.02
P-4	Concrete Pavers	3/LC-5.01
P-5	Pool and Spa Coping	7/LC-5.01
P-6	Concrete Paving at Trash Enclosure	1,2/LC-5.01
P-7	Landscape Edging	5/LC-5.01
P-8	Decomposed Granite	4/LC-5.01
P-9	Concrete Paving at Boardwalk	TBD
P-10	Concrete Steps	TBD
P-11	Concrete Curb	TBD

WALL SCHEDULE:

KEY	DESCRIPTION	DETAIL
W-1	Pool Enclosure Wall	1/LC-5.02
W-2	Low Wall	3/LC-5.02
W-3	Wall at Ramp	TBD
W-4	Wall at Steps	TBD

FENCE SCHEDULE:

KEY	DESCRIPTION	DETAIL
F-1	Pool Enclosure Fence	4/LC-5.02
F-2	Pickleball Court Fence	4/LC-5.03
F-3	Decorative Fence at Courtyard	8/LC-5.03

RAILING SCHEDULE:

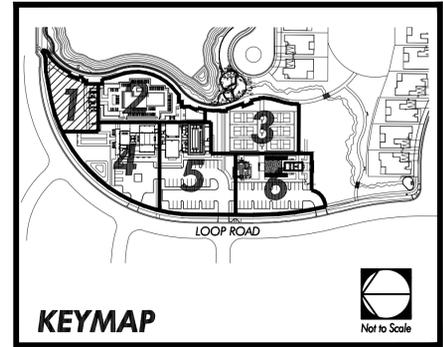
KEY	DESCRIPTION	DETAIL
R-1	Handrail at Steps	x/LC-5.04
R-2	Handrail at Ramp	x/LC-5.04

GATE SCHEDULE:

KEY	DESCRIPTION	DETAIL
G-1	Pool Enclosure Gate	8/LC-5.02
G-2	Trash Enclosure Gate	4/LC-5.05
G-3	Gate at Courtyard	8/LC-5.03
G-4	Gate at Pickleball Court	8/LC-5.05

SITE FURNITURE SCHEDULE:

KEY	DESCRIPTION	DETAIL
SF-1	Bench	-
SF-2	Shade Structure at Pool Deck	TBD
SF-3	Shade Structure at Dining Area	TBD
SF-4	Lounge Chairs	-
SF-5	Picnic Tables and Chairs	-



NOTES:
 1. Refer to Sheets LC-0.01 and LC-0.02 for Construction Schedules and Notes.



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Toll Brothers

Date	Revision



Sheet Title:
CONSTRUCTION PLAN

Job No. : TB227-R
 Scale: 1" = 10'
 Drawn: FM, SC
 Checked: -

Sheet Number:
LC-1.01

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CONSTRUCTION PLAN

Job No.: TB227-R
Scale: 1" = 10'
Drawn: FM, SC
Checked: -

Sheet Number:
LC-1.02

SITE AMENITIES SCHEDULE:

KEY	DESCRIPTION	DETAIL
SA-1	Bocce Ball Court	8/LC-5.06
SA-2	Fire Pit	7/LC-5.06
SA-3	Pickleball Court	1/LC-5.03
SA-4	Trash Enclosure	8/LC-5.04, 4/LC-5.05

PAVING SCHEDULE:

KEY	DESCRIPTION	DETAIL
P-1	Stamped Asphalt	Per Civil
P-2	Concrete Paving	1,2/LC-5.01
P-3	Curb at Pool Enclosure Fence	4/LC-5.02
P-4	Concrete Pavers	3/LC-5.01
P-5	Pool and Spa Coping	7/LC-5.01
P-6	Concrete Paving at Trash Enclosure	1,2/LC-5.01
P-7	Landscape Edging	5/LC-5.01
P-8	Decomposed Granite	4/LC-5.01
P-9	Concrete Paving at Boardwalk	TBD
P-10	Concrete Steps	TBD
P-11	Concrete Curb	TBD

WALL SCHEDULE:

KEY	DESCRIPTION	DETAIL
W-1	Pool Enclosure Wall	1/LC-5.02
W-2	Low Wall	3/LC-5.02
W-3	Wall at Ramp	TBD
W-4	Wall at Steps	TBD

FENCE SCHEDULE:

KEY	DESCRIPTION	DETAIL
F-1	Pool Enclosure Fence	4/LC-5.02
F-2	Pickleball Court Fence	4/LC-5.03
F-3	Decorative Fence at Courtyard	8/LC-5.03

RAILING SCHEDULE:

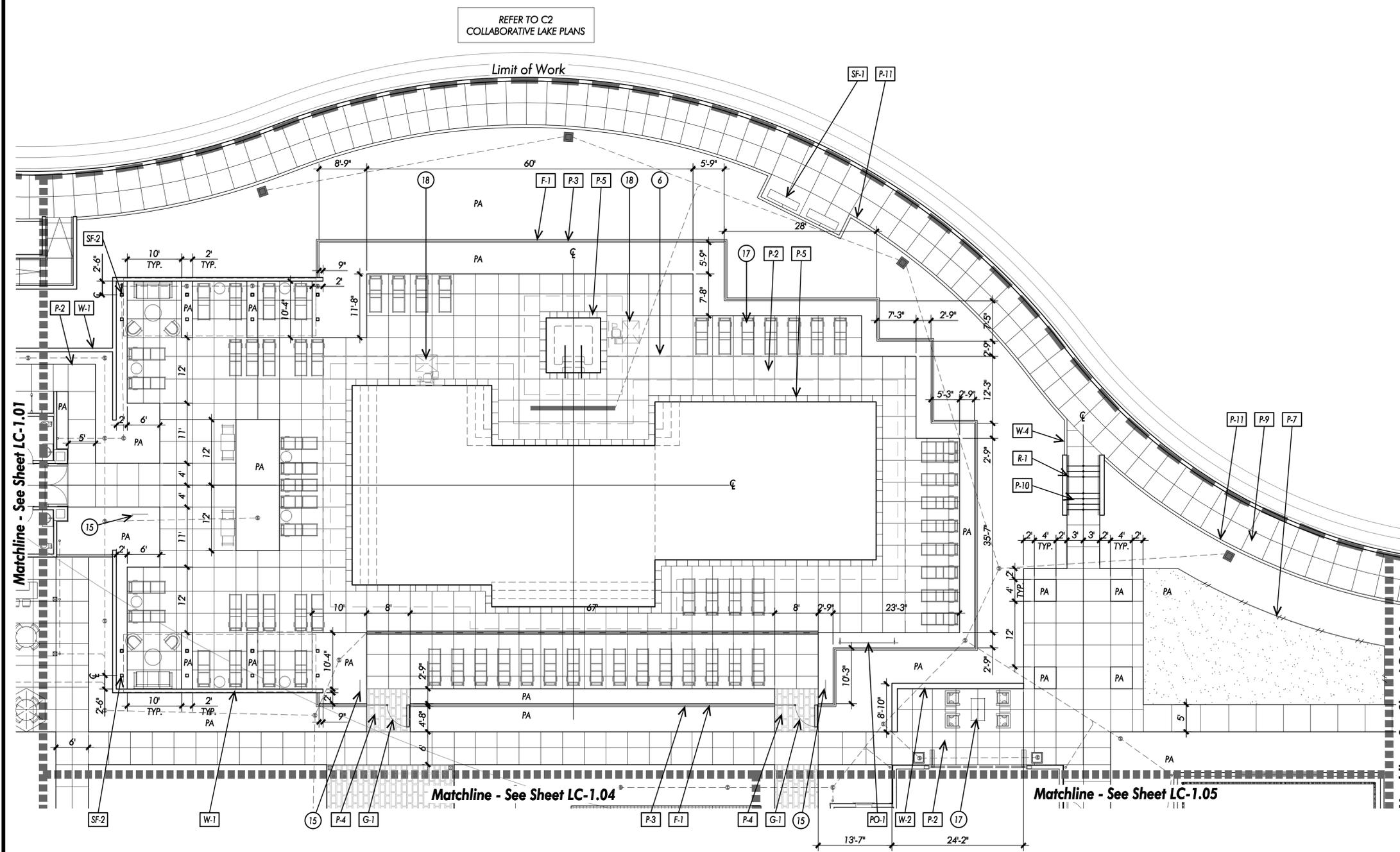
KEY	DESCRIPTION	DETAIL
R-1	Handrail at Steps	x/LC-5.04
R-2	Handrail at Ramp	x/LC-5.04

GATE SCHEDULE:

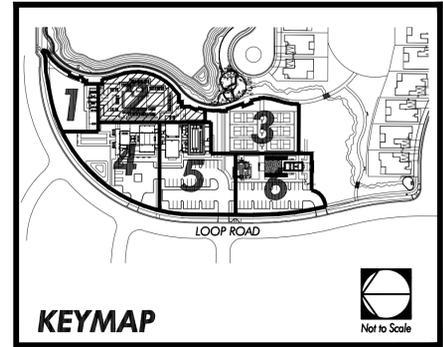
KEY	DESCRIPTION	DETAIL
G-1	Pool Enclosure Gate	8/LC-5.02
G-2	Trash Enclosure Gate	4/LC-5.05
G-3	Gate at Courtyard	8/LC-5.03
G-4	Gate at Pickleball Court	8/LC-5.05

SITE FURNITURE SCHEDULE:

KEY	DESCRIPTION	DETAIL
SF-1	Bench	-
SF-2	Shade Structure at Pool Deck	TBD
SF-3	Shade Structure at Dining Area	TBD
SF-4	Lounge Chairs	-
SF-5	Picnic Tables and Chairs	-



NOTES:
1. Refer to Sheets LC-0.01 and LC-0.02 for Construction Schedules and Notes.



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Sheet Title:

**CONSTRUCTION
PLAN**

Job No. : TB227-R
Scale: 1" = 10'
Drawn: FM, SC
Checked: -

Sheet Number:

LC-1.03

SITE AMENITIES SCHEDULE:

KEY	DESCRIPTION	DETAIL
SA-1	Booce Ball Court	8/LC-5.06
SA-2	Fire Pit	7/LC-5.06
SA-3	Pickleball Court	1/LC-5.03
SA-4	Trash Enclosure	8/LC-5.04, 4/LC-5.05

PAVING SCHEDULE:

KEY	DESCRIPTION	DETAIL
P-1	Stamped Asphalt	Per Civil
P-2	Concrete Paving	1,2/LC-5.01
P-3	Curb at Pool Enclosure Fence	4/LC-5.02
P-4	Concrete Pavers	3/LC-5.01
P-5	Pool and Spa Coping	7/LC-5.01
P-6	Concrete Paving at Trash Enclosure	1,2/LC-5.01
P-7	Landscape Edging	5/LC-5.01
P-8	Decomposed Granite	4/LC-5.01
P-9	Concrete Paving at Boardwalk	TBD
P-10	Concrete Steps	TBD
P-11	Concrete Curb	TBD

WALL SCHEDULE:

KEY	DESCRIPTION	DETAIL
W-1	Pool Enclosure Wall	1/LC-5.02
W-2	Low Wall	3/LC-5.02
W-3	Wall at Ramp	TBD
W-4	Wall at Steps	TBD

FENCE SCHEDULE:

KEY	DESCRIPTION	DETAIL
F-1	Pool Enclosure Fence	4/LC-5.02
F-2	Pickleball Court Fence	4/LC-5.03
F-3	Decorative Fence at Courtyard	8/LC-5.03

RAILING SCHEDULE:

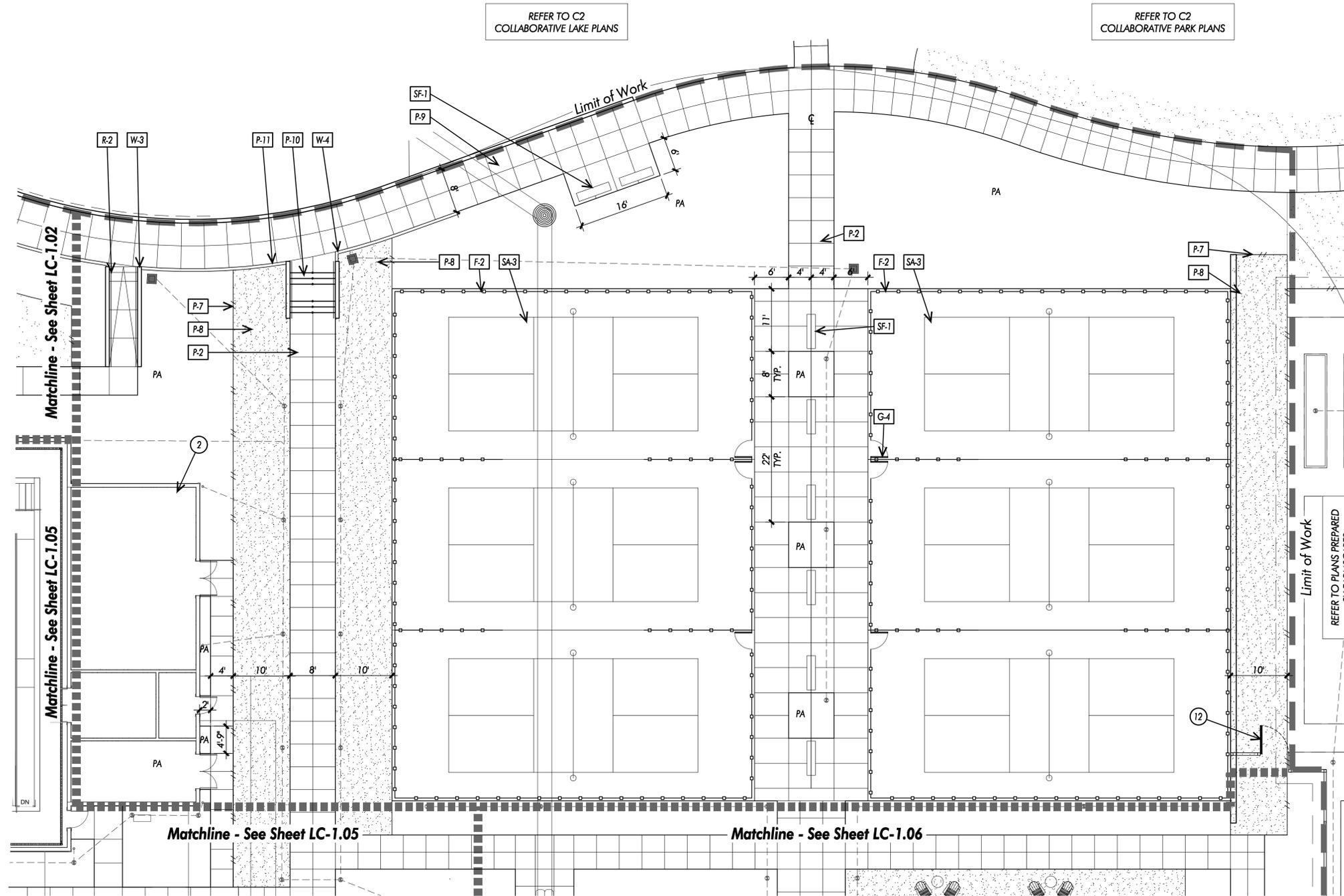
KEY	DESCRIPTION	DETAIL
R-1	Handrail at Steps	x/LC-5.04
R-2	Handrail at Ramp	x/LC-5.04

GATE SCHEDULE:

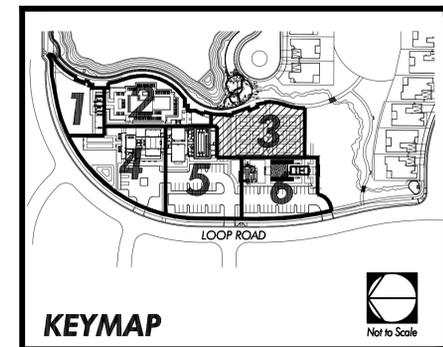
KEY	DESCRIPTION	DETAIL
G-1	Pool Enclosure Gate	8/LC-5.02
G-2	Trash Enclosure Gate	4/LC-5.05
G-3	Gate at Courtyard	8/LC-5.03
G-4	Gate at Pickleball Court	8/LC-5.05

SITE FURNITURE SCHEDULE:

KEY	DESCRIPTION	DETAIL
SF-1	Bench	-
SF-2	Shade Structure at Pool Deck	TBD
SF-3	Shade Structure at Dining Area	TBD
SF-4	Lounge Chairs	-
SF-5	Picnic Tables and Chairs	-



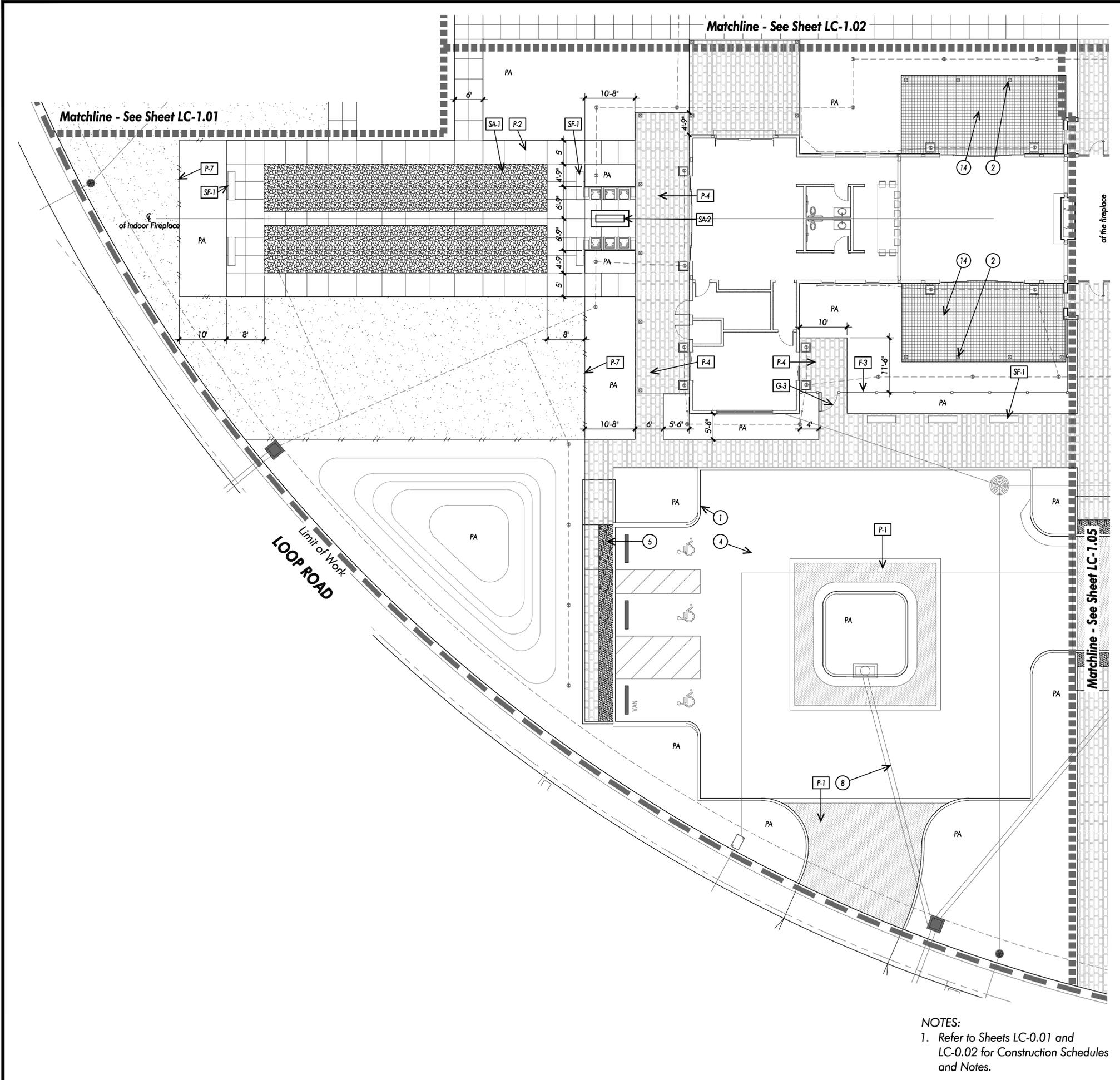
- NOTES:
1. Refer to Sheet LC-0.01 and LC-.002 for Construction Schedules and Notes.



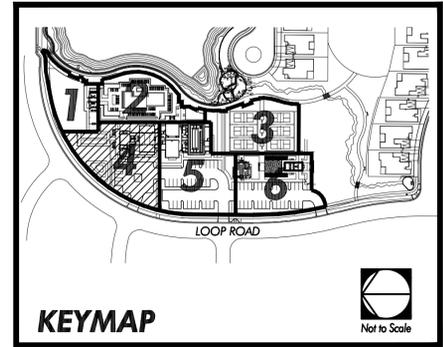
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TB227-R: Planning - 2nd Submittal Set (04-03-2023)



NOTES:
 1. Refer to Sheets LC-0.01 and LC-0.02 for Construction Schedules and Notes.



SITE AMENITIES SCHEDULE:

KEY	DESCRIPTION	DETAIL
SA-1	Bocce Ball Court	8/LC-5.06
SA-2	Fire Pit	7/LC-5.06
SA-3	Pickleball Court	1/LC-5.03
SA-4	Trash Enclosure	8/LC-5.04, 4/LC-5.05

PAVING SCHEDULE:

KEY	DESCRIPTION	DETAIL
P-1	Stamped Asphalt	Per Civil
P-2	Concrete Paving	1,2/LC-5.01
P-3	Curb at Pool Enclosure Fence	4/LC-5.02
P-4	Concrete Pavers	3/LC-5.01
P-5	Pool and Spa Coping	7/LC-5.01
P-6	Concrete Paving at Trash Enclosure	1,2/LC-5.01
P-7	Landscape Edging	5/LC-5.01
P-8	Decomposed Granite	4/LC-5.01
P-9	Concrete Paving at Boardwalk	TBD
P-10	Concrete Steps	TBD
P-11	Concrete Curb	TBD

WALL SCHEDULE:

KEY	DESCRIPTION	DETAIL
W-1	Pool Enclosure Wall	1/LC-5.02
W-2	Low Wall	3/LC-5.02
W-3	Wall at Ramp	TBD
W-4	Wall at Steps	TBD

FENCE SCHEDULE:

KEY	DESCRIPTION	DETAIL
F-1	Pool Enclosure Fence	4/LC-5.02
F-2	Pickleball Court Fence	4/LC-5.03
F-3	Decorative Fence at Courtyard	8/LC-5.03

RAILING SCHEDULE:

KEY	DESCRIPTION	DETAIL
R-1	Handrail at Steps	x/LC-5.04
R-2	Handrail at Ramp	x/LC-5.04

GATE SCHEDULE:

KEY	DESCRIPTION	DETAIL
G-1	Pool Enclosure Gate	8/LC-5.02
G-2	Trash Enclosure Gate	4/LC-5.05
G-3	Gate at Courtyard	8/LC-5.03
G-4	Gate at Pickleball Court	8/LC-5.05

SITE FURNITURE SCHEDULE:

KEY	DESCRIPTION	DETAIL
SF-1	Bench	-
SF-2	Shade Structure at Pool Deck	TBD
SF-3	Shade Structure at Dining Area	TBD
SF-4	Lounge Chairs	-
SF-5	Picnic Tables and Chairs	-



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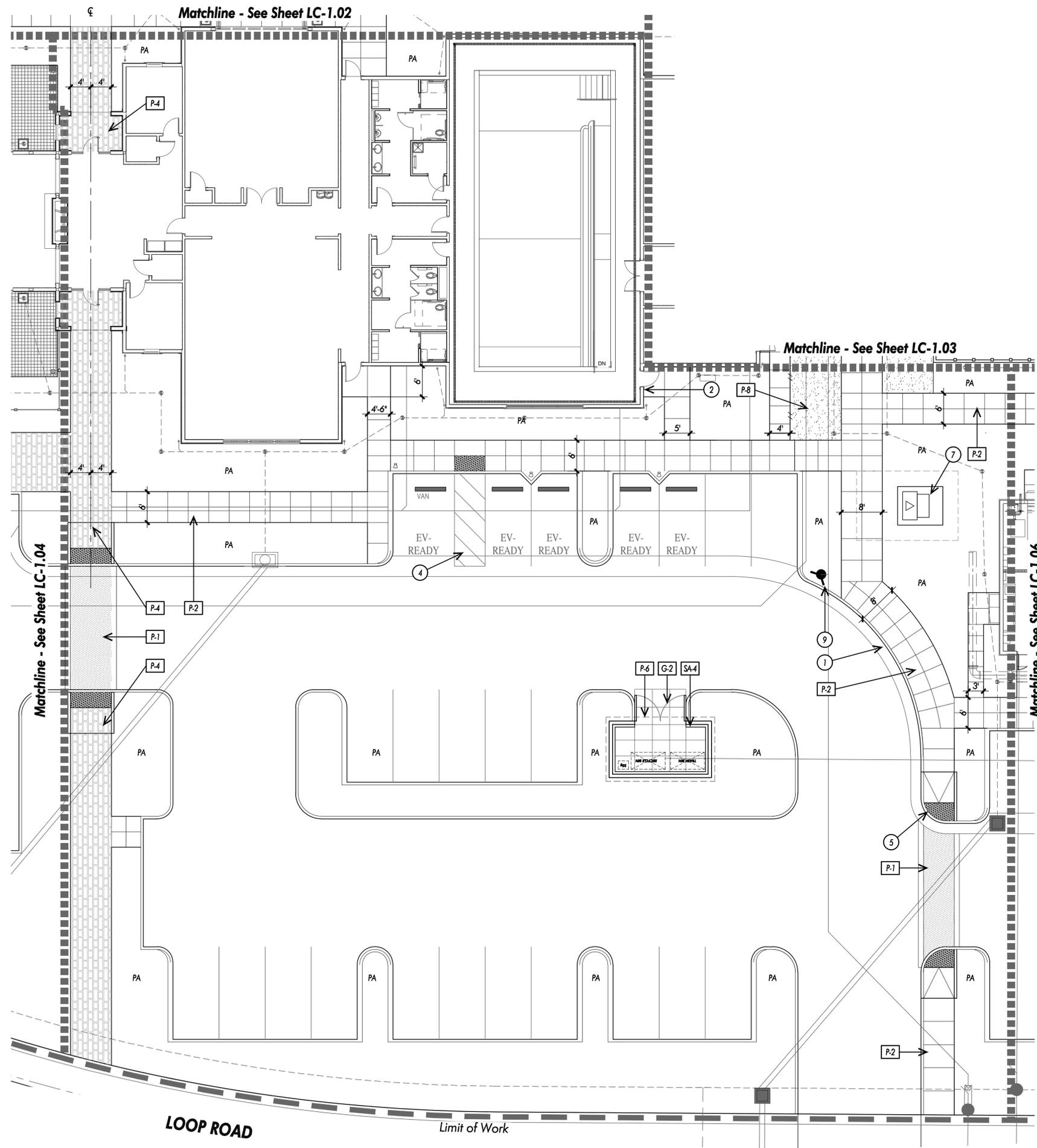
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CONSTRUCTION PLAN

Job No. : TB227-R
 Scale: 1" = 10'
 Drawn: FM, SC
 Checked: -

Sheet Number:
LC-1.04

NOT FOR CONSTRUCTION

TB227-R: Planning - 2nd Submittal Set (04-03-2023)



SITE AMENITIES SCHEDULE:

KEY	DESCRIPTION	DETAIL
SA-1	Booce Ball Court	8/LC-5.06
SA-2	Fire Pit	7/LC-5.06
SA-3	Pickleball Court	1/LC-5.03
SA-4	Trash Enclosure	8/LC-5.04, 4/LC-5.05

PAVING SCHEDULE:

KEY	DESCRIPTION	DETAIL
P-1	Stamped Asphalt	Per Civil
P-2	Concrete Paving	1,2/LC-5.01
P-3	Curb at Pool Enclosure Fence	4/LC-5.02
P-4	Concrete Pavers	3/LC-5.01
P-5	Pool and Spa Coping	7/LC-5.01
P-6	Concrete Paving at Trash Enclosure	1,2/LC-5.01
P-7	Landscape Edging	5/LC-5.01
P-8	Decomposed Granite	4/LC-5.01
P-9	Concrete Paving at Boardwalk	TBD
P-10	Concrete Steps	TBD
P-11	Concrete Curb	TBD

WALL SCHEDULE:

KEY	DESCRIPTION	DETAIL
W-1	Pool Enclosure Wall	1/LC-5.02
W-2	Low Wall	3/LC-5.02
W-3	Wall at Ramp	TBD
W-4	Wall at Steps	TBD

FENCE SCHEDULE:

KEY	DESCRIPTION	DETAIL
F-1	Pool Enclosure Fence	4/LC-5.02
F-2	Pickleball Court Fence	4/LC-5.03
F-3	Decorative Fence at Courtyard	8/LC-5.03

RAILING SCHEDULE:

KEY	DESCRIPTION	DETAIL
R-1	Handrail at Steps	x/LC-5.04
R-2	Handrail at Ramp	x/LC-5.04

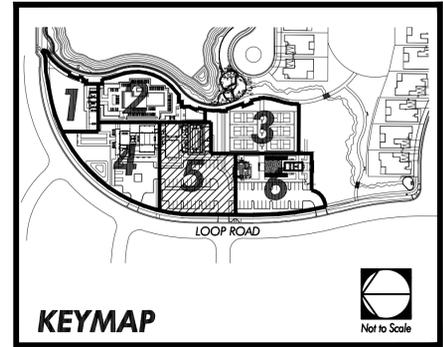
GATE SCHEDULE:

KEY	DESCRIPTION	DETAIL
G-1	Pool Enclosure Gate	8/LC-5.02
G-2	Trash Enclosure Gate	4/LC-5.05
G-3	Gate at Courtyard	8/LC-5.03
G-4	Gate at Pickleball Court	8/LC-5.05

SITE FURNITURE SCHEDULE:

KEY	DESCRIPTION	DETAIL
SF-1	Bench	-
SF-2	Shade Structure at Pool Deck	TBD
SF-3	Shade Structure at Dining Area	TBD
SF-4	Lounge Chairs	-
SF-5	Picnic Tables and Chairs	-

NOTES:
1. Refer to Sheets LC-0.01 and LC-0.02 for Construction Schedules and Notes.



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**Regency at Tracy Lakes
Active Adult Amenity Center**
Loop Road West, Tracy, CA
(Tract #3917)

Toll Brothers

Date	Revision



Sheet Title:
CONSTRUCTION PLAN

Job No. : TB227-R
Scale: 1" = 10'
Drawn: FM, SC
Checked: -

Sheet Number:
LC-1.05

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TB227-R: Planning - 2nd Submittal Set (04-03-2023)



Sheet Title:

**CONSTRUCTION
PLAN**

Job No. : TB227-R
Scale: 1" = 10'
Drawn: FM, SC
Checked: -

Sheet Number:

LC-1.06

SITE AMENITIES SCHEDULE:

KEY	DESCRIPTION	DETAIL
SA-1	Bocce Ball Court	8/LC-5.06
SA-2	Fire Pit	7/LC-5.06
SA-3	Pickleball Court	1/LC-5.03
SA-4	Trash Enclosure	8/LC-5.04, 4/LC-5.05

PAVING SCHEDULE:

KEY	DESCRIPTION	DETAIL
P-1	Stamped Asphalt	Per Civil
P-2	Concrete Paving	1,2/LC-5.01
P-3	Curb at Pool Enclosure Fence	4/LC-5.02
P-4	Concrete Pavers	3/LC-5.01
P-5	Pool and Spa Coping	7/LC-5.01
P-6	Concrete Paving at Trash Enclosure	1,2/LC-5.01
P-7	Landscape Edging	5/LC-5.01
P-8	Decomposed Granite	4/LC-5.01
P-9	Concrete Paving at Boardwalk	TBD
P-10	Concrete Steps	TBD
P-11	Concrete Curb	TBD

WALL SCHEDULE:

KEY	DESCRIPTION	DETAIL
W-1	Pool Enclosure Wall	1/LC-5.02
W-2	Low Wall	3/LC-5.02
W-3	Wall at Ramp	TBD
W-4	Wall at Steps	TBD

FENCE SCHEDULE:

KEY	DESCRIPTION	DETAIL
F-1	Pool Enclosure Fence	4/LC-5.02
F-2	Pickleball Court Fence	4/LC-5.03
F-3	Decorative Fence at Courtyard	8/LC-5.03

RAILING SCHEDULE:

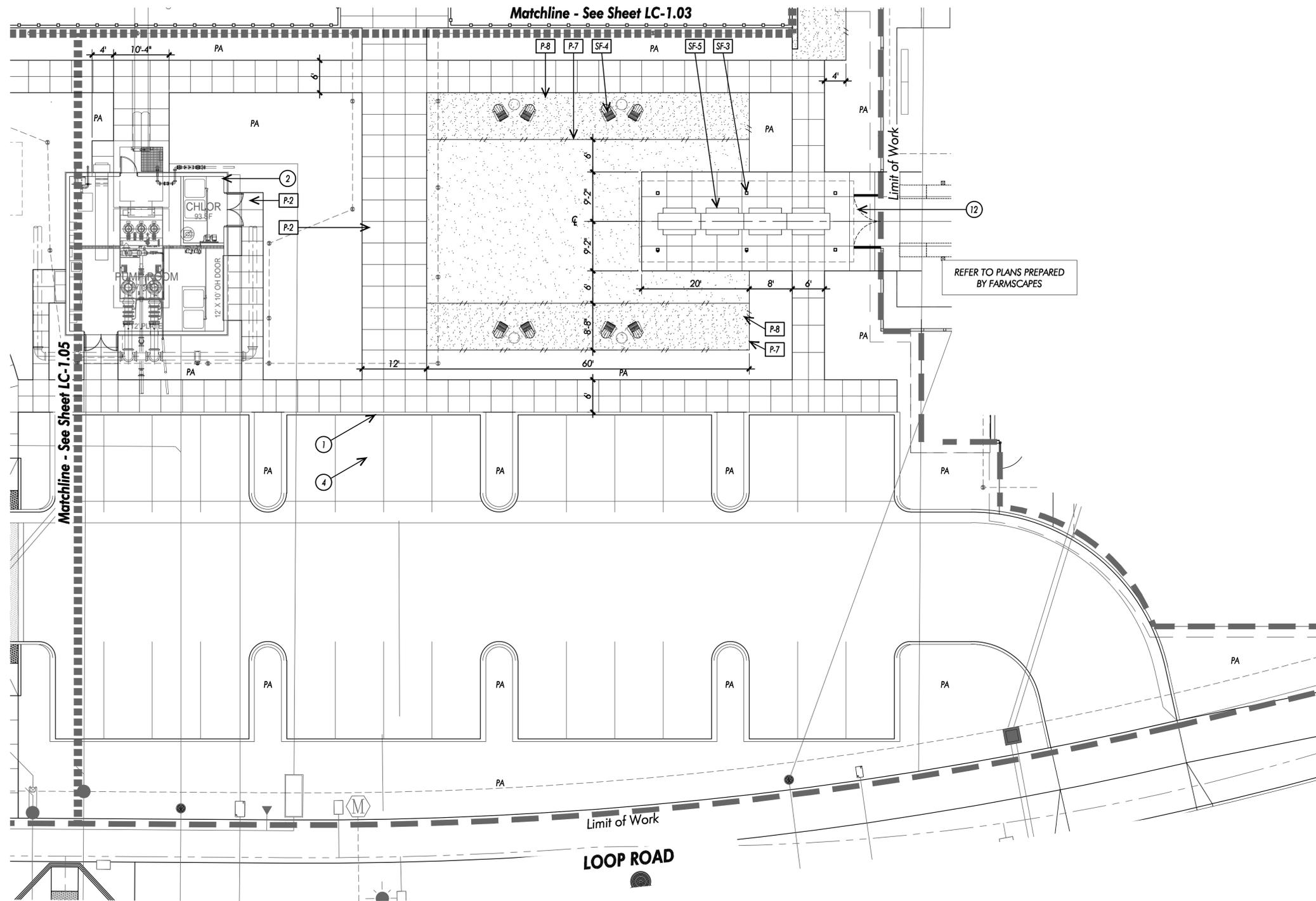
KEY	DESCRIPTION	DETAIL
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R-2	Handrail at Ramp	x/LC-5.04

GATE SCHEDULE:

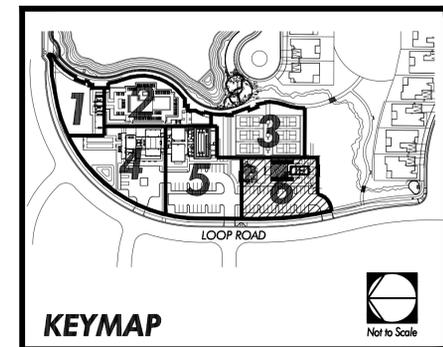
KEY	DESCRIPTION	DETAIL
G-1	Pool Enclosure Gate	8/LC-5.02
G-2	Trash Enclosure Gate	4/LC-5.05
G-3	Gate at Courtyard	8/LC-5.03
G-4	Gate at Pickleball Court	8/LC-5.05

SITE FURNITURE SCHEDULE:

KEY	DESCRIPTION	DETAIL
SF-1	Bench	-
SF-2	Shade Structure at Pool Deck	TBD
SF-3	Shade Structure at Dining Area	TBD
SF-4	Lounge Chairs	-
SF-5	Picnic Tables and Chairs	-



NOTES:
1. Refer to Sheets LC-0.01 and LC-0.02 for Construction Schedules and Notes.



NOT FOR BID

NOT FOR CONSTRUCTION

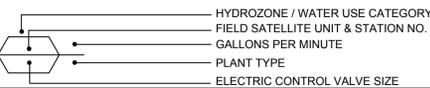
TB227-R: Planning - 2nd Submittal Set (04-03-2023)

IRRIGATION HEAD SCHEDULE:

SYMBOL	MANUFACTURER	MODEL NUMBER	DESCRIPTION	DETAIL NUMBER	OPERATING PRESSURE	GALLONS PER MINUTE	HEAD SPACING	PRECIP. RATE
a	RAIN BIRD	RD06-S-P45 SPRAY HEAD W/ R-VAN14 ROTARY NOZZLES	6" POP UP HEAD ON RD BODY (SEE NOTE #18 THIS SHEET)	14 ON SHT. LI-5.02	45 PSI	0.32, 0.63	8' - 14'	0.70"/HR
b	RAIN BIRD	RD06-S-P45 SPRAY HEAD W/ R-VAN14-360 ROTARY NOZZLE	6" POP UP HEAD ON RD BODY (SEE NOTE #18 THIS SHEET)	14 ON SHT. LI-5.02	45 PSI	1.27	8' - 14'	0.70"/HR
c	RAIN BIRD	RD06-S-P45 SPRAY HEAD W/ R-VAN18 ROTARY NOZZLES	6" POP UP HEAD ON RD BODY (SEE NOTE #18 THIS SHEET)	14 ON SHT. LI-5.02	45 PSI	0.50, 1.01	13'-17'	0.71"/HR
d	RAIN BIRD	RD06-S-P45 SPRAY HEAD W/ R-VAN18-360 ROTARY NOZZLE	6" POP UP HEAD ON RD BODY (SEE NOTE #18 THIS SHEET)	14 ON SHT. LI-5.02	45 PSI	1.85	13'-17'	0.71"/HR
e	RAIN BIRD	RD06-S-P45 SPRAY HEAD W/ R-VAN24 ROTARY NOZZLES	6" POP UP HEAD ON RD BODY (SEE NOTE #18 THIS SHEET)	14 ON SHT. LI-5.02	45 PSI	0.84, 1.68	17' - 23'	0.71"/HR
f	RAIN BIRD	RD06-S-P45 SPRAY HEAD W/ R-VAN24-360 ROTARY NOZZLE	6" POP UP HEAD ON RD BODY (SEE NOTE #18 THIS SHEET)	14 ON SHT. LI-5.02	45 PSI	3.48	17' - 23'	0.71"/HR
g	RAIN BIRD	RD12-S-P45 SPRAY HEAD W/ R-VAN14 ROTARY NOZZLES	12" POP UP HEAD ON RD BODY (SEE NOTE #18 THIS SHEET)	14 ON SHT. LI-5.02	45 PSI	0.32, 0.63	8' - 14'	0.70"/HR
h	RAIN BIRD	RD12-S-P45 SPRAY HEAD W/ R-VAN14-360 ROTARY NOZZLE	12" POP UP HEAD ON RD BODY (SEE NOTE #18 THIS SHEET)	14 ON SHT. LI-5.02	45 PSI	1.27	8' - 14'	0.70"/HR
i	RAIN BIRD	RD12-S-P45 SPRAY HEAD W/ R-VAN18 ROTARY NOZZLES	12" POP UP HEAD ON RD BODY (SEE NOTE #18 THIS SHEET)	14 ON SHT. LI-5.02	45 PSI	0.50, 1.01	13'-17'	0.71"/HR
j	RAIN BIRD	RD12-S-P45 SPRAY HEAD W/ R-VAN18-360 ROTARY NOZZLE	12" POP UP HEAD ON RD BODY (SEE NOTE #18 THIS SHEET)	14 ON SHT. LI-5.02	45 PSI	1.85	13'-17'	0.71"/HR
k	RAIN BIRD	RD12-S-P45 SPRAY HEAD W/ R-VAN24 ROTARY NOZZLES	12" POP UP HEAD ON RD BODY (SEE NOTE #18 THIS SHEET)	14 ON SHT. LI-5.02	45 PSI	0.84, 1.68	17' - 23'	0.71"/HR
l	RAIN BIRD	RD12-S-P45 SPRAY HEAD W/ R-VAN24-360 ROTARY NOZZLE	12" POP UP HEAD ON RD BODY (SEE NOTE #18 THIS SHEET)	14 ON SHT. LI-5.02	45 PSI	3.48	17' - 23'	0.71"/HR
m	RAIN BIRD	5006-PC/FC-SAM-R w/ 5000-MPR-25 Q,T,H & F NOZZLE	6" POP-UP ROTOR HEAD w/ 5000 MPR NOZZLE (SEE NOTE #18 THIS SHEET)	22 ON SHT. LI-5.03	45 PSI	1.38, 1.98, 3.82	23' - 28'	0.70"/HR
n	RAIN BIRD	5006-PC/FC-SAM-R w/ 5000-MPR-30 Q,T,H & F NOZZLE	6" POP-UP ROTOR HEAD w/ 5000 MPR NOZZLE (SEE NOTE #18 THIS SHEET)	22 ON SHT. LI-5.03	45 PSI	1.40, 2.96, 5.78	27' - 30'	0.70"/HR
o	RAIN BIRD	5006-PC/FC-SAM-R w/ 5000-MPR-35 Q,T,H & F NOZZLE	6" POP-UP ROTOR HEAD w/ 5000 MPR NOZZLE (SEE NOTE #18 THIS SHEET)	22 ON SHT. LI-5.03	45 PSI	1.92, 3.81, 7.58	31' - 35'	0.70"/HR
p	AS DETAILED	LARGE SPECIMEN TREE IRRIGATION		12 ON SHT. LI-5.02	30 PSI	1 GPM		0.74"/HR
q	RAINBIRD	TWO (2) SQ-QTR NOZZLES ON RD-06-S-P30-F BODY- LOW TREES	SQ. SPRAY MICRO NOZZLES ON 6" POP-UP SPRINKLER SUPPLEMENTAL TREE IRRIGATION OVER 24" BOX SIZE	13, 14 ON SHT. LI-5.02	30 PSI	0.12 (TWO PER TREE)	2'x2'	0.74"/HR
r	SEE DETAIL	REFER TO DETAIL	POTTED PLANT ASSEMBLY	27 ON SHT. LI-5.04	30 PSI	VARIES	0'	0.43"/HR
s	RAINBIRD	XFS-06-18-XXX (XXX=SPPOOL LENGTH)	IN LINE EMITTER TUBING-18" O.C. EMITTERS 18" O.C. ROW SPACING (SHRUB)	15-17 ON SHT. LI-5.02, LI-5.03	30 PSI	0.6 GPH/FT	0'	0.43"/HR
t	RAINBIRD	TLF-ELBW-0600, TLF-TEE-0600	SURFACE MOUNTED ELL, TEE OR CROSS CONNECTION	15-17 ON SHT. LI-5.02, LI-5.03				
u	RAINBIRD	AS DETAILED	PVC INTAKE/EXHAUST HEADER W/ 600 SERIES TLF ADAPTER FITTINGS	15-17 ON SHT. LI-5.02, LI-5.03				
v	AS DETAILED	AS DETAILED	DRIP LINE FLUSH/BLOW-OUT STUB	17 ON SHT. LI-5.03				
w	HUNTER	ECO-MAT	IN LINE EMITTER TUBING - 14" o.c. 12" EMITTER SPACING	18, 19 ON SHT. LI-5.03	30 PSI	0.6 GPH PER 12"		0.83"/HR
x	RAINBIRD	AVR050	AIR/VACUUM RELIEF VALVE INSTALL AT HIGHEST POINT	20 ON SHT. LI-5.03				

IRRIGATION SCHEDULE:

SYMBOL	MANUFACTURER	MODEL NUMBER	DESCRIPTION	DETAIL NUMBER
y	RAINBIRD	PESB-XXX-IVM-R-PRS-D	ELECTRIC CONTROL VALVE SIZE AS NOTED ON PLAN	9, 10, 11 ON SHT. LI-5.02
z	RAINBIRD	XCZ-100-PRBR WITH PURPLE RECYCLED HANDLE WITH IVM-SOL SOLENOID	ELECTRIC CONTROL DRIP VALVE DRIP ZONES LESS THAN 9 GPM	8, 10, 11 ON SHT. LI-5.01, LI-5.02
aa	RAINBIRD	44-NP ACME	1" ACME THREAD QUICK COUPLING PURPLE NON-POTABLE COVER	7 ON SHT. LI-5.01
ab	NIBCO	T-113	BRONZE BALL VALVE (1"-3")	6 ON SHT. LI-5.01
ac	WATTS	97FB-CSSIB W/ 60 MESH SCREEN	BASKET STRAINER SIZE AS NOTED ON PLAN	
ad	SUPERIOR	3100 W/ NON-POTABLE HANDLE	MASTER VALVE SIZE AS NOTED ON PLAN	
ae	RAINBIRD	FS-100P SERIES REFER TO PLANS FOR MODEL	FLOW SENSOR SIZE AS NOTED ON PLAN	
af	BY OTHERS	BY OTHERS	RECYCLED WATER METER INSTALLED PER THE STREET IMPROVEMENTS PLANS SIZE AS NOTED ON PLAN	FULL P.O.C ASSEMBLY SEE DETAIL 1 - 5 ON SHT. LI-5.01
ag	WILKINS	500 HLR PRV	PRESSURE REGULATOR - LINE SIZE	
ah	BERMAD	01-ARA	1" PRESSURE AIR RELEASE VALVE	
ai	WATTS	530C	3/4" PRESSURE RELIEF VALVE	
aj	RAINBIRD	VFD BOOSTER PUMP REFER TO DETAILS	IRRIGATION BOOSTER PUMP REFER TO PLANS FOR MODEL NO.	28 ON SHT. LI-5.04
ak	RAINBIRD	IVM-SD	2 - WIRE SURGE PROTECTION W/ GROUND ROD	10 ON SHT. LI-5.02
al	RAINBIRD	SEE PLANS	2-WIRE CONTROLLER - INTERIOR WALL MOUN. REFER TO PLANS AND DETAILS FOR MORE INFORMATION.	23 ON SHT. LI-5.03
am	APPROVED	RECYCLED WATER SIGN		21 ON SHT. LI-5.03
an	APPROVED	SCH 40 BE - ALL 3/4"	PVC PURPLE TREE LATERAL PIPING TO SUPPLEMENTAL TREE IRRIGATION HEADS	1 - LI-5.01 13 - LI-5.02
ao	APPROVED	SCH 40 BE - ALL 3/4"	PVC PURPLE POT SYSTEMS LATERAL PIPING TO POTTED PLANTINGS	1 - LI-5.01 27 - LI-5.04
ap	APPROVED	SCH 40 BE/CL 315 - Purple	USE SCH. 40 PURPLE=1-1/2" OR LESS, USE CLASS 315 PURPLE LINE IF 2" - 2-1/2".	1 ON SHT. LI-5.01
aq	APPROVED	SCH 40 BE PURPLE	PVC PURPLE LATERAL LINE (SIZE PER PLAN) (SEE NOTES THIS SHEET)	1 ON SHT. LI-5.01
ar	APPROVED	SCH 40 BE	PVC IRRIGATION SLEEVE FOR BELOW PAVING APPLICATIONS (SEE NOTE #10)	



IRRIGATION NOTES

- ALL BASE INFORMATION HAS BEEN TAKEN FROM DRAWINGS PROVIDED BY C2.
 - REFER TO PROJECT SPECIFICATIONS FOR INSTALLATION AND MATERIAL REQUIREMENTS AND METHODOLOGY.
 - CONTRACTOR SHALL FIELD VERIFY PRESSURE AT POINT-OF-CONNECTION LOCATIONS FOR EACH TAP PRIOR TO ORDERING MATERIALS OR STARTING ANY IRRIGATION INSTALLATION AND NOTIFY CONSULTANT OF ANY DIFFERENCE OF 10 PSI AT THE POINT OF CONNECTION.
 - SYSTEM HAS BEEN DESIGNED BASED ON THE STATIC WATER PRESSURE FROM STATED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS AS DIRECTED BY THE CONSULTANT.
- | POC #1 | PSI | GPM | METER SIZE | TOTAL LANDSCAPED AREA: |
|--------|-----|-----|------------|------------------------|
| 62 | 48 | 48 | 2" | 55,081 S.F. |
- ALL PIPING SHALL BE THOROUGHLY FLUSHED PRIOR TO EMITTER INSTALLATION AS PER DETAILS AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY FLUSHING OF EMITTERS DUE TO CLOGGING FOR THE DURATION OF THE MAINTENANCE PERIOD AS OUTLINED IN THE LANDSCAPE SPECIFICATION. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY PLANT MATERIAL WHICH DIES DURING THE MAINTENANCE PERIOD AS A RESULT OF EMITTER CLOGGING.
 - FOR IN-LINE DRIP IRRIGATION SYSTEMS, INSTALL DRIP TUBING AS SHOWN ON PLANS AND AS DESCRIBED BY CONSTRUCTION DETAILS.
 - SECURE DRIP TUBING AT A CONSISTENT ROW SPACING WITH NETAFIM #TSL6 SOIL STAPLES OR 6" JUTTE MATTE STAPLES NO GREATER THAN 36" ALONG LENGTH OF TUBING. USE TWO STAPLES IN AN 'X' PATTERN OVER ANY CHANGES IN DIRECTION OF TUBING.
 - DRIP TUBING TO BE LAID DOWN SO THAT EMITTER OUTLETS ARE STAGGERED ON A TRIANGULAR SPACING PATTERN.
 - DRIP TUBING SHALL BE INSTALLED BELOW MULCH LAYER AS DETAILED. SUPPLY AND EXHAUST HEADERS SHALL BE INSTALLED BELOW GRADE AT DEPTHS SHOWN.
 - INSTALL IRRIGATION SLEEVES UNDER PAVED SURFACES PER THE FOLLOWING SCHEDULE:
- | PIPE SIZE | REQUIRED SLEEVE(S) |
|-----------------------------|--------------------|
| DRIP TUBING | 1-2" SCH 40 PVC |
| 3/4" LATERAL | 1-2" SCH 40 PVC |
| 1" PRESSURE SUPPLY LINE | 1-2" SCH 40 PVC |
| 1 1/4" PRESSURE SUPPLY LINE | 1-3" SCH 40 PVC |
| 1 1/2" PRESSURE SUPPLY LINE | 1-3" SCH 40 PVC |
| 1-20 CONTROL WIRES | 1-2" SDR 35 PVC |
| 1-40 CONTROL WIRES | 1-3" SDR 35 PVC |
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE OWNER AND/OR THE OWNER'S REPRESENTATIVE FOR ANY DESIGN CHANGES MADE AS A RESULT OF DEVIATION BY THE CONTRACTOR FROM THE PLANS AND SPECIFICATIONS OR DUE TO ERRORS, FAULTY MATERIAL OR FAULTY WORKMANSHIP.
 - THE CONTRACTOR SHALL INSTALL THE SPECIFIED SYSTEM IN ACCORDANCE WITH THE INDUSTRY STANDARDS AND THE ATTACHED PLANS, SCHEDULES, NOTES, DETAILS, AND SPECIFICATIONS.
 - WORK SHALL CONFORM TO ALL CONSTRUCTION GOVERNING CODES AND REGULATIONS.
 - PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CONTACT AN UNDERGROUND UTILITY COORDINATION SERVICE TO VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES THAT MAY BE AFFECTED BY DESCRIBED WORK, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE IRRIGATION INSTALLATION.
 - IRRIGATION DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVE, ETC., SHALL BE LOCATED WITHIN LANDSCAPE AREAS. PIPING AND EQUIPMENT IS SHOWN OUTSIDE OF PLANTED AREAS FOR DRAWING LEGIBILITY ONLY.
 - LATERAL PIPING SHALL BE INSTALLED 12" BELOW GRADE USING SCH 40 BE PIPE, EXCEPT WHERE INDICATED OTHERWISE ON THESE DRAWINGS.
 - CONTRACTOR TO FIELD VERIFY SIZE, LOCATION AND QUANTITY OF EXISTING STREET SLEEVES INSTALLED UNDER THE STREET IMPROVEMENT PACKAGE PRIOR TO INSTALLATION OR IRRIGATION SYSTEM, AND NOTIFY CONSULTANT OF ANY DIFFERENCES.
 - ADJUST RADIUS AND ARC OF ROTOR AND SPRAY HEAD NOZZLES AS NECESSARY TO PROVIDE HEAD TO HEAD COVERAGE AND PREVENT OVERSPRAY OUTSIDE OF PLANTED AREAS AND ONTO PAVED SURFACE. INSTALL 6" POP-UP HEADS IN ALL TURF AREAS, INSTALL 12" POP-UP HEADS AT TOP AND BOTTOM OF SHRUB PLANTED SLOPE AREAS. PVC LATERALS AT ALL MID SLOPE LOCATIONS SHALL BE INSTALLED ON GRADE AND ALL HEADS AT MID SLOPE ON RISERS. ON GRADE HEADS WITH ROTARY NOZZLES REQUIRING 30 PSI SHALL BE INSTALLED ON RAIN BIRD PA-8S-PRS PRESSURE REGULATING SHRUB ADAPTER. ON GRADE ROTARY NOZZLES SHALL BE INSTALLED ON RAIN BIRD PA-8S-P45 PRESSURE REGULATING SHRUB ADAPTER.
 - SOIL AMENDMENT REQUIREMENTS FOR SOD TURF AREAS RECEIVING ECO-MAT DRIP MATTING:
 - ALL SOIL WITHIN SOD TURF AREAS SHALL BE REMOVED TO THE DEPTH OF THE ECO-MAT (5"-6").
 - REMOVED SOIL SHALL BE THOROUGHLY MIXED WITH THE AMENDMENTS DESCRIBED IN THE LANDSCAPE ARCHITECT'S SPECIFICATIONS. ENSURE ANY ROCKS OR DEBRIS LARGER THAN 2", AND ANY SHARP EDGED ROCKS OR DEBRIS ARE REMOVED.
 - BEFORE INSTALLING ECO-MAT, RAKE IN TO THE SUB-SOIL, TO A DEPTH OF 1", THE AMENDMENTS DESCRIBED IN THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
 - INSTALL ECO-MAT ON SUBSOIL AS DETAILED.
 - INSTALL AMENDED, (PREVIOUSLY REMOVED), SOIL OVER ECO-MAT TO REQUIRED GRADE LEVEL, COMPACTING TO 80-85% IN 3" LIFTS. MEET REQUIRED SLOPE GRADES TO DRAIN. DO NOT OPERATE COMPACTION MACHINERY DIRECTLY ON ECO-MAT.
 - REVIEW AND FOLLOW MANUFACTURERS INSTALLATIONS SPECIFICATIONS.

ALL IRRIGATION SYSTEMS ARE TO BE HOA MAINTAINED AND ARE SERVED BY RECYCLED WATER METER AS INDICATED ON THE PLANS.
POTABLE WATER IRRIGATION SYSTEMS ADJACENT TO RECYCLED IRRIGATION SYSTEMS ARE SEPARATED BY FENCING, WALLS, OR CURBS.

ALL IRRIGATION CONTROL VALVES SHALL BE LOCATED IN SHRUB AREAS. SETBACK FROM FRONT EDGE OF EACH VALVE BOX IS TO BE A MINIMUM OF 1'-0" FROM THE EDGE OF PAVING OR TURF AREAS WHERE SPACE ALLOWS.

LATERAL PIPE SIZING IS INDICATED BY THE FOLLOWING SYMBOLS:
3/4" — I 1" — II 1-1/4" — III 1-1/2" — X 2" — V 2-1/2" — VI
ALL BUBBLER SYSTEM PIPING SHALL BE 3/4" UNLESS OTHERWISE NOTED AS 1".

IRRIGATION SCHEDULE - POTABLE WATER QCV AT POOL:

SYMBOL	MANUFACTURER	MODEL NUMBER	DESCRIPTION	DETAIL NUMBER
ba	RAINBIRD	XX	RPPA LEAD FREE GATE VALVE POTABLE POOL DECK WASH DOWN SYSTEM	24 ON SHT. LI-5.04
bb	FEBCO	825YA - LF - 1"	RPPA LEAD FREE BACKFLOW PREVENTER - POTABLE POOL DECK WASH DOWN SYSTEM	25 ON SHT. LI-5.04
bc	APPROVED	SCH 40 BE	SCH. 40 WHITE PRESSURIZED LINE - POOL WASH DOWN - POTABLE QCV'S	1 ON SHT. LI-5.01
bd	HUNTER	HQ5-44RC w/ HK44 and HS-1	1" QUICK COUPLING VALVE W/ KEY AND SWIVEL - POOL WASH DOWN	26 ON SHT. LI-5.04

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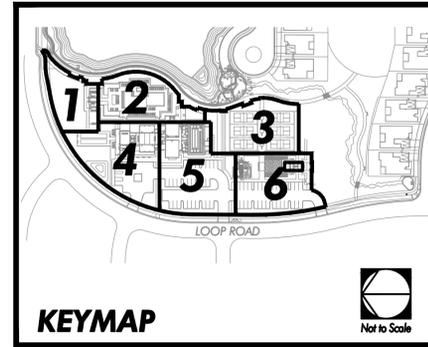
RECYCLED WATER NOTES

- ALL BASE INFORMATION HAS BEEN TAKEN FROM DRAWINGS PROVIDED BY C2.
 - REFER TO PROJECT SPECIFICATIONS FOR INSTALLATION AND MATERIAL REQUIREMENTS AND METHODOLOGY.
 - CONTRACTOR SHALL FIELD VERIFY PRESSURE AT POINT-OF-CONNECTION LOCATIONS FOR EACH TAP PRIOR TO ORDERING MATERIALS OR STARTING ANY IRRIGATION INSTALLATION AND NOTIFY CONSULTANT OF ANY DIFFERENCE OF 10 PSI AT THE POINT OF CONNECTION.
 - SYSTEM HAS BEEN DESIGNED BASED ON THE STATIC WATER PRESSURE FROM STATED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS AS DIRECTED BY THE CONSULTANT.
 - ALL PIPING SHALL BE THOROUGHLY FLUSHED PRIOR TO EMITTER INSTALLATION AS PER DETAILS AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY FLUSHING OF EMITTERS DUE TO CLOGGING FOR THE DURATION OF THE MAINTENANCE PERIOD AS OUTLINED IN THE LANDSCAPE SPECIFICATION. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY PLANT MATERIAL WHICH DIES DURING THE MAINTENANCE PERIOD AS A RESULT OF EMITTER CLOGGING.
 - FOR IN-LINE DRIP IRRIGATION SYSTEMS, INSTALL DRIP TUBING AS SHOWN ON PLANS AND AS DESCRIBED BY CONSTRUCTION DETAILS.
 - SECURE DRIP TUBING AT A CONSISTENT ROW SPACING WITH NETAFIM #TSL6 SOIL STAPLES OR 6" JUTTE MATTE STAPLES NO GREATER THAN 36" ALONG LENGTH OF TUBING. USE TWO STAPLES IN AN 'X' PATTERN OVER ANY CHANGES IN DIRECTION OF TUBING.
 - DRIP TUBING TO BE LAID DOWN SO THAT EMITTER OUTLETS ARE STAGGERED ON A TRIANGULAR SPACING PATTERN.
 - DRIP TUBING SHALL BE INSTALLED BELOW MULCH LAYER AS DETAILED. SUPPLY AND EXHAUST HEADERS SHALL BE INSTALLED BELOW GRADE AT DEPTHS SHOWN.
 - INSTALL IRRIGATION SLEEVES UNDER PAVED SURFACES PER THE FOLLOWING SCHEDULE:
- | PIPE SIZE | REQUIRED SLEEVE(S) |
|-----------------------------|--------------------|
| DRIP TUBING | 1-2" SCH 40 PVC |
| 3/4" LATERAL | 1-2" SCH 40 PVC |
| 1" PRESSURE SUPPLY LINE | 1-2" SCH 40 PVC |
| 1 1/4" PRESSURE SUPPLY LINE | 1-3" SCH 40 PVC |
| 1 1/2" PRESSURE SUPPLY LINE | 1-3" SCH 40 PVC |
| 1-20 CONTROL WIRES | 1-2" SDR 35 PVC |
| 1-40 CONTROL WIRES | 1-3" SDR 35 PVC |
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE OWNER AND/OR THE OWNER'S REPRESENTATIVE FOR ANY DESIGN CHANGES MADE AS A RESULT OF DEVIATION BY THE CONTRACTOR FROM THE PLANS AND SPECIFICATIONS OR DUE TO ERRORS, FAULTY MATERIAL OR FAULTY WORKMANSHIP.
 - THE CONTRACTOR SHALL INSTALL THE SPECIFIED SYSTEM IN ACCORDANCE WITH THE INDUSTRY STANDARDS AND THE ATTACHED PLANS, SCHEDULES, NOTES, DETAILS, AND SPECIFICATIONS.
 - WORK SHALL CONFORM TO ALL CONSTRUCTION GOVERNING CODES AND REGULATIONS.
 - PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CONTACT AN UNDERGROUND UTILITY COORDINATION SERVICE TO VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES THAT MAY BE AFFECTED BY DESCRIBED WORK, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE IRRIGATION INSTALLATION.
 - IRRIGATION DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVE, ETC., SHALL BE LOCATED WITHIN LANDSCAPE AREAS. PIPING AND EQUIPMENT IS SHOWN OUTSIDE OF PLANTED AREAS FOR DRAWING LEGIBILITY ONLY.
 - LATERAL PIPING SHALL BE INSTALLED 12" BELOW GRADE USING SCH 40 BE PIPE, EXCEPT WHERE INDICATED OTHERWISE ON THESE DRAWINGS.
 - CONTRACTOR TO FIELD VERIFY SIZE, LOCATION AND QUANTITY OF EXISTING STREET SLEEVES INSTALLED UNDER THE STREET IMPROVEMENT PACKAGE PRIOR TO INSTALLATION OR IRRIGATION SYSTEM, AND NOTIFY CONSULTANT OF ANY DIFFERENCES.
 - ADJUST RADIUS AND ARC OF ROTOR AND SPRAY HEAD NOZZLES AS NECESSARY TO PROVIDE HEAD TO HEAD COVERAGE AND PREVENT OVERSPRAY OUTSIDE OF PLANTED AREAS AND ONTO PAVED SURFACE. INSTALL 6" POP-UP HEADS IN ALL TURF AREAS, INSTALL 12" POP-UP HEADS AT TOP AND BOTTOM OF SHRUB PLANTED SLOPE AREAS. PVC LATERALS AT ALL MID SLOPE LOCATIONS SHALL BE INSTALLED ON GRADE AND ALL HEADS AT MID SLOPE ON RISERS. ON GRADE HEADS WITH ROTARY NOZZLES REQUIRING 30 PSI SHALL BE INSTALLED ON RAIN BIRD PA-8S-PRS PRESSURE REGULATING SHRUB ADAPTER. ON GRADE ROTARY NOZZLES SHALL BE INSTALLED ON RAIN BIRD PA-8S-P45 PRESSURE REGULATING SHRUB ADAPTER.
 - SOIL AMENDMENT REQUIREMENTS FOR SOD TURF AREAS RECEIVING ECO-MAT DRIP MATTING:
 - ALL SOIL WITHIN SOD TURF AREAS SHALL BE REMOVED TO THE DEPTH OF THE ECO-MAT (5"-6").
 - REMOVED SOIL SHALL BE THOROUGHLY MIXED WITH THE AMENDMENTS DESCRIBED IN THE LANDSCAPE ARCHITECT'S SPECIFICATIONS. ENSURE ANY ROCKS OR DEBRIS LARGER THAN 2", AND ANY SHARP EDGED ROCKS OR DEBRIS ARE REMOVED.
 - BEFORE INSTALLING ECO-MAT, RAKE IN TO THE SUB-SOIL, TO A DEPTH OF 1", THE AMENDMENTS DESCRIBED IN THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
 - INSTALL ECO-MAT ON SUBSOIL AS DETAILED.
 - INSTALL AMENDED, (PREVIOUSLY REMOVED), SOIL OVER ECO-MAT TO REQUIRED GRADE LEVEL, COMPACTING TO 80-85% IN 3" LIFTS. MEET REQUIRED SLOPE GRADES TO DRAIN. DO NOT OPERATE COMPACTION MACHINERY DIRECTLY ON ECO-MAT.
 - REVIEW AND FOLLOW MANUFACTURERS INSTALLATIONS SPECIFICATIONS.

PRESSURE LOSS CALCULATIONS

QTY.	DESCRIPTION	FLOW IN GPM	PSI LOSS
1	2" IRRIGATION WATER METER	46	1.60
1	2" RPPA BACKFLOW PREVENTER	46	12.00
1	2" PRESSURE REG/BASKET STRAINER	46	1.20
1	2" FLOW SENSOR	46	1.50
1	2" MASTER VALVE	46	1.10
804 LF	2.5" MAINLINE (0.66 PER 100 FOOT)	46	6.44
N/A	FITTINGS LOSS (20% OF MAINLINE LOSS)	46	1.06
4'	ELEVATION LOSS	N/A	-1.73
1	2" REMOTE CONTROL VALVE	37	3.30
	LATERAL LINES		5.00
	TOTAL LOSSES		34.50
	PRESSURE REQUIRED AT HEAD		45.00
	EXISTING STATIC WATER PRESSURE		62.00
	RESIDUAL WATER PRESSURE:		-17.50 PSI
	BOOSTER PUMP / PRESSURE BOOST REQUIRED		
	PRESSURE BOOST REQUIRED:	22 PSI	
	FLOW REQUIRED:	46 GPM	
	ELEC.:	230 / 1 PHASE	
	REFER TO SHT. LI-5.04 DETAIL 27 FOR ADDITIONAL BOOSTER PUMP INFORMATION		

- NOTES:**
- Refer to Sheets LI-1.01 - LI-1.06 for Irrigation Plans.
 - Refer to Sheets LI-5.01, LI-5.02, LI-5.03 & LI-5.04 for Irrigation Details.
 - Refer to Sheet LI-6.01 for Irrigation Specifications.



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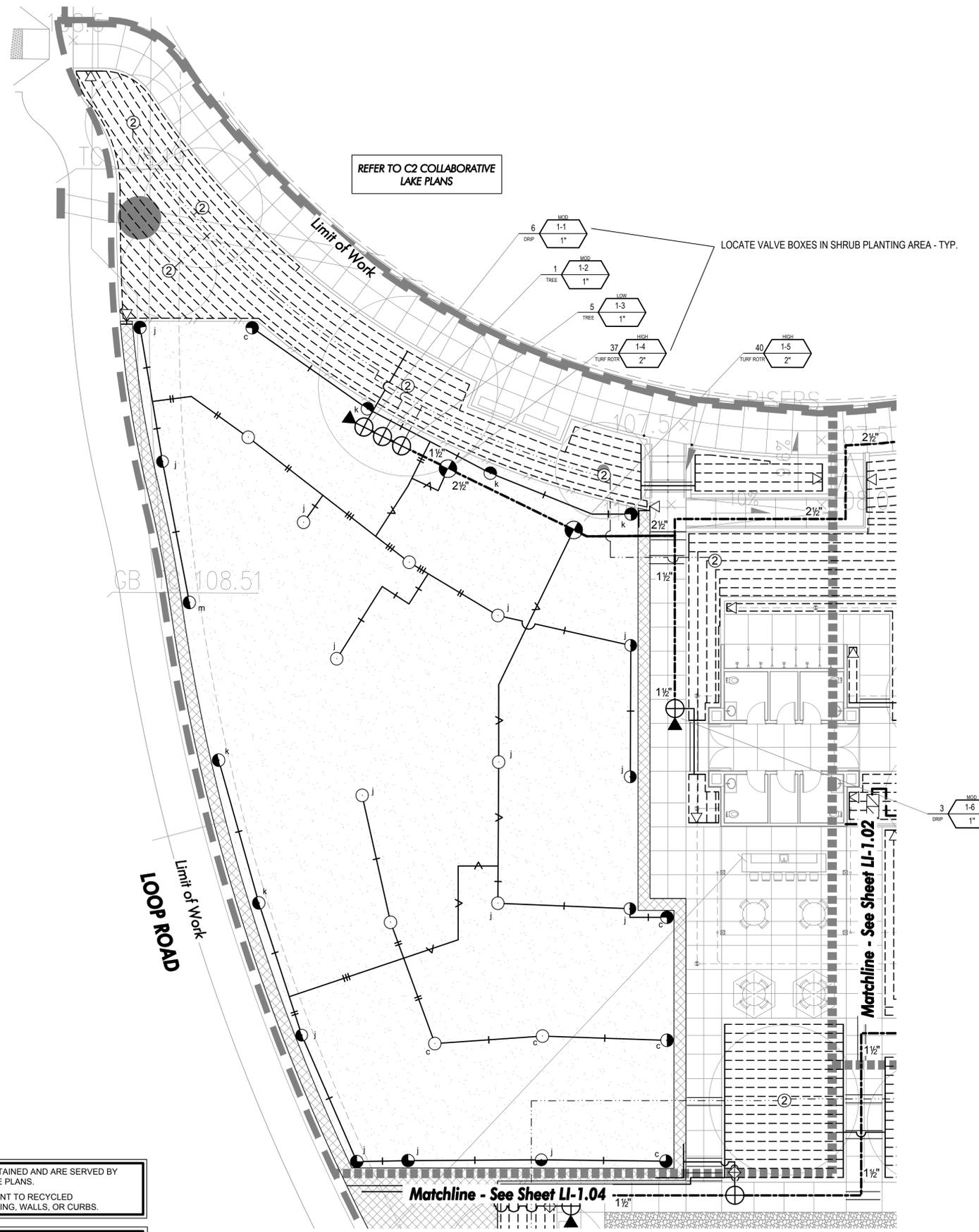
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Job No.: TB227-R
Scale: AS NOTED
Drawn: ACI
Checked: -

Sheet Number: **LI-0.01**

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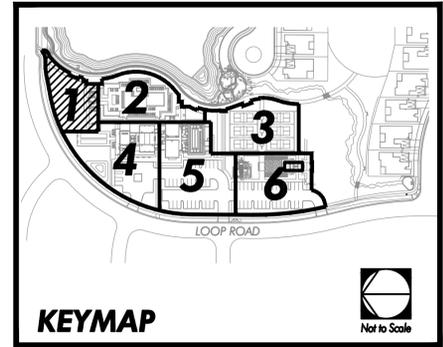
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3/4" — I	1" — II	1-1/4" — III	1-1/2" — X	2" — V	2-1/2" — VI
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ALL BUBBLER SYSTEM PIPING SHALL BE 3/4" UNLESS OTHERWISE NOTED AS 1".

- NOTES:
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 2. Refer to Sheets LI-5.01 - LI-5.04 for Irrigation Details.
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Sheet Title:
IRRIGATION PLAN

Job No. : TB227-R
 Scale: 1" = 10'
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Sheet Number:
LI-1.01

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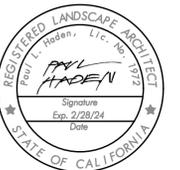
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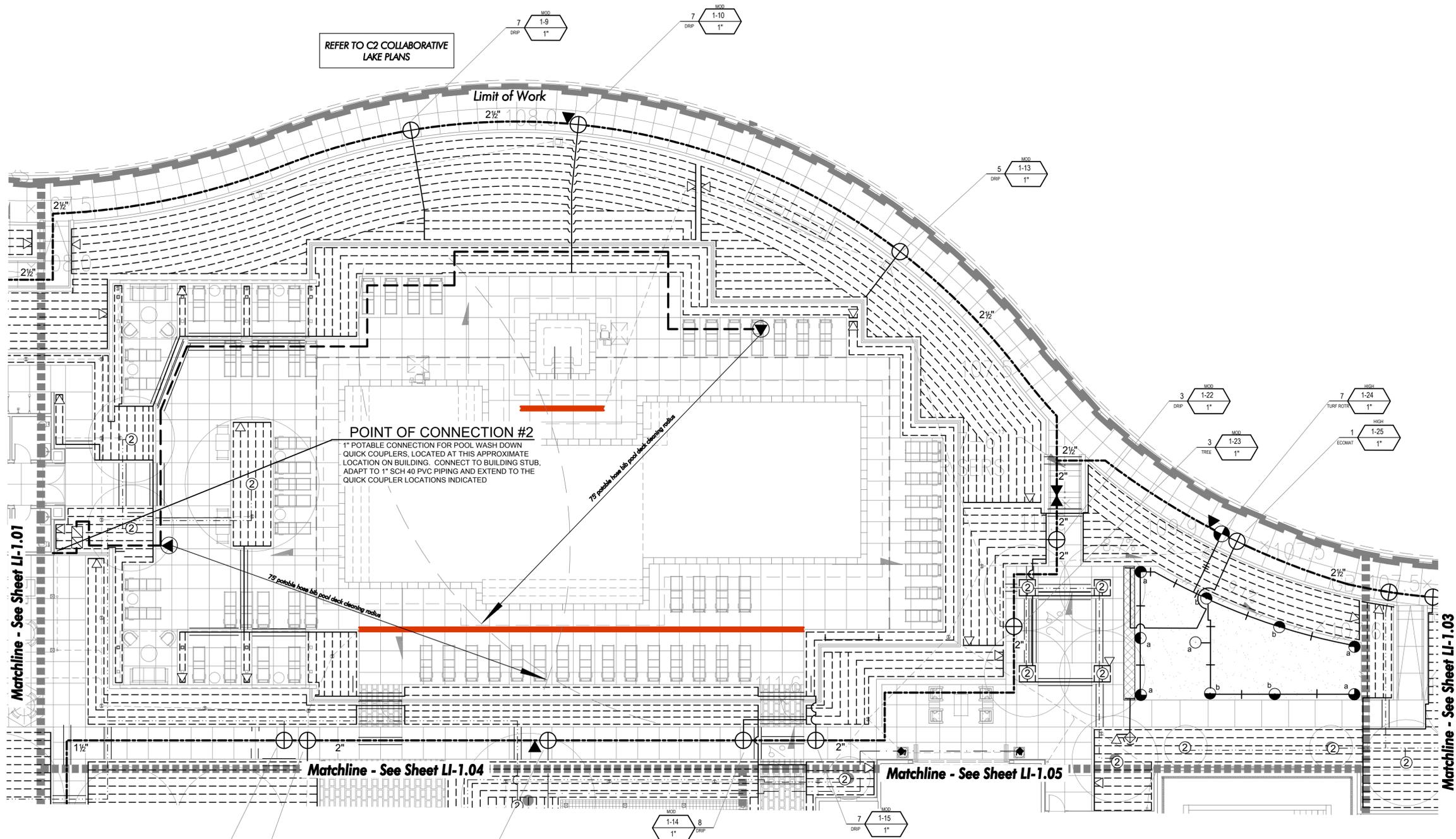
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REFER TO C2 COLLABORATIVE LAKE PLANS

Limit of Work

POINT OF CONNECTION #2
1" POTABLE CONNECTION FOR POOL WASH DOWN QUICK COUPLERS, LOCATED AT THIS APPROXIMATE LOCATION ON BUILDING. CONNECT TO BUILDING STUB, ADAPT TO 1" SCH 40 PVC PIPING AND EXTEND TO THE QUICK COUPLER LOCATIONS INDICATED

75' possible hose lay pool deck cleaning radius

75' possible hose lay pool deck cleaning radius

Matchline - See Sheet LI-1.01

Matchline - See Sheet LI-1.04

Matchline - See Sheet LI-1.05

Matchline - See Sheet LI-1.03

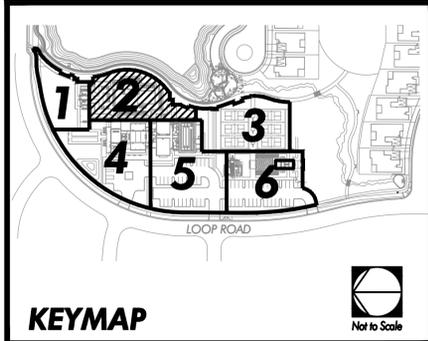
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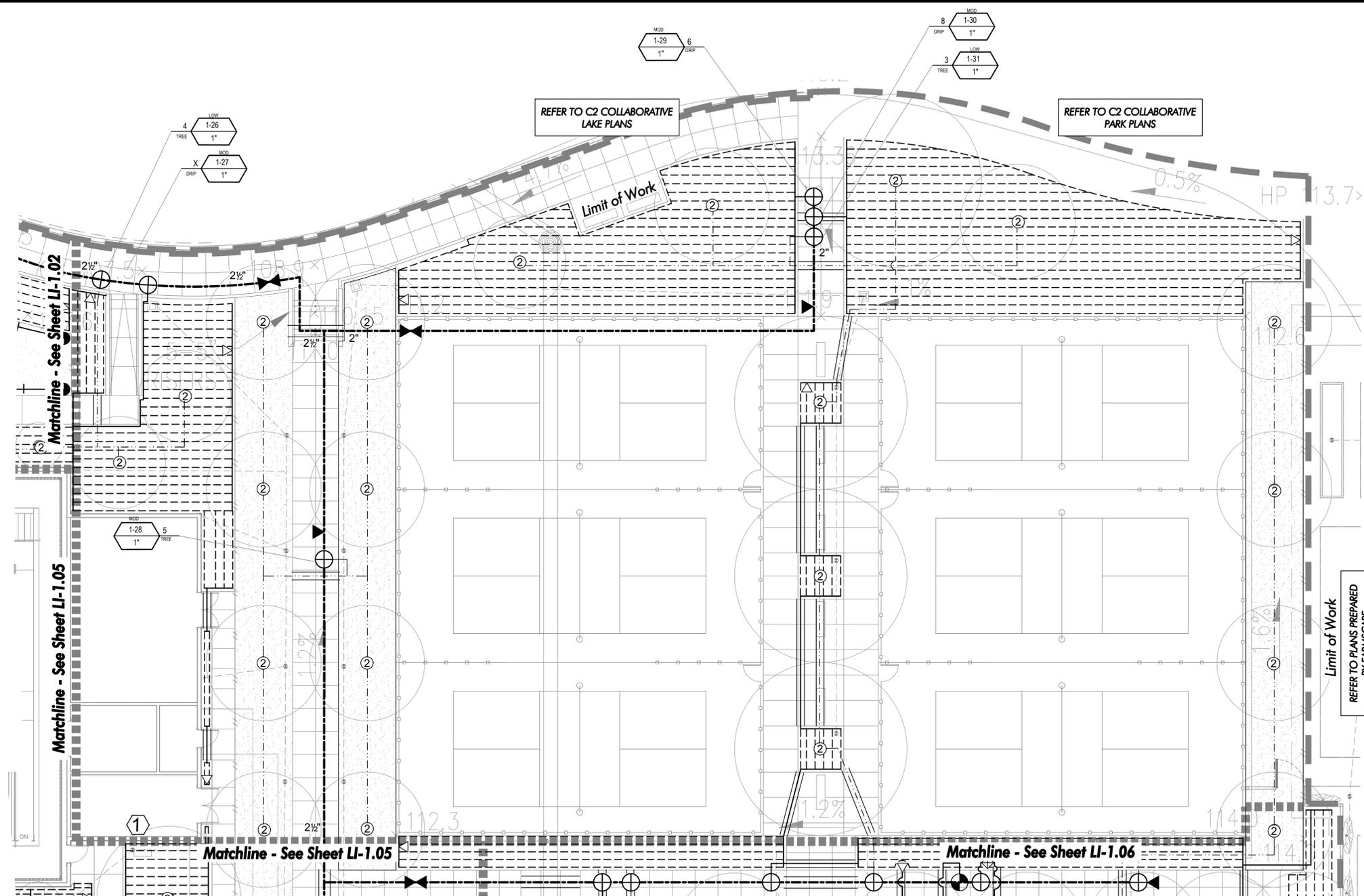
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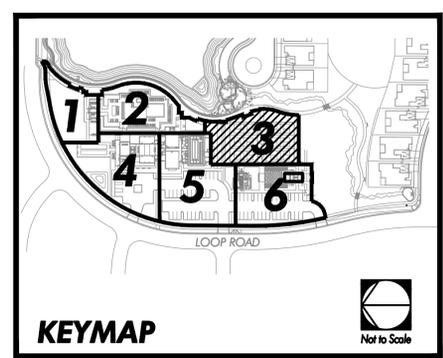
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- NOTES:**
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**IRRIGATION
PLAN**

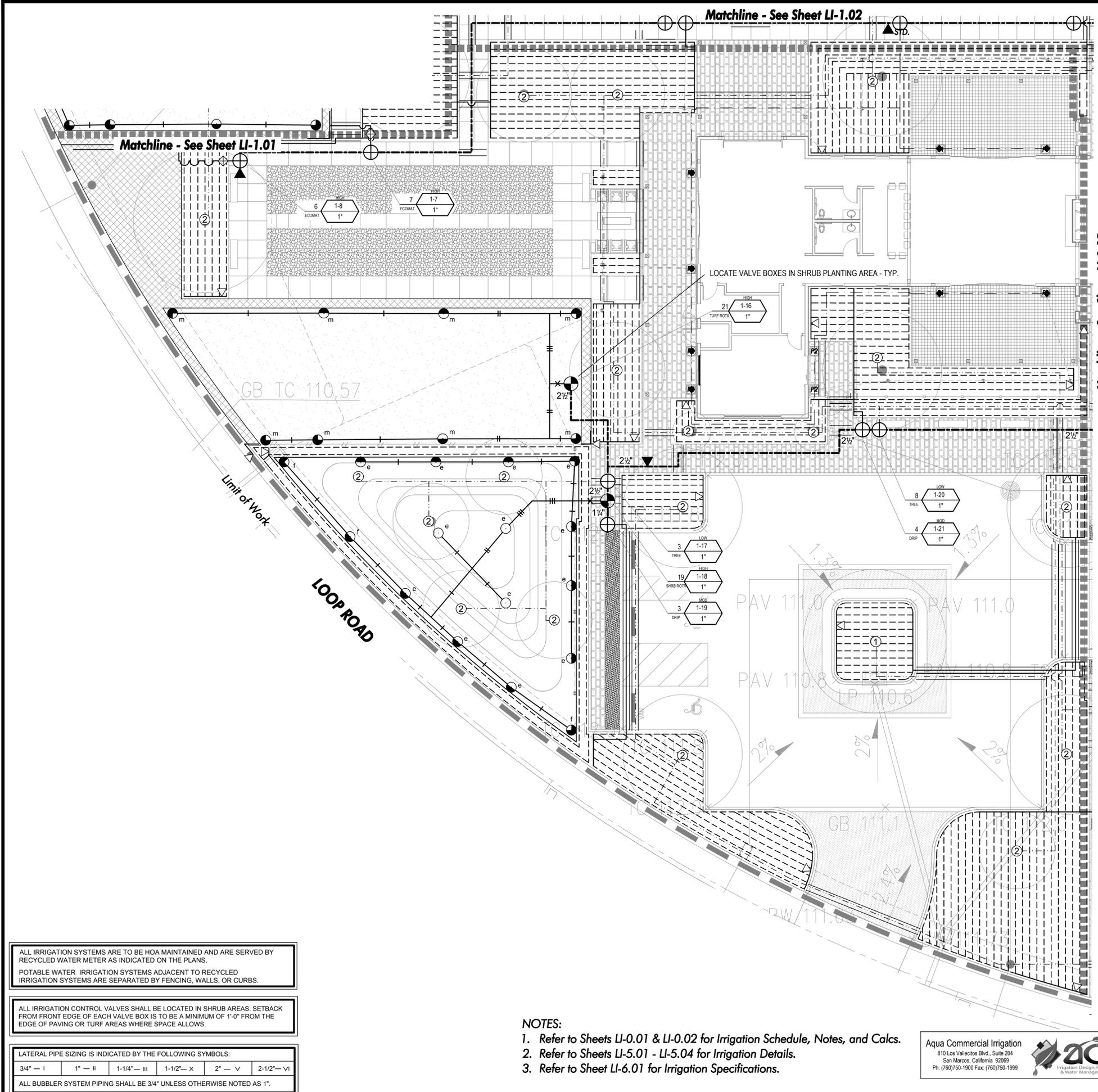
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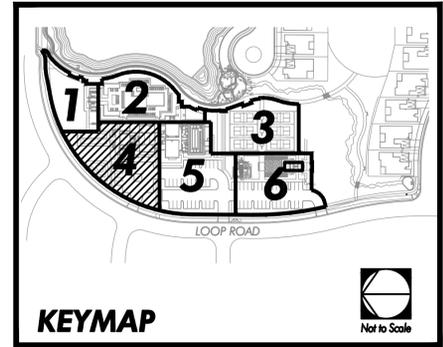
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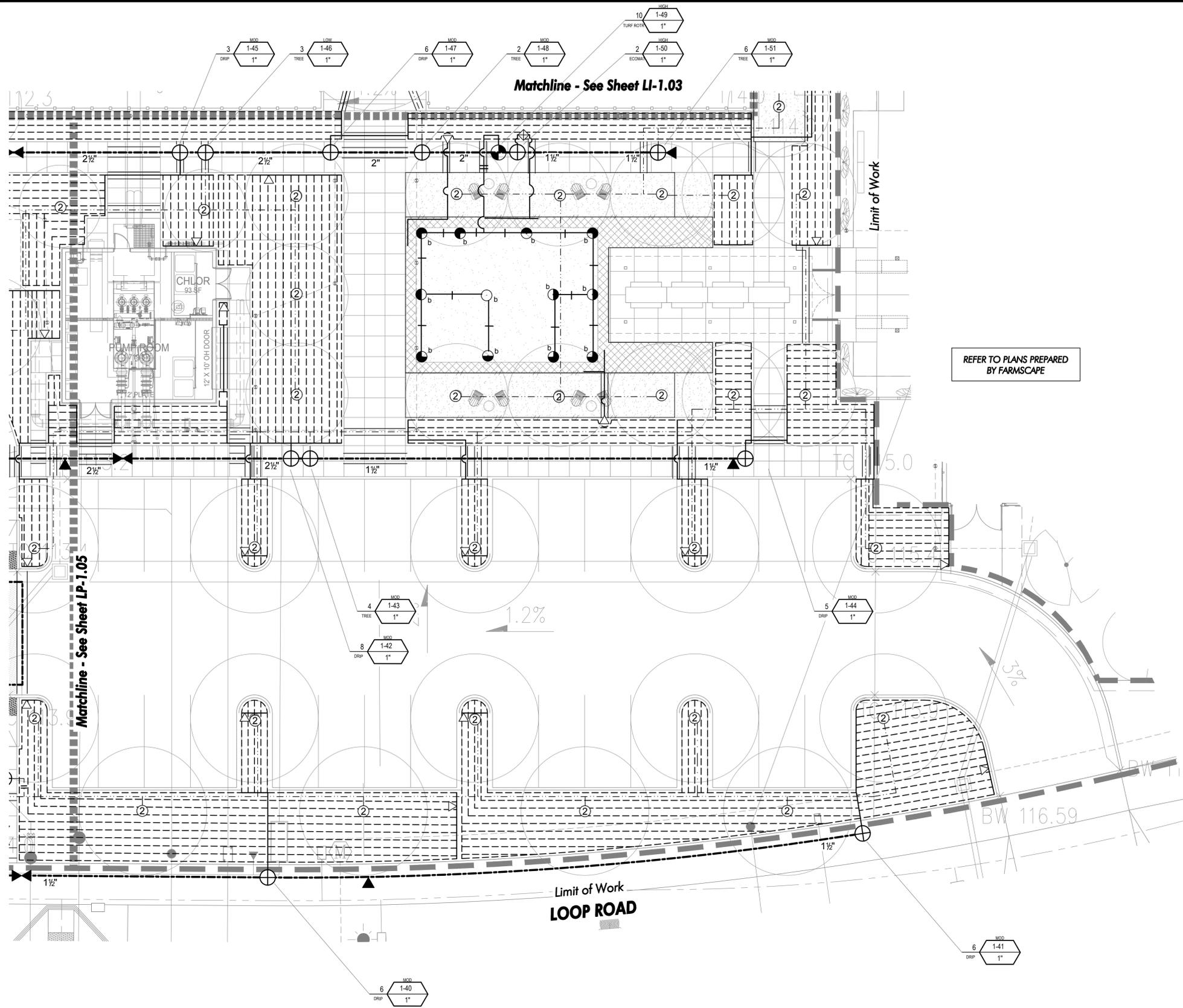
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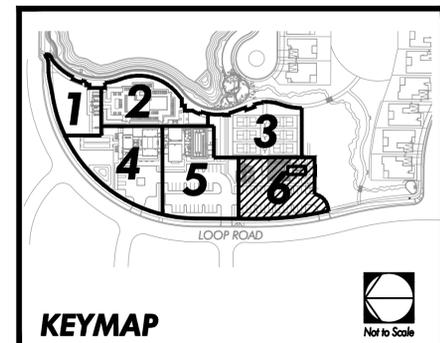
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- NOTES:**
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IRRIGATION PLAN

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 Scale: 1" = 10'
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LI-1.06

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TREE SCHEDULE:

KEY	BOTANICAL NAME	COMMON NAME	SIZE	FORM	SPACING	STAKE/GUY	DETAIL	COMMENTS
Ace Rub	<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Maple	Per plan	Standard	Per plan	Double stake	1,7/LP-5.02	See Footnote 1
Arb Une	<i>Arbutus unedo</i> 'Compacta'	Dwarf Strawberry Tree	Per plan	Multi	Per plan	Double stake	-	See Footnote 1
Fra Uhd	<i>Fraxinus uhdei</i> 'Monus'	Majestic Beauty Evergreen Ash	Per plan	Standard	Per plan	Double stake	1,7/LP-5.02	See Footnote 1
Mag Gra	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	Per plan	Standard	Per plan	Double stake	1,7/LP-5.02	See Footnote 1
Ole Eur	<i>Olea europaea</i> 'Swan Hill'	Fruitless Olive	Per plan 18X18'	Multi	Per plan	Double stake	3,7/LP-5.02	See Footnote 1 FD/ B&B size to be equivalent to 48" box size
Pin Can	<i>Pinus canariensis</i>	Canary Island Pine	Per plan	Conical	Per plan	Double stake	1,7/LP-5.02	See Footnote 1
Pla Ace	<i>Platanus x acerifolia</i> 'Columbia'	Columbia Bloodgood Sycamore	Per plan	Standard	Per plan	Double stake	1,7/LP-5.02	See Footnote 1
Pru Sar	<i>Prunus sargentii</i> 'Columnaris'	Columnar Sargent Cherry	Per plan	Standard	Per plan	Double stake	1,7/LP-5.02	See Footnote 1
Que Agr	<i>Quercus agrifolia</i>	Coast Live Oak	Per plan	Per Plan	Per plan	Double stake	1,7/LP-5.02	See Footnote 1
Que Vir	<i>Quercus virginiana</i>	Southern Live Oak	Per plan	Per Plan	Per plan	Double stake	1,7/LP-5.02	See Footnote 1
Ulm Par	<i>Ulmus parvifolia</i> 'True Green'	True Green Chinese Elm	Per plan	Standard	Per plan	Double stake	1,7/LP-5.02	See Footnote 1

Footnotes:
1. Contractor to submit photos and specifications to Landscape Architect/ Client prior to installation.

VINE and ESPALIER SCHEDULE:

KEY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	SPACING	DETAIL	TRAINING METHOD
Tra Jas	<i>Trachelospermum jasminoides</i>	Star Jasmine	Per plan	Espalier	Per plan	3,4/LP-5.01	-

Footnotes:
1. Contractor to submit photos and specifications to Landscape Architect/ Client prior to installation.

GROUNDCOVER SCHEDULE:

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	DETAIL	COMMENTS
	<i>Marathon Fescue II</i>	Turf	Sodded	-	-	-

PLANTER POT SCHEDULE:

SYMBOL	MANUFACTURER	MODEL	COLOR	FINISH	QTY	BOTANICAL NAME	COMMON NAME	SIZE	QTY/POT	DETAIL	COMMENTS
(P1)	Olt Town Fiberglass (714) 633-3732	Custom 24"Lx24"W	Gunmetal	Factory	6	<i>Olea europaea</i> 'Montra'	Little Ollie	15 gal.	1	-/LP-5.01	Provide drain holes
(P2)	Olt Town Fiberglass (714) 633-3732	HS3023	Gunmetal	Factory	6	<i>Juniperus scopulorum</i> <i>Rosmarinus officinalis</i> <i>Huntington Carpet</i>	Rocky Mountain Juniper Huntington Carpet Rosemary	15 gal. 5 gal.	1 4	-/LP-5.01	Provide drain holes

SHRUB SCHEDULE:

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	FORM	SPACING	DETAIL NO.	COMMENTS
	<i>Ceanothus griseus horizontalis</i> 'Yankee Point'	Yankee Point California Lilac	1 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
	<i>Chondropetalum tectorum</i>	Cape Thatching Reed	1 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
(C)	<i>Cistus x purpureus</i>	Orchid Rockrose	5 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
	<i>Coprosmia x 'Kirkii'</i>	Kirk's Coprosma	5 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
	<i>Dianella</i> 'Little Rev'	Little Rev Flax Lily	1 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
	<i>Festuca mairei</i>	Atlas Fescue	1 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
	<i>Grevillea x 'Noellii'</i>	Noell Grevillea	5 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
(HP)	<i>Hesperaloe parvifolia</i> 'Break Lights'	Break Lights Red Yucca	1 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
	<i>Heteromeles arbutifolia</i>	Toyon	15 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
(LL)	<i>Leucophyllum langmanii</i> 'Rio Bravo'	Rio Bravo Texas Ranger	5 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
	<i>Ligustrum japonicum</i> 'Texanum'	Texas Privet	15 gal.	Hedge	Per plan	1,2/LP-5.01	See Footnote 1
	<i>Olea europaea</i> 'Montra'	Little Ollie	5 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
(RC)	<i>Rhaphiolepis indica</i> 'Clara'	Clara Indian Hawthorn	5 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
	<i>Rosa floribunda</i> 'Iceberg'	Iceberg Rose	5 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
	<i>Rosmarinus officinalis</i> 'Huntington Carpet'	Huntington Carpet Rosemary	1 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
	<i>Salvia leucantha</i> 'Santa Barbara'	Santa Barbara Sage	5 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1
(WF)	<i>Westringia fruticosa</i> 'Grey Box'	Grey Box Westringia	5 gal.	-	Per plan	1,2/LP-5.01	See Footnote 1

Footnotes:
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Sheet Title:

PLANTING SCHEDULES

Job No. : TB227-R
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GENERAL PLANTING NOTES:

1. Refer to planting details and specifications for additional planting information.
2. Consult with site superintendent, appropriate agencies, and Drawings to verify existing locations of underground utilities, pipes and structures. Take sole responsibility for costs incurred due to damage of these utilities, pipes, or structures if proper verification by Contractor was not performed.
3. Do not willfully proceed with planting operations when it is obvious that unknown obstructions and grade differences exist that may not have been known during design process. Bring such conditions immediately to attention of Owner's Authorized Representative for resolution. Assume full responsibility for costs incurred and required modifications due to lack of providing such notification.
4. Coordinate other contractor's work related to proper execution of Contractor's work.
5. Obtain approval of final grade certification from Owner prior to beginning planting operations that certifies that rough grades are within 1/10th of an inch from specified grades. Ensure that finish grade elevations of planting areas are set to the proper elevations relative to the finish surfaces of paving, utility covers, and curbs.
6. Existing site soil may be used in planting areas, however, it may need to be amended as indicated in the horticultural soils report. Should import soil be necessary to bring site to specified finish grades, indicate source location. Ensure that import soil is of a sandy loam nature, containing no toxic chemicals or elements that might inhibit or retard normal plant growth. Submit soil test results of import soil to Owner's Authorized Representative for approval prior to delivering soil to site.
7. Submit photos of each tree species to Owner's Authorized Representative for approval. Trees may, however, be hand-tagged by the Owner's Authorized Representative at a nursery selected by Owner's Authorized Representative, or if deemed acceptable, by the Contractor. In any case, trees of a similar species and variety are to have matching form.
8. Plant material must be approved by Owner's Authorized Representative prior to installation. Plant material installed without Owner's Authorized Representative's approval may be subject to removal and replacement with related costs borne by Contractor.
9. Final locations of plant materials are subject to approval of the Owner's Authorized Representative prior to installation. Perform the following before beginning planting pit excavation:
 - a. Shrubs - place in containers on-site in "final" locations.
 - b. Trees - stake or flag centerpoint of tree.
 - c. Container Pats - locate pot prior to planting.
10. Notify Owner's Authorized Representative in sufficient time to perform a required site observation visit. Refer to specifications for specific site visit notification tasks and times. Insufficient notification time given Owner's Authorized Representative may require the site visit to be canceled, or possibly, make Contractor responsible to compensate Owner's Authorized Representative for overtime.
11. Furnish plant material free of pests, poor condition, or disease, including pre-selected or "tagged" plant material provided by Owner's Authorized Representative.
12. After fine grading operations have been completed and prior to beginning soil preparation, take a minimum of (3) horticultural soil samples where soil conditions or plant types vary, i.e. turf, shrub, slopes, etc.. Soil samples are to be collected and tested by a qualified soil testing laboratory (current member of the California Association of Agricultural Labs) and a written report prepared which includes recommendations for soil amendments, fertilization, planting backfill mixes and maintenance. Submit a copy of the report to the Owner's Authorized Representative. These recommendations may be revised to conform to recommendations noted in this soil report, however, only upon receipt of written change order from Owner.
13. If conflicts arise between actual size of planting areas on-site and those areas indicated on Drawings, contact Owner's Authorized Representative for resolution. Failure to make such conflicts known to Owner's Authorized Representative in a timely fashion may result in Contractor's own liability to relocate plant materials.
14. Ensure that turf areas are separated from groundcovers and shrub areas with specified edging - refer to Drawings.
15. Triangular space groundcovers and shrubs, unless indicated otherwise on Drawings - refer to planting details.
16. Provide a representative example of a typical tree staking and guying (if any) installation for Owner's Authorized Representative review before performing tree staking and guying (if any) operations - refer to planting details.
17. Excavate plant pits to specified dimensions per planting details.
18. Do not plant trees closer than 4-feet to fixed edge such as sidewalks and walls, unless indicated otherwise on Drawings.
19. Ensure that top of tree rootballs are set 2" above finish grade and shrub rootballs are set 1" above finish grade.
20. Install plant material with its best side facing predominate view of public.
21. Provide the required setbacks between trees and elements such as utilities, i.e. gas, electric, sewer, water and related vaults, streetlights, fire hydrants, and signage.
22. Replace or repair existing materials that are damaged by Contractor during planting operations.
23. Verify property lines prior to commencing planting operations.
24. Refer to City and County standards for standard landscape plans and specifications, where applicable.
25. Keep turf 2' clear of tree trunks. Apply wood mulch in this buffer zone.

SYMBOLS LEGEND:

- | | |
|-------------------------------------|-----------------------------------|
| Indicates Vine | Center Line |
| Indicates Espalier | Property Line |
| Quantity of Plants in Planting Area | Limit of Work Line |
| Indicates Tree Quantity | Matchline |
| Indicates Tree Type | Align |
| Indicates Tree Size | Indicates Tree Box Size |
| Indicates Vine Type | Indicates Palm Brown Trunk Height |
| Indicates Vine Size | |

Plant quantities shown on plans are for contractors convenience and reference only. Contractor is responsible to provide all plant material required to conform to specified plant spacing.

WOOD MULCH SCHEDULE:

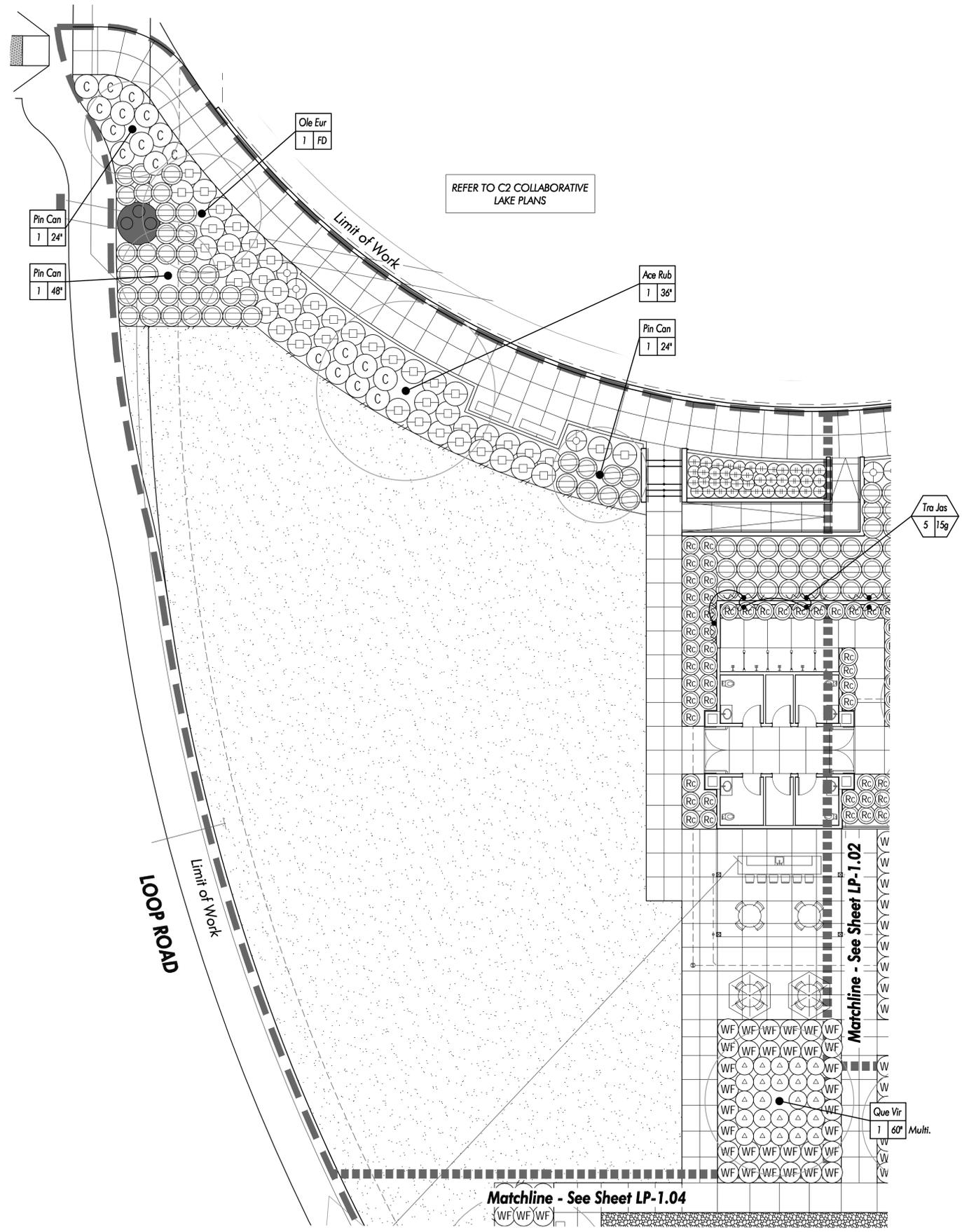
1. Mulch these planter areas with a 3 inch deep layer of wood mulch:
 - A. Shrub areas.
 - B. Groundcover areas.
2. Mulch Type: *Forest Floor (2" minus).
3. Supplier: Aquinaga Green (949) 786-9558.
4. Comments: Provide Owner's Authorized Representative with (1) baggie of mulch for review and approval prior to placement of mulch.
5. Refer to the Landscape Planting specification for additional mulch information.

TREE ROOT BARRIER SCHEDULE:

1. Provide root control barriers for trees planted within 5-feet of a hardscape edge such as paving, walls, curbs, steps, etc.
2. Type: UB 24-2.
3. Mfg: Deep Root (800) 458-7668
4. Comments:
 - A. Set top of barrier a minimum of 1/2" above finish grade and below surface of wood mulch or turf.
 - B. Alternatives may be submitted for review.
 - C. Length of panels determined by expected tree canopy at maturity. Ex. - 12' dia. + 2' = 14'; (7) panels

SOIL MANAGEMENT REPORT:

1. Submit soil samples to a laboratory for analysis and recommendations.
 - A. Soil sampling shall be conducted in accordance with laboratory protocol, including protocols regarding adequate sampling depth for the intended plants.
 - B. The soil analysis shall include:
 - (1) Soil texture;
 - (2) Infiltration rate determined by laboratory test or soil texture infiltration rate table;
 - (3) pH;
 - (4) Total soluble salts;
 - (5) Sodium;
 - (6) Percentage organic matter; and
 - (7) Recommendations.
2. In projects with multiple landscape installations (i.e. production home developments) a soil sampling rate of 1 in 7 lots or approximately 15% will satisfy this requirement. Large landscape projects shall sample at a rate equivalent to 1 in 7 lots.
3. The soil analysis report shall be made available, in a timely manner, to the professionals preparing the landscape design plans and irrigation design plans to make any necessary adjustments to the design plans.
4. If a grading permit is required, the soil analysis report shall be submitted to the City with the Certificate of Completion. If a grading permit is not required, the soil analysis report shall be submitted to the City with the Landscape Documentation Package.
5. The project applicant, or his/her designee, shall submit documentation verifying implementation of soil analysis report recommendations to the City with Certificate of Completion.



SHRUB SCHEDULE:

SYMBOL	BOTANICAL NAME	COMMON NAME
⊕	Ceanothus griseus horizontalis 'Yankee Point'	Yankee Point California Lilac
☼	Chondropetalum tectorum	Cape Thatching Reed
⊙	Cistus x purpureus	Orchid Rockrose
⊗	Coprosma x 'Kirkii'	Kirk's Coprosma
⊕	Dianella 'Little Rev'	Little Rev Flax Lily
⊕	Festuca mairei	Atlas Fescue
⊕	Grevillea x 'Noellii'	Noell Grevillea
⊕	Hesperaloe parvifolia 'Break Lights'	Break Lights Red Yucca
⊕	Heteromeles arbutifolia	Tayon
⊕	Leucophyllum langmanii 'Rio Bravo'	Rio Bravo Texas Ranger
⊕	Ligustrum japonicum 'Texanum'	Texas Privet
⊕	Olea europaea 'Montra'	Little Ollie
⊕	Rhaphiolepis indica 'Clara'	Clara Indian Hawthorn
⊕	Rosa floribunda 'Iceberg'	Iceburg Rose
⊕	Rosmarinus officinalis 'Huntington Carpet'	Huntington Carpet Rosemary
⊕	Salvia leucantha 'Santa Barbara'	Santa Barbara Sage
⊕	Westringia fruticosa 'Grey Box'	Grey Box Westringia

GROUNDCOVER SCHEDULE:

SYMBOL	BOTANICAL NAME	COMMON NAME
⊕	Marathon Fescue II	Turf



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Toll Brothers

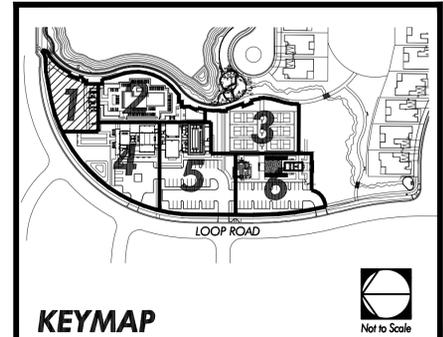
Date	Revision



Sheet Title:
PLANTING PLAN

Job No. : TB227-R
Scale: 1" = 10'
Drawn: FM, SC
Checked: -

Sheet Number:
LP-1.01



NOTES:
1. Refer to Sheets LP-0.01 and LP-0.02 for Planting Schedules and Notes.



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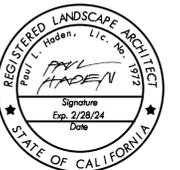
TB227-R: Planning - 2nd Submittal Set (04-03-2023)

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Sheet Title:

**PLANTING
PLAN**

Job No. : TB227-R
Scale: 1" = 10'
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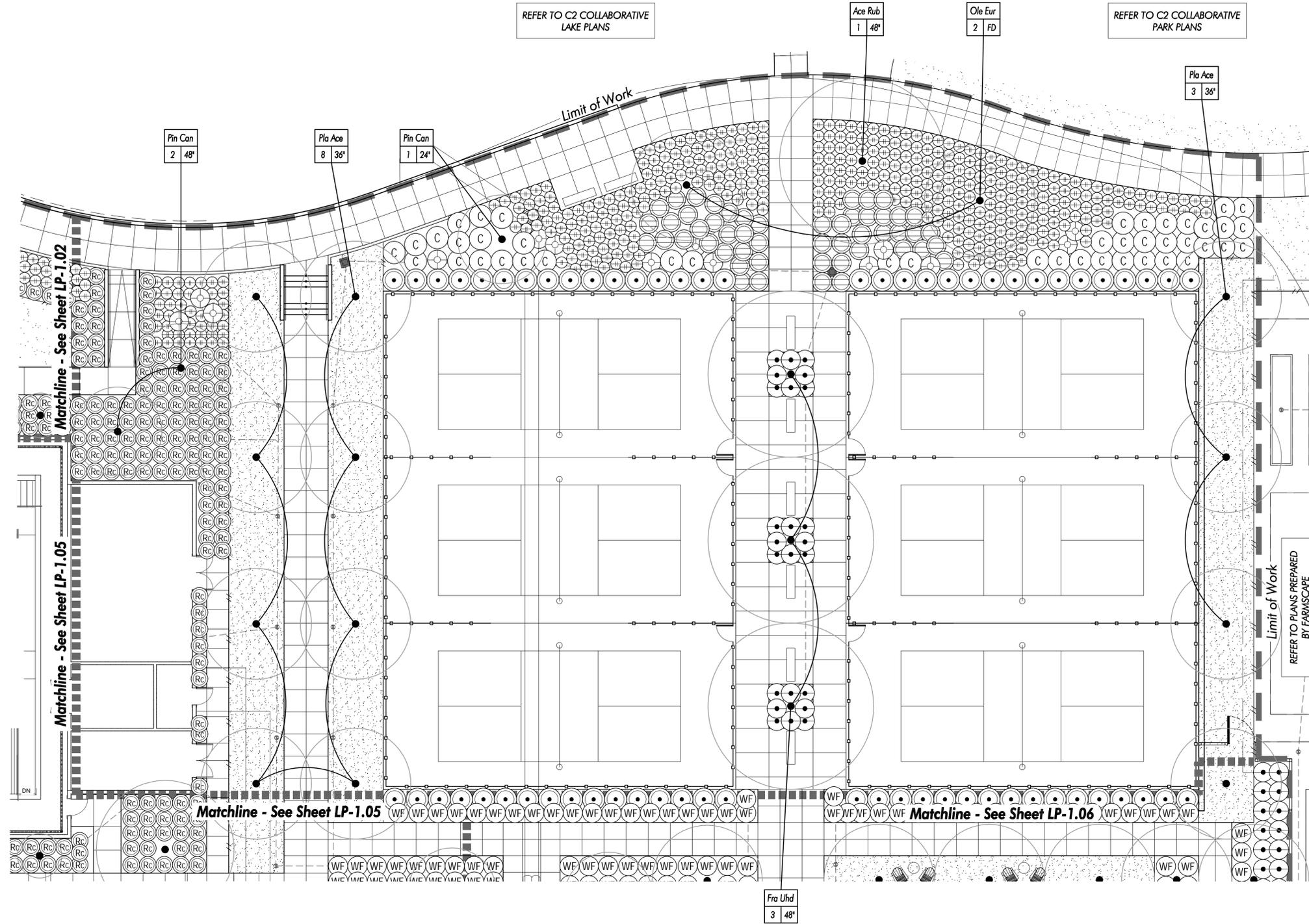
LP-1.03

SHRUB SCHEDULE:

SYMBOL	BOTANICAL NAME	COMMON NAME
⊕	Ceanothus griseus horizontalis 'Yankee Point'	Yankee Point California Lilac
☼	Chondropetalum tectorum	Cape Thatching Reed
⊙	Cistus x purpureus	Orchid Rockrose
⊗	Coprosma x 'Kirkii'	Kirk's Coprosma
⊕	Dianella 'Little Rev'	Little Rev Flax Lily
⊕	Festuca mairei	Atlas Fescue
⊕	Grevillea x 'Noellii'	Noell Grevillea
⊕	Hesperaloe parvifolia 'Break Lights'	Break Lights Red Yucca
⊕	Heteromeles arbutifolia	Tayon
⊕	Leucophyllum langmanii 'Rio Bravo'	Rio Bravo Texas Ranger
⊕	Ligustrum japonicum 'Texanum'	Texas Privet
⊕	Olea europaea 'Montra'	Little Ollie
⊕	Rhaphiolepis indica 'Clara'	Clara Indian Hawthorn
⊕	Rosa floribunda 'Iceberg'	Iceberg Rose
⊕	Rosmarinus officinalis 'Huntington Carpet'	Huntington Carpet Rosemary
⊕	Salvia leucantha 'Santa Barbara'	Santa Barbara Sage
⊕	Westringia fruticosa 'Grey Box'	Grey Box Westringia

GROUNDCOVER SCHEDULE:

SYMBOL	BOTANICAL NAME	COMMON NAME
⊕	Marathon Fescue II	Turf

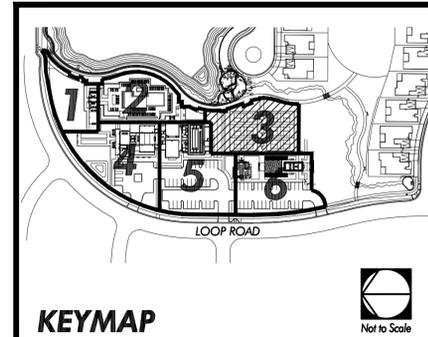


REFER TO C2 COLLABORATIVE LAKE PLANS

REFER TO C2 COLLABORATIVE PARK PLANS

Limit of Work
REFER TO PLANS PREPARED BY FARMSCAPE

NOTES:
1. Refer to Sheets LP-0.01 and LP-0.02 for Planting Schedules and Notes.



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Job No. : TB227-R
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Checked: -

Sheet Number:

LP-1.04

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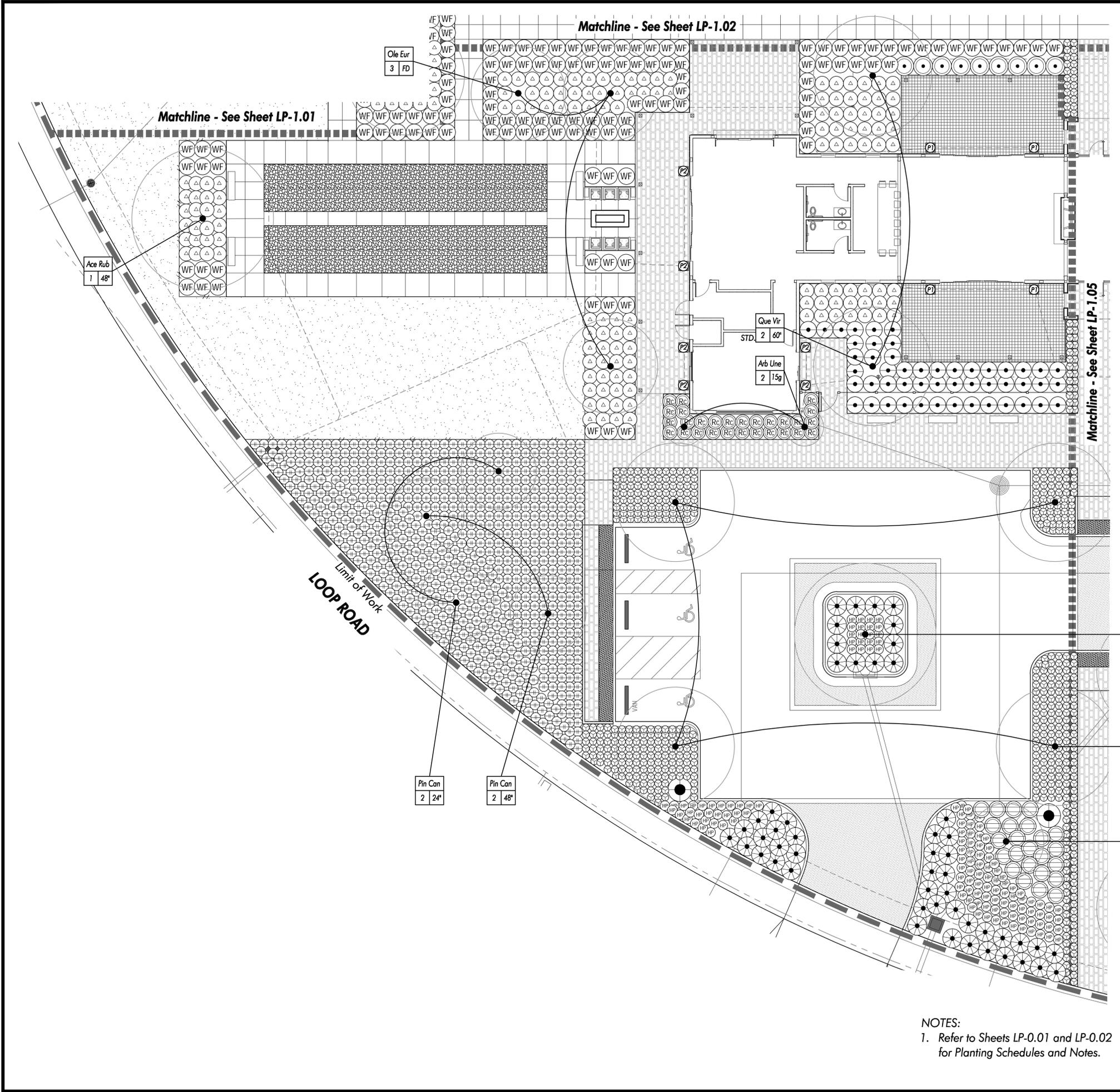
TB227-R: Planning - 2nd Submittal Set (04-03-2023)

SHRUB SCHEDULE:

SYMBOL	BOTANICAL NAME	COMMON NAME
⊕	Ceanothus griseus horizontalis 'Yankee Point'	Yankee Point California Lilac
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⊙	Cistus x purpureus	Orchid Rockrose
⊛	Coprosma x 'Kirkii'	Kirk's Coprosma
⊕	Dianella 'Little Rev'	Little Rev Flex Lily
⊕	Festuca mairei	Atlas Fescue
⊕	Grevillea x 'Noellii'	Noell Grevillea
⊕	Hesperaloe parviflora 'Break Lights'	Break Lights Red Yucca
⊕	Heteromeles arbutifolia	Toyon
⊕	Leucophyllum langmanii 'Rio Bravo'	Rio Bravo Texas Ranger
⊕	Ligustrum japonicum 'Texanum'	Texas Privet
⊕	Olea europaea 'Montra'	Little Ollie
⊕	Rhaphiolepis indica 'Clara'	Clara Indian Hawthorn
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⊕	Salvia leucantha 'Santa Barbara'	Santa Barbara Sage
⊕	Westringia fruticosa 'Grey Box'	Grey Box Westringia

GROUNDCOVER SCHEDULE:

SYMBOL	BOTANICAL NAME	COMMON NAME
⊕	Marathon Fescue II	Turf



Que Agr
4 96" STD.

Ulm Par
4 36"

Pin Can
1 48"

Pin Can
2 24"

Pin Can
2 48"

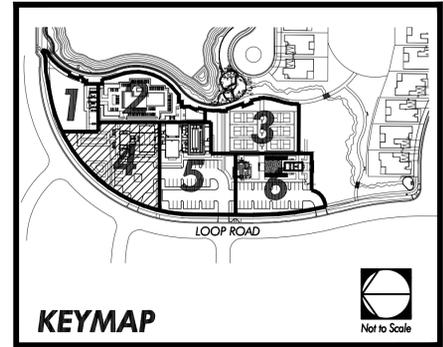
Que Vir
2 60" STD.

Arb Une
2 15g

Ace Rub
1 48"

Ole Eur
3 FD

NOTES:
1. Refer to Sheets LP-0.01 and LP-0.02 for Planting Schedules and Notes.



KEYMAP



Not to Scale



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Toll Brothers

Date	Revision



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Sheet Title:
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Scale: 1" = 10'
Drawn: FM, SC
Checked: -

Sheet Number:
LP-1.05

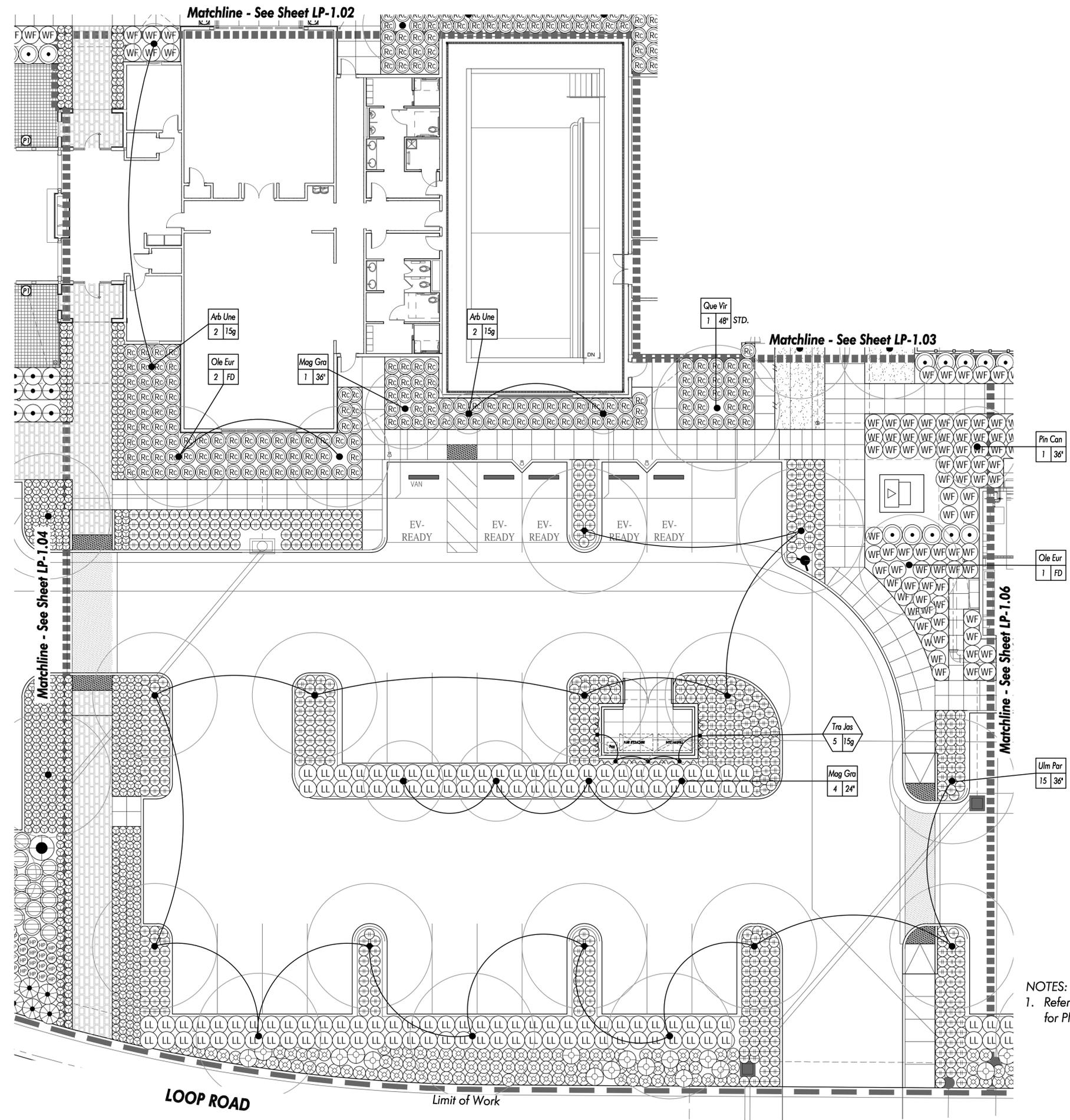
TB227-R: Planning - 2nd Submittal Set (04-03-2023)

SHRUB SCHEDULE:

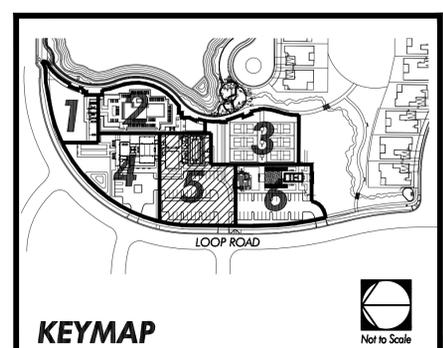
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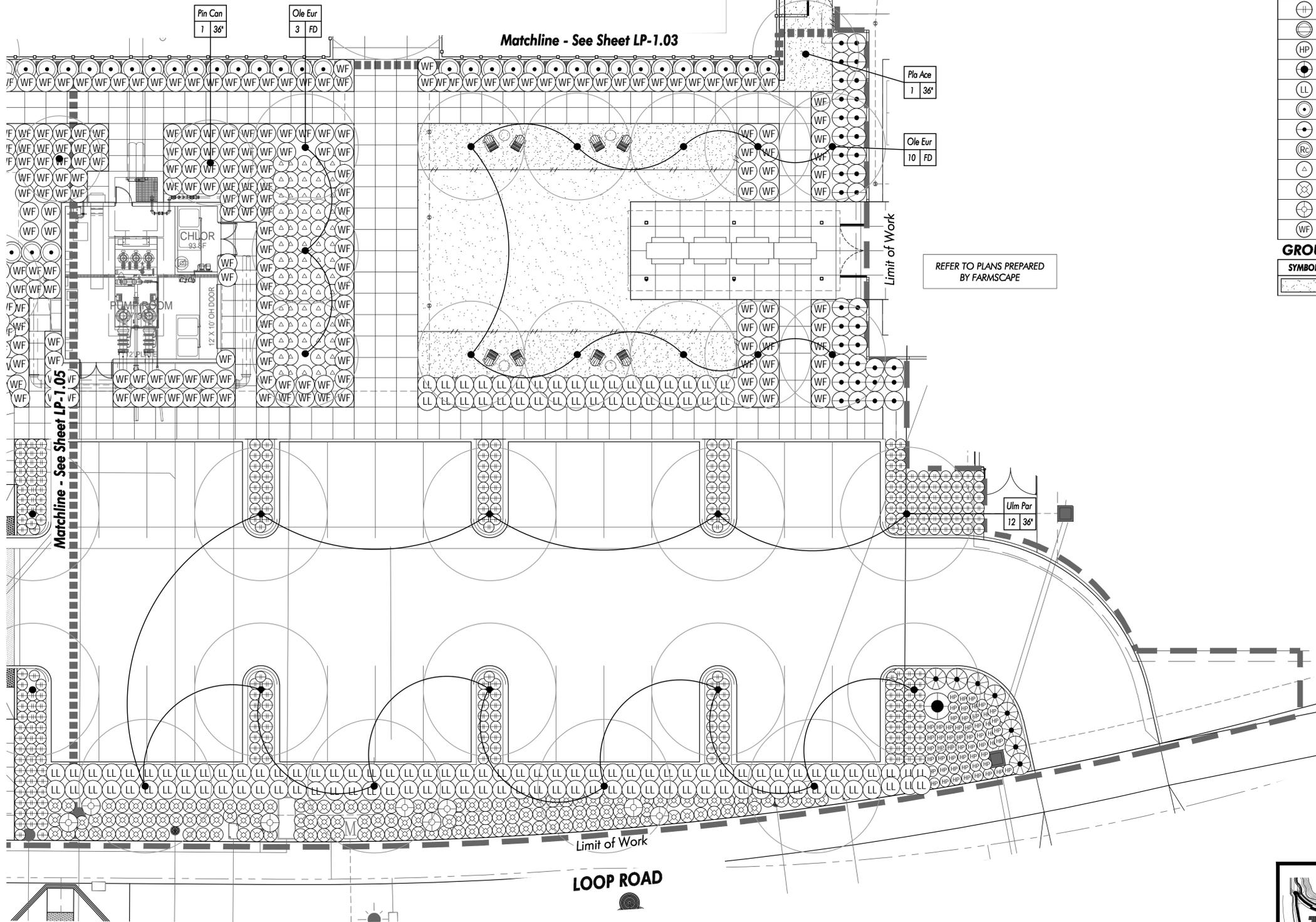
GROUNDCOVER SCHEDULE:

SYMBOL	BOTANICAL NAME	COMMON NAME
⊕	Marathon Fescue II	Turf



NOTES:
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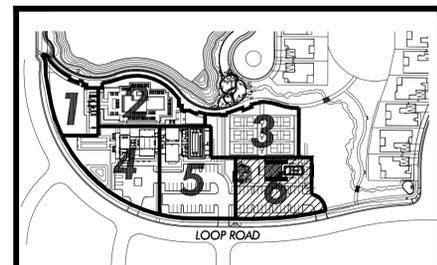
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GROUNDCOVER SCHEDULE:

SYMBOL	BOTANICAL NAME	COMMON NAME
⊕	Marathon Fescue II	Turf

REFER TO PLANS PREPARED BY FARMSCAPE



KEYMAP

NOTES:
1. Refer to Sheets LP-0.01 and LP-0.02 for Planting Schedules and Notes.



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Date	Revision

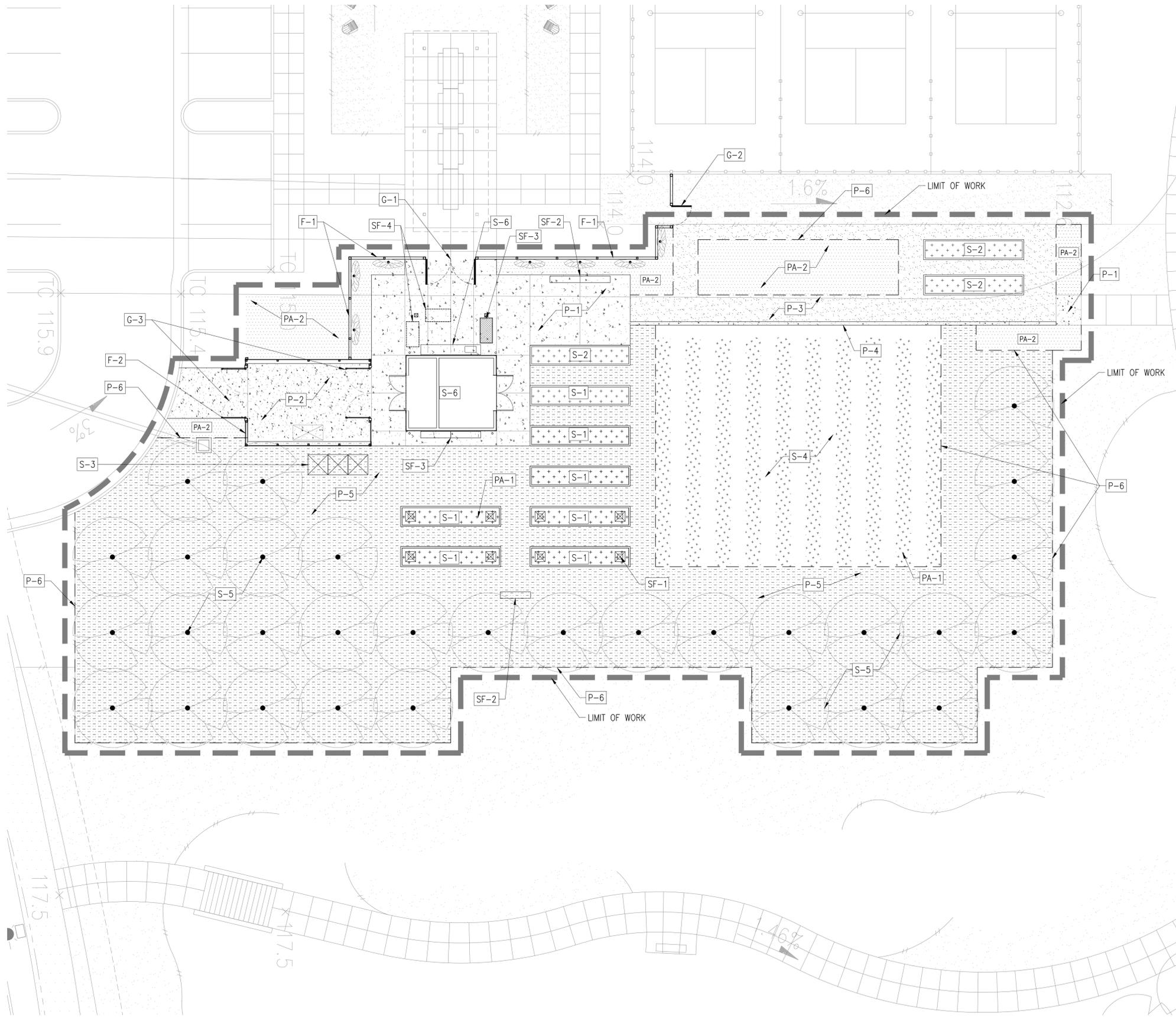


NOT FOR CONSTRUCTION
PLANTING PLAN

Job No. : TB227-R
Scale: 1" = 10'
Drawn: FM, SC
Checked: -

Sheet Number:
LP-1.06

TB227-R: Planning - 2nd Submittal Set (04-03-2023)



ADMINISTRATIVE LEGEND:

KEY	DESCRIPTION	DETAIL
■	LIMIT OF WORK	

SITE ELEMENTS SCHEDULE:

KEY	DESCRIPTION	DETAIL
S-1	RAISED BED, 24" TALL CEDAR	1/F3.01
S-2	RAISED BED, 36" TALL CEDAR	2/F3.01
S-3	COMPOSTING CENTER REDWOOD	7/F3.00
S-4	ROW CROPS	SEE F4.00
S-5	ORCHARD	SEE F4.00
S-6	WASH STATION: PRODUCE + HAND WASH	S.A.D
S-7	FARM SHED & SHADE STRUCTURE	S.A.D

PAVING SCHEDULE:

KEY	DESCRIPTION	DETAIL
P-1	CONCRETE-PEDESTRIAN PAVING COLOR: 'MESA BUFF' 5477, DAVIS COLOR FINISH: TOPCAST #03	2/F3.00
P-2	CONCRETE-VEHICULAR PAVING COLOR: NATURAL FINISH: BROOM FINISH	1/F3.00
P-3	DECOMPOSED GRANITE COLOR: 'MOJAVE GOLD' SUPPLIER: SOUTHWEST BOULDER & STONE	4/F3.00
P-4	CONCRETE CURB COLOR: 'MESA BUFF' 5477, DAVIS COLOR FINISH: TOPCAST #03	3/F3.00
P-5	MULCH SEE PLANTING NOTES	5/F3.00
P-6	HEADER REDWOOD	6/F3.00

FENCE SCHEDULE:

KEY	DESCRIPTION	DETAIL
F-1	HOGWIRE FARM FENCE SEE DETAIL	1/F3.03
F-2	TRASH AREA FENCE SEE DETAIL	2/F3.02

GATE SCHEDULE:

KEY	DESCRIPTION	DETAIL
G-1	DOUBLE FARM GATE, PEDESTRIAN	1/F3.02
G-2	SINGLE FARM GATE, PEDESTRIAN	1/F3.03
G-3	TRASH ENCLOSURE DOUBLE GATE	1/F3.02

SITE FURNITURE & FIXTURE SCHEDULE:

KEY	DESCRIPTION	DETAIL
SF-1	SIGNATURE OBELISK TRELIS SEE DETAIL	3/F3.04
SF-2	BENCH PER INTERIOR DESIGNER	
SF-3	DRY TABLES SEE DETAIL	1/F3.04
SF-4	WORK TABLES STAINLESS STEEL	2/F3.04

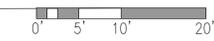
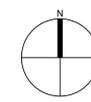
PLANTING AREA

KEY	DESCRIPTION	DETAIL
PA-1	ANNUAL VEGETABLE CROPS	SEE SHEET F4.00
PA-2	HERBS & PERENNIALS	SEE SHEET F4.00

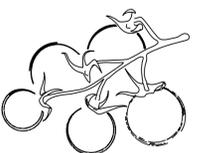
NOTES

- SEE CIVIL PLANS FOR DRAINAGE & FINISHED GRADES
- SEE LANDSCAPE PLANS PER C2 COLLABORATIVE FOR INFORMATION ON ADJACENT SPACES
- SEE ARCHITECTURAL PLANS PER GSB ARCHITECTS FOR STRUCTURES

ALLOW FOR LIGHTING IN EXTERIOR WORK SPACES



1 MATERIAL PLAN
SCALE: 1" = 10'-0" (on a 24"x36" sheet)



FARMSCAPE
3001 N. COOLIDGE AVE.
LOS ANGELES, CA 90039
email: info@farmscapedesign.com
phone: (323) 454-2888

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STAMP

DRAWING TITLE

FARM MATERIAL PLAN

NOT FOR CONSTRUCTION

NO.	ISSUES / REVISIONS	DATE
75%	DD PROGRESS SET	06-03-22
100%	DESIGN DEVELOPMENT	06-17-22
50%	CONSTRUCTION DOCS.	07-08-22
	PLANNING SUBMITTAL	01-27-23
	PLANNING SUBMITTAL #2	04-04-23

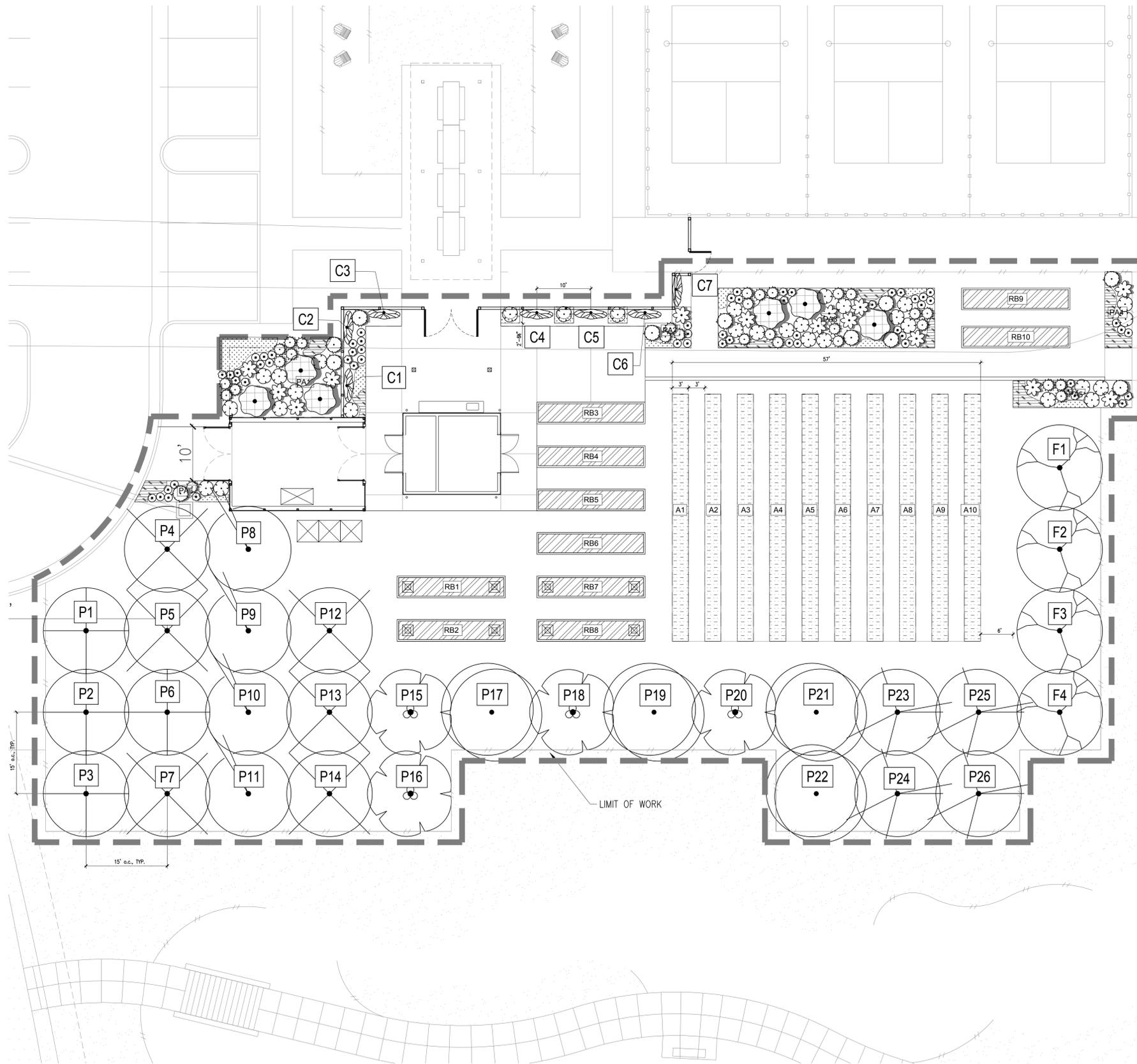
TRACY LAKES RECREATION CENTER
Toll Brothers

Loop Road West, Tracy CA
Tract #3917

SHEET NUMBER

F1.00

ISSUE DATE: 04-04-23



ORCHARD LEGEND

Symbol	Tree	label	qty	harvest time	initial size	mature size	container size	rate of growth
	Citrus-Lemon -Eureka	C1	1	Jan-June	1-3' h x 1-2' w	10-12' h x 8-10' w	5 gal	12-24" per year
	Citrus-Lemon -Improved Meyer	C2	1	Fall-Spring	1-3' h x 1-2' w	10-12' h x 8-10' w	5 gal	12-24" per year
	Citrus-Kumquat, Meiwa	C3	1	January-February	1-3' h x 1-2' w	10-12' h x 8-10' w	5 gal	12-24" per year
	Citrus-Orange, Washinton Navel	C4	1	December-May	1-3' h x 1-2' w	10-12' h x 8-10' w	5 gal	12-24" per year
	Citrus-Mandarin, Golden Nugget	C5	1	March-May	1-3' h x 1-2' w	10-12' h x 8-10' w	5 gal	12-24" per year
	Citrus-Blood Orange 'tarocco'	C6	1	October-December	1-3' h x 1-2' w	10-12' h x 8-10' w	5 gal	12-24" per year
	Citrus-Blood Orange 'Moro'	C7	1	October-December	1-3' h x 1-2' w	10-12' h x 8-10' w	5 gal	12-24" per year
FARM FENCE TOTAL								
7								
	Apricot-Royal Rosa Apricot	P23	1	May-June	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Apricot-Blenhiem Royal	P24	1	June-July	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Apricot-Moorpark	P25	1	July	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	< 24" per year
	Apricot-Earli-Autumn	P26	1	August	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	< 24" per year
	Cherry-Craigs Crimson	P8	1	May-June	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Cherry-Royal Rainier	P9	1	May-June	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Cherry-Stella	P10	1	May-June	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Cherry-Lapins	P11	1	May-June	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Fig-Brown Turkey	F1	1	August-October	5-6' h x 3-4' w	10-12' h x 10-12' w	15 gal	<12" per year
	Fig-Black Mission	F2	1	August-November	5-6' h x 3-4' w	10-12' h x 10-12' w	15 gal	<12" per year
	Fig (white)-Janice Seedless Kadota	F3	1	August-November	5-6' h x 3-4' w	10-12' h x 10-12' w	15 gal	<12" per year
	Fig-Panache	F4	1	August-November	5-6' h x 3-4' w	10-12' h x 10-12' w	15 gal	<12" per year
	Nectarine (white)-Arctic Glo	P4	1	June-July	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	18-24" per year
	Nectarine (white)-Arctic Rose	P5	1	July	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	18-24" per year
	Nectarine (white)-Arctic Queen	P7	1	August	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	18-24" per year
	Nectarine (yellow)-Desert Delight	P12	1	June	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	18-24" per year
	Nectarine (yellow)-Double Delight	P13	1	July	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	18-24" per year
	Nectarine (yellow)-Panamint	P14	1	August	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	18-24" per year
	Peach (white)-Babcock	P1	1	June	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Peach (yellow)-Double Jewel	P2	1	June	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Peach (yellow)-Octoberfest	P6	1	October	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Peach-Mary Jane (best available)	P3	1	August	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Plum-Burgandy	P15	1	July-August	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Plum-Late Santa Rosa	P16	1	August	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Plum-Satsuma	P18	1	August	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Plum -Emerald Beauty	P20	1	August-October	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	12-24" per year
	Plum-Crimson Heart	P17	1	May 25-Jun 10	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	18-24" per year
	Plum-Flavor Queen	P19	1	July-August	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	18-24" per year
	Plum-Dapple Dandy	P21	1	August	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	18-24" per year
	Plum-Flavor King	P22	1	August-September	6-7' h x 2-3' w	10-12' h x 8-10' w	15 gal	18-24" per year
FARM ORCHARD TOTAL								
30								

PLANTING LEGEND

PERENNIAL HERBS

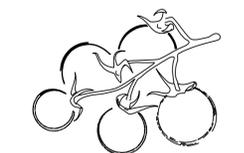
SYMBOL	COMMON NAMES	QTY	SIZE	SPACING	WUCOLS	DETAIL
	Central Valley Pollenator Seed Mix	100 sf	seed	PER PLAN	L (1-3)	
	Yarrow	104 sf	4"	PER PLAN	L (1-3)	3/F4.01
	Anise Hyssop	36	1 gal	PER PLAN	M (4-6)	3/F4.01
	Lemon Verbena	11	1 gal	PER PLAN	L (1-3)	3/F4.01
	English Lavender	31	1 gal	PER PLAN	L (1-3)	3/F4.01
	Scented Geranium	23	1 gal	PER PLAN	M (4-6)	3/F4.01
	Rosemary	31	1 gal	PER PLAN	L (1-3)	3/F4.01
	Artichoke	15	1 gal	PER PLAN	L (1-3)	3/F4.01
	Pride of Madeira	6	1 gal	PER PLAN	L (1-3)	3/F4.01

IN GROUND CROPS

SYMBOL	COMMON NAMES	QTY	SIZE	SPACING	WUCOLS	DETAIL
	VARIOUS ANNUAL CROPS, PLANTED SEASONALLY	1410 SF	START	TBD	SLA	

PLANTERS

SYMBOL	COMMON NAMES	QTY	SIZE	SPACING	WUCOLS	DETAIL
	VARIOUS ANNUAL CROPS, PLANTED SEASONALLY	663.5 SF	SEED/START	TBD	SLA	



FARMSCAPE
 3001 N. COLIDGE AVE.
 LOS ANGELES, CA 90039
 email: info@farmscapedesign.com
 phone: (323) 454-2888

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STAMP

DRAWING TITLE

FARM PLANTING PLAN

NOT FOR CONSTRUCTION

NO.	ISSUES / REVISIONS	DATE
75%	DD PROGRESS SET	06-03-22
100%	DESIGN DEVELOPMENT	06-17-22
50%	CONSTRUCTION DOCS.	07-08-22
	PLANNING SUBMITTAL	01-27-23
	PLANNING SUBMITTAL #2	04-04-23

TRACY LAKES RECREATION CENTER
 Toll Brothers

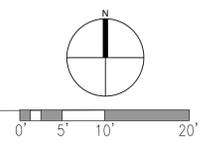
Loop Road West, Tracy CA
 Tract #3917

SHEET NUMBER

F4.00

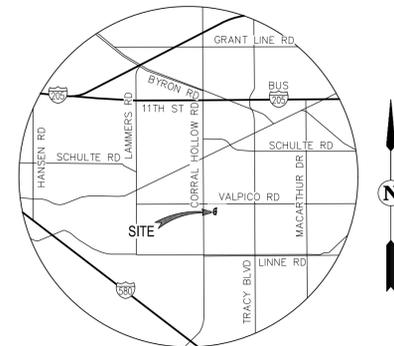
ISSUE DATE: 04-04-23

1 PLANTING PLAN
 SCALE: 1" = 10'-0" (on 24"x36" sheet)





TRACY LAKES REC CENTER CONSTRUCTION PLANS CITY OF TRACY, SAN JOAQUIN COUNTY, CALIFORNIA



GENERAL NOTES

- OWNER: DRP CA 6, LLC
725 W TOWN & COUNTRY ROAD, SUITE #200
ORANGE, CA 92868
 - SUBDIVIDER: TOLL BROTHERS, INC.
6800 KOLL CENTER PARKWAY, SUITE #320
PLEASANTON, CA 94566
(925) 249-6032
STEVE SAVAGE
 - CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 866-0322
GORDON ZANIN, R.C.E. 76794
 - GEOTECHNICAL ENGINEER: ENGeo, INC.
17278 GOLDEN VALLEY PARKWAY
LATHROP, CA 95330
(209) 835-0610
STEVE HARRIS
- ALL GRADING, SITE PREPARATION, PLACING AND COMPACTION OF FILL SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL STUDY REPORT PREPARED BY ENGeo, DATED APRIL 12, 2017, JOB NO. 10091.000.000. UNDER THE DIRECT OBSERVATION OF THE SOILS ENGINEER AND THE GRADING ENGINEER. SUBSEQUENT TO COMPLETION OF THE WORK, THE SOILS ENGINEER SHALL SUBMIT A REPORT TO THE CITY BUILDING INSPECTION DEPARTMENT STATING THAT ALL WORK HAS BEEN DONE TO HIS SATISFACTION.
 - ANY EXISTING WELLS ENCOUNTERED SHALL BE ABANDONED AND SEALED PER COUNTY REQUIREMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL UTILITIES 48 HOURS PRIOR TO ANY EXCAVATION SO THAT THEIR LINES CAN BE MARKED. UTILITIES TO BE NOTIFIED INCLUDE, BUT MAY NOT BE LIMITED TO:

UNDERGROUND SERVICE ALERT (800) 227-2600 OR 811
PG&E, SBC AND COMCAST CABLE COMPANY.
- CITY OF TRACY (209) 831-6400
WATER SEWERS STORM DRAINS, STREET LIGHTS AND TRAFFIC SIGNALS
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING DEPARTMENT 24 HOURS PRIOR TO REQUIRED INSPECTION (209 831-6400). THE CONTRACTOR SHALL SUBMIT CUT SHEETS FOR SANITARY SEWERS, STORM DRAINS AND CURB AND GUTTER 24 HOURS PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL KEEP EXISTING STREETS FREE FROM DIRT AND DEBRIS DURING ALL PHASES OF CONSTRUCTION.
 - COMPACTION TESTS WILL BE PERFORMED ON ALL TRENCHES AND STREET WORK TO VERIFY THAT COMPACTION CONFORMS TO CITY STANDARDS. THE INITIAL TEST AND ONE RE-TEST WILL BE PERFORMED BY THE CITY (24 HOUR NOTICE REQUIRED). ALL ADDITIONAL TESTING WILL BE AT THE DEVELOPER'S/CONTRACTOR'S EXPENSE.
 - INSTALL HANDICAP RAMPS AT LOCATIONS SHOWN ON THE PLANS IN ACCORDANCE WITH THE CITY STANDARD 128, AND 130.
 - UNLESS MENTIONED OTHERWISE, ALL PIPE GRADES SHOWN ARE FLOW LINE ELEVATIONS.
 - ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH CITY STANDARD DETAIL 501.
 - ALL TRENCHES OVER FIVE FEET IN DEPTH SHALL BE SHORED IN ACCORDANCE WITH CAL-OSHA "CONSTRUCTION SAFETY ORDERS" CURRENT EDITION. CONTRACTOR MUST HAVE VALID TRENCH SHORING PERMIT ISSUED BY CAL-OSHA.
 - TRAFFIC CONTROL:
A. PRIOR TO BEGINNING ANY WORK ON EXISTING STREETS, ADVANCE WARNING SIGNS AND CHANGEABLE MESSAGE SIGNS (CMS) SHALL BE INSTALLED.
B. TWO-WAY TRAFFIC (12' MINIMUM LANES) SHALL BE MAINTAINED AT ALL TIMES UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
C. TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE CALIFORNIA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION. FAILURE TO COMPLY MAY RESULT IN IMMEDIATE STOPPAGE OF WORK UNTIL THE PROPER TRAFFIC CONTROL IS IN ORDER.
D. TRAFFIC CONTROL PLANS SHALL BE PREPARED BY A REGISTERED CIVIL OR TRAFFIC ENGINEER, IN CONFORMANCE WITH SECTION 102.14 OF THE CITY OF TRACY STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION ACTIVITY WITHIN CITY RIGHT OF WAY.
 - WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTEWATER FROM PAINTING, SAWCUTTING, CONCRETE WORK, ETC. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM AND, IF NECESSARY, PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTION. MATERIALS WHICH COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN AREAS WHICH ARE DESIGNED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN INTO THE AREA.

CITY STANDARD NOTES

- ALL WORK SHALL CONFORM TO CITY OF TRACY STANDARD SPECIFICATIONS AND STANDARD PLANS. THE WORK IS SUBJECT TO THE INSPECTION AND APPROVAL OF THE CITY ENGINEER, AND THE ENGINEERING DIVISION INSPECTORS. CONTACT ENGINEERING DIVISION CONSTRUCTION MANAGEMENT AT (209) 831-4600, TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF ANY WORK TO ARRANGE FOR INSPECTION.
- THESE PLANS HAVE BEEN CHECKED BY THE CITY OF TRACY FOR CONFORMANCE WITH THE CITY'S MINIMUM STANDARDS, BUT SUCH CHECKING BY THE CITY DOES NOT RELIEVE THE DEVELOPER FROM ITS RESPONSIBILITY TO FIND AND CORRECT ERRORS, OMISSIONS OR MAKE CHANGES REQUIRED BY CONDITIONS DISCOVERED IN THE FIELD DURING THE COURSE OF CONSTRUCTION. ANY REQUEST BY THE DEVELOPER TO CHANGE THESE PLANS SHALL BE SUBMITTED IN WRITING TO THE CITY ENGINEER.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND SIGNED BY THE CITY ENGINEER PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
- ALL CONSTRUCTION STAKING FOR CURB, GUTTER, SIDEWALK, SANITARY SEWERS, STORM DRAINS, WATER LINES, FIRE HYDRANTS, AND ELECTROLIERS, ETC., SHALL BE DONE BY THE REGISTERED CIVIL ENGINEER OF RECORD OR LICENSED LAND SURVEYOR. HORIZONTAL CONTROL AND CUT SHEETS SHALL BE PROVIDED TO THE CITY PRIOR TO START OF WORK.
- EXISTING UTILITIES ARE PLOTTED FROM AVAILABLE RECORDS. THE DEVELOPER SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THESE UTILITIES. THE DEVELOPER SHALL PERFORM NO EXCAVATION UNTIL ALL UTILITY AGENCIES AND THE CITY OF TRACY HAVE BEEN NOTIFIED AND HAVE BEEN GIVEN THE OPPORTUNITY TO MARK THEIR FACILITIES IN THE FIELD. NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION. SOME AGENCIES SUCH AS IRRIGATION DISTRICTS MAY NOT BE PART OF UNDERGROUND SERVICE ALERT AND MUST BE CONTACTED SEPARATELY.
- WATER MAINS AND SERVICES, SANITARY SEWER MAINS AND LATERALS, STORM DRAIN MAINS AND LATERALS, JOINT TRENCH UTILITIES, STREET LIGHT CONDUIT, AND ALL OTHER UNDERGROUND UTILITIES SHALL BE INSTALLED, TESTED, REPAIRED AND RETESTED IF NECESSARY PRIOR TO CURB, GUTTER, SIDEWALK AND STREET PAVING INSTALLATION.
- SURVEY MONUMENTS SHALL BE FURNISHED AND INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN ON THE FINAL MAP. SUBMIT TO THE CITY ENGINEER A LETTER OF CERTIFICATION FROM THE LICENSED LAND SURVEYOR CERTIFYING ALL FEES HAVE BEEN PAID AND THAT ALL MONUMENTS ARE INSTALLED AND TAGGED IN ACCORDANCE WITH THE APPROVED FINAL MAP PRIOR TO TRACT ACCEPTANCE.
- ALL UNDERGROUND UTILITIES ABANDONED DURING CONSTRUCTION SHALL BE REMOVED.
- ALL SANITARY SEWER MAINS SHALL BE BALLED AND FLUSHED, PASS A LOW AIR LEAKAGE TEST, AND VIDEO INSPECTED (COPIES SHALL BE GIVEN TO THE CITY OF TRACY), IN CONFORMANCE WITH CITY OF TRACY STANDARD SPECIFICATIONS PRIOR TO ACCEPTANCE BY THE CITY. ALL TESTING SHALL BE PERFORMED AFTER 80% OF THE STREET AGGREGATE BASE HAS BEEN PLACED AND COMPACTED PRIOR TO PAVING.
- ALL WATER LINES SHALL BE PRESSURE-TESTED, DISINFECTED, FLUSHED, AND TESTED FOR BACTERIA IN CONFORMANCE WITH THE CITY OF TRACY DESIGN STANDARDS AND STANDARD SPECIFICATIONS PRIOR TO ACCEPTANCE BY THE CITY. TESTING SHALL BE PERFORMED AFTER 80% OF THE STREET BASE ROCK HAS BEEN PLACED AND COMPACTED AND PRIOR TO FINAL LIFT OF ASPHALT PAVING. BACTERIA SAMPLING SHALL BE CONDUCTED BY THE CITY. AFTER COLLECTION, THE SAMPLES WILL BE SUBMITTED TO AN INDEPENDENT LAB FOR TESTING.
- TESTING
 - ALL SAMPLING AND TESTING CALLED FOR BY THE CITY ENGINEER SHALL BE PAID FOR BY THE DEVELOPER OR CONTRACTOR.
 - ROADWAY SUBBASE, BASE, ASPHALT, AND TRENCH BACKFILL COMPACTION TESTING SHALL BE PERFORMED BY A SOILS LAB CONTRACTING WITH THE CITY OF TRACY.
 - TESTS FOR SUBGRADE R-V VALUES ARE REQUIRED PRIOR TO THE INSTALLATION OF BASE ROCK WHEN R-VALUES ASSUMED IN DESIGN ARE GREATER THAN 5.
 - A MINIMUM OF 48 HOURS NOTICE IS REQUIRED TO SCHEDULE ALL SOILS TESTING SERVICES.
- STREET SIGNS SHALL BE INSTALLED AT ALL INTERSECTIONS PER CITY DESIGN STANDARDS, STANDARD PLANS, AND STANDARD SPECIFICATIONS.
- TRAFFIC SIGNS SHALL BE INSTALLED IN CONFORMANCE WITH THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CA MUTCD) AT LOCATIONS SPECIFIED BY CITY DESIGN STANDARDS, STANDARD PLANS, AND STANDARD SPECIFICATIONS.
- STREET STRIPING SHALL INCLUDE STOP BARS, CENTERLINE STRIPING OR MARKERS, CROSSWALKS AND ALL OTHER MARKINGS REQUIRED BY THE CITY DESIGN STANDARDS, STANDARD PLANS, STANDARD SPECIFICATIONS AND CA MUTCD. STRIPING SHALL BE DONE WITH THERMOPLASTIC AND REFLECTIVE MARKERS. STRIPING ON ALL ROADWAYS SHALL BE CAT-TRACKED AND APPROVED BY THE CITY ENGINEER OR DESIGNER PRIOR TO FINAL INSTALLATION.
- ALL TRENCHES SHALL BE BACKFILLED IN ACCORDANCE WITH CITY DESIGN STANDARDS, STANDARD PLANS, AND STANDARD SPECIFICATIONS. COMPACTION SHALL BE ACHIEVED BY MECHANICAL MEANS. NO FLOODING, PONDING OR JETTING SHALL BE PERMITTED.
- WHEN WIDENING THE PAVEMENT ON AN EXISTING ROAD, THE EXISTING PAVEMENT SHALL BE CUT TO A NEAT LINE AND REMOVED BACK TO AN EXISTING ADEQUATE STRUCTURAL SECTION, OR TO THE ORIGINAL ROAD SECTION. AN EXPLORATORY TRENCH, OR POT HOLING, MAY BE REQUIRED TO DETERMINE THE LIMITS OF PAVEMENT REMOVAL.
- EXISTING CURB, GUTTER, AND SIDEWALK WITHIN THE PROJECT LIMITS THAT ARE DAMAGED OR DISPLACED, EVEN THOUGH THEY WERE NOT TO BE REMOVED, SHALL BE REPLACED PER CITY STANDARD PLANS EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED BY THE DEVELOPER.

- AT THE INTERSECTION OF TWO STREETS, THE FULL STRUCTURAL SECTION OF THE MOST PROMINENT STREET SHALL BE CONTINUED THROUGH THE INTERSECTION.
- ASBESTOS CEMENT PIPE (ACP) OR FITTINGS SHALL NOT BE USED WITHIN THE CITY OF TRACY AND SHALL BE REMOVED IF FOUND.
- CONTRACTOR SHALL NOTIFY THE CITY ENGINEER IMMEDIATELY UPON THE DISCOVERY OF A SURVEY MONUMENT WITHIN THE CONSTRUCTION LIMITS.
- ALL STREET MONUMENTS, LOT CORNER, AND OTHER PERMANENT PIPE OR MONUMENTS WITHIN THE CONSTRUCTION LIMITS SHALL BE REFERENCED BY A REGISTERED LAND SURVEYOR BY MEANS OF A PRE-CONSTRUCTION CORNER RECORD. MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED PRIOR TO CITY ACCEPTANCE OF IMPROVEMENTS.
- THE DEVELOPER SHALL CONTROL DUST AT ALL TIMES DURING CONSTRUCTION AS REQUIRED BY THE CITY OF TRACY.
- PRIOR TO TRENCHING FOR ANY SEWER, WATER, OR STORM DRAIN PIPE, THE DEVELOPER SHALL VERIFY, IN THE FIELD, THE SIZE AND LOCATION OF THE EXISTING PIPE AT THE POINT OF CONNECTION. ANY DEVIATION FROM THE PLANS SHALL BE RESOLVED BY THE DESIGN ENGINEER AND REVIEWED BY THE CITY ENGINEER PRIOR TO TRENCHING.
- MANHOLES, VALVES, CLEANOUTS, ETC., SHALL BE BROUGHT TO FINISH GRADE BY THE DEVELOPER AFTER THE FINAL PAVING COURSE IS PLACED. EXISTING IRON SHALL BE LOWERED, THEN RAISED AFTER FINAL PAVING PER STANDARD PLAN 118. LOCKING GRADE RINGS OF ANY KIND ARE NOT ALLOWED.
- THE INSTALLATION OF EROSION AND SEDIMENT CONTROLS PER THE APPROVED SWPPP OR ESCP SHALL BE IMPLEMENTED PRIOR TO CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. THE BMPs SHALL NOT ALLOW TURBID OR SEDIMENT-LADEN WATERS TO ENTER THE STORM DRAINAGE SYSTEM.
- IF, DURING CONSTRUCTION, ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED, CONSTRUCTION IN THE MOUNDY SHALL BE HALTED, AN ARCHAEOLOGIST CONSULTED, AND THE CITY ENGINEER NOTIFIED. IF, IN THE OPINION OF THE ARCHAEOLOGIST, THE REMAINS ARE SIGNIFICANT, MEASURES AS MAY BE REQUIRED BY THE CITY OF TRACY, SHALL BE TAKEN TO PROTECT THEM.
- WORK SHALL BE RESTRICTED TO WEEKDAYS BETWEEN 7:30 AM AND 7:00 PM AND WEEKENDS BETWEEN 9:00 AM AND 5:00 PM. ALTERNATE HOURS MUST BE APPROVED BY THE CITY ENGINEER. WORK WHICH REQUIRES ANY TRAFFIC LANE CLOSURES OR RESTRICTION OF THE TRAVELED WAY SHALL BE LIMITED TO 9:00 AM TO 3:30 PM IN THE COMMUTE DIRECTION AND 8:00 AM TO 4:30 PM IN THE NON-COMMUTE DIRECTION. COMMUTE DIRECTIONS SHALL BE AS DETERMINED BY THE CITY ENGINEER.
- THE OVERTIME COST FOR INSPECTING WORK REQUIRING CITY INSPECTION, PERFORMED BEFORE 7:00 AM AND AFTER 3:30 PM, SHALL BE PAID BY THE DEVELOPER BEFORE THE WORK IS AUTHORIZED.
- CONSTRUCTION EQUIPMENT WHICH OPERATES AT A NOISE LEVEL IN EXCESS OF 85 DECIBELS (MEASURED ON THE A-WEIGHTED SCALE DEFINED IN ANSI S-1.4) AT A DISTANCE OF 100 FEET FROM THE EQUIPMENT IS PROHIBITED.
- THE DEVELOPER SHALL KEEP EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 2 FEET BELOW BOTTOM OF EXCAVATIONS TO MAINTAIN UNDISTURBED STATE OF NATURAL SOILS AND ALLOW PLACEMENT OF ANY FILL TO SPECIFIED DENSITY. DISPOSAL OF WATER SHALL NOT DAMAGE PROPERTY OR CREATE A PUBLIC NUISANCE.
- DISPOSAL OF CONSTRUCTION DEWATER INTO THE CITY SANITARY SEWER OR STORM DRAIN SYSTEM MAY BE ALLOWED BY THE CITY WHEN JURISDICTIONAL WATER QUALITY STANDARDS ARE SATISFIED. CONTRACTOR SHALL SUBMIT A DEWATERING PLAN, OBTAIN ALL NECESSARY PERMITS, AND CONDUCT WATER QUALITY TESTING AS REQUIRED TO COMPLY WITH PERMIT REQUIREMENTS. THE DEWATERING PLAN MUST BE APPROVED BY THE UTILITIES DEPARTMENT PRIOR TO BEGINNING ANY DEWATERING ACTIVITIES.
- DEVELOPER SHALL MAINTAIN ALL STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION THROUGHOUT THE COURSE OF CONSTRUCTION. ALL SPILLS OF SOIL, ROCK, CONSTRUCTION DEBRIS, ETC., SHALL BE REMOVED IMMEDIATELY FROM PUBLICLY OWNED PROPERTY. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION. THE DEVELOPER SHALL PROVIDE FOR SAFE, UNOBSTRUCTED ACCESS TO PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.
- IF A DEVELOPMENT PROJECT CONNECTS TO EXISTING UTILITIES, WHICH REQUIRE TRENCHING OF EXISTING STREET PAVEMENT, THE DEVELOPER IS REQUIRED TO REPAIR THE STREET BY PROVIDING A 2" GRIND OF THE EXISTING ASPHALT AND REPLACING WITH 2" OF ASPHALT CONCRETE OVER PAVEMENT REINFORCEMENT FABRIC. THE LIMITS OF THE OVERLAY SHALL EXTEND 25' ON EITHER SIDE OF TRENCHES CROSSING PERPENDICULAR TO THE STREET CENTERLINE AND FROM CENTERLINE TO LIP OF GUTTER FOR LONGITUDINAL TRENCHES.

BENCHMARK

CITY OF TRACY BM#11
 1" BOLT W/ PUNCH IN MONUMENT WELL
 LOCATED 280' EAST OF CORRAL HOLLOW ROAD & LINNE ROAD INTERSECTION
 40' SOUTH OF THE RAILROAD TRACKS
 ELEVATION 171.33 (NAVD 88)

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS DETERMINED BY FOUND MONUMENTS SHOWN HEREON. THE BEARING BEING N85°27'38"W (CALCULATED) BETWEEN THE CITY OF TRACY GPS POINT 9 AND GPS POINT 2056 AS SHOWN ON RECORD OF SURVEY (36 SURVEYS 118). DISTANCES SHOWN ARE GROUND DISTANCES IN US SURVEY FEET.

Sheet Number	Sheet Title
C-1	TITLE SHEET & NOTES
C-2	SHEET INDEX
C-3	DETAILS
C-4	UTILITY PLAN
C-5	SITE, UTILITY, GRADING & DRAINAGE PLAN
C-6	SITE, UTILITY, GRADING & DRAINAGE PLAN
C-7	SITE, UTILITY, GRADING & DRAINAGE PLAN
C-8	SITE, UTILITY, GRADING & DRAINAGE PLAN
C-9	SITE, UTILITY, GRADING & DRAINAGE PLAN
C-10	SITE, UTILITY, GRADING & DRAINAGE PLAN
C-11	DIMENSIONED SITE PLAN
C-12	SIGNING & STRIPING PLAN
C-13	EROSION NOTES
C-14	EROSION CONTROL PLAN

CITY OF TRACY

APPROVAL OF THESE PLANS DOES NOT RELIEVE THE ENGINEER OF THE RESPONSIBILITY FOR CORRECTION OF MATERIAL ERRORS OR OMISSIONS. THE ENGINEER SHALL BE RESPONSIBLE FOR THE PROTECTION AND DEVIATION OF THE CITY OF TRACY OF THESE PLANS. THE CITY ENGINEER'S REVIEW AND APPROVAL OF THESE PLANS IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE CITY OF TRACY. APPROVAL IS ONLY BASED ON THE INFORMATION SUBMITTED HEREON. APPROVED FOR THE CITY OF TRACY:

ROBERT HAROLD TEE CITY ENGINEER

Think Inside the Triangle



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PRELIMINARY PLANS
 NOT FOR CONSTRUCTION

DATE: APRIL 2023
 DRAWN BY: MGW
 CHECKED BY: GTZ
 SCALE: AS SHOWN

TITLE SHEET & NOTES
 TRACT 3917
 CONSTRUCTION DRAWINGS
 TRACY LAKES REC CENTER
 TRACY, CALIFORNIA

GEOTECHNICAL ENGINEER

THE GEOTECHNICAL ASPECTS OF THE GRADING PLANS HAVE BEEN REVIEWED FOR SUBSTANTIAL CONFORMANCE WITH THE INTENT OF THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL INVESTIGATION REPORT.

SIGNED: _____ DATE: _____
 STEVE HARRIS, GE 2804
 ENGeo, INC.

CITY FIRE OFFICIAL SIGNATURE BLOCK

THESE PLANS HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF TRACY FIRE DEPARTMENT.

SIGNED: _____ DATE: _____

ENGINEER OF WORK

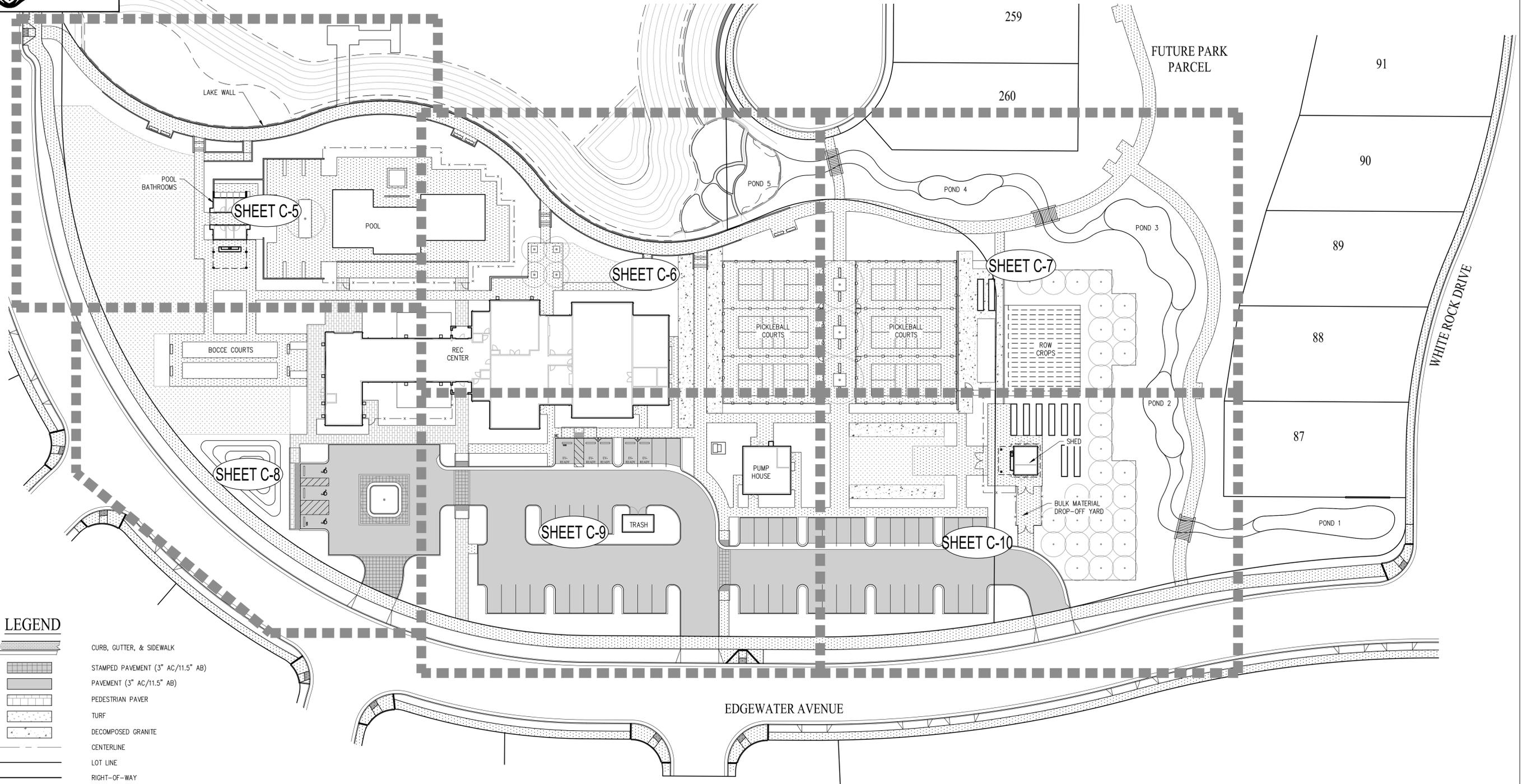
PLANS PREPARED UNDER THE DIRECTION OF:

_____ DATE _____

GORDON T. ZANIN
 CARLSON BARBEE & GIBSON, INC.
 RCE 76794

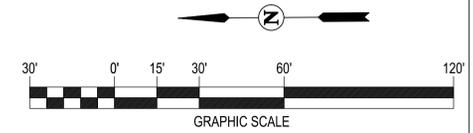


SHEET
C-1
 OF 14 SHEETS

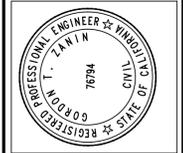


- LEGEND**
- CURB, GUTTER, & SIDEWALK
 - STAMPED PAVEMENT (3" AC/11.5" AB)
 - PAVEMENT (3" AC/11.5" AB)
 - PEDESTRIAN PAVER
 - TURF
 - DECOMPOSED GRANITE
 - CENTERLINE
 - LOT LINE
 - RIGHT-OF-WAY
 - EASEMENT LINE
 - STORM DRAIN LINE (HDPE)
 - SANITARY SEWER
 - WATER
 - JOINT TRENCH
 - MANHOLE
 - CATCH BASIN
 - FIELD INLET
 - WATER METER
 - SANITARY SEWER CLEANOUT
 - FIRE HYDRANT
 - WATER VALVE
 - ELECTROLIER (SEE JT PLANS FOR DETAIL)
 - JT BOX (SEE JT PLANS FOR DETAILS)

SHEET INDEX
SCALE: 1" = 30'



CITY OF TRACY
APPROVAL OF THESE PLANS DOES NOT RELIEVE THE ENGINEER OF THE RESPONSIBILITY FOR CORRECTION OF MATERIALS, WORKING OF UNDESIGNATED MATERIALS, OR DURING THE COURSE OF CONSTRUCTION, THE CITY ENGINEER SHALL HAVE THE RIGHT TO INSPECT AND TAKE SAMPLES FROM THE PROPOSING AND IN DETAIL OF THE CITY OF TRACY. THE CITY ENGINEER'S APPROVAL IS LIMITED TO THE INFORMATION SUBMITTED HEREON. APPROVED FOR THE CITY OF TRACY.
ROBERT ARLUJO, P.E. CITY ENGINEER DATE:



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SACRAMENTO (916) 375-1877
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SHEET INDEX
TRACT 3917
CONSTRUCTION DRAWINGS
TRACY LAKES REC CENTER
TRACY, CALIFORNIA

SHEET C-2
OF 14 SHEETS

DROP INLET			
MODEL NO.	A	B	*WEIGHT
DI242436	36"	42"	1900 LBS.
DI242448	48"	54"	2500 LBS.

*BOX ONLY

FRAME AND GRATE			
MODEL NO.	RATING	D	WEIGHT
SG2424-DIP	PEDESTRIAN	1/2"	41 LBS.
SG2424-DIT	TRAFFIC	3"	120 LBS.

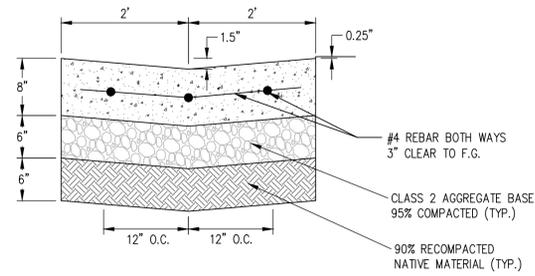
EXTENSION		
MODEL NO.	C	WEIGHT
RS242406	6"	300 LBS.
RS242412	12"	600 LBS.

■ FRAME AND GRATE ASSEMBLY AVAILABLE IN TRAFFIC OR PEDESTRIAN MODELS.
 ■ DESIGN FOR H-20-44 BRIDGE LOADING.
 ■ ASSEMBLY TO BE PLACED ON A 6" BASE OF CRUSHER RUN FOR EASE OF INSTALLATION AND EVEN LOAD DISTRIBUTION.
 ■ FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST.

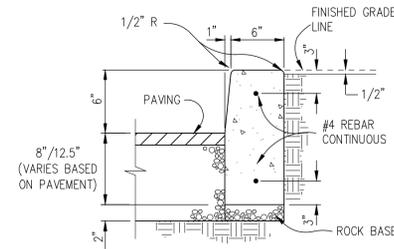
■ ILLUSTRATION IS TYPICAL ONLY OF GENERAL SERIES CONFIGURATION. FOR SPECIFIC CONFIGURATION, CALL JENSEN PRECAST.

24" X 24" DRAIN INLET	JENSEN PRECAST
11-28-00	DI2424

FIELD INLET DETAIL
NOT TO SCALE



VALLEY GUTTER 4' WIDE DETAIL
NOTE: MODIFIED VALLEY GUTTER PER CITY OF TRACY STD. DETAIL 117
NOT TO SCALE



NOTE: CURB MAY EITHER BE EXTRUDED TO THE SHAPE SHOWN OR FORMED AND POURED IN PLACE.

6" VERTICAL SPILL CURB
NOT TO SCALE

PAVEMENT DESIGN CHART				
STREET	TI	R VALUE	MIN AC/PCC	MIN AB
PARKING LOT	5.0	5	3"	11.5"

NOTES:

- MINIMUM TRAFFIC INDEX (T.I.), PER CITY OF TRACY ENGINEERING DESIGN & CONSTRUCTION STANDARDS.
- THE STRUCTURAL SECTIONS SHOWN ARE BASED ON THE STRUCTURAL PAVEMENT SECTIONS RECOMMENDATIONS PREPARED BY ENCO INC. DATED APRIL 12, 2017 PROJECT NO. 10091.000.000 AND AN ASSUMED "R" VALUE OF 5.0.
- STRUCTURAL PAVEMENT SECTIONS ARE BASED ON "R" VALUES OF 5.0 UNTIL THE CITY APPROVES A REVISED SECTION BASED ON R-TESTING AT FINISHED SUBGRADE.
- ALL SUB-GRADE SHALL CONSIST OF 6 INCHES OF NATIVE MATERIAL SCARIFIED AND COMPACTED AT 95% RELATIVE COMPACTION. (CITY DESIGN STANDARDS. 3.05(E)).

chargepoint+

CT4000 Level 2 Commercial Charging Station
Specifications and Ordering Information

Ordering Information
Specify model number followed by the applicable code(s). The order code sequence is: **Model-Options-Software, Services and Misc** are ordered as separate line items.

Hardware	
Description	Order Code
Model	1830 mm (6') Single Port Bollard Mount CT4021
	1830 mm (6') Dual Port Bollard Mount CT4021
	1830 mm (6') Single Port Wall Mount CT4023
	1830 mm (6') Dual Port Wall Mount CT4023
	2440 mm (8') Dual Port Bollard Mount CT4025
	2440 mm (8') Dual Port Wall Mount CT4027
Options	Integral Gateway Modem - USA -GW1
	Integral Gateway Modem - Canada -GW2
Misc	Power Management Kit CT4000-PMGMT
	Bollard Concrete Mounting Kit CT4000-CCM

Software & Services	
Description	Order Code
ChargePoint Commercial Service Plan	CTSW-SAS-COMM-#
ChargePoint Service Provider Plan	CTSW-SAS-SP-#
ChargePoint Assure	CT4000-ASSURE#
Station Activation and Configuration	CP-SUPPORT-ACTIVE
ChargePoint Station Installation and Validation	CT4000-INSTALLVALID

Note: All CT4000 stations require a network service plan.
 # Substitute # for desired years of service (1, 2, 3, 4, or 5 years).
 * Substitute * for the duration of the coverage (1, 2, 3, 4, or 5 years).

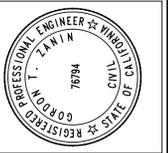
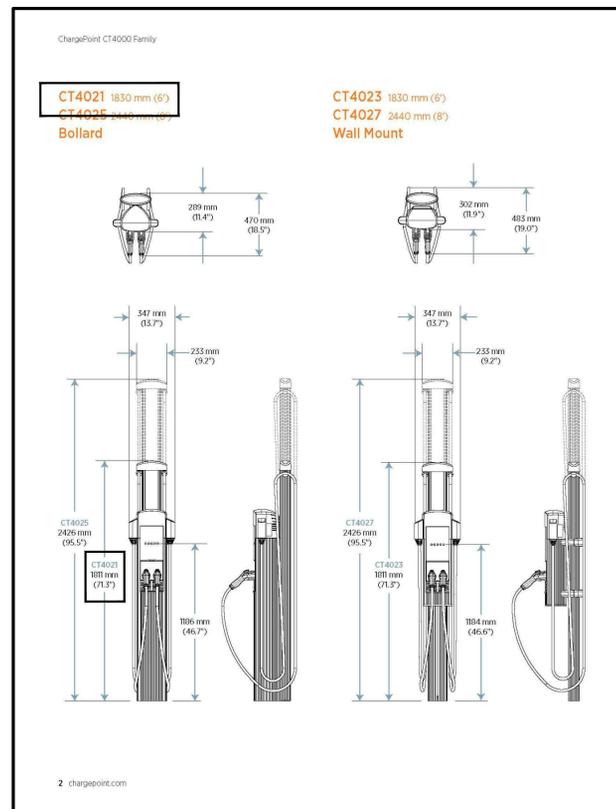
Order Code Examples

If ordering this	the order code is
1830 mm (6') Dual Port Bollard USA Gateway Station with Concrete Mounting Kit	CT4021-GW1-CT4000-CCM
ChargePoint Commercial Service Plan, 3 Year Subscription	CTSW-SAS-COMM-3
ChargePoint Station Installation and Validation	CT4000-INSTALLVALID
2 Years of Assure Coverage	CT4000-ASSURE2
1830 mm (6') Single Port Wall Mount Station	CT4023
ChargePoint Commercial Service Plan, 5 Year Subscription	CTSW-SAS-COMM-5
4 Years of Assure Coverage	CT4000-ASSURE4
Station Activation and Configuration	CP-SUPPORT-ACTIVE

CT4021

The First ENERGY STAR® Certified EV Charger

CHARGING STATION DETAIL
NOT TO SCALE



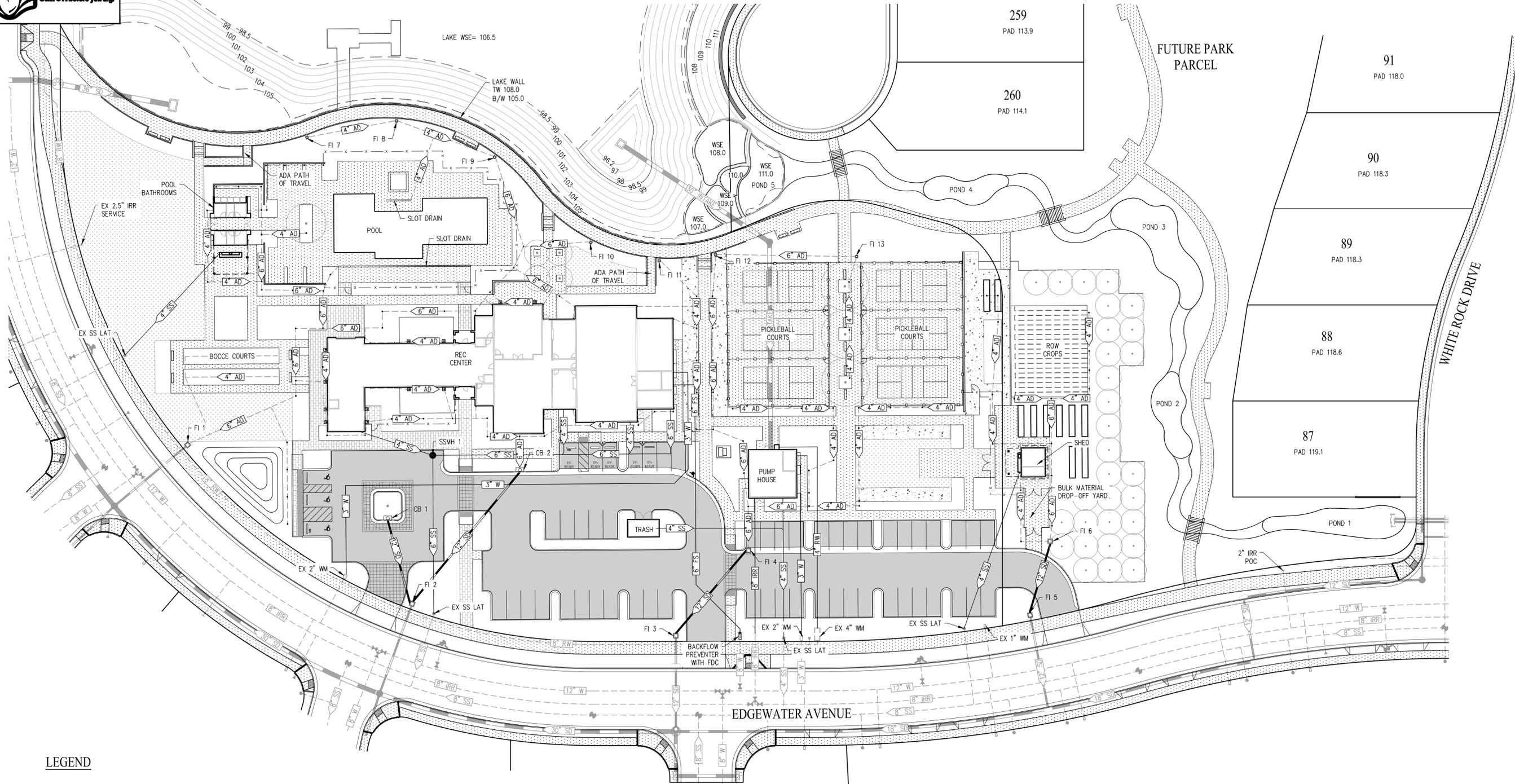
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PRELIMINARY PLANS
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DATE: APRIL 2023	DRAWN BY: MGW	CHECKED BY: GTZ	SCALE: AS SHOWN
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DETAILS
TRACT 3917
CONSTRUCTION DRAWINGS
TRACY LAKES REC CENTER
TRACY, CALIFORNIA



LEGEND

- STORM DRAIN LINE
- SANITARY SEWER
- WATER
- IRRIGATION
- MANHOLE
- CATCH BASIN
- FIELD INLET
- WATER METER
- SANITARY SEWER CLEANOUT
- FIRE HYDRANT
- AREA DRAIN
- TREE

STORM DRAIN SCHEDULE

QUANTITY/DESCRIPTION PIPE MATERIAL	
4" AREA DRAIN PIPE	1,964 LF - N-12 OR APPROVED EQUAL
4" PERFORATED AREA DRAIN PIPE	116 LF - N-12 OR APPROVED EQUAL
6" AREA DRAIN PIPE	967 LF - N-12 OR APPROVED EQUAL
SLOT DRAIN	99 LF - SEE LANDSCAPE PLANS FOR DETAIL
12" PIPE	271 LF - HDPE
STRUCTURES	
AREA DRAIN GRATE (106 TOTAL)	6" ATRIUM GRATE (OR APPROVED EQUAL)
AREA DRAIN GRATE (HARDSCAPE) (14 TOTAL)	6" NDS BRASS GRATE WITH PVC COLLAR (OR APPROVED EQUAL)
FI 1-6 (6 TOTAL)	JENSEN PRECAST 24"x24" DRAIN INLET (OR APPROVED EQUAL)
FI 7-13 (7 TOTAL)	JENSEN PRECAST 12"x12" DRAIN INLET (OR APPROVED EQUAL)
CB 1-2 (2 TOTAL)	CATCH BASIN PER CITY OF TRACY STANDARD DETAIL 301

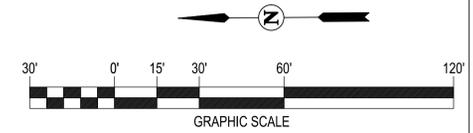
UTILITY PLAN
SCALE: 1" = 30'

WATER SCHEDULE

QUANTITY/DESCRIPTION PIPE MATERIAL	
3" DOMESTIC WATER PIPE	461 LF - PVC (SCHEDULE 80)
4" RECYCLED WATER PIPE	137 LF - PVC (SCHEDULE 80)
8" IRRIGATION WATER PIPE	85 LF - PVC (SCHEDULE 80)
6" FIRE SERVICE PIPE	179 LF - PVC (SCHEDULE 80)
STRUCTURES	
FIRE HYDRANTS	1 - PER CITY OF TRACY STANDARD DETAIL 401
6" BACKFLOW PREVENTER WITH FDC	1 - PER CITY OF TRACY STANDARD DETAIL 413

SANITARY SEWER SCHEDULE

QUANTITY/DESCRIPTION PIPE MATERIAL	
4" PIPE	463 LF - SDR 35 PVC WITH GASKETED FITTINGS
6" PIPE	276 LF - SDR 35 PVC WITH GASKETED FITTINGS
STRUCTURES	
SSMH 1 (1 TOTAL)	SANITARY SEWER MANHOLE PER CITY OF TRACY STANDARD DETAIL 200



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DATE: APRIL 2023
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UTILITY PLAN
TRACT 3917
CONSTRUCTION DRAWINGS
TRACY LAKES REC CENTER
TRACY, CALIFORNIA

SHEET
C-4
OF 14 SHEETS



LEGEND:

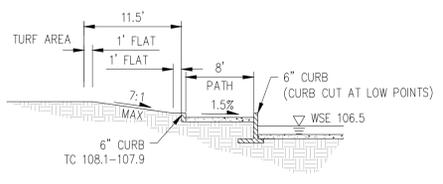
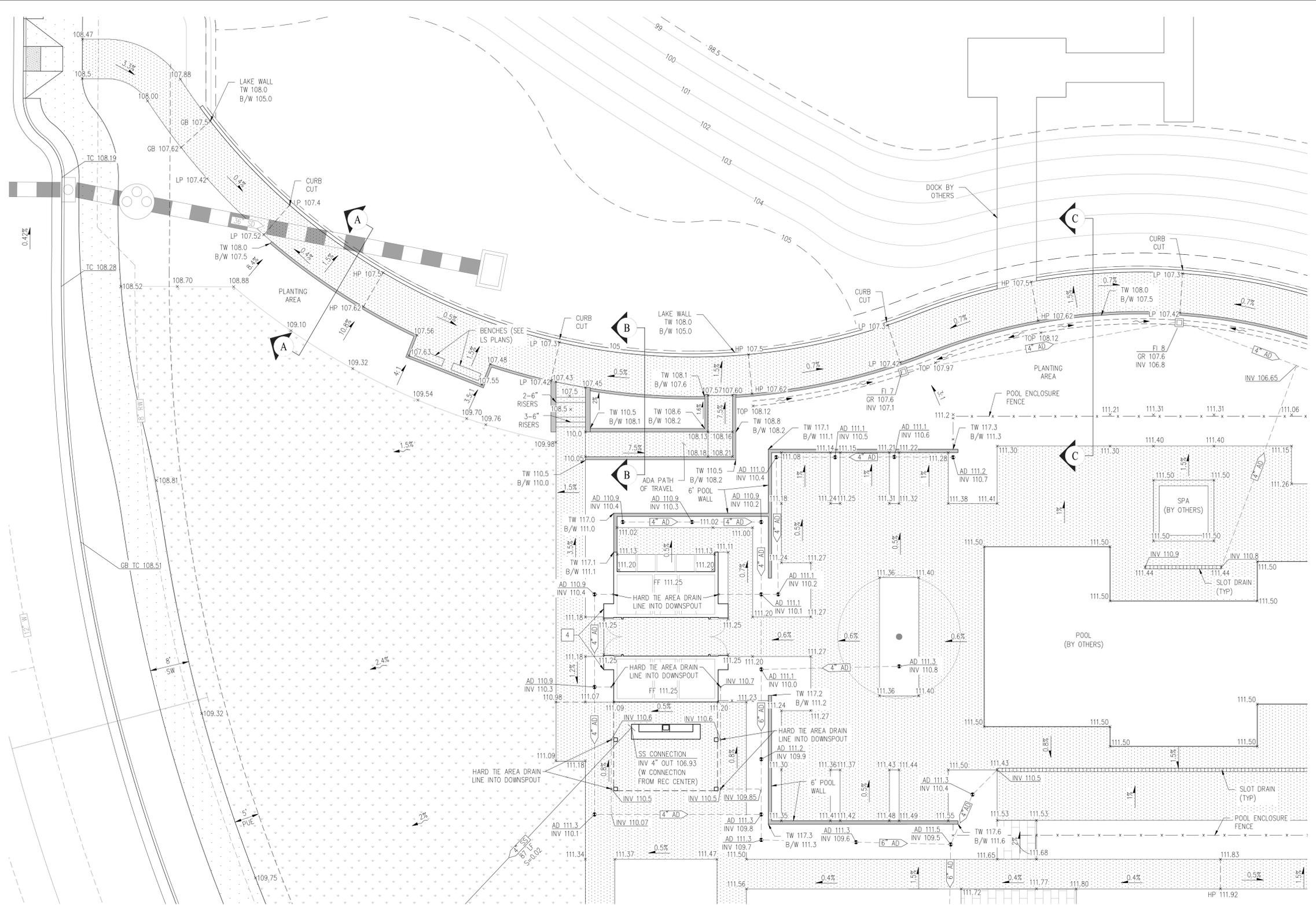
	PROPOSED CONCRETE
	PROPOSED PAVEMENT
	PROPOSED STAMPED PAVEMENT
	AREA DRAIN PIPE
	AREA DRAIN
	DOWNSPOUT LOCATION
	CATCH BASIN
	MANHOLE
	FIELD INLET
	PEDESTRIAN PAVER (SEE LANDSCAPE PLANS)
	TURF (SEE LANDSCAPE PLANS)
	DECOMPOSED GRANITE (SEE LANDSCAPE PLANS)
	STORM DRAIN
	SANITARY SEWER
	WATER
	IRRIGATION
	FENCE PER LANDSCAPE PLANS
	PICKLEBALL COURT FENCE

CONSTRUCTION NOTES

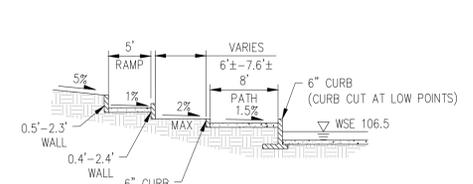
- 1 3' WIDE VALLEY GUTTER PER DETAIL ON SHEET C-3
- 2 6" VERTICAL SPILL CURB PER DETAIL ON SHEET C-3
- 3 6" VERTICAL CURB & GUTTER PER C.O.T. STD DET 120
- 4 CASE C CURB RAMP AND FLUSH CURB PER CALTRANS STD PLAN RSP A88A
- 5 CASE F CURB RAMP PER CALTRANS STD PLAN RSP A88A
- 6 ACCESSIBLE PARKING STALL PER C.O.T. STD DET 142
- 7 PARKING SPACE STRIPING PER C.O.T. STD DET 141
- 8 CURB WHEEL STOP PER C.O.T. STD DET 141
- 9 EV CHARGER PER DETAIL ON SHEET C-3

REFERENCE NOTES

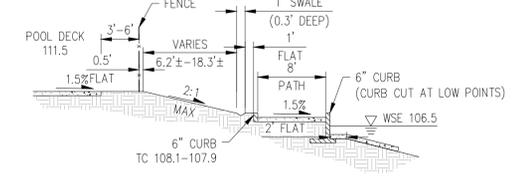
- 1 BOCCÉ BALL COURT, SEE LANDSCAPE PLANS
- 2 PICKLEBALL COURT, SEE LANDSCAPE PLANS
- 3 TRASH ENCLOSURE, SEE LANDSCAPE PLANS
- 4 POOL BATHROOMS, SEE ARCHITECTURAL PLANS
- 5 PUMP STATION, SEE ARCHITECTURAL PLANS
- 6 FARMSCAPE SHED, SEE ARCHITECTURAL PLANS



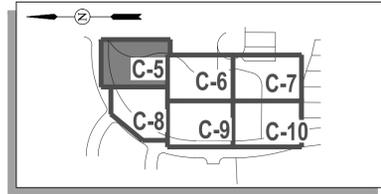
SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE



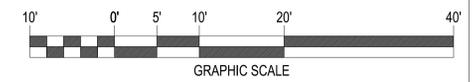
SECTION C-C
NOT TO SCALE



KEY MAP
NOT TO SCALE

SEE SHEET C-8

SITE, UTILITY, GRADING & DRAINAGE PLAN
SCALE: 1" = 10'



SEE SHEET C-6

CITY OF TRACY

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ROBERT ARMIJO P.E. CITY ENGINEER DATE



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SITE, UTILITY, GRADING & DRAINAGE PLAN

TRACT 3917
CONSTRUCTION DRAWINGS
TRACY LAKES REC CENTER
TRACY, CALIFORNIA

SHEET C-5
OF 14 SHEETS

LEGEND:

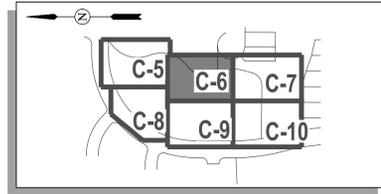
	PROPOSED CONCRETE
	PROPOSED PAVEMENT
	PROPOSED STAMPED PAVEMENT
	AREA DRAIN PIPE
	AREA DRAIN
	DOWNSPOUT LOCATION
	CATCH BASIN
	MANHOLE
	FIELD INLET
	PEDESTRIAN PAVER (SEE LANDSCAPE PLANS)
	TURF (SEE LANDSCAPE PLANS)
	DECOMPOSED GRANITE (SEE LANDSCAPE PLANS)
	STORM DRAIN
	SANITARY SEWER
	WATER
	IRRIGATION
	FENCE PER LANDSCAPE PLANS
	PICKLEBALL COURT FENCE

CONSTRUCTION NOTES

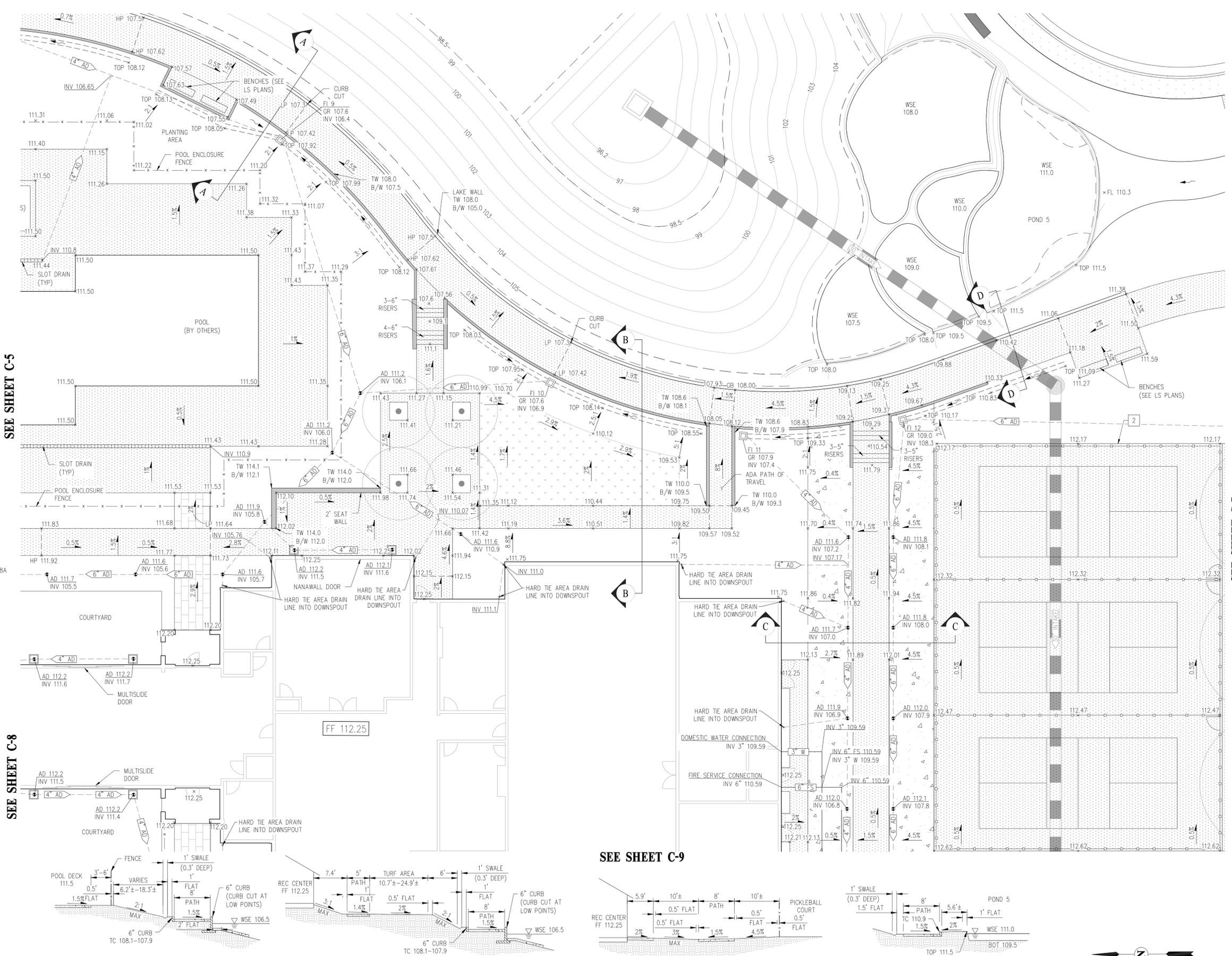
- 1 3' WIDE VALLEY GUTTER PER DETAIL ON SHEET C-3
- 2 6" VERTICAL SPILL CURB PER DETAIL ON SHEET C-3
- 3 6" VERTICAL CURB & GUTTER PER C.O.T. STD DET 120
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- 5 CASE F CURB RAMP PER CALTRANS STD PLAN RSP A88A
- 6 ACCESSIBLE PARKING STALL PER C.O.T. STD DET 142
- 7 PARKING SPACE STRIPING PER C.O.T. STD DET 141
- 8 CURB WHEEL STOP PER C.O.T. STD DET 141
- 9 EV CHARGER PER DETAIL ON SHEET C-3

REFERENCE NOTES

- 1 BOCCIE BALL COURT, SEE LANDSCAPE PLANS
- 2 PICKLEBALL COURT, SEE LANDSCAPE PLANS
- 3 TRASH ENCLOSURE, SEE LANDSCAPE PLANS
- 4 POOL BATHROOMS, SEE ARCHITECTURAL PLANS
- 5 PUMP STATION, SEE ARCHITECTURAL PLANS
- 6 FARMSCAPE SHED, SEE ARCHITECTURAL PLANS



KEY MAP
NOT TO SCALE

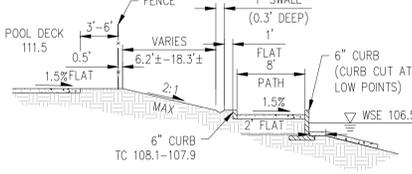


SEE SHEET C-5

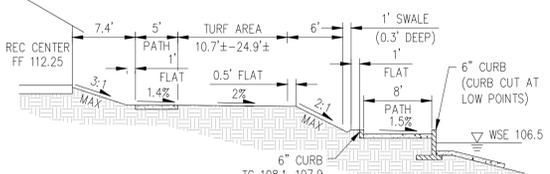
SEE SHEET C-7

SEE SHEET C-8

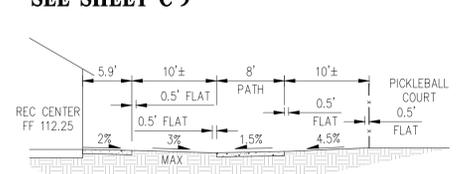
SEE SHEET C-9



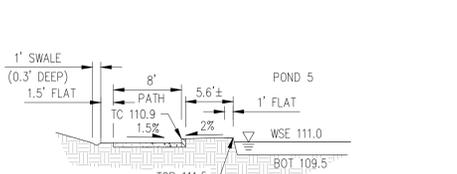
SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE

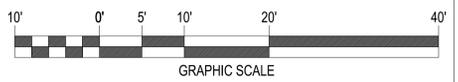


SECTION C-C
NOT TO SCALE



SECTION D-D
NOT TO SCALE

SITE, UTILITY, GRADING & DRAINAGE PLAN
SCALE: 1" = 10'



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SITE, UTILITY, GRADING & DRAINAGE PLAN
TRACT 3917
CONSTRUCTION DRAWINGS
TRACY LAKES REC CENTER
TRACY, CALIFORNIA

SHEET
C-6
OF 14 SHEETS

DATE: _____
CITY ENGINEER: _____
DATE: _____



LEGEND:

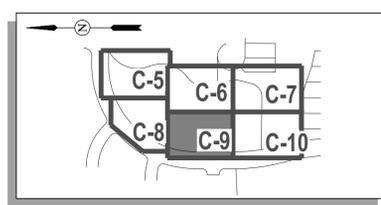
	PROPOSED CONCRETE
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	AREA DRAIN PIPE
	AREA DRAIN
	DOWNSPOUT LOCATION
	CATCH BASIN
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	PEDESTRIAN PAVER (SEE LANDSCAPE PLANS)
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	STORM DRAIN
	SANITARY SEWER
	WATER
	IRRIGATION
	FENCE PER LANDSCAPE PLANS
	PICKLEBALL COURT FENCE

CONSTRUCTION NOTES

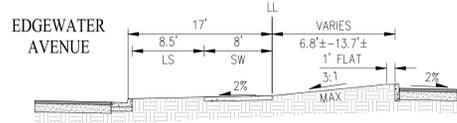
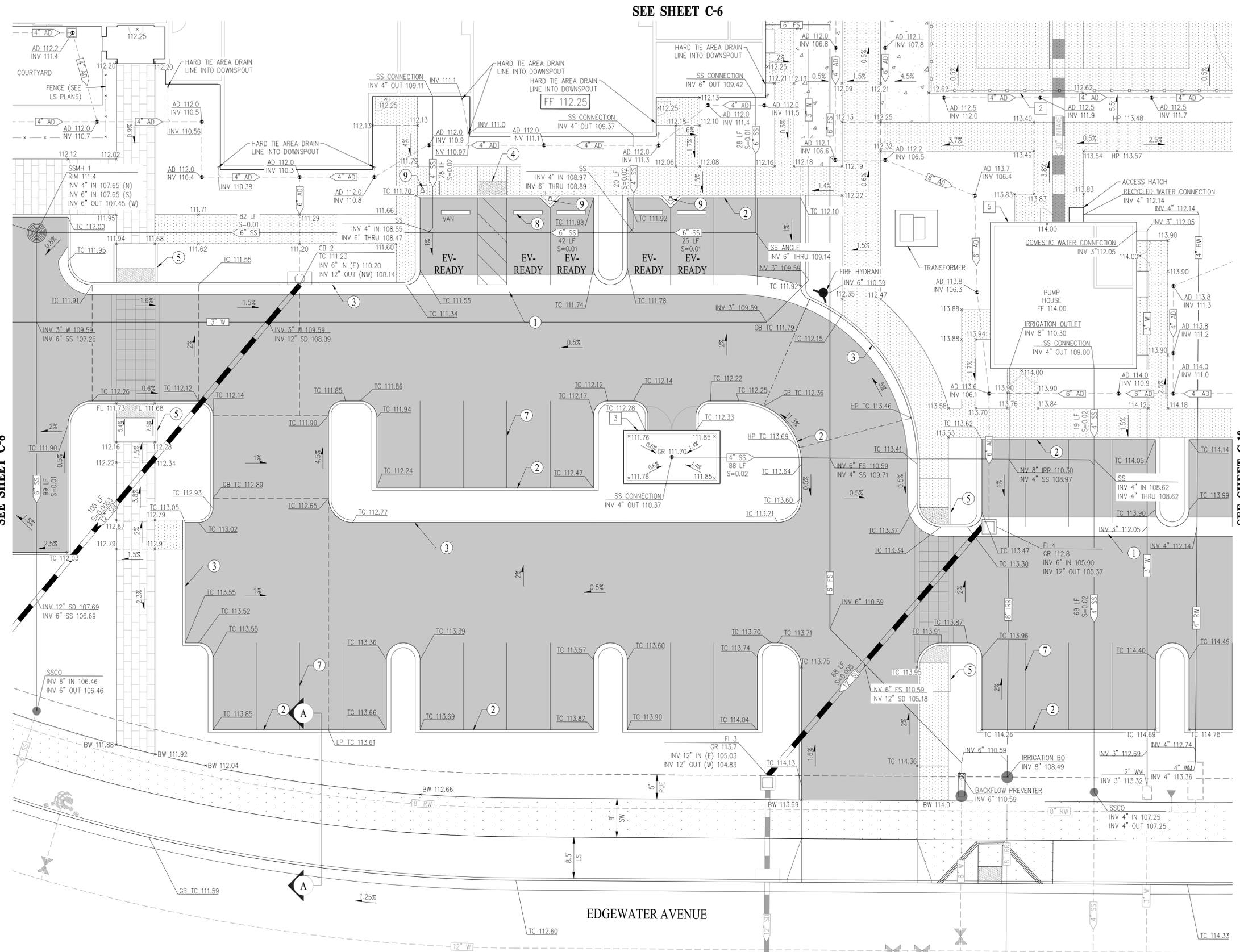
- ① 3' WIDE VALLEY GUTTER PER DETAIL ON SHEET C-3
- ② 6" VERTICAL SPILL CURB PER DETAIL ON SHEET C-3
- ③ 6" VERTICAL CURB & GUTTER PER C.O.T. STD DET 120
- ④ CASE C CURB RAMP AND FLUSH CURB PER CALTRANS STD PLAN RSP A88A
- ⑤ CASE F CURB RAMP PER CALTRANS STD PLAN RSP A88A
- ⑥ ACCESSIBLE PARKING STALL PER C.O.T. STD DET 142
- ⑦ PARKING SPACE STRIPING PER C.O.T. STD DET 141
- ⑧ CURB WHEEL STOP PER C.O.T. STD DET 141
- ⑨ EV CHARGER PER DETAIL ON SHEET C-3

REFERENCE NOTES

- 1 BOCCIE BALL COURT, SEE LANDSCAPE PLANS
- 2 PICKLEBALL COURT, SEE LANDSCAPE PLANS
- 3 TRASH ENCLOSURE, SEE LANDSCAPE PLANS
- 4 POOL BATHROOMS, SEE ARCHITECTURAL PLANS
- 5 PUMP STATION, SEE ARCHITECTURAL PLANS
- 6 FARMSCAPE SHED, SEE ARCHITECTURAL PLANS

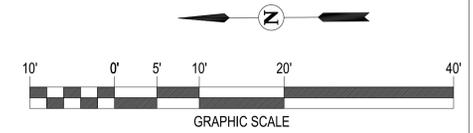


KEY MAP
NOT TO SCALE



SECTION A-A
NOT TO SCALE

SITE, UTILITY, GRADING & DRAINAGE PLAN
SCALE: 1" = 10'



CITY OF TRACY
APPROVAL OF THESE PLANS DOES NOT RELIEVE THE ENGINEER OF THE RESPONSIBILITY FOR CORRECTION OF MATERIAL ERRORS OR OMISSIONS THEREOF. DURING THE COURSE OF THE PERFORMANCE OF THESE PLANS, THE CITY ENGINEER SHALL BE KEPT ADVISED OF ANY CHANGES TO THE CITY ENGINEER'S WORK AND THE SAME SHALL BE MADE AT THE CITY ENGINEER'S DISCRETION.
ONLY BASED ON THE INFORMATION SUBMITTED HEREON. APPROVED FOR THE CITY OF TRACY:

DATE: _____
CITY ENGINEER: _____



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PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE:	APRIL 2023
DRAWN BY:	MGW
CHECKED BY:	GIZ
SCALE:	AS SHOWN

SITE, UTILITY, GRADING & DRAINAGE PLAN
TRACT 3917
CONSTRUCTION DRAWINGS
TRACY LAKES REC CENTER
TRACY, CALIFORNIA

SHEET C-9
OF 14 SHEETS



LEGEND:

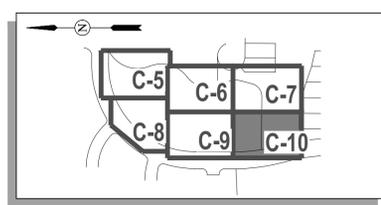
	PROPOSED CONCRETE
	PROPOSED PAVEMENT
	PROPOSED STAMPED PAVEMENT
	AREA DRAIN PIPE
	AREA DRAIN
	DOWNSPOUT LOCATION
	CATCH BASIN
	MANHOLE
	FIELD INLET
	PEDESTRIAN PAVER (SEE LANDSCAPE PLANS)
	TURF (SEE LANDSCAPE PLANS)
	DECOMPOSED GRANITE (SEE LANDSCAPE PLANS)
	STORM DRAIN
	SANITARY SEWER
	WATER
	IRRIGATION
	FENCE PER LANDSCAPE PLANS
	PICKLEBALL COURT FENCE

CONSTRUCTION NOTES

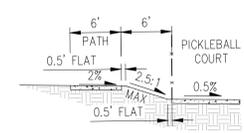
- 1 3' WIDE VALLEY GUTTER PER DETAIL ON SHEET C-3
- 2 6" VERTICAL SPILL CURB PER DETAIL ON SHEET C-3
- 3 6" VERTICAL CURB & GUTTER PER C.O.T. STD DET 120
- 4 CASE C CURB RAMP AND FLUSH CURB PER CALTRANS STD PLAN RSP A88A
- 5 CASE F CURB RAMP PER CALTRANS STD PLAN RSP A88A
- 6 ACCESSIBLE PARKING STALL PER C.O.T. STD DET 142
- 7 PARKING SPACE STRIPING PER C.O.T. STD DET 141
- 8 CURB WHEEL STOP PER C.O.T. STD DET 141
- 9 EV CHARGER PER DETAIL ON SHEET C-3

REFERENCE NOTES

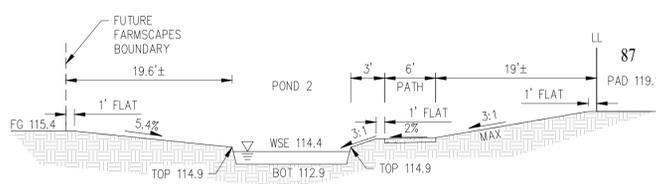
- 1 BOCCIE BALL COURT, SEE LANDSCAPE PLANS
- 2 PICKLEBALL COURT, SEE LANDSCAPE PLANS
- 3 TRASH ENCLOSURE, SEE LANDSCAPE PLANS
- 4 POOL BATHROOMS, SEE ARCHITECTURAL PLANS
- 5 PUMP STATION, SEE ARCHITECTURAL PLANS
- 6 FARMSCAPE SHED, SEE ARCHITECTURAL PLANS



KEY MAP
NOT TO SCALE

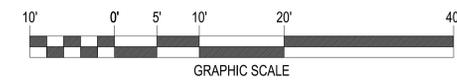
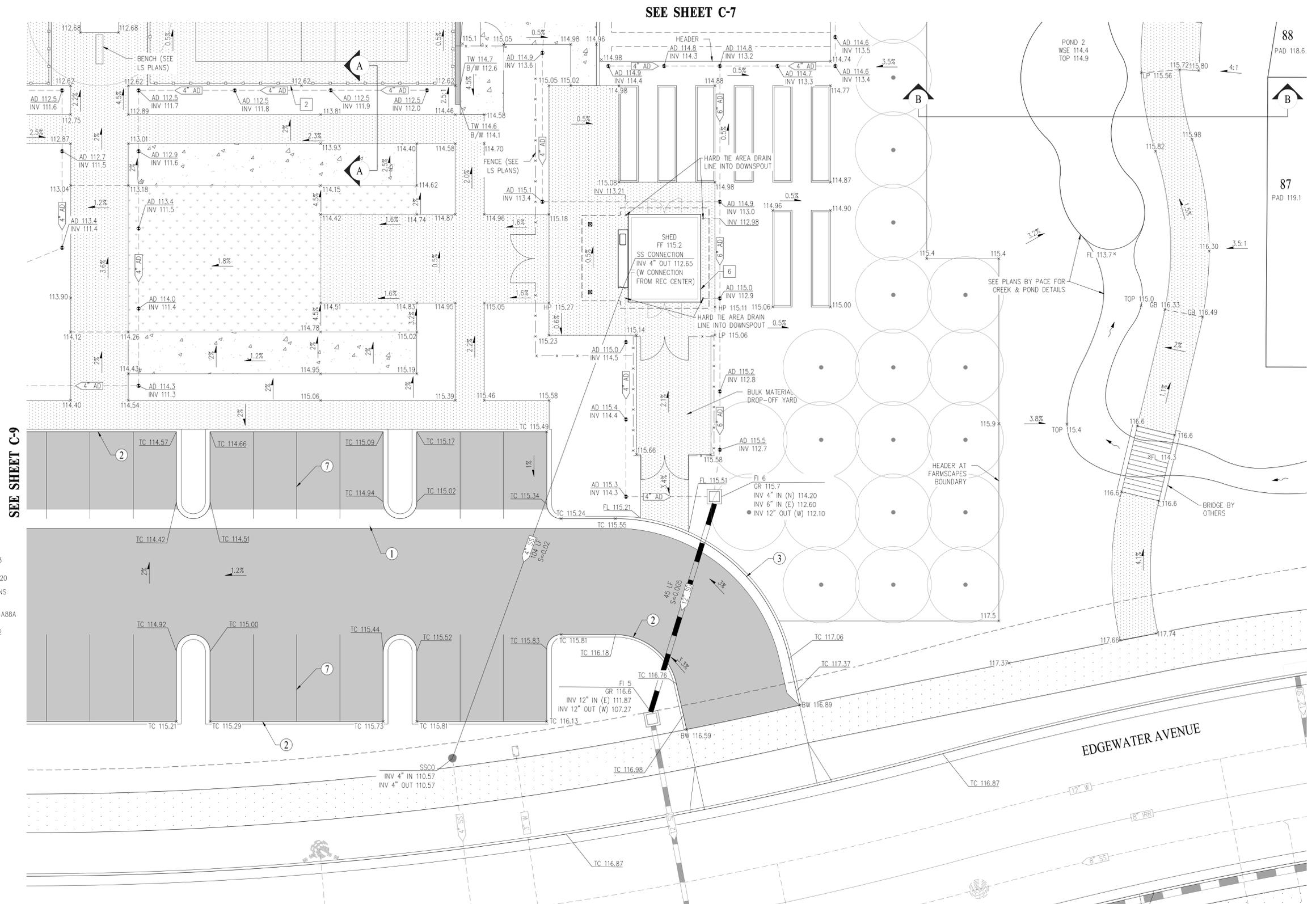


SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE

SITE, UTILITY, GRADING & DRAINAGE PLAN
SCALE: 1" = 10'



CITY OF TRACY
DATE: _____
CITY ENGINEER: _____
ROBERT ARNOLD, P.E.



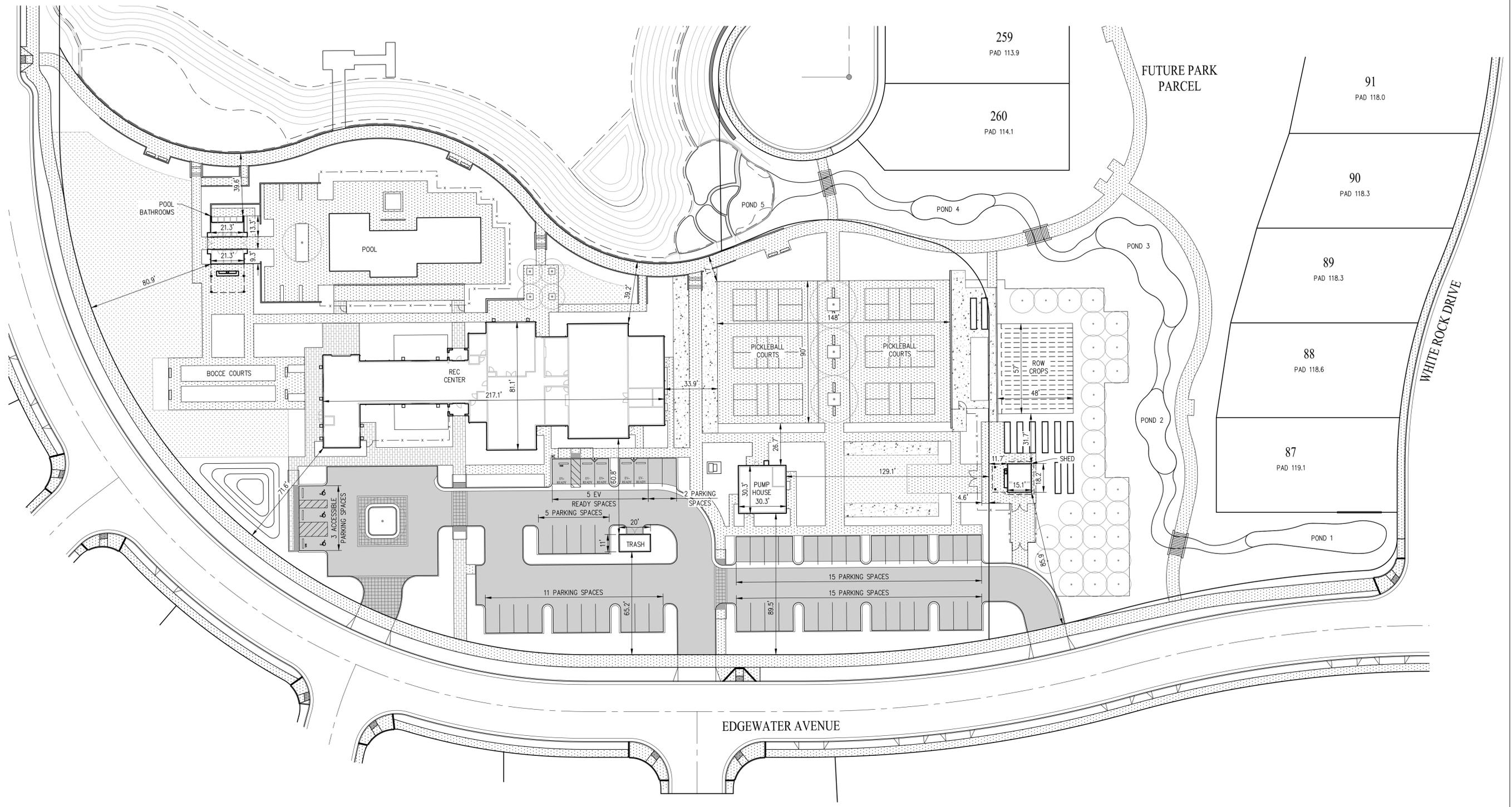
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PRELIMINARY PLANS
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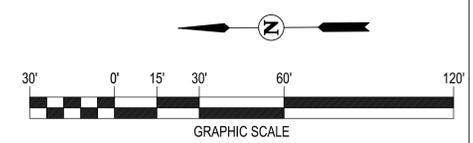
DATE: APRIL 2023
DRAWN BY: MGW
CHECKED BY: GIZ
SCALE: AS SHOWN

SITE, UTILITY, GRADING & DRAINAGE PLAN
TRACT 3917
CONSTRUCTION DRAWINGS
TRACY LAKES REC CENTER
TRACY, CALIFORNIA

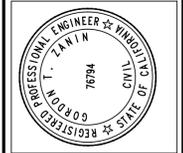
SHEET
C-10
OF 14 SHEETS



DIMENSIONED SITE PLAN
SCALE: 1" = 30'



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ROBERT ARNOLD, P.E. CITY ENGINEER DATE



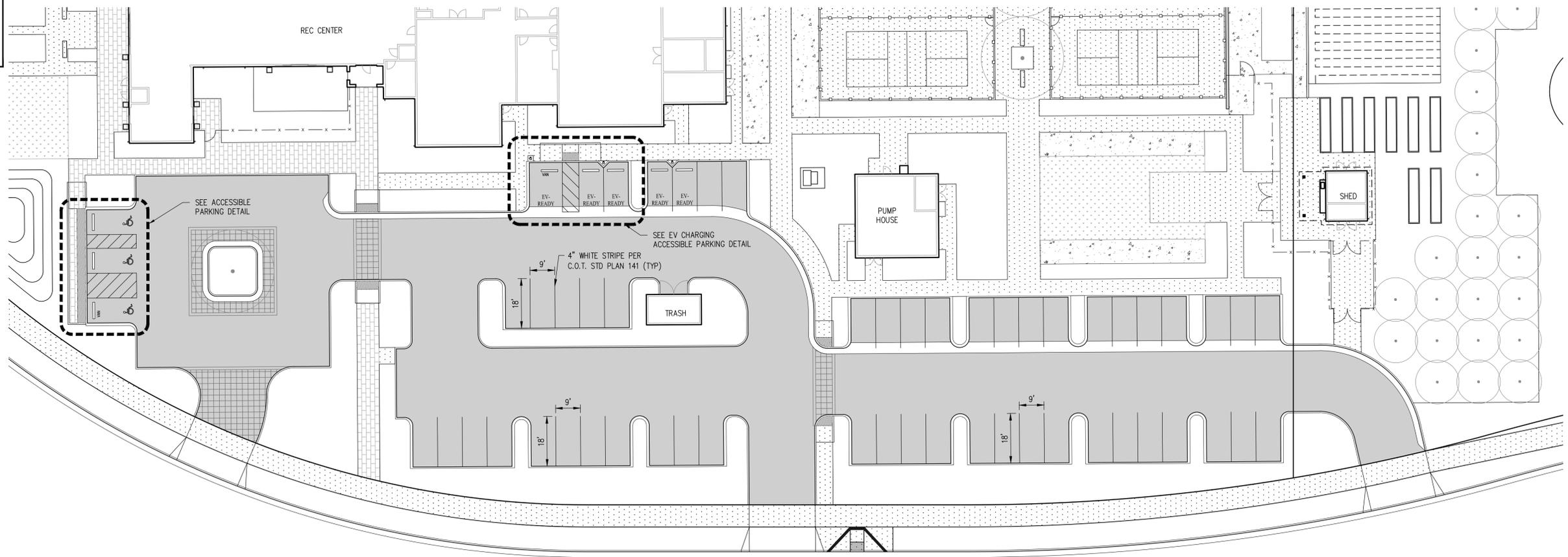
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DATE: APRIL 2023
DRAWN BY: MGW
CHECKED BY: GTZ
SCALE: AS SHOWN

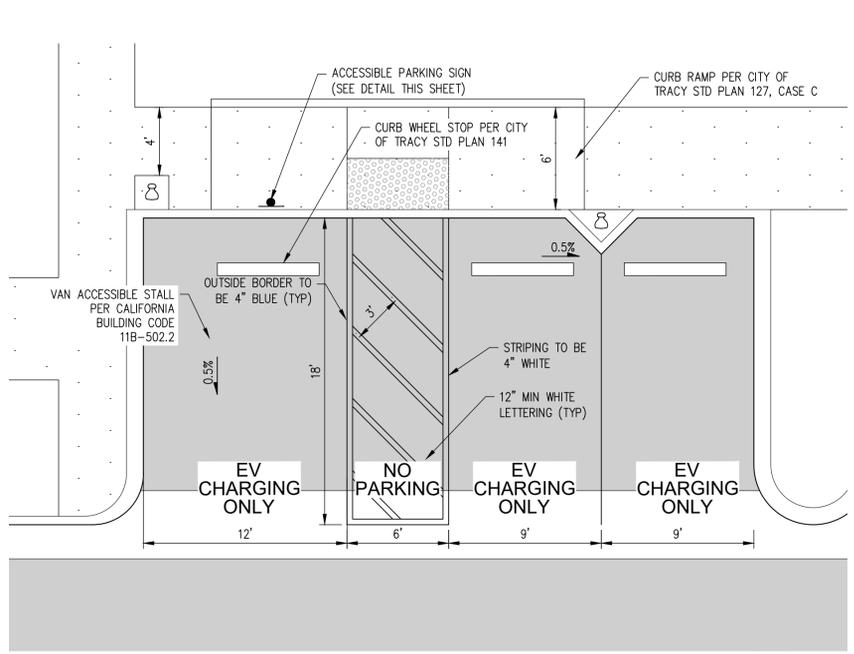
DIMENSIONED SITE PLAN
TRACT 3917
CONSTRUCTION DRAWINGS
TRACY LAKES REC CENTER
TRACY, CALIFORNIA

SHEET
C-11
OF 14 SHEETS



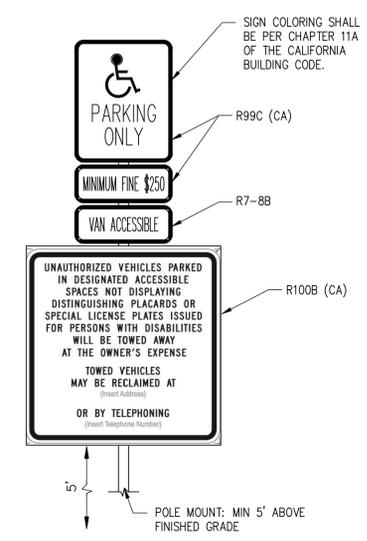
EDGEWATER AVENUE

SIGNING & STRIPING PLAN
SCALE: 1" = 20'

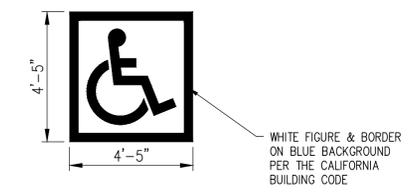


EV CHARGING ACCESSIBLE PARKING DETAIL
NOT TO SCALE

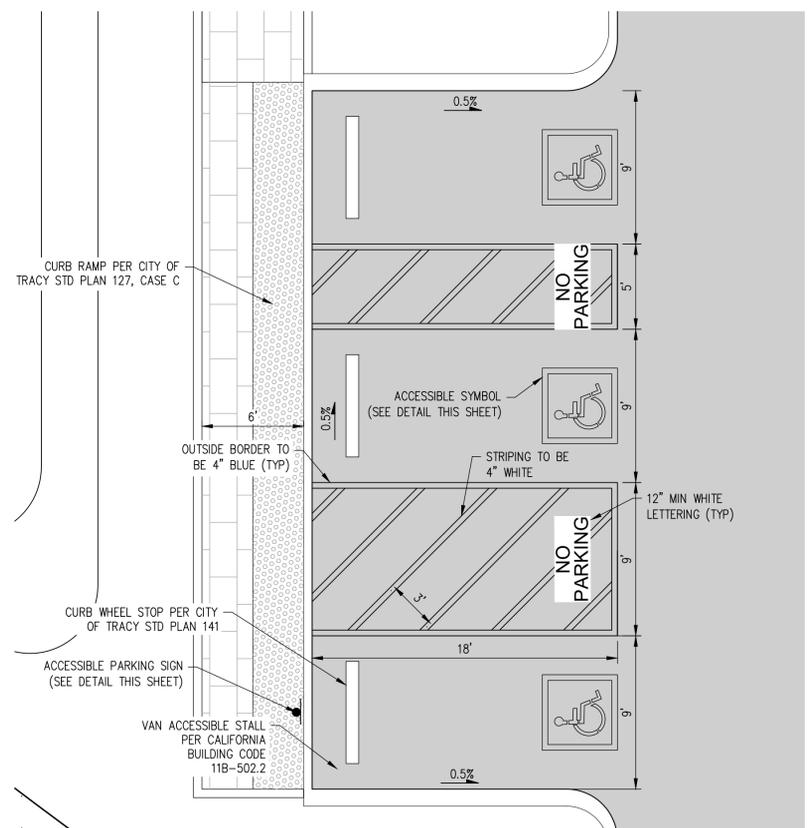
PARKING COUNT	
STANDARD	48
ACCESSIBLE	2
VAN ACCESSIBLE	1
EV STANDARD	3
EV ACCESSIBLE	1
EV VAN ACCESSIBLE	1



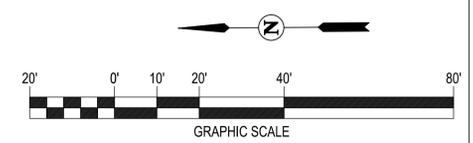
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



ACCESSIBLE PERSONS PARKING SYMBOL DETAIL
NOT TO SCALE



ACCESSIBLE PARKING DETAIL
NOT TO SCALE



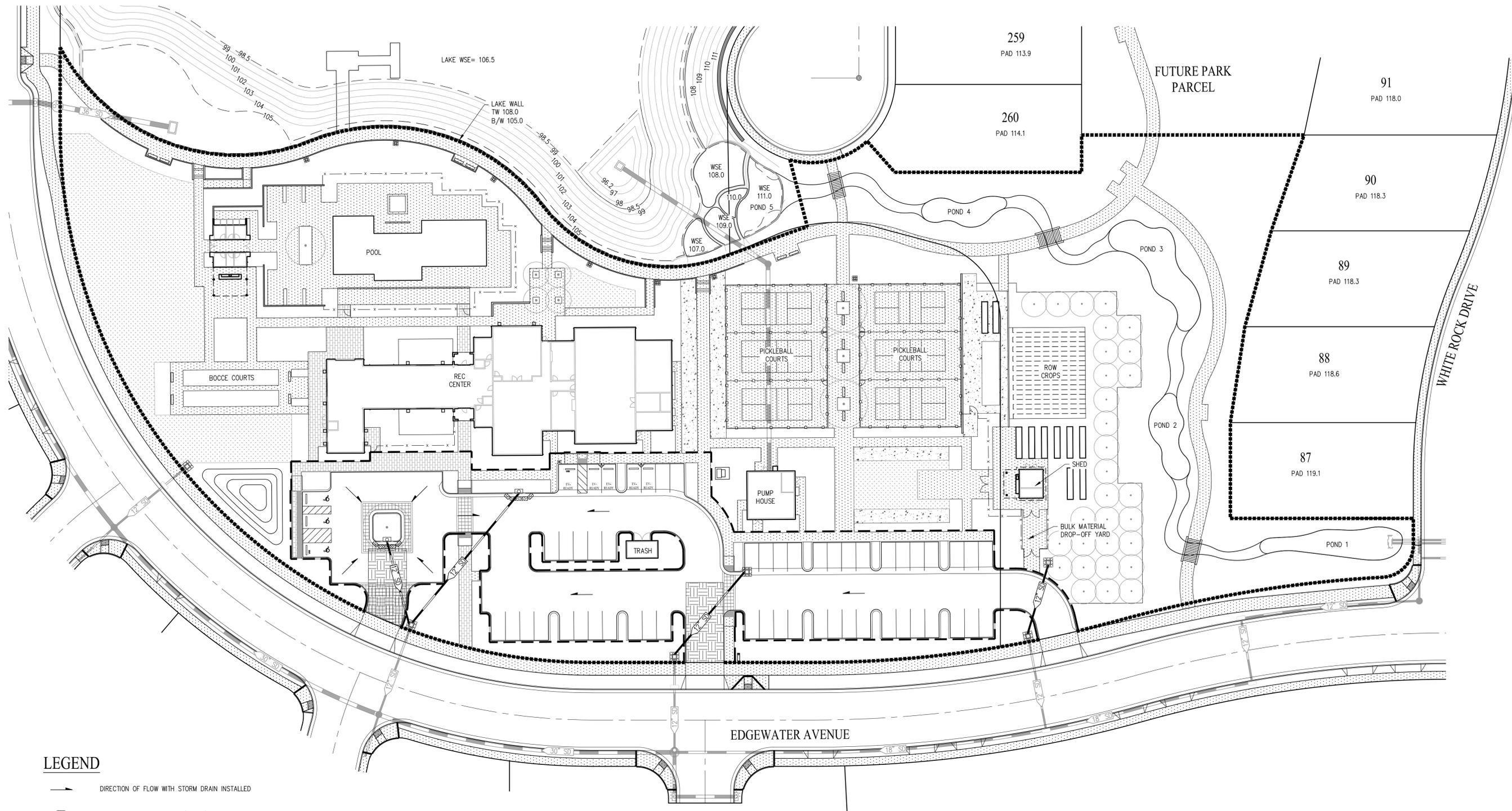
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SIGNING & STRIPING PLAN
TRACT 3917
CONSTRUCTION DRAWINGS
TRACY LAKES REC CENTER
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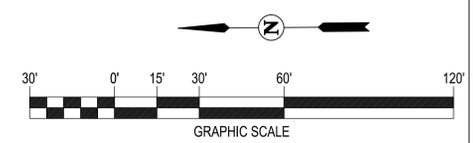
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EROSION CONTROL PLAN
SCALE: 1" = 30'

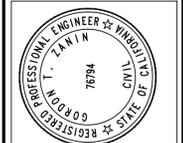
LEGEND

- DIRECTION OF FLOW WITH STORM DRAIN INSTALLED
- FIELD INLET PROTECTION - (SE-10)
- CURB INLET PROTECTION - (SE-10)
- SILT FENCE - (SE-1)
- FIBER ROLL - (SE-5)
- STABILIZED CONSTRUCTION ENTRANCE/EXIT - (TC-1)
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN



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ROBERT ARAUJO, P.E. CITY ENGINEER DATE



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EROSION CONTROL PLAN
TRACT 3917
CONSTRUCTION DRAWINGS
TRACY LAKES REC CENTER
TRACY, CALIFORNIA

SHEET
C-14
OF 14 SHEETS

CITY OF TRACY
DETERMINATION OF THE
DEVELOPMENT SERVICES DIRECTOR

Application Number D23-0001

A determination of the Development Services Director approving a Development Review Permit for the Amenity Center within the Tracy Village Subdivision and Specific Plan, located at the southeast corner of Valpico and Corral Hollow Roads (Assessor's Parcel Numbers 244-030-03 and 04). The owner DRP CA 6, LLC, and Applicant is Alex Raymond, Permit Advisors.

Staff has reviewed the application and determined that the following City regulations apply:

TMC Sec 10.08.3920 et seq.: Development Review
Tracy Village Specific Plan
City of Tracy Design Goals and Standards

The Development Services Director has determined that the proposed project is consistent with the Tracy Village Specific Plan Environmental Impact Report (EIR), approved by the City Council on May 18, 2018. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required. An analysis of the project shows that there will be no significant on or off-site impacts as a result of this particular project which were not already discussed in the Tracy Village EIR. There is also no evidence of any significant impacts to occur off-site as a result of the project, as traffic, air quality, land use and other potential cumulative impacts have already been considered within the original environmental documentation. No new evidence of potentially significant effects has been identified as a result of this project.

THE DEVELOPMENT SERVICES DIRECTOR, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY APPROVES THE DEVELOPMENT REVIEW APPLICATION AS DESCRIBED IN THE PLANS RECEIVED BY THE DEVELOPMENT SERVICES DEPARTMENT ON APRIL 5, 2023, SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (EXHIBIT "1") AND BASED ON THE FOLLOWING FINDINGS:

Development Review Findings:

1. The design and location of the proposed amenity center will improve the overall site by implementing the regulations and intent of the approved Tracy Village Specific Plan. These buildings and recreational improvements will complement the other buildings on the site, both at the project entry of the subdivision, as well as the surrounding houses. The use of significant amounts of windows, clean lines, stone veneer, and metal awnings will match features of the adjacent approved houses and other structures such as the gatehouse on the site.
2. The construction of the amenity center will conform to the requirements and the intent of the City of Tracy General Plan, Municipal Code, Design Goals and Standards, and the Tracy Village Specific Plan. The proposed amenity center will implement a portion of the original specific plan for Tracy's first active adult community, comprised of five different proposed neighborhoods, along with various community amenities.

Jaylen French, Development Services Director

Date of Action

**DEVELOPMENT SERVICES DEPARTMENT
CONDITIONS OF APPROVAL
Tracy Village Amenity Center
Application Number D23-0001**

A. General Provisions and Definitions

1. These Conditions of Approval shall apply to the real property described as the southeast corner of Valpico and Corral Hollow Roads, Assessor's Parcel Numbers 244-030-03 and 04, Application Number D23-0001, a 14,185 square foot amenity center building, a 1,018 square foot pool pavilion, a 986 square foot pump house and a 234 square foot farm shed. The amenity center complex also includes parking and various outdoor recreational facilities, including a pool, community garden, pickle ball courts, bocce ball courts, shade structures and landscape and hardscape features within the 590-lot Tracy Village (Regency at Tracy Lakes) subdivision (hereinafter "Project").
2. The following definitions shall apply to these Conditions of Approval:
 - a. "Applicant" means any person, or other legal entity, defined as a "Developer".
 - b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed engineer designated by the City Manager, or the Development Services Director, or the City Engineer to perform the duties set forth herein.
 - c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, Tracy Village Specific Plan, ordinances, resolutions, policies, procedures, and the City's Design Documents (including the Standard Plans, Standard Specifications, Design Standards, and relevant Public Facility Master Plans).
 - d. "Development Services Director" means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
 - e. "Conditions of Approval" shall mean the conditions of approval applicable to the 14,185 square foot amenity center building, a 1,018 square foot pool pavilion, a 986 square foot pump house and a 234 square foot farm shed. The amenity center complex also includes parking and various outdoor recreational facilities, including a pool, community garden, pickle ball courts, bocce ball courts, shade structures and landscape and hardscape features within the 590-lot Tracy Village (Regency at Tracy Lakes) subdivision, Application Number D23-0001. The Conditions of Approval shall specifically include all Development Services Department conditions set forth herein, including all Planning, Building and Engineering division conditions set forth herein.
 - f. "Project" means the real property described as, the southeast corner of Valpico and Corral Hollow Roads, Assessor's Parcel Numbers 244-030-03 and 04, Application

Number D23-0001, a 14,185 square foot amenity center building, a 1,018 square foot pool pavilion, a 986 square foot pump house and a 234 square foot farm shed. The amenity center complex also includes parking and various outdoor recreational facilities, including a pool, community garden, pickle ball courts, bocce ball courts, shade structures and landscape and hardscape features within the 590-lot Tracy Village (Regency at Tracy Lakes) subdivision.

- g. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.
3. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to: the Planning and Zoning Law (Government Code sections 65000, et seq.), the Subdivision Map Act (Government Code sections 66410, et seq.), the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and the Guidelines for California Environmental Quality Act (California Administrative Code, Title 14, Sections 1500, et seq., "CEQA Guidelines").
4. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City Regulations.
5. Pursuant to Government Code section 66020, including section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

B. Planning Division Conditions of Approval

1. Except as otherwise modified herein, the project shall be developed in accordance with the plans received by the Development Services Department on April 5, 2023. Prior to the issuance of any building permits, any deviations from the approved site plan or elevations shall be evaluated for substantial compliance with the approved plans, to the satisfaction of the Development Services Director. Should any deviations be determined not to be in substantial compliance with the approved plans, they shall be reviewed in a new Development Review application process.
2. The applicant shall pay all applicable fees for the project, including, but not limited to, development impact fees, building permit fees, plan check fees, grading permit fees, encroachment permit fees, inspection fees, school fees, or any other City or other agency fees or deposits that may be applicable to the project.

3. All improvements shall be consistent with the Tracy Municipal Code, Tracy Village Specific Plan, Standard Plans, and other applicable City Regulations.
4. Prior to final inspection of certificate of occupancy, on-site circulation signs shall be installed to the satisfaction of the Development Services Director.

C. Engineering Division Conditions of Approval

C.1. General Conditions

Developer shall comply with the applicable sections of approved documents and/or recommendations of the technical analyses/reports prepared for the Project listed as follows:

- 1) "Mitigation Monitoring and Reporting Program for the Tracy Village Project EIR Environmental Impact Report", adopted by the City Council May 15, 2018 (Resolution No. 2018-087);
- 2) "Geotechnical Exploration, Tracy Village, Tracy, California" prepared by ENGEO, dated April 12, 2017, and any subsequent amendments or updates;

C.2. RESERVED

C.3. RESERVED

C.4. Grading Permit

All grading work (on-site and off-site) shall require a Grading Plan. All grading work shall be performed and completed in accordance with the recommendation(s) of the Project's Registered Geotechnical Engineer.

Prior to the release of the Grading Permit for the Project, Developer shall provide all documents related to said Grading Permit required by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.4.1 Developer has completed all conditions set forth in this section.
- C.4.2 Developer has obtained the approval (i.e. recorded easements for slopes, drainage, utilities, access, parking, construction, etc.) of all other public agencies and/or private entities with jurisdiction or interest over the required public and/or private facilities and/or property. Written permission from affected owner(s) will be required to be submitted to the City prior to the issuance of the Grading Permit.
- C.4.3 Developer has obtained a demolition permit to remove any existing structure located within the project's limits.

- C.4.4 All existing on-site water well(s), septic system(s), and leech field(s), if any, shall be abandoned or removed in accordance with the City and San Joaquin County requirements. Developer shall be responsible for all costs associated with the abandonment or removal of the existing well(s), septic system(s), and leech field(s) including the cost of permit(s) and inspection. Developer shall submit a copy of written approval(s) or permit(s) obtained from San Joaquin County regarding the removal and abandonment of any existing well(s), prior to the issuance of the Grading Permit.
- C.4.5 The Improvement Plans for all improvements to serve the Project (on-site and off-site) including the Grading Plan shall be prepared in accordance with the City's Subdivision Ordinance (Tracy Municipal Code Chapter 12.36), City Design Documents as defined in Title 12 of the Tracy Municipal Code, and these Conditions of Approval.
- C.4.6 On-site Grading Plan shall be prepared on a twenty-four (24) inch x thirty-six (36) inch size 20-pound (min.) bond paper and PDF. These plans shall use the City's Title Block. Improvement Plans shall be prepared under the supervision of, stamped and signed by the Project's Registered Civil Engineer of Record and the Project's Registered Geotechnical Engineer. Developer shall obtain all applicable signatures by City departments and outside agencies (where applicable) on the plans prior to submitting the mylars to Engineering Division for City Engineer's signature. Erosion control measures shall be implemented in accordance with the Grading Plan approved by the City Engineer for all grading work. All grading work not completed before October 15 may be subject to additional requirements as applicable. Improvement Plans shall specify all proposed erosion control methods and construction details to be employed and specify materials to be used during and after the construction.
- C.4.7 Payment of the applicable Grading Permit fees which include grading plan checking and inspection fees, and other applicable fees as required by these Conditions of Approval.
- C.4.8 For Projects on property larger than one (1) acre: Prior to the issuance of the Grading Permit, Developer shall submit to the Utilities Department (stephanie.hiestand@cityoftracy.org) one (1) electronic copy and one (1) hard copy of the Storm Water Pollution Prevention Plan (SWPPP) as submitted in Stormwater Multiple Applications and Reporting Tracker System (SMARTS) along with either a copy of the Notice of Intent (NOI) with the state-issued Wastewater Discharge Identification number (WDID) or a copy of the receipt for the NOI. After the completion of the Project, the Developer is responsible for filing the Notice of Termination (NOT) required by SWQCB, and shall provide the City, a copy of the completed Notice of Termination. Cost of preparing the SWPPP, NOI and NOT including the annual storm drainage fees and the filing fees of the NOI and NOT shall be paid by the Developer. Developer shall comply with all the requirements of the SWPPP, applicable Best Management Practices (BMPs) and the Stormwater Post-Construction Standards adopted by the City in 2015 and any subsequent amendment(s).

For Projects on property smaller than one (1) acre: Prior to the issuance of the Grading Permit, the Developer shall submit to the Utilities Department (stephanie.hiestand@cityoftracy.org) one (1) electronic copy and 1 hard copy of the City of Tracy Erosion and Sediment Control Plan (ESCP) for approval. Cost of preparing the ESCP including any annual storm drainage fees shall be paid by the Developer. Developer shall comply with all the requirements of the ESCP, applicable BMPs and the Post-Construction Stormwater Standards adopted by the City in 2015 and any subsequent amendment(s).

- C.4.9 Developer shall provide a PDF copy of the Project's Geotechnical Report signed and stamped by the Project's Registered Geotechnical Engineer. The technical report must include relevant information related to, but not limited to, soil types and characteristics; soil bearing capacity; recommendations of soil and pavement compaction, import fill gradation, retaining wall design, slope gradients, flexible and in-flexible pavement (including paving calculations such as 5-values, gravel factors, gravel equivalence); bore logs; elevation of the highest observed groundwater level; infiltration testing at the bottom floor elevation of the proposed basin; and other design recommendations or geotechnical tests to the satisfaction of the City Engineer.
- C.4.10 Minor Retaining – Developer shall use reinforced or engineered masonry blocks for retaining soil at property lines when the grade differential among the in-tract lots exceeds twelve (12) inches. Developer will include construction details of these minor retaining walls with the on-site Grading Plan. Developer may use slopes among the lots to address the grade differential but said slope shall not exceed a slope gradient of 3 (horizontal) to 1 (vertical) unless the Project's Registered Geotechnical Engineer signs and stamps a geotechnical report letter that supports a steeper slope gradient. Slope easements may be required and will be subject to approval by the City Engineer.

Minor Retaining along Project Perimeter – Developer shall use reinforced or engineered masonry blocks for retaining soil along the Project boundary and adjacent property(s) when the grade differential exceeds 12-inches. Developer will include construction details for these minor retaining walls with the on-site Grading Plan. Developer may use slopes to address the grade differential but said slope shall not exceed a slope gradient of 3 (horizontal) to 1 (vertical). Slope easements may be subject to approval by the City Engineer and if adjacent and affected property(s) owner(s) grants said easements.

Slopes are an acceptable option as a substitute to engineered retaining walls, where cuts or fills do not match existing ground or final grade with the adjacent property or public right of way, up to a maximum grade differential of two (2) feet, subject to approval by the City Engineer.

Slope easements will be recorded, prior to the issuance of the Grading Permit. The Developer shall be responsible to obtain and record slope easement(s) on private properties, where it is needed to protect private improvements constructed within and outside the Project, and a copy of the recorded easement document must be provided to the City, prior to the issuance of the Grading Permit.

Walls - Developer shall show proposed retaining walls and masonry walls on the on-site Grading Plan. The Developer is required to submit improvement plans, construction details, and structural calculations for retaining walls and masonry walls to Building and Safety. Retaining wall and masonry wall design parameters will be included in the geotechnical report.

- C.4.11 Developer shall provide a copy of the approved Incidental Take Minimization Measures (ITMM) habitat survey [San Joaquin County Multi-Species Habitat Conservation & Open Space Plan (SJMSCP)] from San Joaquin Council of Governments (SJCOG).
- C.4.12 Developer shall provide a copy of the approved Air Impact Assessment (AIA) with an Indirect Source Review (ISR) from San Joaquin Valley Air Pollution Control District (SJVAPCD).
- C.4.13 Developer shall abandon or remove all existing irrigation structures, channels and pipes, if any, as directed by the City after coordination with the irrigation district, if the facilities are no longer required for irrigation purposes. If irrigation facilities including tile drains, if any, are required to remain to serve existing adjacent agricultural uses, the Developer will design, coordinate and construct required modifications to the facilities to the satisfaction of the affected agency and the City. Written permission from irrigation district or affected owner(s) will be required to be submitted to the City prior to the issuance of the Grading Permit. The cost of relocating and/or removing irrigation facilities and/or tile drains is the sole responsibility of the Developer.
- C.4.14 Developer shall underground existing overhead utilities such as electric, TV cable, telephone, and others. Each dry utility shall be installed at the location approved by the respective owner(s) of dry utility and the Developer shall coordinate such activities with each utility owner. All costs associated with the undergrounding shall be the sole responsibility of the Developer and no reimbursement will be due from the City. Developer shall submit undergrounding plans. Referenced and incorporated herein are Title 11 and Title 12 of the Tracy Municipal Code. Exemptions from this condition are further clarified in the aforementioned code sections.
- C.4.15 If at any point during grading that the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any potential archeological, historical, or other paleontological findings, the Developer shall address the findings as required per the General Plan Cultural Resource Policy and General Plan Environmental

Impact Report; and subsequent Cultural Resource Policy or mitigation in any applicable environmental document.

C.5. Improvement Agreement(s)

All construction activity involving public improvements will require a fully executed improvement agreement (Off-site, Subdivision, and/or Inspection). Any construction activity involving public improvements without a fully executed improvement agreement is prohibited. All public improvements shall be performed and completed in accordance with the recommendation(s) of the Project's Registered Civil Engineer of Record.

Prior to the consideration of City Council's approval of said improvement agreement, the Developer shall provide all documents related to said improvements required by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.5.1. Off-site and/or Public Infrastructure Improvement Plans prepared on a twenty-four (24) inch x thirty-six (36) inch size 20-pound (min.) bond paper and PDF that incorporate all requirements described in the documents described in these Conditions of Approval, the City's Design Documents as defined in Title 12 of the Tracy Municipal Code. Developer shall use the latest title block and, if necessary, contain a signature block for the Fire Marshal. Improvement Plans shall be prepared under the supervision of, and stamped and signed by a Registered Civil, Traffic, Electrical, Mechanical Engineer, and Landscape Architect for the relevant discipline. Developer shall obtain all applicable signatures by City departments and outside agencies (where applicable) on the plans including signatures by Fire Marshal to submitting the mylars to Engineering Division for City Engineer's signature. The improvement plans shall be prepared to specifically include, but not be limited to, the following items:
- C.5.1.a. All existing and proposed utilities such as domestic water line, irrigation service, fire service line, storm drain, and sanitary sewer, including the size and location of the pipes.
 - C.5.1.b. All supporting engineering calculations, materials information or technical specifications, cost estimate, and technical reports. All improvement plans shall contain a note stating that the Developer (or Contractor) will be responsible to preserve and protect all existing survey monuments and other survey markers such as benchmarks.
 - C.5.1.c. A PDF copy of the Project's approved Geotechnical/Soils Report that was prepared for the grading permit submittal.
 - C.5.1.d. Storm Water - Storm drainage release point is a location at the boundary of the Project adjacent public right-of-way where storm

water leaves the Property, in a storm event and that the Property's on-site storm drainage system fails to function or it is clogged. Site grading shall be designed such that the Project's storm drainage overland release point will be directly to an adjacent public right-of-way with a functional storm drainage system and the existing storm drainage line has adequate capacity to drain storm water from the Property. The storm drainage release point is recommended to be at least 0.70-feet lower than the building finish floor elevation and shall be designed and improved to the satisfaction of the City Engineer.

The Project's permanent storm drainage connection(s) shall be designed and constructed in accordance with City Regulations. The design of the permanent storm drainage connection shall be shown on the Grading Plans with calculations for the sizing of the storm drain pipe(s), and shall comply with the applicable requirements of the City's storm water regulations adopted by the City Council in 2012 and any subsequent amendments. Developer shall also comply with and/or construct the recommended mitigations as described in the storm drain technical memorandum.

Developer and its heirs shall be responsible for repairing and maintaining the on-site storm water treatment system at the Developer's (and heirs') sole cost and expense.

C.5.1.e Sanitary Sewer - It is the Developer's responsibility to design and construct the Project's permanent on-site sanitary sewer (sewer) improvements including the Project's sewer connection in accordance with the City's Design Standards, City Regulations and Standard Specifications. Sewer improvements shall include but not limited to, replacing asphalt concrete pavement, reconstructing curb, gutter and sidewalk, restoring pavement marking and striping, and other improvements that are disturbed as a result of installing the Project's permanent sewer connection. Developer shall submit improvement plans that include the design of the sewer line from the Property to the point of connection.

C.5.1.f Water Distribution - Developer shall design and construct domestic and irrigation water service that comply with the City Regulations. Water line sizing, layout and looping requirements for this Project shall comply with City Regulations. During the construction of the Project, the Developer is responsible for providing water infrastructure (temporary or permanent) capable of delivering adequate fire flows and pressure appropriate to the various stages of construction and as approved by the Fire Marshal.

Interruption to the water supply to the existing businesses and other users will not be allowed to facilitate construction of

improvements related to the Project. Developer shall be responsible for notifying business owner(s) and users, regarding construction work. The written notice, as approved by the City Engineer, shall be delivered to the affected residents or business owner(s) at least seventy-two (72) hours before start of work. Prior to starting the work described in this section, the Developer shall submit a Work Plan acceptable to the City that demonstrates no interruptions to the water supply, and Traffic Control Plan to be used during the installation of the off-site water mains and connections.

The Project's water service connections shall use a remote-read (radio-read) master water meter and a Reduced Pressure Type back-flow protection device in accordance with City Regulations. The domestic and irrigation water service connection(s) must be completed before the inspection of the building. The location of the meters shall be per City Regulations and shall not in the driveway. Other proposed locations shall be approved to the satisfaction of the City Engineer.

All costs associated with the installation of the Project's water connection(s) including the cost of removing and replacing asphalt concrete pavement, pavement marking and striping such as crosswalk lines and lane line markings on existing street or parking area(s) that may be disturbed with the installation of the permanent water connection(s), or domestic water service, and other improvements shall be paid by the Developer.

Fire Service Line – Location and construction details of fire service line including fire hydrant(s) that are to serve the Project shall be approved by the Fire Marshal. Prior to the approval of the Improvement Plans by the City Engineer, the Developer shall obtain written approval from the Fire Marshal, for the design, location and construction details of the fire service connection to the Project, and for the location and spacing of fire hydrants that are to be installed or planned to serve the Project.

C.5.1.g Streets – The Developer shall have frontage improvements. All streets and utilities improvements within City right-of-way shall be designed and constructed in accordance with City Regulations, and City's Design Documents including the City's Facilities Master Plan for storm drainage, roadways, wastewater, and water as adopted, amended, and updated by the City, or as otherwise specifically approved by the City.

Along the Project frontage, Developer shall construct a landscaped and irrigated parkway. Landscape and irrigation plans shall be prepared on a 24-inch x 36-inch size 20-pound (min.) bond paper

and PDF that incorporate all requirements described in the documents described in these Conditions of Approval, the City's Design Documents as defined in Title 12 of the Tracy Municipal Code. Developer shall use the latest title block. Said landscape and irrigation plan shall be prepared by a California licensed landscape architect.

- A.5.2. Joint Trench Plans and Composite Utility Plans, prepared on a twenty-four (24) inch x thirty-six (36) inch size 20-pound (min.) bond paper and PDF for the installation of dry utilities such as electric, gas, TV cable, telephone, and others that will be located within a PUE, if existing, to be installed to serve the Project. All private utility services to serve Project must be installed underground or relocated to be underground, and to be installed at the location approved by the respective owner(s) of the utilities from the street or an existing or proposed utility easement to the building(s).
- A.5.3. Payment of applicable fees required by City Regulations, and these Conditions of Approval including but not limited to plan checking, grading, construction inspection, agreement processing, encroachment permits, and testing fees.
- A.5.4. Project Engineer's reasonable cost estimate that summarizes the cost of constructing all the public improvements shown on the Improvement Plans.
- A.5.5. Traffic Control Plan - Prior to starting the work for any work within City's right-of-way, the Developer shall submit a Traffic Control Plan (TCP). TCP can be split among the different construction phases. TCP will show the method and type of construction signs to be used for regulating traffic at the work areas within these streets. TCP shall conform to the Manual on Uniform Traffic Control Devices as amended by the State of California, latest edition (MUTCD-CA). TCP shall be prepared under the supervision of, signed and stamped by a Registered Civil Engineer or Registered Traffic Engineer.

Access and Traffic Circulation to Existing Businesses/Residents - Developer shall take all steps necessary to plan and construct site improvements such that construction operations do not impact safety and access (including emergency vehicles) to the existing businesses and residents throughout the duration of construction. Developer shall coordinate with the owners and cooperate to minimize impacts on existing businesses. All costs of measures needed to provide safe and functional access shall be borne by the Developer.

- A.5.6. No street trench shall be left open, uncovered, and/or unprotected during night hours and when the Developer's contractor is not performing construction activities. Appropriate signs and barricades shall be installed on the street and on all trenches during such times. If the Developer or its contractor elects to use steel plates to cover street trenches, said steel plates will be skid-resistance, and shall be either pinned and recessed into the

pavement or ramped on all sides. Ramps will be made of cold-mix asphalt concrete, be a minimum two-foot wide, and will run the entire length of each side.

C.5.6 If at any point during utility installation or construction in general that the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and subsequent Cultural Resource Policy or mitigation in any applicable environmental document.

C.5.7 Improvement Security - Developer shall provide improvement security for all public facilities, as required by the Improvement Agreement. The form of the improvement security may be a bond, or other form in accordance with the Government Code, and the TMC. The amount of the improvement security shall be in accordance with Title 12 of the TMC.

Insurance – Developer shall provide written evidence of insurance coverage that meets the terms of the Improvement Agreement.

C.6. Building Permit

Prior to the release of a building permit within Project boundaries, the Developer shall demonstrate, to the satisfaction of the City Engineer, compliance with all required Conditions of Approval, including, but not limited to, the following:

C.6.1 Developer has satisfied all conditions in C.1 through C.4 in these Conditions of Approval and has obtained a City approved Grading Permit.

C.6.2 Developer shall pay any applicable development impact fees.

C.7 Acceptance of Public Improvements

Prior to the consideration of City Council's acceptance of public improvements, the Developer shall demonstrate to the reasonable satisfaction of the City Engineer, completion of the following:

C.7.1 Developer has satisfied all conditions in C.1 through C.6 in these Conditions of Approval.

C.7.2 Prior to improvement acceptance, Developer submitted the Storm water Treatment Facilities Maintenance Agreement (STFMA) to the Utilities Department.

C.7.3 Developer has satisfactory completed construction of all required/conditioned improvements. Unless specifically provided in these Conditions of Approval,

or some other applicable City Regulations, the Developer shall use diligent and good faith efforts in taking all actions necessary to construct all public facilities required to serve the Project, and the Developer shall bear all costs related to construction of the public facilities (including all costs of design, construction, construction management, plan check, inspection, land acquisition, program implementation, and contingency).

- C.7.4 Certified “As-Built” On-site Grading and Off-Site Improvement Plans (or Record Drawings) - Prior to improvement acceptance, Developer shall cause its design professionals(s) to prepare Certified “As-Built” grading and off-site Improvement Plans (or Record Drawings). Said Record Drawings shall be prepared on a twenty-four (24) inch x thirty-six (36) inch size 4-millimeter-thick polymer film (mylar). Developer shall re-obtain all signatures from outside agencies prior to submitting the Record Drawings to the City.
- C.7.5 Prior to improvement acceptance, Developer shall be responsible for any repairs or reconstruction of street pavement, curb, gutter, sidewalk and other public improvements associated with the Project, if determined by the City Engineer to be in poor condition or damaged by construction activities related to the Project.
- C.7.6 Prior to improvement acceptance, Developer has completed the ninety (90) day public landscaping maintenance period.
- C.7.7 Prior to improvement acceptance, per Section 21107.5 of the California Vehicle Code, Developer shall install signs at all entrance(s) of the Project stating that the streets are privately owned and maintained and are not subject to the public traffic regulations or control. Said signs must be conspicuously placed, plainly visible, and legible during daylight hours from a distance of one hundred (100) feet, if applicable.
- C.7.8 Survey Monuments – Prior to improvement acceptance, Developer shall submit centerline tie sheets, corner records, a record of survey, etc. for the following: new public streets; re-established survey monuments, damaged, destroyed, altered, and/or reconstructed any existing curb returns, survey monuments and/or benchmarks. Any survey document will be submitted to the City and to the San Joaquin County Surveyor to comply with California Business and Professions Code Section 8771(c). Said work shall be executed by a California licensed Land Surveyor at the Developer’s sole expense.
- C.7.9 Prior to improvement acceptance, repair and maintenance of all on-site water lines, laterals, sub-water meters, valves, fittings, fire hydrant and appurtenances shall be the responsibility of the Developer.
- C.7.10 Prior to improvement acceptance, Developer shall submit warranty bonds.

C.8 Special Conditions

- C.8.1 When street cuts are made for the installation of utilities, the Developer shall conform to Section 3.14 of the 2020 Design Standards and is required install a two (2) inch thick asphalt concrete (AC) overlay with reinforcing fabric at least twenty-five (25) feet from all sides of each utility trench. A two (2) inch deep grind on the existing AC pavement will be required where the AC overlay will be applied and shall be uniform thickness in order to maintain current pavement grades, cross and longitudinal slopes. This pavement repair requirement is when cuts/trenches are perpendicular and parallel to the street's direction.
- C.8.2 Nothing contained herein shall be construed to permit any violation of relevant ordinances and regulations of the City of Tracy, or other public agency having jurisdiction. This Condition of Approval does not preclude the City from requiring pertinent revisions and additional requirements to the improvement plans, prior to the City Engineer's signature on the improvement plans, and prior to issuance of Grading Permit, Encroachment Permit, Building Permit, if the City Engineer finds it necessary due to public health and safety reasons, and it is in the best interest of the City. The Developer shall bear all the cost for the inclusion, design, and implementations of such additions and requirements, without reimbursement or any payment from the City.
- C.8.3 Prior to the release of the Building Permit, if water is required for the Project, the Developer shall obtain an account for the water service and register the water meter with the Finance Department. Developer shall pay all fees associated with obtaining the account number for the water service.
- C.8.4 Prior to acceptance of the public improvements, Developer shall cause its design professional to provide to the City in both AutoCAD format, and Shape File format (both in versions approved by the City), the public improvements associated with this Project.

C.9 Utility Plans

C.9.1. Farmscape Community Garden Area

When recycled water becomes available to the Tracy Lakes subdivision, use of recycled water for irrigation of the Farmscape Community Garden planting areas will not be permitted: a domestic water meter connection from the potable water system will be required for irrigation water service to the Farmscape Community Garden.

D. Building Division Conditions of Approval

- D.1 At time of permit application, the applicant shall submit van accessible parking spaces and access aisles per CBC 11B-502.
1. Prior to construction of any structures, applicant must submit construction documents, plans, specifications and/or calculations to the Building Safety Division, which meet all requirements of Title 24 California Code of Regulations and City of Tracy Municipal Codes, as applicable.
 2. At the time of building permit application submittal, applicant shall provide plans that show an accessible route of travel to the public right-of-way and all other exterior amenities per 2019 California Building Code (CBC) 11B-206.2.
 3. At time of building permit application, applicant to justify location of accessible parking stalls in comparison to the main entrance. Per CBC 11B-208.3.1, accessible parking spaces shall be located on the shortest accessible route from parking to an entrance.
 4. At time of building permit submittal, applicant to justify building area based on construction type and occupancy as per CBC Table 506.2, CBC 508 and show any rated wall assemblies as per CBC 706.
 5. At time of building permit, applicant to indicate if there will be any storage of hazardous materials and provide hazardous materials inventory report by a qualified individual to justify quantity.

E. South San Joaquin County Fire Authority Conditions of Approval

- E.1. Prior to construction, applicant shall submit construction documents to the South San Joaquin County Fire Authority for review and approval.
- a. Construction documents shall be designed to the current edition of the California Code of Regulations, Title 24, as amended by the City of Tracy Municipal Code.
 - b. Deferred submittals for fire sprinkler system, fire protection water supply, and fire alarm system shall be listed on the coversheet. Each deferred submittal shall be submitted, reviewed, and approved by SSJCFA prior to installation.
 - c. A request for fire flow shall be submitted to the South San Joaquin County Fire Authority and results shall be approved by the Fire Marshal prior to

construction. Fire flow requirements shall be in accordance with CFC Appendix B.

- E. 2. Engineering and building permit applications received by our offices are subject to the current fee schedule for South San Joaquin County Fire Authority. Contact our offices for additional information.
 - a. Application processing fees and minimum plan review fees are due at time of submittal of construction documents.
 - b. Additional plan review fees, minimum inspection fees and administrative fees are calculated on approval of project and shall be paid prior to issuance of permit.
 - c. Permit holder is responsible for any additional inspection fees incurred and shall be paid prior to final inspection.
- E. 3. Prior to construction, all-weather fire apparatus access roads shall be installed. Fire apparatus access roads during construction shall have a minimum 20' unobstructed width in accordance with CFC §503.
- E.4 All hydrants shall be installed, inspected and tested prior to bringing combustible materials onsite, including storage.
- E.5 Prior to construction, an address must be posted at the construction site entrance. Address must be a minimum of 4 inches high by ½ inch numerals. Address must be provided so that emergency service personnel can locate the construction site in the event of an emergency.
- E.6 Additional comments may occur upon submittal of construction documents.