

Tuesday, March 5, 2024, 1:00 P.M.

Tracy City Hall, Conference Room 120, 333 Civic Center Plaza, Tracy

**THIS MEETING WILL BE OPEN TO THE PUBLIC FOR IN-PERSON AND REMOTE
PARTICIPATION PURSUANT TO GOVERNMENT CODE SECTION 54953(e).**

During the upcoming Director Public Hearing meeting, public comment will be accepted via the options listed below. All interested persons are invited to participate by:

- *joining the meeting via Microsoft Teams by:*
 - *viewing the Public Hearing Login information at <https://www.cityoftracy.org/government/public-notices>; or*
 - *clicking here to join the meeting;* or
 - *visiting the Microsoft Teams website at <https://www.microsoft.com/microsoft-teams/join-a-meeting> and using the following Meeting ID: 294 261 326 251 and Passcode: tJRDZY; or*
 - *calling the Microsoft Teams teleconference line at (209) 425-4338 Conference ID: 514 461 690# to submit statements orally during the meeting; or*
- *submitting comments in writing before the meeting by sending written statements to publiccomment@cityoftracy.org.*

MEETING AGENDA

CALL TO ORDER

1. PUBLIC HEARING TO CONSIDER APPROVING A DEVELOPMENT REVIEW PERMIT, APPLICATION NUMBER D23-0014, (HEREINAFTER “PROJECT”), TO RECONFIGURE AN EXISTING 27,473 SQUARE-FOOT PAVED STORAGE YARD AREA INTO AN ACCESSIBLE EMPLOYEE PARKING AREA CONSISTING OF 50 NEW EMPLOYEE PARKING SPACES, NEW FENCING, AND AN ACCESSIBLE ENTRY GATE, LOCATED ON AN APPROXIMATELY 0.63-ACRE PORTION OF THE 27.01-ACRE SITE, LOCATED AT 2650 N. MACARTHUR DRIVE, ASSESSOR’S PARCEL NUMBER 213-070-61, FOR THE LOWE’S DISTRIBUTION CENTER. THE APPLICANT IS WOODBLOCK ARCHITECTURE, AND THE PROPERTY OWNER IS THE BIXBY LAND COMPANY.
2. PUBLIC HEARING TO CONSIDER AN APPLICATION FOR THE CONSTRUCTION OF A 335,157 SQUARE FOOT INDUSTRIAL BUILDING ON A 19.3 ACRE SITE WITHIN THE NORTHEAST INDUSTRIAL SPECIFIC PLAN AREA, AND ITS RELATED PARKING, LANDSCAPE AND SITE IMPROVEMENTS. APPLICANT IS SEEFRIED INDUSTRIAL PROPERTIES AND OWNER IS LINDA MASSONE, TRUSTEE. APPLICATION NUMBER D22-0045.

ADJOURNMENT

March 5, 2024

AGENDA ITEM 1

REQUEST

PUBLIC HEARING TO CONSIDER APPROVING A DEVELOPMENT REVIEW PERMIT, APPLICATION NUMBER D23-0014, (HEREINAFTER “PROJECT”), TO RECONFIGURE AN EXISTING 27,473 SQUARE-FOOT PAVED STORAGE YARD AREA INTO AN ACCESSIBLE EMPLOYEE PARKING AREA CONSISTING OF 50 NEW EMPLOYEE PARKING SPACES, NEW FENCING, AND AN ACCESSIBLE ENTRY GATE, LOCATED ON AN APPROXIMATELY 0.63-ACRE PORTION OF THE 27.01-ACRE SITE, LOCATED AT 2650 N. MACARTHUR DRIVE, ASSESSOR’S PARCEL NUMBER 213-070-61, FOR THE LOWE’S DISTRIBUTION CENTER. THE APPLICANT IS WOODBLOCK ARCHITECTURE, AND THE PROPERTY OWNER IS THE BIXBY LAND COMPANY.

DISCUSSION

This agenda item is to consider approving a Development Review Permit, Application Number D23-0014 to reconfigure an existing 27,473 square-foot paved storage yard area into an accessible employee parking area for the Lowe’s Distribution Center located at 2650 N. MacArthur Drive, APN 213-070-61.

Background

On September 27, 1990, the Community Development Director approved a Development Review Permit, Application Number 19-90-D, for the construction of a 350,000 sq. ft. distribution center for Orchard Supply Hardware. On December 30, 1994, a Development Review Permit, Application Number 16-94-D, was approved by the Community Development Director, for an expansion of 160,000 sq. ft. of warehouse space to the existing 350,000 sq. ft. warehouse building. On May 12, 2000, the Community Development Director approved a Development Review Permit, Application Number 12-00-D, for the construction of a new 6,426 sq. ft. building on the substantially developed Orchard Supply Warehouse Distribution Center.

Under this Development Review Permit, Application Number D23-0014, the proposed Project will be located on a 0.63-acre portion of a 27.01-acre parcel, east of the existing warehouse building located at 2650 N. Mac Arthur Drive (Attachment A – Location Map). As the Lowe’s Distribution Center is only utilizing 121,434 sq. ft. of the existing 449,912 warehouse building, the purpose of this Project is to provide additional, convenient, and accessible parking spaces to their employees in close proximity to their work area (Attachment B – Project Description).

The reconfiguration of the existing 27,473 sq. ft. paved storage area would consist of 50 new employee parking stalls including 2 ADA parking stalls, new accessible entry ramps, new fencing and gate, and will include a minimum of 10 shade canopy trees (Attachment C – Project Plans). The new fencing and gate would consist of chain link fencing material to match the existing fence materials found on site. The location of the new fence and gate are located behind the existing warehouse structure and away from

public view, making it consistent with the design standards under the Industrial Areas Specific Plan, and the City's Design Goals and Standards.

The subject property is located in the Industrial Areas Specific Plan, with a land use designation of Limited Industrial. The proposed reconfiguration of an existing storage yard area to an employee parking area is a permitted use in the Industrial Areas Specific Plan, as the parking area is accessory to the permitted warehousing and distribution use operated by the Lowe's Distribution Center. The adjacent properties to the north and south of the property have a land use designation of Limited Industrial under the Industrial Areas Specific Plan. The property to the east has a land use designation of Light Industrial under the Northeast Industrial Areas Specific Plan. The property to the west is zoned Residential Mobile Housing (RMH). The proposed design of the facility is compatible with the surrounding industrial areas, and the RMH zone to the west, as the proposed parking lot will be located behind the existing warehouse structure, and away from the public view. Additionally, the implementation of this new parking area will not disrupt vehicular circulation or cause the loss of landscaping or hardscape.

Environmental Document

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19 of the CEQA Guidelines, Section 15303, which pertains to the new construction or conversion of small structures. In accordance with CEQA Guidelines, no further environmental assessment is required.

RECOMMENDATION

Staff recommends that the Development Services Director approve a Development Review Permit to construct the Project, based on the findings contained in the Development Services Director Determination dated March 5, 2024 (Attachment D – Development Services Director Determination).

Prepared by: Ilse Lopez-Narvaez, Assistant Planner

Reviewed by: Scott Claar, Senior Planner

ATTACHMENTS

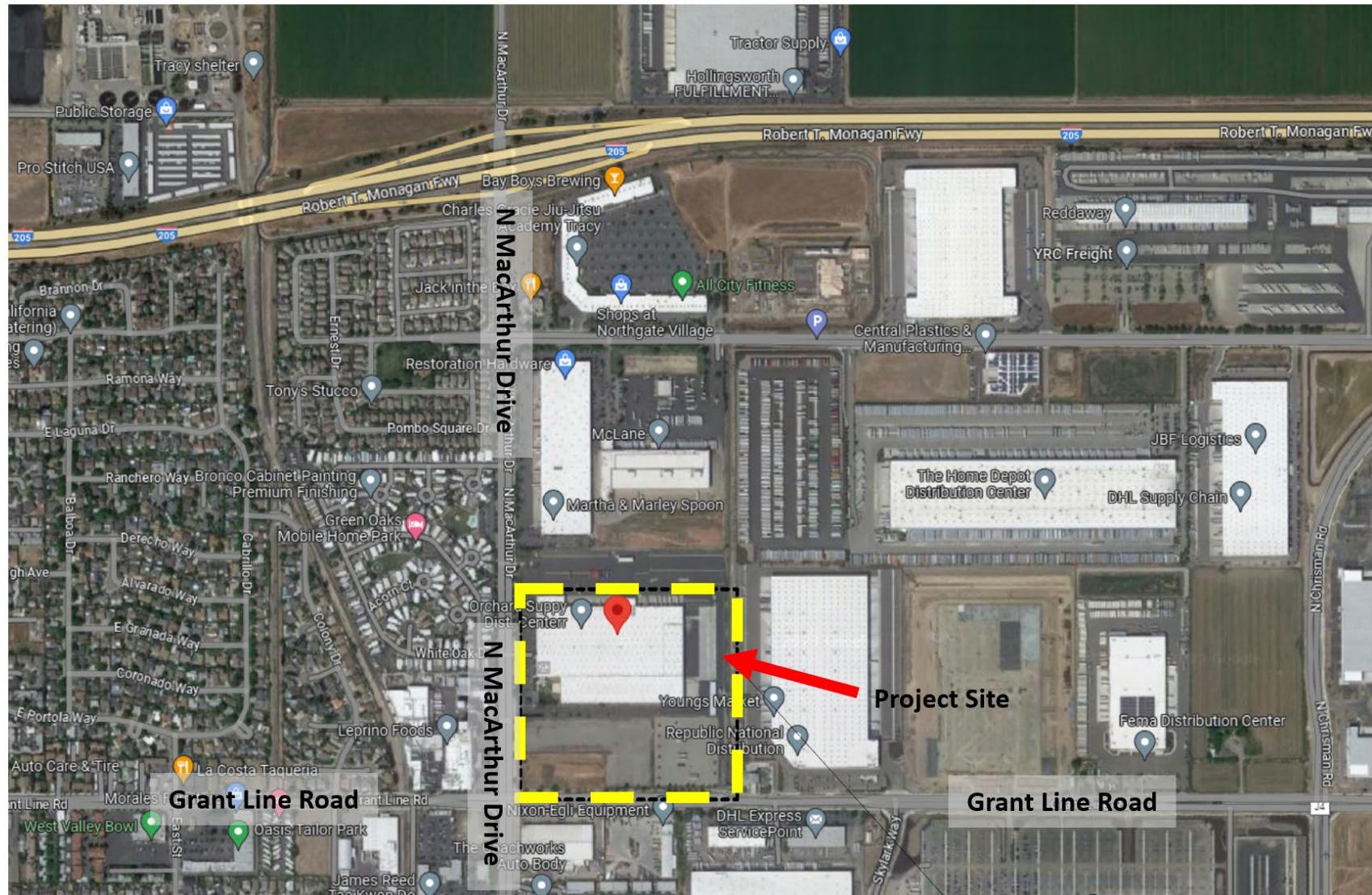
- A: Location Map
- B: Project Description
- C: Project Plans
- D: Development Services Director Determination
 - Exhibit 1 – Conditions of Approval

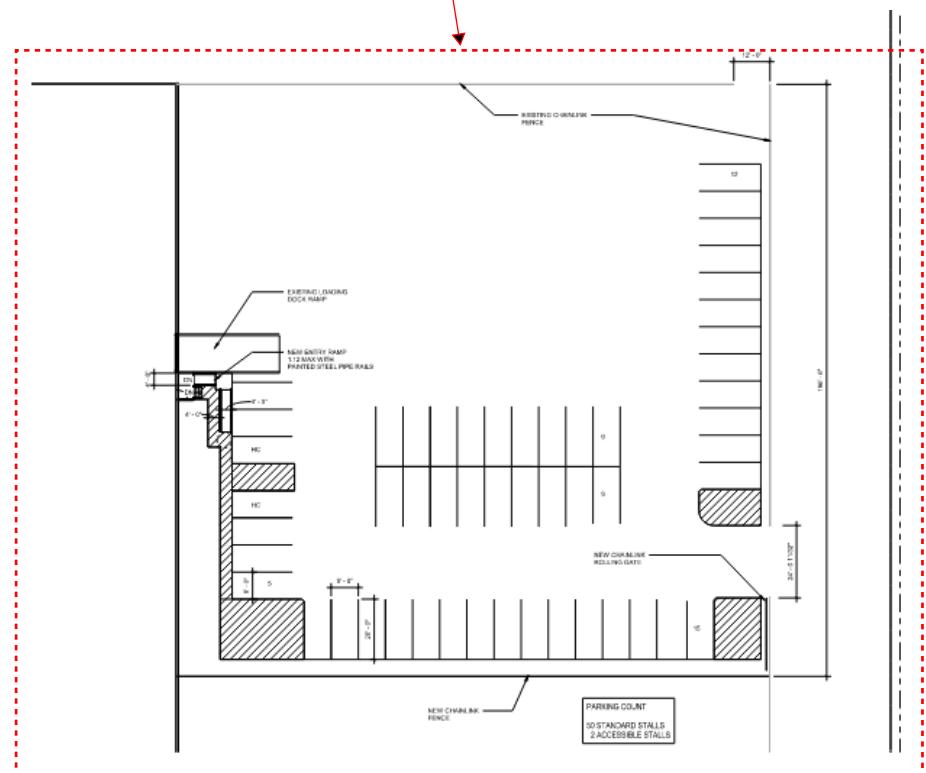
**2650 N.
MacArthur Drive**

Assessor's Parcel
Number (APN):
213-070-61

27.01-acre site

Former Orchard
Supply
Distribution
Center





ENLARGED SITE PLAN

RECEIVED

January 18, 2024

City of Tracy

Development Services

Attachment B



503.889.0604

520 SW 6TH AVE #500

PORLAND, OREGON 97204

WBLOCK.COM

January 11, 2024

RE: Development Review Package – Project Description

Project: Lowe's Distribution Center Employee Parking
2650 N MacArthur Ave
Tracy, California

This project consists of creating a secure employee parking area within an existing truck/trailer parking lot. The warehouse formerly served Orchard Supply Company. Lowe's is only utilizing 121,718 sq. ft. of the existing 455,750sq. ft. warehouse building as a Cross Dock Terminal where products are stocked for minimal periods (typically 24 hours) and then distributed to customers. The objective of the project is to add fencing to an existing fenced paved lot and provide secure parking for a maximum of 50 employee vehicle and to create an accessible entry that functions better with the current reduced usage of the building (see highlighted Floor Plan A101 for space utilization). There are currently 21 employees working at this facility. The existing employee entrance is on the west side of the building and does not function well with the reduced square footage used. The existing interior floor plan will not be altered, and all building code required fire life safety components will remain intact.

ABBREVIATIONS:

<	ANGLE	FAST	FASTENER	PIP	POURED IN PLACE
@	AT	FAU	FORCED AIR UNIT	PJ	PANEL JOINT
+	AND	FB	FLAT BAR	PL	PROPERTY LINE
AB	ANCHOR BOLT	FBO	FURNISHED BY OTHERS	P. LAM	PLASTIC LAMINATE
A/C	AIR CONDITIONING	FD	FLOOR DRAIN	PLAS	PLASTER
ACT	ACOUSTIC CEILING TILE	FDN	FOUNDATION	PLYWD	PLYWOOD
ACOUS	ACOUSTICAL	FE	FIRE EXTINGUISHER	PR	PAIR
AD	AREA DRAIN	FEC	FIRE EXTINGUISHER CABINET	PREFIN	PREFINISHED
ADD	ADDENDUM	FF	FIRE FLOOR	PT	PRESSURE TREATED
ADJ	ADJACENT	FHC	FIRE HOSE CABINET	PTD	PAPER TOWEL DISPENSER
ADJT	ADJUSTABLE	FIN	FINISH	PTDR	COMBINATION PAPER TOWEL DISPENSER AND RECEPTACLE
A.F.F.	ABOVE FINISH FLOOR	FL	FLOOR	PTN	PARTITION
AGG	AGGREGATE	FLASH	FLASHING	PTR	PAPER TOWEL RECEPTACLE
ALS	AREA LIGHT STANDARD	FLUOR	FLUORESCENT	PVC	POLYVINYL CHLORIDE
ALT	ALTERNATE	FO	FACE OF	PVMT	PAVEMENT
ALUM	ALUMINUM	FOC	FACE OF CONCRETE	QT	QUARRY TILE
ANOD	ANODIZED	FOF	FACE OF FINISH	R	RISER
APPROX	APPROXIMATE	FOM	FACE OF MASONRY	R.	RADIUS
ARCH	ARCHITECTURAL	FOS	FACE OF STUD	RA	RETURN AIR
AUTO	AUTOMATIC	FOTS	FACE OF TUBE SECTION	RB	RUBBER BASE
A.F.C.	ABOVE FINISH CEILING	FRT	FIRE RETARDANT TREATED	RD	ROOF DRAIN
RC	BOTTOM OF CURB	FT	FOOT OR FEET	REF	REFERENCE
BD	BOARD	FTG	FOOTING	REFL	REFLECTED
B.F.F.	BELLOW FINISH FLOOR	FURR	FURRING	REFR	REFRIGERATOR
BITUM	BITUMINOUS	GA	GAUGE	REINF	REINFORCED
BLDG	BUILDING	GALV	GALVANIZED	RESIL	RESILIENT
BLK	BLOCK	GB	GRAB BAR	REQ'D	REQUIRED
BLKG	BLOCKING	GC	GENERAL CONTRACTOR	REV	REVISE OR REVISION
B.M.	BENCHMARK	GI	GALVANIZED IRON	RCP	REFLECTED CEILING PLAN
B.O.	BOTTOM OF	GL	GLASS	S	SOUTH
BOT	BOTTOM	GL	GLU LAM	RO	ROUGH OPENING
BRG	BEARING	GND	GROUND	RWL	RAIN WATER LEADER
B.S.	BOTH SIDES	GP	GALVANIZED PIPE	SGE	SOLID CORE
BSMT	BASEMENT	GRD	GRADE	SC	SEAT COVER DISPENSER
BTWN	BETWEEN	GVP	GYPSUM VENEER PLASTER	SD	SCHEDULE
BUR	BUILT-UP ROOF	GWB	GYPSUM WALL BOARD	SCD	SCHEDULE
BPW	BED PAN WASHER	GYP	GYPSUM BOARD	SDC	SOAP DISPENSER
[OR C]	CHANNEL	HB	HOSE BIBB	SECT	SECTION
CAB	CABINET	HC	HOLLOW CORE	SGE	SEMI-GLOSS ENAMEL
CB	CATCH BASIN	HC	HANDICAPPED PARKING STALL	SH	SHelf
CEM	CEMENT	HDWD	HARDWOOD	SHTG	SHeathing
CFI	CONTRACTOR FURNISHED	HDWR	HARDWARE	SHWR	SHOWER
	AND INSTALLED	HM	HOLLOW METAL	SM	SHEET METAL
CG	CORNER GUARD	HORIZ	HORIZONTAL	SNT	SHEET
C.I.	CONTRACTOR INSTALLED	HR	HOUR	SIM	SIMILAR
CI	CAST IRON	H.	HEIGHT	SJ	SEISMIC JOINT
	CENTER LINE	HVAC	HEATING / VENTILATION / AIR CONDITIONING	SL	SLIDING
CLG	CEILING	HW	HOT WATER	SM	SHEET METAL
CLOS	CLOSET	ID	INSIDE DIAMETER (DIM.)	SNT	SANITARY NAPKIN RECEPTACLE
CLR	CLEAR	INSUL.	INSULATION	SPEC.	SPECIFICATION
CJ	CONTROL JOINT	INT.	INTERIOR	SQ	SQUARE
CMU	CONCRETE MASONRY UNIT	INV	INVERT	SS	STAINLESS STEEL
COL	COLUMN	IPS	IRON PIPE SIZE	S + V	STAIN + VARNISH
COMP	COMPOSITION	JAN	JANITOR	STA	STATION
CONC	CONCRETE	JT	JOINT	STD	STANDARD
CO	CONCRETE OPENING	KIT	KITCHEN	STK	STOCK
CONN	CONNECTION	KD	KILD DRIED	STL	STEEL
CONST	CONSTRUCTION	L.	LENGTH	STOR	STORAGE
CONT	CONTINUOUS	LAM	LABRATORY	STRUCT	STRUCTURAL
CONTR	CONTRACTOR	LAM	LAMINATE	SUSP	SUSPENDED
CORR	CORRIDOR	LAV	LAVATORY	SYM	SYMMETRICAL
CR	CONTRACTOR ROUGH-IN	LB	LAG BOLT	SYST	SYSTEM
CRRR	CONTRACTOR REMOVED,	LAV	LESS DOOR WIDTH	T	TREAD
	RELOCATED & REINSTALLED	LT	LANDSCAPE ISLAND	TB	TOWEL BAR
CS	COUNTERSUNK	LTR	LOCKER	T + B	TOP AND BOTTOM
CS.J	CONSTRUCTION JOINT	L.I.	LIVE LOAD	TOC	TOP OF CURB
CSMT	CASEMENT	LKR	LOCKING	TEL	TELEPHONE
CT	CERAMIC TILE	LL	MANUFACTURER	TEMP	TEMPERED
CTR	CENTER	LS	MISCELLANEOUS	UNFIN	UNFINISHED
CW	COLD WATER	LT	MIRROR	UR	URINAL
DBL	DOUBLE	LVR	MIRR	UICUT	UNDER CUT
DEMO	DEMOLISH	MATL	MATERIAL	U.N.O.	UNLESS NOTED OTHERWISE
DEPT	DEPARTMENT	MAX	MAXIMUM	TP	TOP OF PAVEMENT
DF	FRINKING FOUNTAIN	MB	MACHINE BOLT	TPD	TOILET PAPER DISPENSER
DIA	DIAETER	MC	MINERAL CORE	TPD(S)	SURFACE MOUNTED TOILET PAPER DISPENSER
DIAG	DIAGONAL	MDO	MEDIUM DENSITY OVERLAY	TS	TUBE SECTION
DIM	DIENSION	MECH	MECHANICAL	TS	TOOL JOINT
DISP	DISPENSER	MED	MEDIUM	TV	TELEVISION
DJT	DEFLECTION JOINT	MEMBR	MEMBRANE	TOW	TOP OF WALL
DL	DEAD LOAD	MEZZ	MEZZANINE	TYP	TYPICAL
DMT	DEMOUNTABLE	MFR	MANUFACTURER	UNFIN	UNFINISHED
DN	DOWN	MH	MANHOLE	UR	URINAL
DO	DOOR OPENING	MI	MALEABLE IRON	UICUT	UNDER CUT
DP	DAMPROOFING	MIR	MIRROR	U.N.O.	UNLESS NOTED OTHERWISE
DR	DOOR	MISC	MISCELLANEOUS	W	WEST
DS	DOWNSPOUT	MO	MASONRY OPENING	W/	WIDTH
DSP	DRY STAND PIPE	MTD	MOUNTED	W/	WITH
DT	DRAIN TILE	MTD	MOUNTED	W/O	WITHOUT
DTL	DETAIL	MTL	METAL	VERT	VERTICAL
DWG	DRAWING	MULL	MULLION	VEST	VESTIBULE
Ø	DIAMETER OR ROUND	MEDCAB	MEDICAL CABINET	VERT	VERTICAL
E	EAST	N	NORTH	W	WATER CLOSET
EA	EACH	NA	NOT APPLICABLE	W.C.	WINDOW DIMENSION
EF	EACH FACE	NAT	NATURAL	W.D.	WINDOW DIMENSION
E.AGG	EXPOSED AGGREGATE	NIC	NOT IN CONTRACT	WD	WOOD
E.J	EXPANSION JOINT	NO. OR #	NUMBER	WF	WIDE FLANGE
EL	ELEVATION	NOM	NOMINAL	WG	WIREGLASS
ELEC	ELECTRICAL	NS	NELSON STUD	WH	WATER HEATER
ELEV	ELEVATOR	NTS	NOT TO SCALE	WDW	WINDOW
EOS	EDGE OF SLAB	NIS	NOT IN SHELL ISSUE	W/O	WITHOUT
ENCL	ENCLOSURE	OA	OVERALL	WP	WATERPROOF
ENGR	ENGINEER	OBS	OBSCURE	WRB	WEATHER RESISTANT BARRIER
EP	ELECTRICAL PANEL	OC	ON CENTER	WRGB	WATER RESISTANT GYPSUM BOARD
EQ	EQUAL	OD	OUTSIDE DIAMETER	WW	WATERSTOP
EQUIP	EQUIPMENT	O.F.	OWNER FURNISHED	WSTC	WAINTSCOT
ES	EACH SIDE	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	WT	WEIGHT
EW	EACH WAY	O.F.I.	OWNER FURNISHED & INSTALLED	WWF	WELDED WIRE FABRIC
EDF	ELECTRONIC DRINKING FOUNTAIN	OFF	OFFICE	OPNG	OPENING
		OH	OVERHEAD	OPP	OPPOSITE
EXIST	EXISTING	OS	OUTSIDE	PL	PROPERTY LINE
EXP	EXPANSION	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	PR	PRESSURE TREATED
EXT	EXTERIOR	O.F.I.	OWNER FURNISHED & INSTALLED	PT	PAPER TOWEL DISPENSER
FA	FIRE ALARM	PAR	PARALLEL	PTD	COMBINATION PAPER TOWEL DISPENSER AND RECEPTACLE
		PC	PRECAST	PTDR	COMBINATION PAPER TOWEL DISPENSER AND RECEPTACLE

LOWE'S: TRACY XDT EMPLOYEE PARKING/FENCING DEVELOPMENT REVIEW

RECONFIGURATION OF A PAVED STORAGE YARD TO EMPLOYEE PARKING, ACCESSIBLE ENTRANCE, AND PERIMETER FENCE AROUND PARKING LOT

Attachment C

WOODBLOCK ARCHITECTURE, INC.
827 SW SECOND AVENUE, SUITE 300
PORTLAND, OR | 97204 | P 503.889.0604

RECEIVED
January 18, 2024
City of Tracy
Development Services

PROJECT TEAM

CLIENT:	LOWE'S ADDRESS: P: 336.488.0186 CONTACT: ANTHONY REID E: ANTHONY.REID@LOWES.COM
ARCHITECT OF RECORD:	WOODBLOCK ARCHITECTURE 520 SW 6TH AVE., SUITE 500 PORTLAND, OR, 97204 P: 503.889.0604 CONTACT: DAVE HARDISTER E: DAVE@WBLOCK.COM
STRUCTURAL ENGINEER:	VLMK ENGINEERING + DESIGN 3933 S KELLY AVE PORTLAND, OR 97239 P: 503.222.4453
CIVIL	C1.0 EXISTING CONDITIONS & DEMOLITION PLAN C2.0 PRELIMINARY SITE PLAN C3.0 PRELIMINARY GRADING & DRAINAGE PLAN C4.0 EXISTING LIGHTING/PHOTOMETRIC PLAN C5.0 PROPOSED LIGHTING/PHOTOMETRIC PLAN
LANDSCAPE ARCHITECTURE	L1 LANDSCAPE PLAN L2 TREE SHADING DIAGRAM & CLACULATIONS

PROJECT DATA

BUILDING CODES:	2022 CALIFORNIA BUILDING CODE (VOL 1 & 2) 2022 CALIFORNIA EXISTING BUILDING CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING CODE
ZONING:	M-1
FAR:	0.20
CONSTRUCTION TYPE:	II - B
YEAR BUILT:	1992
PROPERTY ADDRESSES:	2650 N MACARTHUR DRIVE TRACY, CA 95376

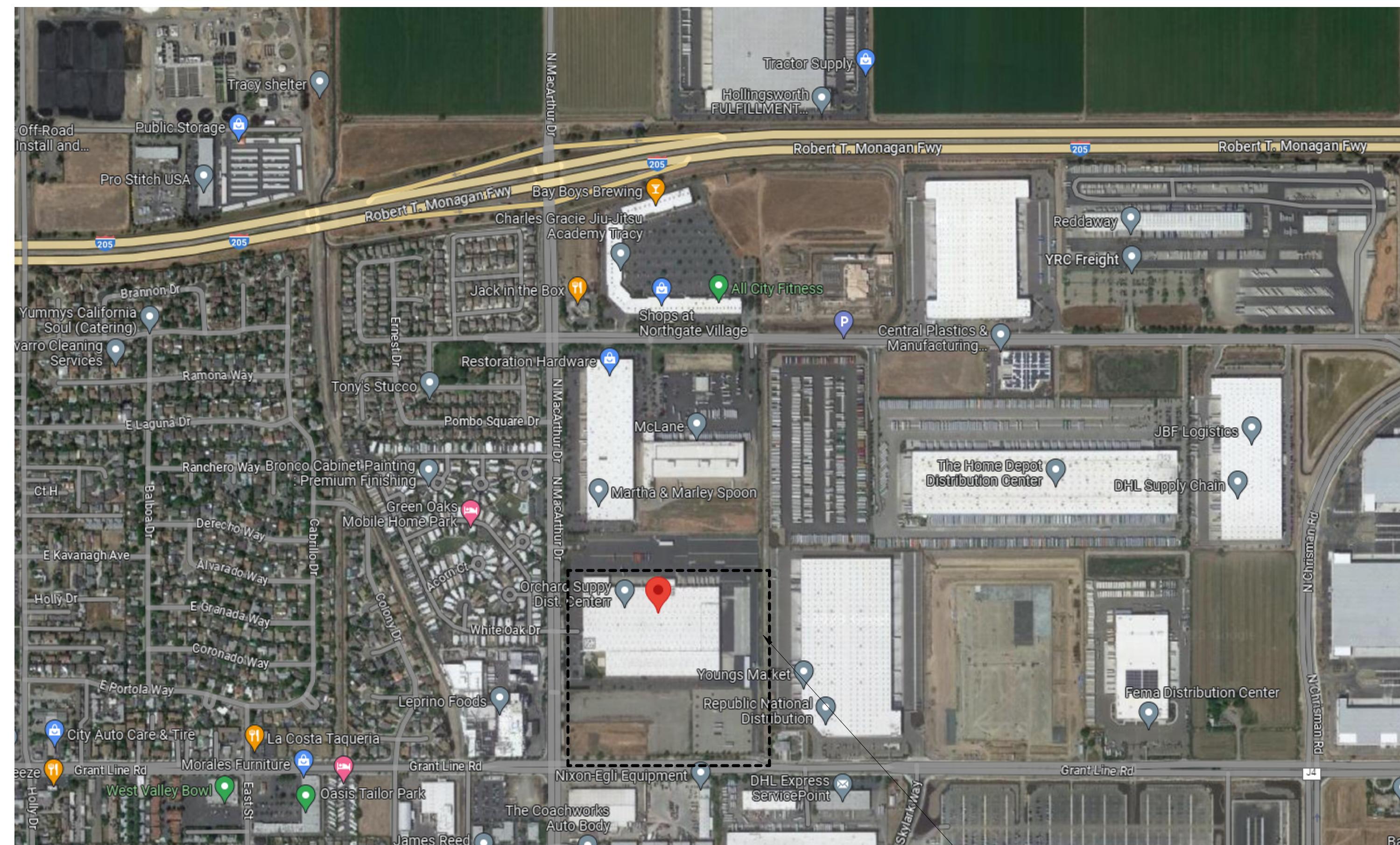




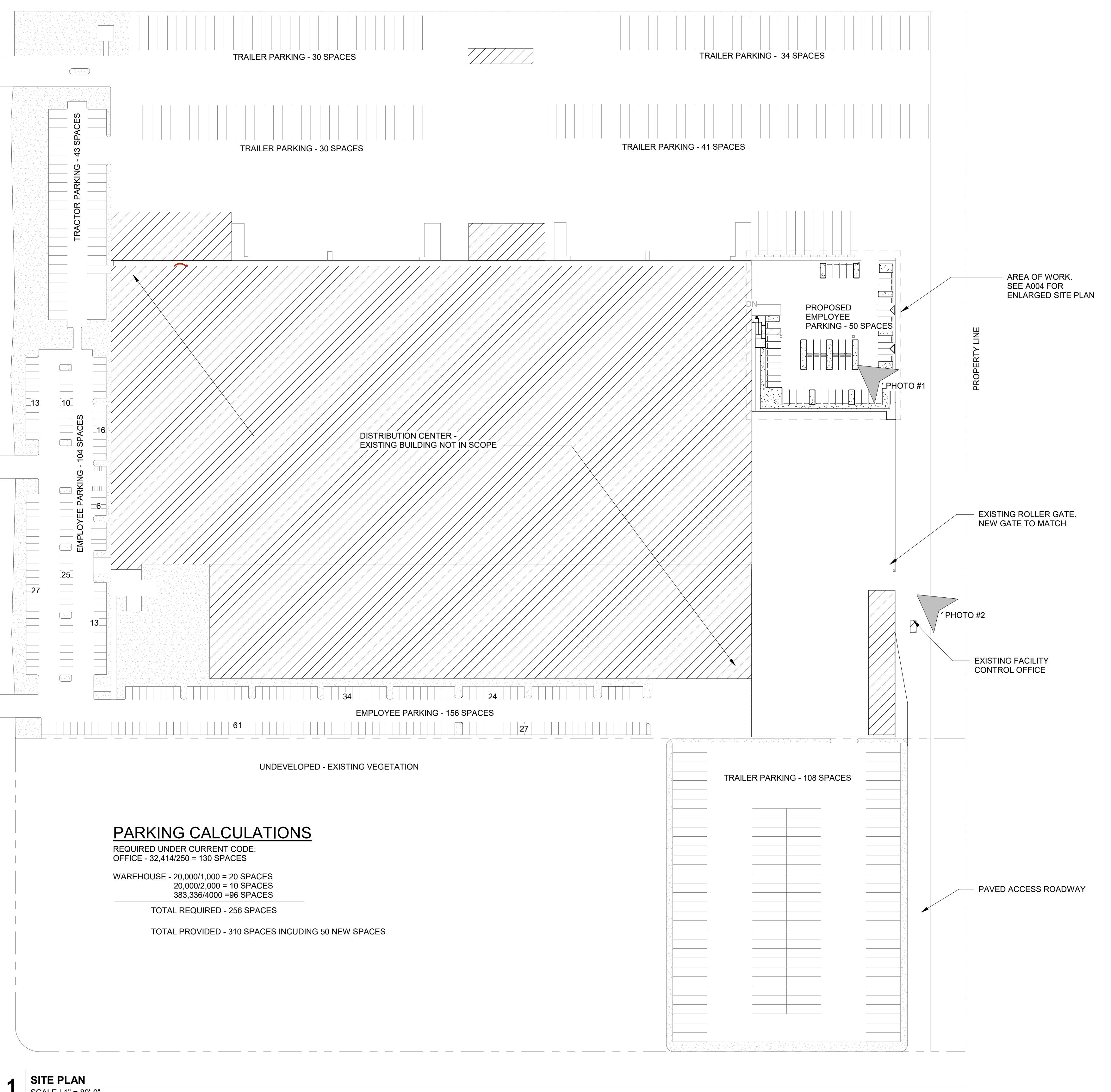
PHOTO #1



PHOTO #2



BIRDSEYE VIEW FROM SOUTHEAST



AREA OF ALTERATION

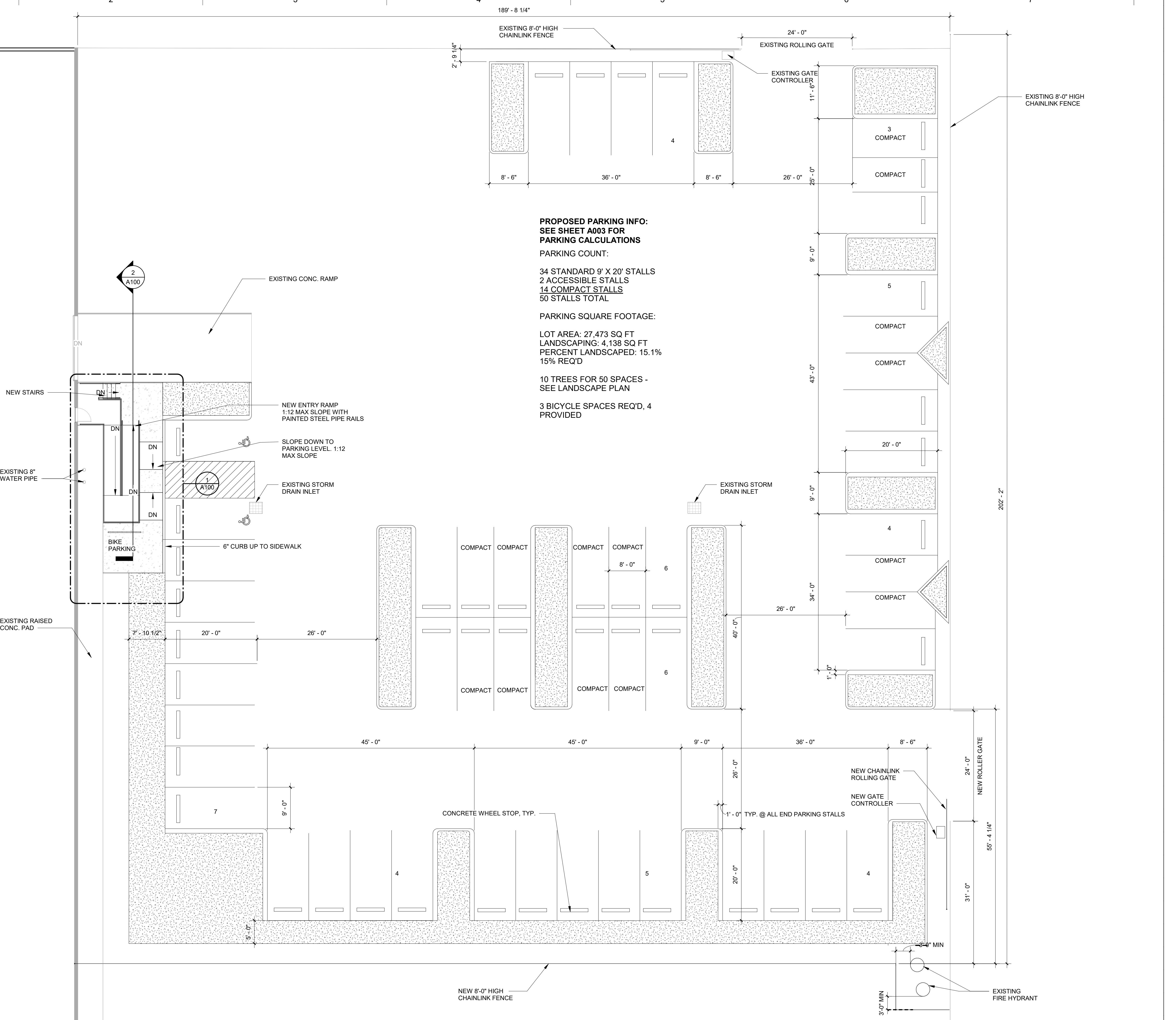
LANDSCAPED AREA
EXISTING BUILDING NOT IN SCOPE

LOWE'S XDT
2650 N MACARTHUR DRIVE
TRACY, CA 95376

WILLIAM D. HARDISTER
DEVELOPMENT REVIEW
01.11.2024
Project #23-015

DATE
DESCRIPTION
DATE

ARCHITECTURAL SITE
PLAN & PHOTOS
A003



EXISTING DOOR. VERIFY HARDWARE AND DOOR CONDITION

EXISTING 8" WATER PIPE

EXISTING RAISED CONC. PAD

3' - 6"

2'

15' - 3 1/2"

3' - 6"

CLEAR

4' - 0"

4' - 0"

1:12 MAX SLOPE

DN

DN

DN

DN

5' 0"

CONCRETE SIDEWALK

5' - 0"

DN

DN

BIKE PARKING
4 SPACES
PROVIDED

2 A100

6" CURB UP TO SIDEWALK

3' - 0" TYP.

LANDSCAPING

ACCESsIBLE PARKING STALL

ACCESsIBLE PARKING STALL

6' - 0"

10' - 10 1/2"

5' - 0"

This architectural cross-section diagram illustrates the construction details of a building's exterior ramp and safety features. The diagram shows a multi-story building with a concrete foundation and a steel frame. A new accessibility ramp is being constructed, starting from the ground level and rising towards the building's entrance. The ramp is labeled "NEW ACCESSIBILITY RAMP". A vertical dimension line indicates a height of "1' - 0" from the ground to the ramp's surface. A horizontal dimension line indicates a width of "7'". The ramp's slope is specified as "MAX SLOPE 1" : 12"". A "BIKE RACK" is located on the ground level to the left of the ramp. To the right of the ramp, there is a "1 1/2" DIAMETER STL PIPE RAILING DEFERRED SUBMITTAL. +36" HIGH". The diagram also shows "EXISTING 8" WATER PIPES BEYOND" and "4" EDGE PROTECTION IN COMPLIANCE WITH 11B-405.9.2". A callout points to "EXISTING CONC. RA AND RAILINGS" on the building's exterior. The foundation is shown with a grid pattern, and the building's exterior walls are depicted with horizontal lines representing siding or cladding.

2 | RAMP SECTION1

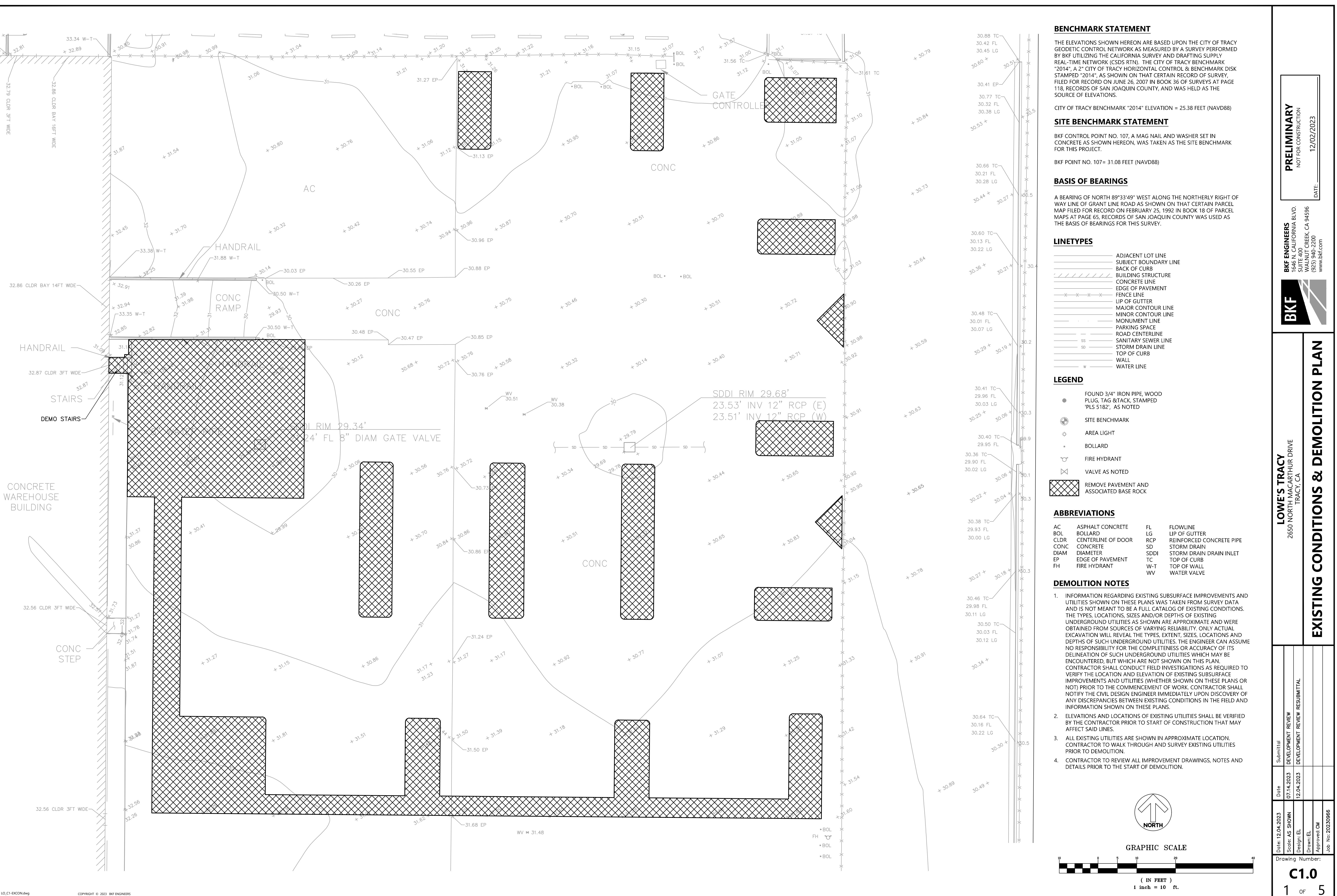
2 SCALE | 1/4" = 1'-0"

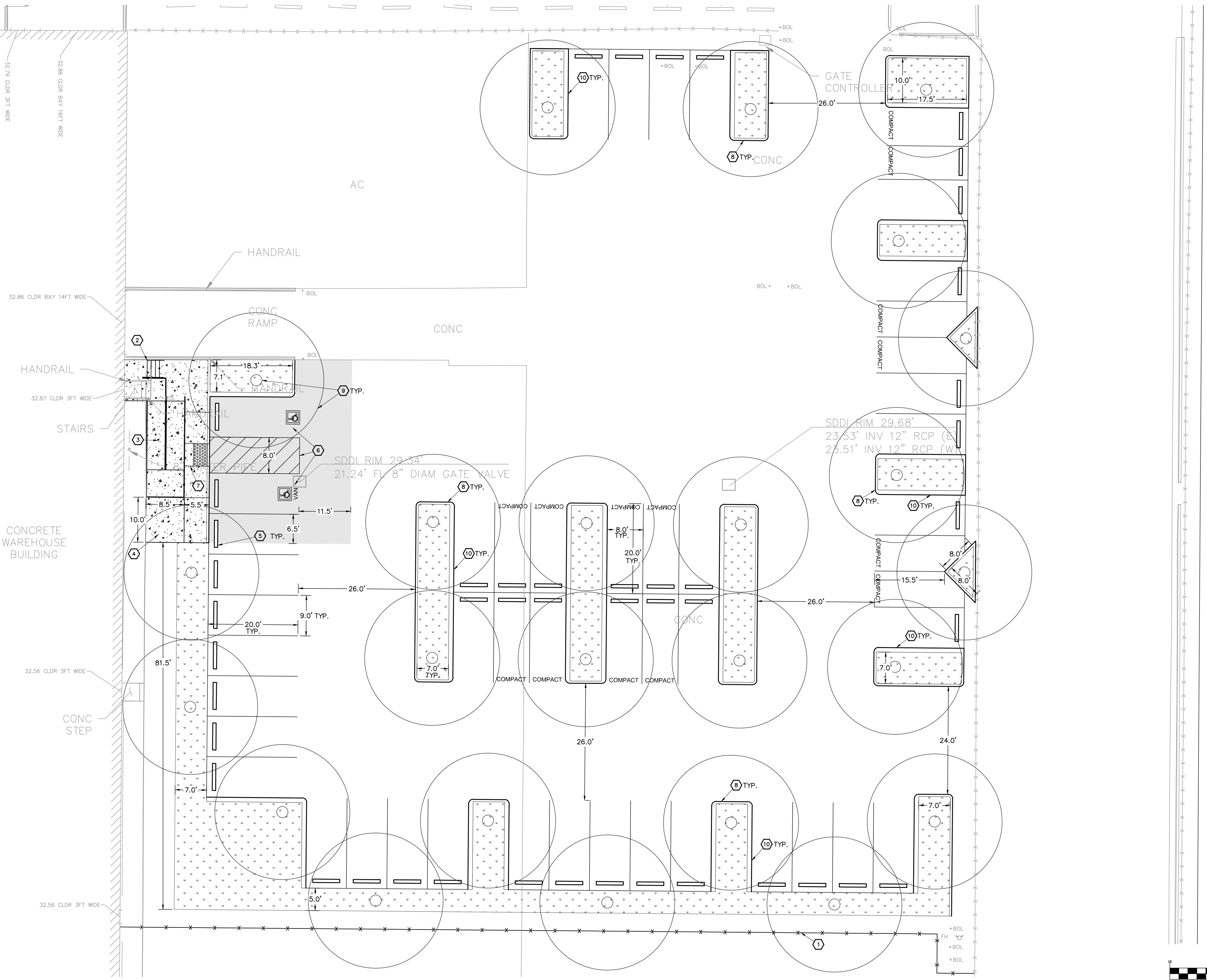
This architectural cross-section diagram illustrates the foundation and exterior wall of a building. The foundation is shown at the bottom, featuring a grid of rectangular piers. The exterior wall, labeled 'EXISTING EXTERIOR WALL', is a thick, grey structure on the right side. A vertical column of text 'NOT IN SCOPE' is positioned to the right of the wall. On the left, a slope labeled 'LANDSCAPING' is shown. A vertical pipe is located on the left side of the foundation. A dimension line indicates a height of '1' - 0" between the top of the foundation and the base of the exterior wall. A dimension line on the right indicates a width of '2' - 0" for the foundation. The diagram uses a combination of solid lines for structural elements and dashed lines for ground levels and fill materials.

3 | RAMP SECTION

RAMP PLAN & SECTION

A100





SHEET KEYNOTES

- 1 NEW FENCE, 190 LF
- 2 NEW STAIRS, SEE ARCHITECTURAL PLANS
- 3 NEW RAMP, SEE ARCHITECTURAL PLANS
- 4 BIKE PARKING AREA
- 5 PARKING BUMPER
- 6 ADA PARKING STALL WITH AISLE ACCESS
- 7 NEW PARALLEL CURB RAMP
- 8 VERTICAL CURB
- 9 NEW TREE, SEE LANDSCAPE PLAN
- 10 12" WIDE CONCRETE CURB WHERE VEHICLE PARKING STALL IS ADJACENT TO LANDSCAPING

PRELIMINARY

NOT FOR CONSTRUCTION

12/02/2022

BKF ENGINEERS
1646 N. CALIFORNIA BLVD.
SUITE 400
WALNUT CREEK, CA 94596
(925) 940-2200
www.bkf.com

LEGEND

- LANDSCAPING
- CONCRETE
- TRUNCATED DOMES
- ASPHALT

ABBREVIATIONS

LINEAL FEET
TYPICAL

PRELIMINARY SITE PLAN

LOWE'S TRACY

2650 NORTH MACARTHUR DRIVE
TRACY, CA

LOWE'S TRACY
22650 NORTH MACARTHUR DRIVE
TRACY, CA

PRELIMINARY SITE PLAN

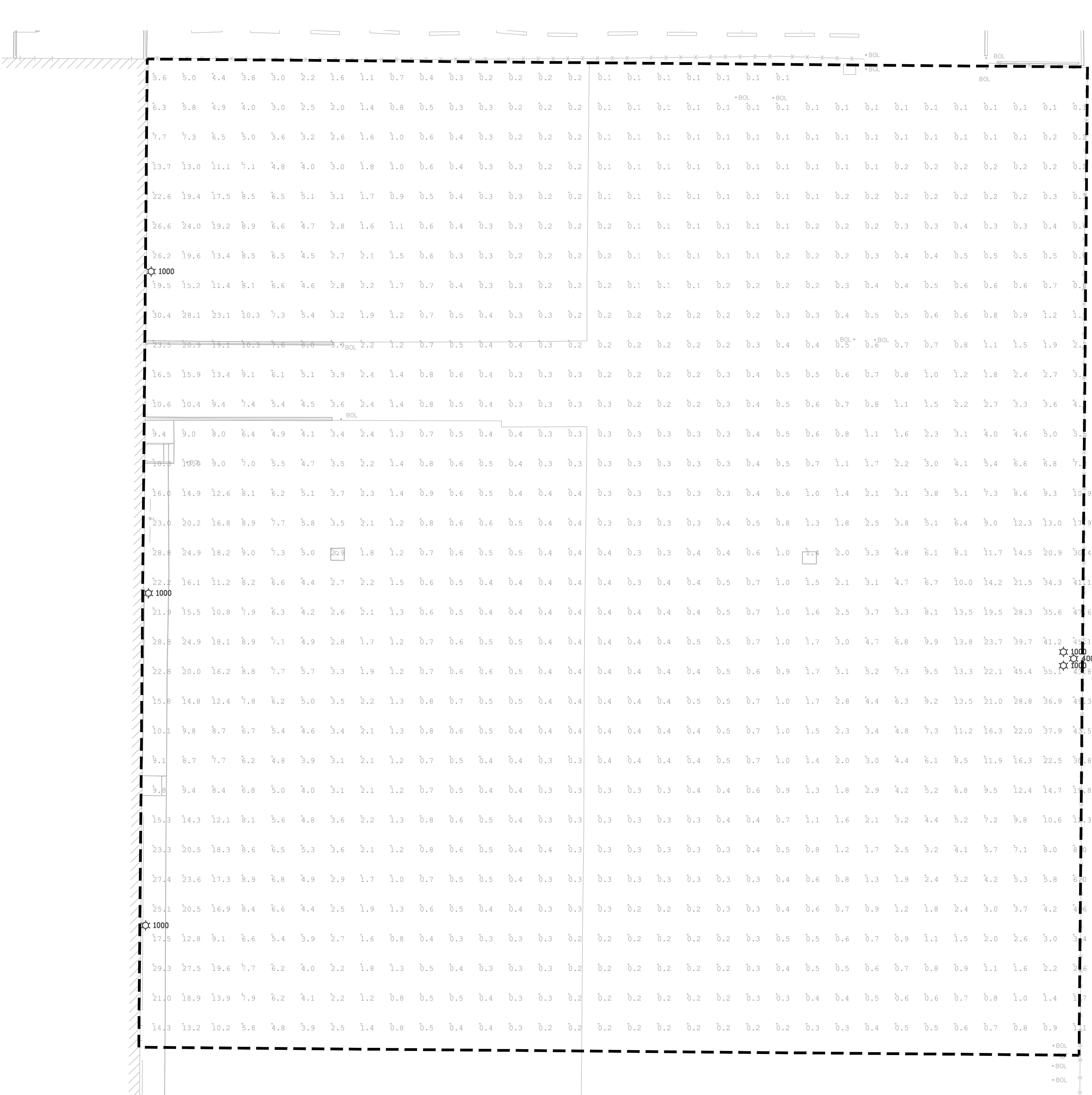
Date: 12.04.2023	Date	Submittal
Scale: AS SHOWN	07.14.2023	DEVELOPMENT REVIEW
Design: EL	12.04.2023	DEVELOPMENT REVIEW RESUBMITTAL
Drawn: EL		
Approved: CM		
Job No: 20230966		

Drawing Number: C2.0



GRAPHIC SCALE

Drawing Number:
C2.0
2 OF 5



EXISTING PHOTOMETRIC SUMMARY		
	STANDARD	EXISTING
AVERAGE ILLUMINANCE (FC)	-	3.9
MINIMUM ILLUMINANCE (FC)	1.0	0.1
MAXIMUM UNIFORMITY RATIO	15	551

EXISTING LIGHTING SCHEDULE							
SYMBOL	QUANTITY (WITHIN STUDY AREA)	MANUFACTURER	CATALOG NO.	LUMINAIRE LUMENS	WATTAGE	LAMP	LL
 400	1	RAB LIGHTING	ALXS400 - LSI23906	50000	464	HPS	0.8
 1000	5	RAB LIGHTING	FNS1000-Narrow-Slipfitter - L	140000	1100	HPS	0.8



GRAPHIC SCALE

A horizontal number line with tick marks at 10 and 20. The line is a solid black horizontal bar with two vertical tick marks extending upwards from it. The tick mark at 10 is on the left, and the tick mark at 20 is on the right. The numbers 10 and 20 are written in black text to the left and right of their respective tick marks.

(IN FEET)

11. *What is the primary purpose of the following statement?*

LOWE'S TRACY
2650 NORTH MACARTHUR DRIVE

LOWE'S TRACY

6650 NORTH MACARTHUR DRIVE

PRELIMINARY

BKF ENGINEERS

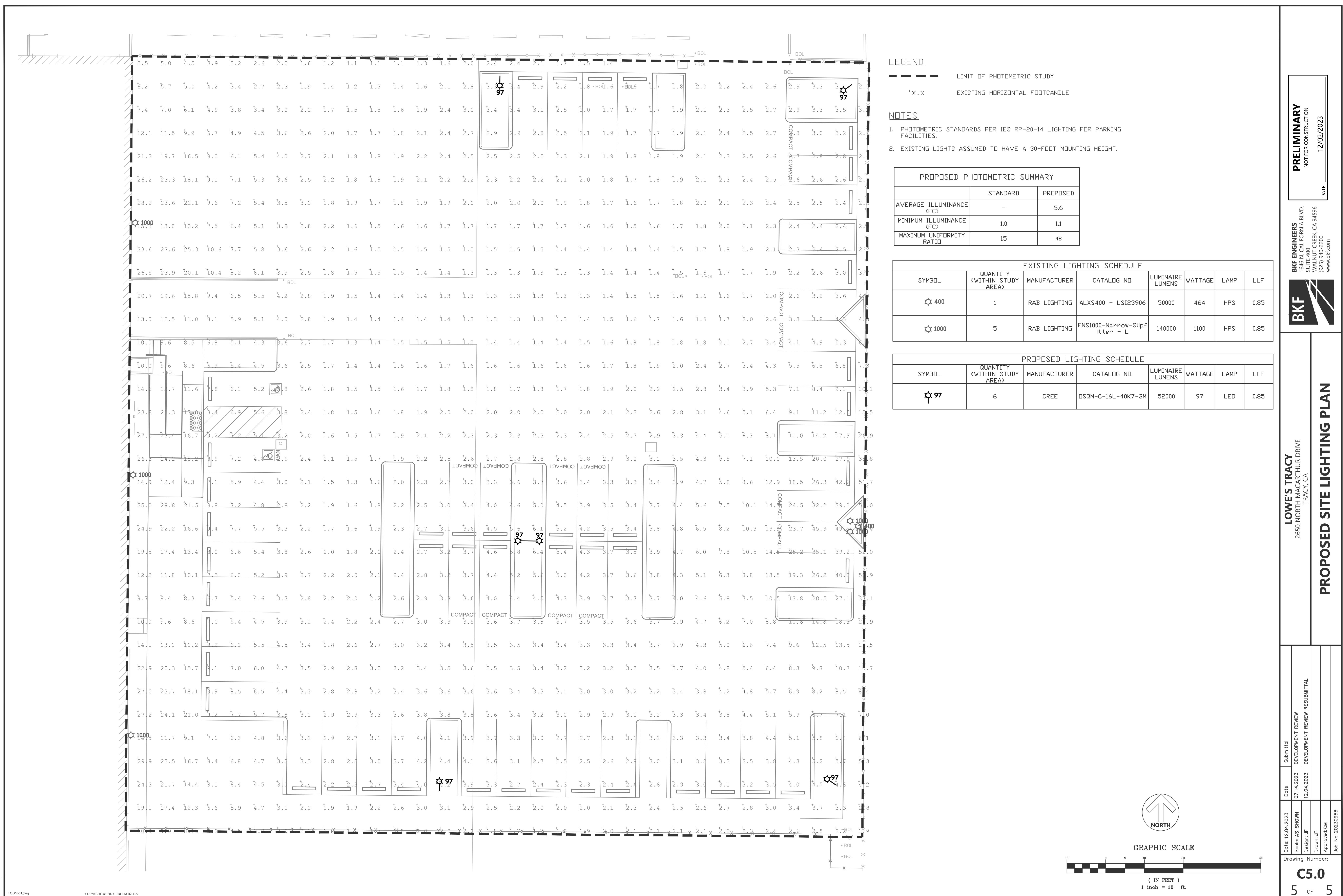
BYE

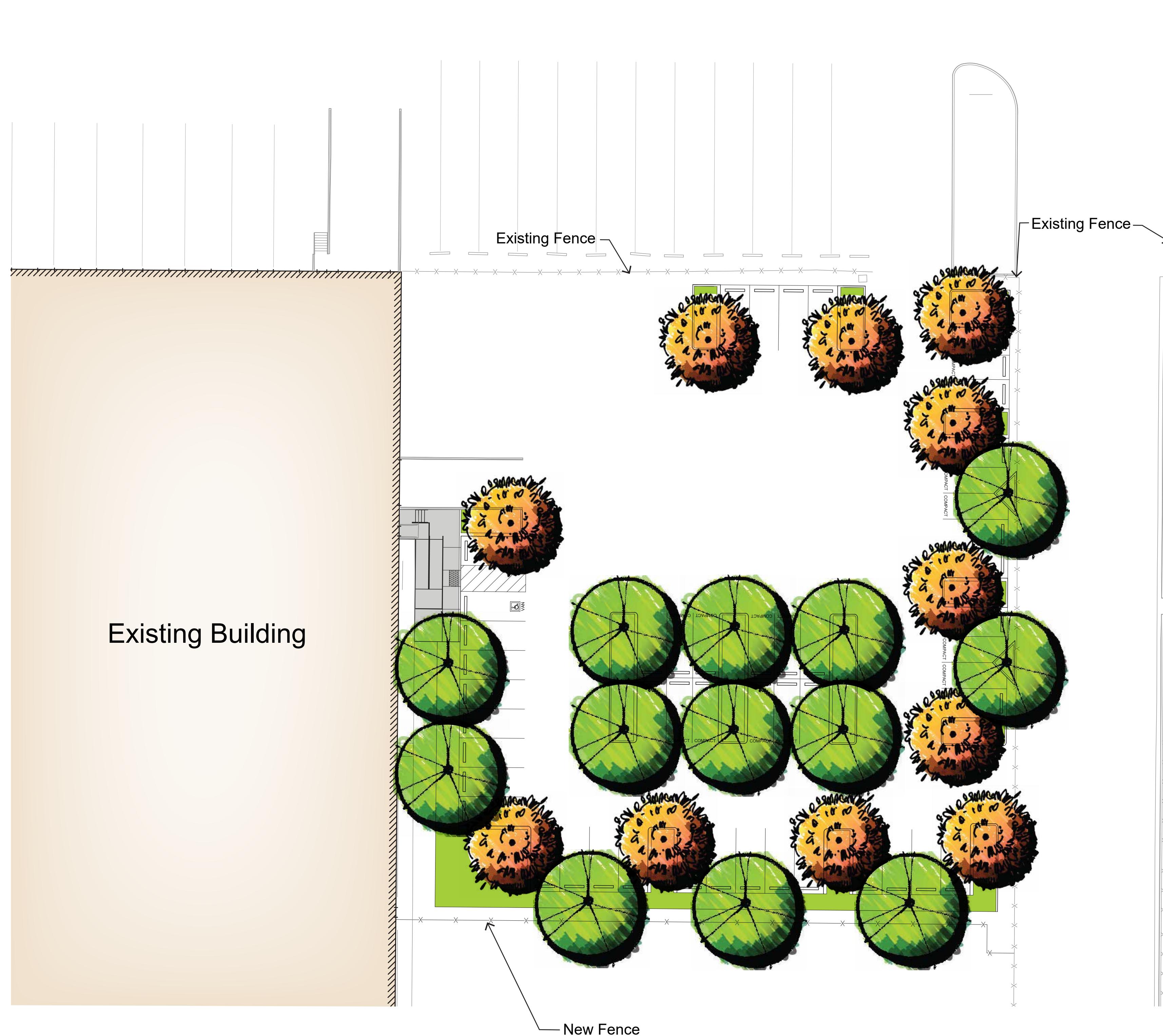
Drawing

1

1

4





PLANT LEGEND

Symbol	Botanical / Common Name	Size	WUCOLS (Water Use Classification Of Landscape Species)	Comments
Trees				
	<i>Pistacia chinensis 'Keith Davey'</i> / Keith Davey Chinese Pistache	24" box	L	Matched Standards.
	<i>Ulmus parvifolia 'True Green'</i> / True Green Chinese Elm	24" box	L	Matched Standards.
Understory Planting				
	<i>Lomandra longifolia 'Breeze'</i> / Breeze (Dwarf) Mat Rush	5 gal.	L	
	<i>Muhlenbergia c. 'Regal Mist'</i> / Regal Mist Pink Muhly Grass	5 gal.	L	
	<i>Rhaphiolepis indica 'Pink Dancer'</i> / Pink Dancer Indian Hawthorn	5 gal.	L	
	<i>Rosmarinus o. 'Collingwood Ingram'</i> / Collingwood Ingram Rosemary	5 gal.	L	

WUCOLS LEGEND:

L Low Water Use

IRRIGATION SYSTEM STATEMENT:

The irrigation system will be a water efficient low flow, point source system designed to provide adequate watering to support plant growth and ensure deeply rooted plant material while avoiding excess water application. The system will be programmable, allowing operation during late night and/or early morning hours, with multiple start times and cycles. The system will interface with a weather based sensor that will adjust the amount of water applied to the plant material based on daily weather conditions. Irrigation materials specified for the site will be selected on the basis of durability and ease of maintenance. Landscape irrigation will comply with the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO). The irrigation design will ensure no overspray into the open space occurs.

LANDSCAPE DATA:

Site Coverage:

Total Site Area: 27,473 Sq. Ft.

Landscape Area Required: 4,121 Sq. Ft. (15% of 27,473 Sq. Ft.)
Landscape Area Provided: 4,138 Sq. Ft. (15.06% of 23,423 Sq. Ft.)

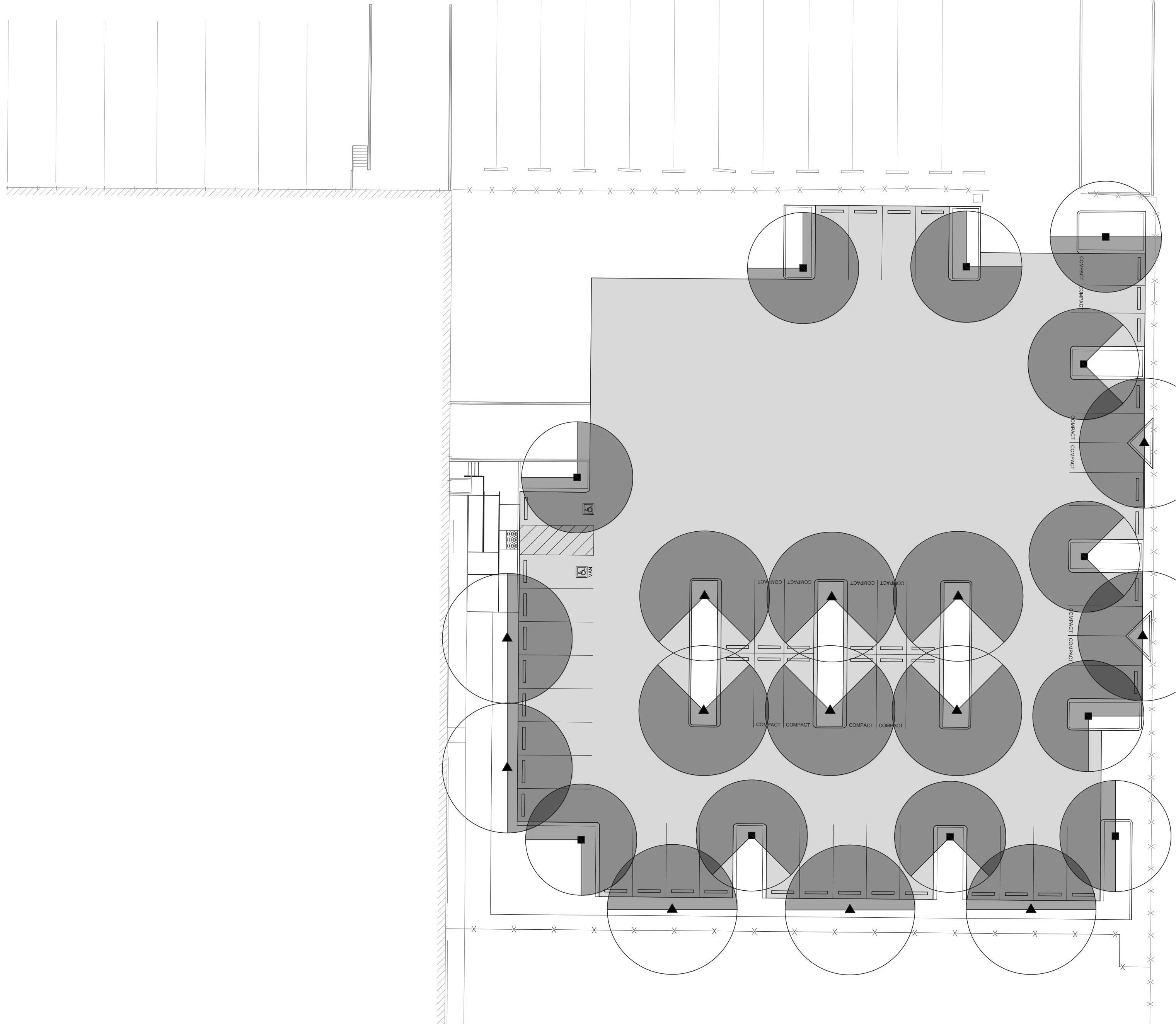
Shade Requirement:

Required: 50% Parking lot shading at 15 years.
Provided: 52.1%

DBA # 2311



DAVID BABCOCK + ASSOCIATES
ARCHITECTURE PLANNING LANDSCAPE
3581 MT. DIABLO BLVD., SUITE 235
LAFAYETTE, CALIFORNIA 94549
T: 925.283.5070

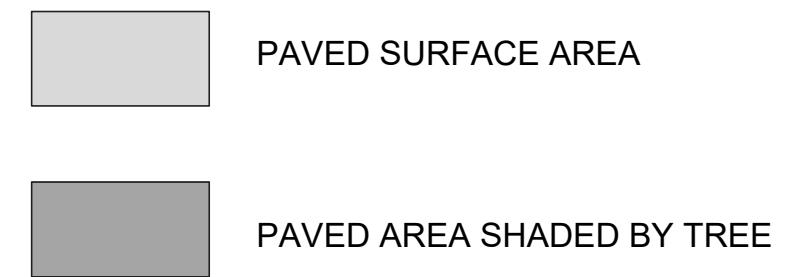


SHADE TREE LEGEND		NUMBER OF TREES	PERCENT COVERAGE (%)	15-YEAR SQUARE FOOTAGE PER TREE	15-YEAR TOTAL SQUARE FOOTAGE
● □	PISTACIA CHINENSIS 'KEITH DAVEY' / KEITH DAVEY CHINESE PISTACHE	2	50%	354	708
		9	75%	531	4,779
● ▲	ULMUS PARVIFOLIA 'TRUE GREEN' / TRUE GREEN CHINESE ELM	7	50%	481	3,367
		6	75%	722	4,332

TOTAL SQUARE FOOTAGE: 13,186

TREE SHADE TOTALS

TOTAL PAVED SURFACE AREA: 25,319 SF
 REQUIRED SHADE AREA @ 50%: 12,660 SF
 15 YEAR PROVIDED SHADE AREA: 13,186 SF
 PERCENT SHADE: 52.1%



DBA # 2311



DAVID BABCOCK + ASSOCIATES
 ARCHITECTURE PLANNING LANDSCAPE
 3581 MT. DIABLO BLVD., SUITE 233
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 T: 925.283.5070

**CITY OF TRACY
DETERMINATION OF
THE DEVELOPMENT SERVICES DIRECTOR**

Application Number D23-0014

A determination of the Development Services Director to (1) approve a Development Review Permit Application Number D23-0014, (hereinafter "Project"), to reconfigure an existing 27,473 square-foot paved storage yard area into an accessible employee parking area consisting of 50 new employee parking spaces, new fencing, and an accessible entry gate, located on an approximately 0.63-acre portion of the 27.01-acre site, located at 2650 N. Mac Arthur Drive, Assessor's Parcel Number 213-070-61, for the Lowe's Distribution Center; and (2) determine that the Project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303. The applicant is Woodblock Architecture, and the property owner is the Bixby Land Company.

Staff has reviewed the application and determined that the following City regulations apply:

1. Industrial Areas Specific Plan
2. Off-Street Parking Requirements (TMC Sec 10.08.3440 et seq., Article 26)
3. Development Review (TMC Sec 10.08.3920 et seq., Article 30)

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19 of the CEQA Guidelines, Section 15303, which pertains to the new construction or conversion of small structures and facilities, including accessory structures. The Project consists of the conversion of an existing paved storage yard area to an employee parking area, which is accessory to the existing warehouse building on the site. In accordance with CEQA Guidelines Section 15303, no further environmental assessment is required.

THE DEVELOPMENT SERVICES DIRECTOR, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY (1) DETERMINES THAT THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTION 15303; AND (2) APPROVES DEVELOPMENT REVIEW PERMIT APPLICATION NUMBER D23-0014, AS DESCRIBED IN THE PLANS RECEIVED BY THE DEVELOPMENT SERVICES DEPARTMENT ON JANUARY 18, 2024, TO RECONFIGURE AN EXISTING 27,473 SQ. FT. PAVED STORAGE AREA INTO AN ACCESSIBLE EMPLOYEE PARKING AREA, LOCATED AT 2650 N. MAC ARTHUR DRIVE, SUBJECT TO THE CONDITIONS OF APPROVAL CONTAINED IN EXHIBIT 1 AND BASED ON THE FOLLOWING FINDINGS:

1. The proposal increases the quality of the project site and enhances the property in a manner that improves the property, the surrounding area and the citizens of Tracy, because the establishment, maintenance, and operation of the proposed changes, uses and associated structures are compatible with the land use, design, and operational characteristics of the neighboring properties. The proposed parking lot, as well as the new fence and gate, will be located behind the existing warehouse structure, and away from the public view, making the project consistent with the design standards under the Industrial Areas Specific Plan, and the City's Design Goals and Standards. Additionally, the reconfiguration of the existing storage yard into an employee parking area will include a minimum of new 10 shade trees

Development Services Director Determination

Application Number D23-0014

March 5, 2024

Page 2

and will be located on the east side of the site on an existing paved area next to existing fencing and gate, in a manner that does not disrupt vehicular circulation or cause the loss of landscaping or hardscaping.

2. The proposal conforms to Chapter 10.08, Zoning Regulations, of the Tracy Municipal Code, the Industrial Areas, Specific Plan, the City of Tracy General Plan, applicable Infrastructure Master Plans, and other City regulations because the proposed conversion of the existing paved storage yard area to an employee parking area, which is accessory to the existing warehouse building on the site, is permitted as an accessory use in the Limited Industrial land use designation of the Industrial Areas Specific Plan and the project will comply with all City requirements.

Karin Schnaider

Interim Development Services Director

Date of Action

**City of Tracy
Conditions of Approval**

Lowe's Employee Parking Project
Development Review Permit, Application Number D23-0014
March 5, 2024

A. General Provisions and Definitions.

A.1. General. These Conditions of Approval apply to:

The Project: A Development Review Permit to reconfigure an existing 27,473 square-foot paved storage yard area into an accessible employee parking area consisting of 50 new employee parking spaces, new fencing, and an accessible entry gate, Application Number D23-0014.

The Property: The Lowe's employee parking project is located on an approximately 0.63-acre portion of the 27.01-acre site, located at 2650 N. Mac Arthur Drive (APN: 213-070-61).

A.2. Definitions.

- a. "Applicant" means any person, or other legal entity, defined as a "Developer".
- b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed Engineer designated by the City Manager, or the Development Services Director, or the City Engineer to perform the duties set forth herein.
- c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, ordinances, resolutions, policies, procedures, the Industrial Areas Specific Plan, and the City's Design Documents (including the Standard Plans, Standard Specifications, and relevant Public Facility Master Plans).
- d. "Development Services Director" means the Development Services Director of the City of Tracy Development Services Department, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
- e. "Conditions of Approval" shall mean the conditions of approval applicable to the Project located at the Property, Application Number D23-0014. The Conditions of Approval shall specifically include all conditions set forth herein.
- f. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who applies to the City to develop or improve any portion of the real property

within the Project boundaries. The term "Developer" shall include all successors in interest.

- A.3. Compliance with submitted plans. Except as otherwise modified herein, the project shall be constructed in substantial compliance with the project plans received by the Development Services Department on January 18, 2024, to the satisfaction of the Development Services Director.
- A.4. Payment of applicable fees. The applicant shall pay all applicable fees for the project, including, but not limited to, development impact fees, building permit fees, plan check fees, grading permit fees, encroachment permit fees, inspection fees, school fees, or any other City or other agency fees or deposits that may be applicable to the project.
- A.5. Compliance with laws. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to:
 - the Planning and Zoning Law (Government Code sections 65000, et seq.),
 - the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"),
 - the Guidelines for California Environmental Quality Act (California Administrative Code, title 14, sections 1500, et seq., "CEQA Guidelines"),
 - California Building Code, and
 - California Fire Code
- A.6. Compliance with City regulations. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City regulations, including, but not limited to, the Tracy Municipal Code (TMC), Standard Plans, the Industrial Areas Specific Plan, and the City's Design Goals and Standards.
- A.7. Protest of fees, dedications, reservations, or other exactions. Pursuant to Government Code section 66020, including section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

B. Development Services Department, Planning Division Conditions

Contact: Ilse Lopez-Narvaez (209) 831-6464 ilse.lopez-narvaez@cityoftracy.org

- B.1. Parking Area. Before the approval of a building permit, the applicant shall submit the following to the satisfaction of the Development Services Director:

- B.1.1 Site plans and construction details that demonstrate 12-inch-wide concrete curbs along the perimeter of landscape planters where such planters are parallel and adjacent to vehicular parking spaces to provide access to vehicles without stepping into the landscape planters.
- B.1.2 Detailed plans that demonstrate the parking stalls are striped in accordance with Standard Plan 141.
- B.1.3 Detailed plans that demonstrate any sidewalk, landscape planters, or bio-retention areas perpendicular to parking stalls shall extend up to 24 inches into the parking stall, including a six-inch concrete curb, in place of wheel stops where feasible. No credit towards parking lot landscape requirements shall be given for the resulting additional landscaping.
- B.1.4 Bicycle parking spaces shall be provided in accordance with Tracy Municipal Code Section 10.08.3510.
- B.1.5 Detailed plans that demonstrate a minimum of one foot candle power illumination throughout the parking area as defined in TMC Section 10.08.3450. Parking area lighting shall be designed and installed so that it is directed downward onto the parking surface and away from the public right-of-way and adjacent properties.

B.2. Landscaping & Irrigation. Before the approval of a building permit, the applicant shall provide detailed landscape and irrigation plans consistent with the following to the satisfaction of the Development Services Director:

- B.2.1 Said plans shall demonstrate compliance with the Industrial Areas Specific Plan, the City of Tracy Design Goals & Standards, and the Tracy Municipal Code Section 10.08.3560 for parking area landscaping. Said plans shall clearly delineate the property line and shall include a planting legend indicating, at minimum, the quantity, planting size, and height and width at maturity.
- B.2.2 Each planter shall contain a combination of trees, shrubs, and live groundcover. Trees shall be a minimum of 24" box size, shrubs shall be a minimum size of 5 gallon, and groundcover shall be a minimum size of 1 gallon at planting. Landscaping shall be continuously maintained to prevent incidence of wildfire.
- B.2.3 Where trees are planted ten feet or less from a sidewalk or curb, root barriers dimensioned 8 feet long by 24 inches deep shall be provided adjacent to such sidewalk and curb, centered on the tree.
- B.2.4 Landscape & Irrigation Maintenance. Prior to the issuance of a building permit for each phase, the Developer shall execute a two-year landscape and irrigation maintenance agreement and submit financial security, such as a performance bond, to ensure the success of all on-site landscaping for

the term of the agreement. The security amount shall be equal to \$2.50 per square foot of the landscaped area or equal to the actual labor and material installation cost of all on-site landscaping and irrigation for that phase.

B.3. Screening Utilities and Equipment. Before the approval of a building permit, the applicant shall submit detailed plans that demonstrate the following:

B.3.1 All PG&E transformers, phone company boxes, Fire Department connections, backflow preventers, irrigation controllers, and other on-site utilities, shall be vaulted or substantially screened from view behind structures or landscaping, to the satisfaction of the Development Services Director.

B.4. Signs. No business identification signs are approved with this development review permit. All business identification signs shall obtain a sign permit in accordance with the Industrial Areas Specific Plan and the Tracy Municipal Code.

C. South San Joaquin County Fire Authority (SSJCFA) Conditions

Contact: Daniel Stowe (209) 831-6707 daniel.stowe@sjcfire.org

C.1 Prior to construction, applicant shall submit construction documents to the South San Joaquin County Fire Authority for review and approval.

C.1.1 Construction documents shall be designed to the current edition of the California Code of Regulations, Title 24, as amended by the City of Tracy Municipal Code.

C.2 Engineering and Building Permit Applications received by our offices are subject to the current fee schedule for South San Joaquin County Fire Authority.

C.2.1 Application processing fees and minimum plan review fees are due at time of submittal of construction documents.

C.2.2 Additional plan review fees, minimum inspection fees and administrative fees are calculated on approval of project and shall be paid prior to issuance of permit.

C.2.3 Permit holder is responsible for any additional inspection fees incurred and shall be paid prior to final inspection.



Director Hearing

D23-0014 – Lowe's Employee Parking Lot

March 5, 2024

Project Overview

Applicant: Woodblock Architecture

Property Owner: Bixby Land Company

Proposal: Reconfigure an existing 27,473 square-foot paved area (currently used as storage) into an accessible employee parking area for employees of the Lowe's Distribution Center located at 2650 N. MacArthur Drive.

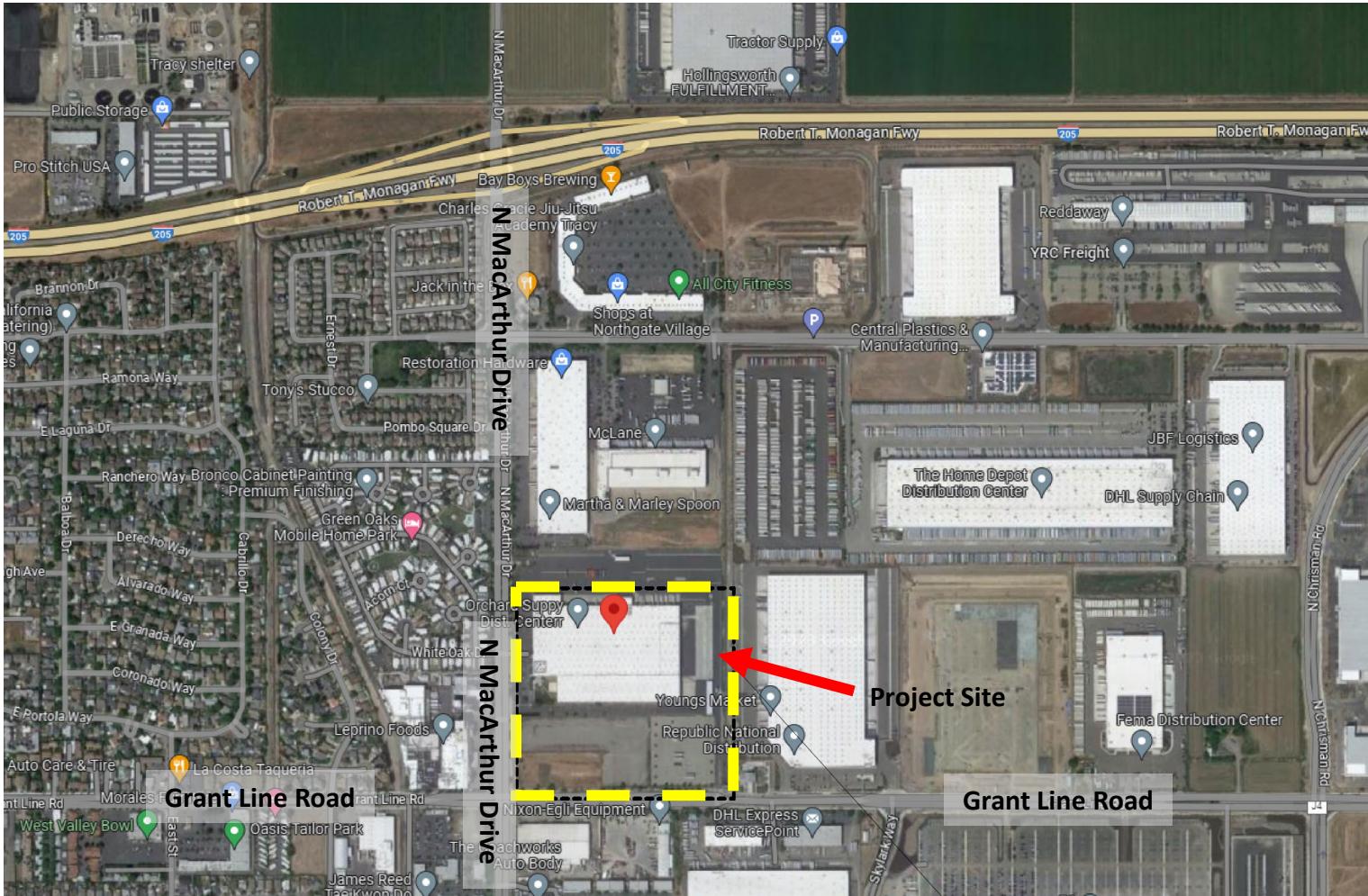
Location

**2650 N.
MacArthur Drive**

Assessor's Parcel
Number (APN):
213-070-61

27.01-acre site

Former Orchard
Supply
Distribution
Center



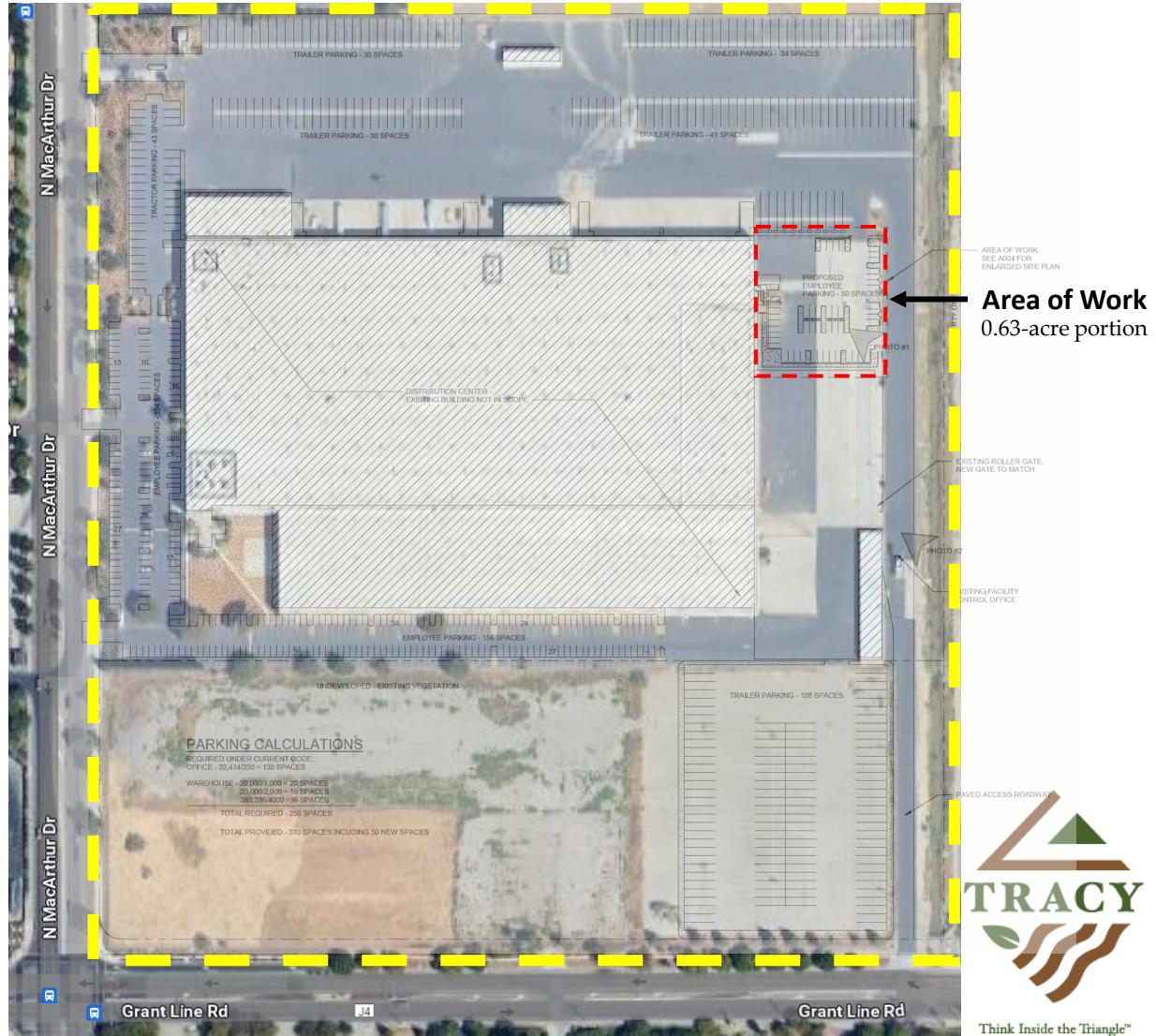
Project Location

2650 N. MacArthur Drive

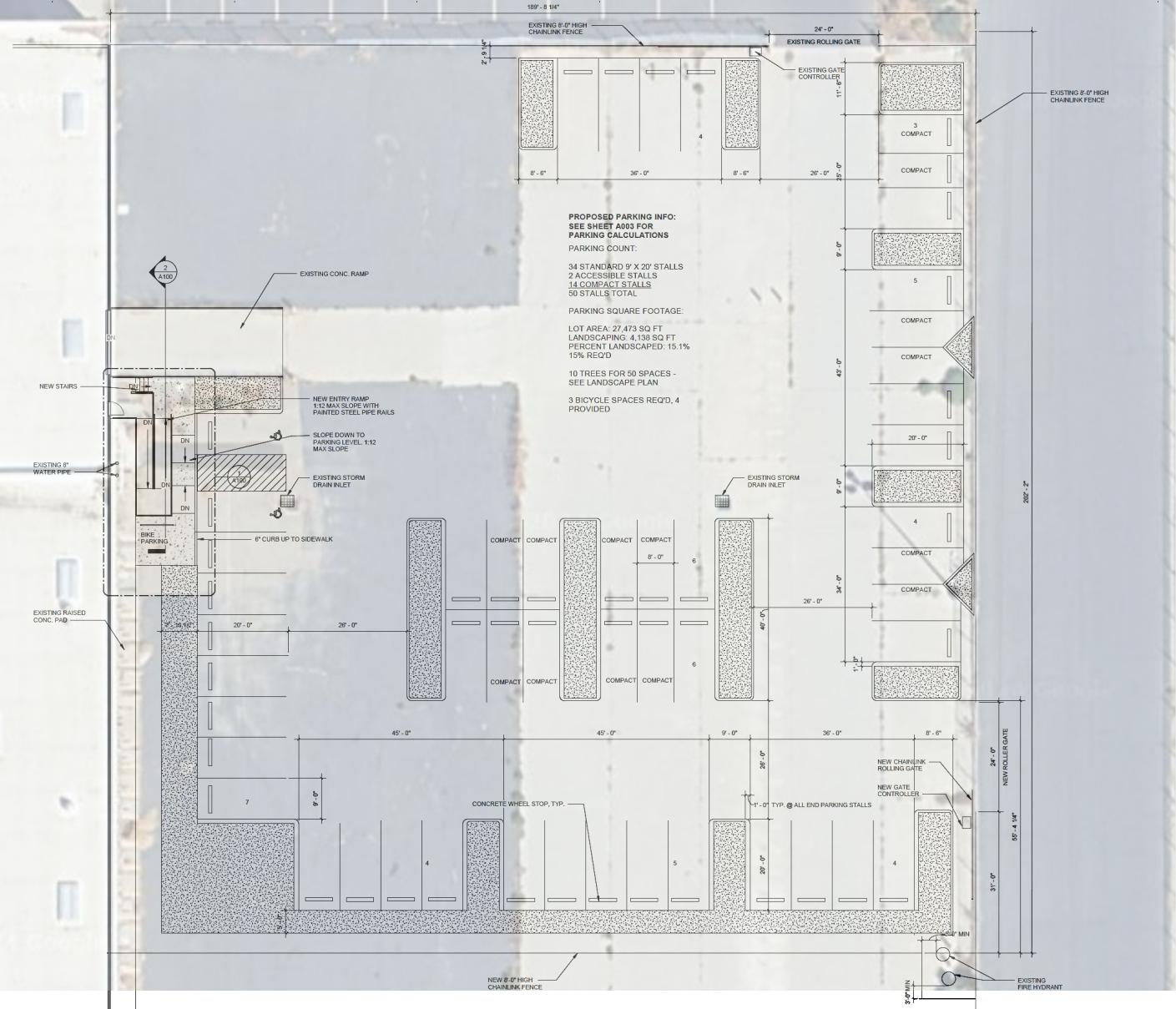
Assessor's Parcel Number (APN):
213-070-61

Area of Work:

Approx. 0.63-acre portion of the
27.01-acre site



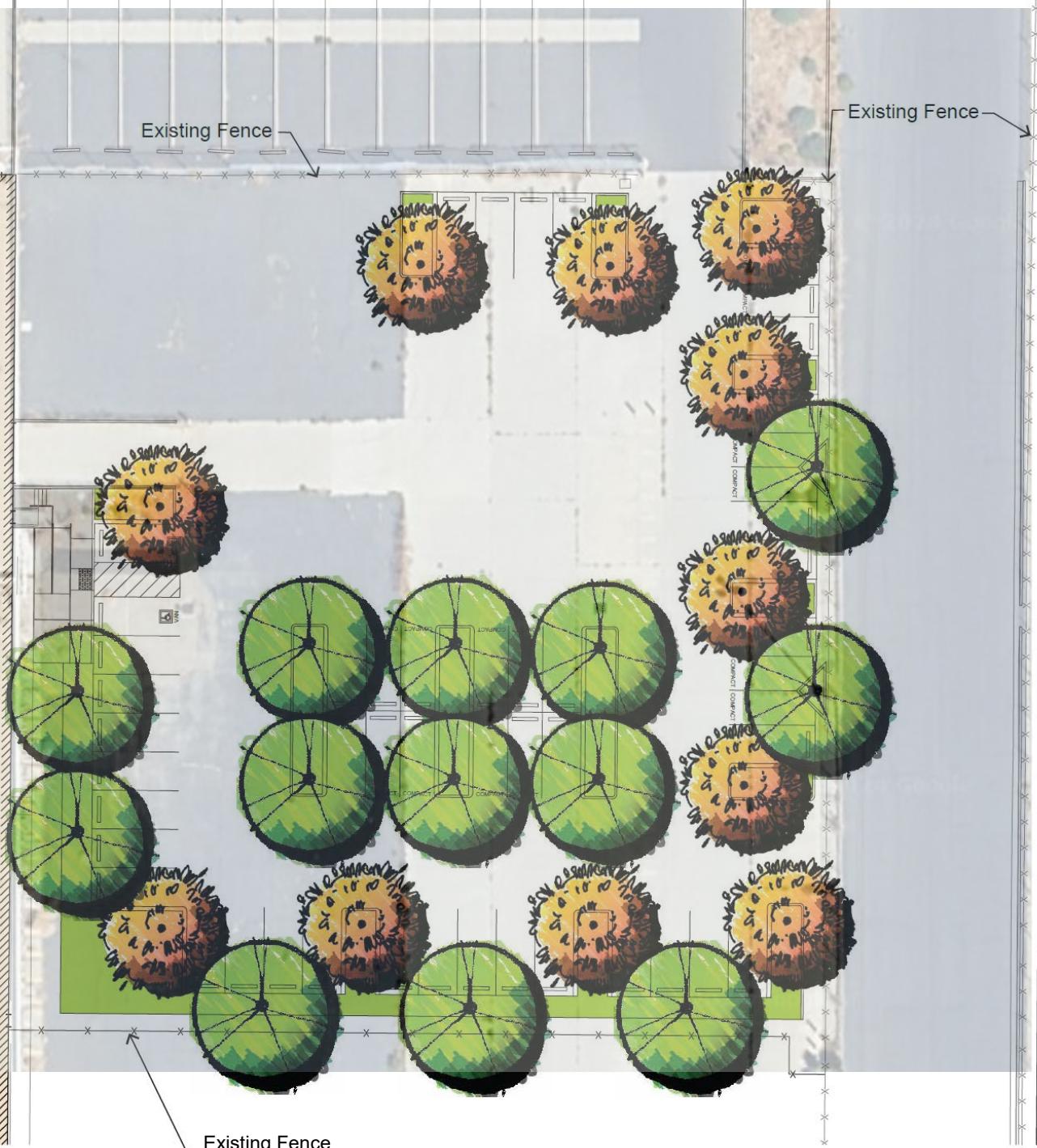
Site Plan



Landscape Plan

Existing Building

PLANT LEGEND	
Symbol	Botanical / Common Name
	Trees <i>Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache</i>
	<i>Ulmus parvifolia 'True Green' / True Green Chinese Elm</i>
	Understory Planting <i>Lomandra longifolia 'Breeze' / Breeze (Dwarf) Mat Rush</i>
	<i>Muhlenbergia c. 'Regal Mist' / Regal Mist Pink Muhly Grass</i>
	<i>Rhapiolepis indica 'Pink Dancer' / Pink Dancer Indian Hawthorn</i>
	<i>Rosmarinus o. 'Collingwood Ingram' / Collingwood Ingram Rosemary</i>



Thank you



Think Inside the Triangle™

March 5, 2024

AGENDA ITEM 2

REQUEST

PUBLIC HEARING TO CONSIDER AN APPLICATION FOR THE CONSTRUCTION OF A 335,157 SQUARE FOOT INDUSTRIAL BUILDING ON A 19.3 ACRE SITE WITHIN THE NORTHEAST INDUSTRIAL SPECIFIC PLAN AREA, AND ITS RELATED PARKING, LANDSCAPE AND SITE IMPROVEMENTS. APPLICANT IS SEEFRIED INDUSTRIAL PROPERTIES AND OWNER IS LINDA MASSONE, TRUSTEE. APPLICATION NUMBER D22-0045.

Project Description

The Northeast Industrial Specific Plan area (NEI) was approved and annexed into the City of Tracy in 1996, for the construction of an 870-acre industrial park. Since then, most of the properties within NEI have been built and occupied with industrial users.

The proposed industrial building, along with its related parking and landscape improvements is designed in a manner consistent with the NEI Specific Plan requirements, Tracy Municipal Code regulations, and the City's Design Goals and Standards (Attachment A). The building is a concrete tilt-up construction, with varying roof heights, colors, and glass accents to break up the potential monotony that could occur with a large building. Truck parking on the site will be partially obscured through the landscaping on the site, which has been designed with berms and evergreen conifers along Grant Line and Chrisman Roads. Truck and auto parking areas are separated on the site to ensure safe circulation for the two types of vehicles.

Engineering analyses were conducted to appropriately size utilities connections, the conditions for which are included in the project conditions of approval. Additionally, a traffic analysis was completed, which indicated project consistency with previous thresholds for traffic congestion.

Environmental Document

The proposed project is consistent with the Northeast Industrial Specific Plan Environmental Impact Report (EIR), approved by the City Council in 1996, and the General Plan EIR approved by the City Council on February 1, 2011. An analysis of the project shows that there will be no significant on or off-site impacts as a result of this particular project which were not already discussed in the Northeast Industrial and General Plan EIRs. There is also no evidence of any significant impacts to occur off-site as a result of the project, as traffic, air quality, land use and other potential cumulative impacts have already been considered within the original environmental documentation. No new evidence of potentially significant effects has been identified as a result of this project. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required.

Director Public Hearing

March 5, 2024

AGENDA ITEM 2

Page 2

RECOMMENDATION

Staff recommends that the Development Services Director approve the 335,157 square foot industrial building, and its related parking, landscaping and site improvements on a 19.3-acre site, located at the northwest corner of Grant Line and Chrisman Roads, Assessor's Parcel Numbers 213-070-41, 39 and 17, based on the findings contained in the Director's Determination dated March 5, 2024 (Attachment B).

Prepared by: Victoria Lombardo, Senior Planner

ATTACHMENTS

- A: Site Plan, Elevations, Landscape Plans
- B: Development Services Director Determination

RECEIVED

March 3, 2023

City of Tracy
Development Services

hpa, inc.
600 grand ave, suite 302
oakland, ca
94610
tel: 949 • 862 • 2113
email: hpa@hparchs.com

Developer

 SEEFRIED
INDUSTRIAL PROPERTIES

Project:

GRANT LINE RD.
&
CHRISMAN RD.

TRACY, CA

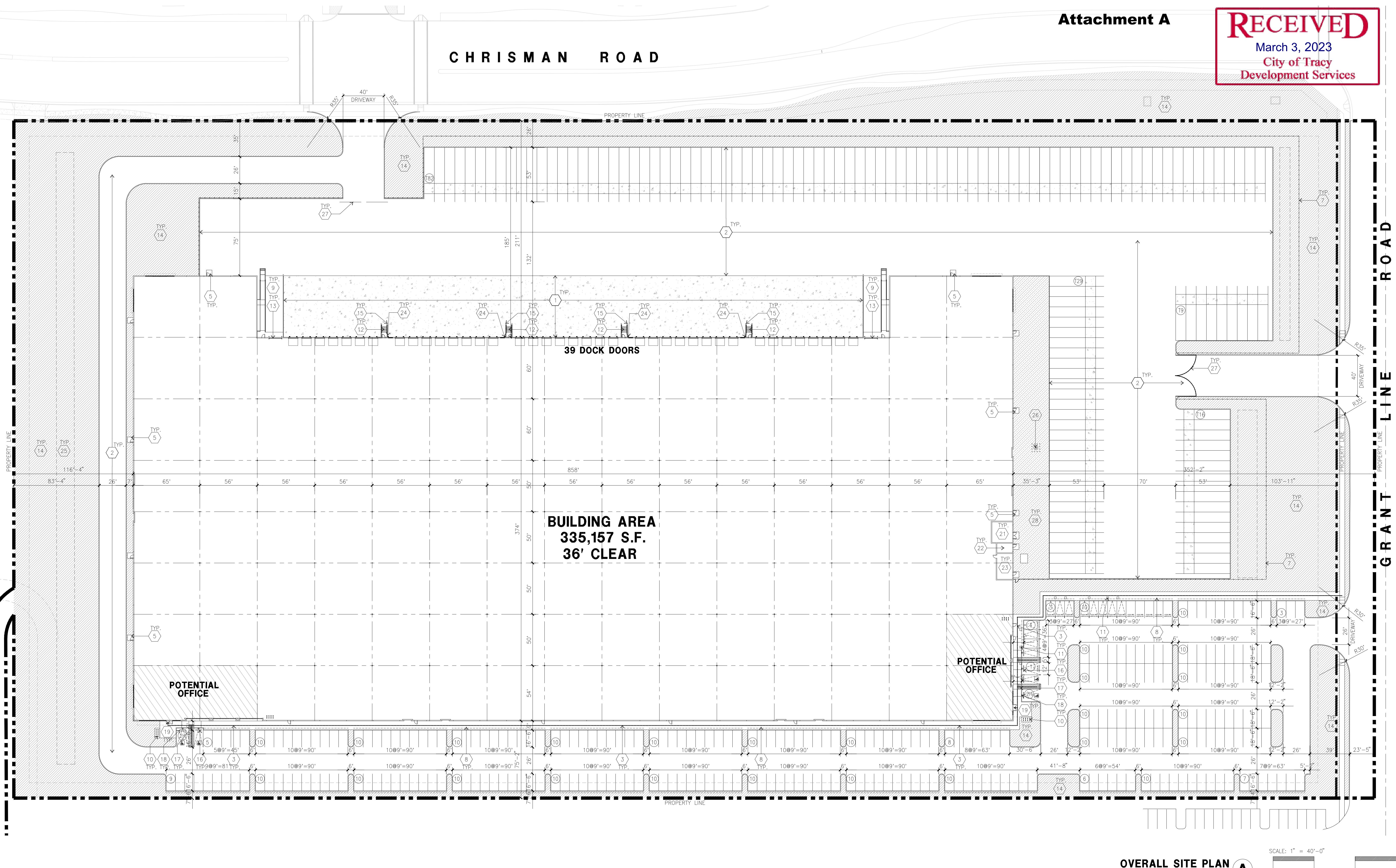
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TECTION

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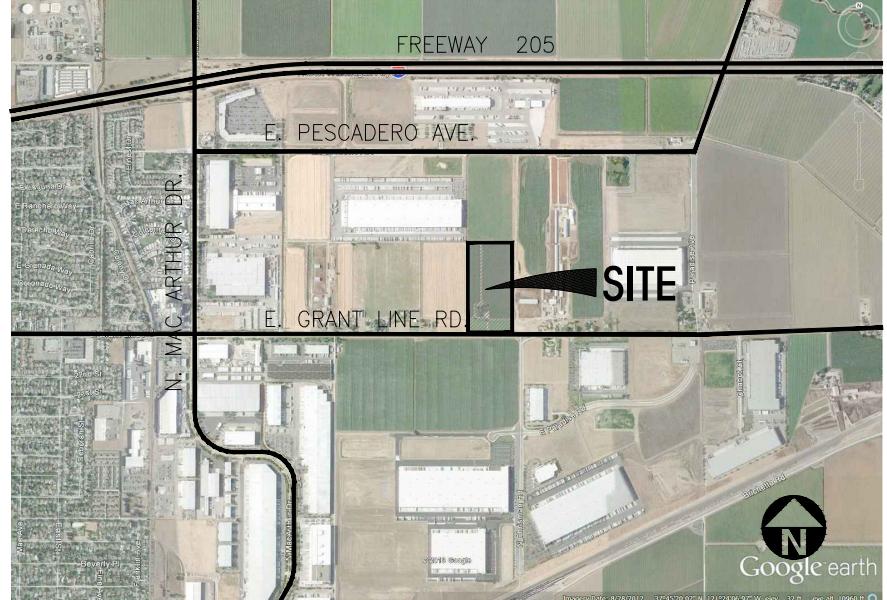
GREEN DESIGN

OVERALL SITE PLAN

CHRISMAN ROAD



AERIAL MAP



TABULATION

SITE AREA	
In s.f.	840,569
In acres	19.3 a
BUILDING AREA	
Office	10,000
Warehouse	325,157
TOTAL	335,157
FLOOR AREA RATIO	
Maximum Allowed	0.50
Actual	0.40
AUTO PARKING REQUIRED	
Office 1/250 s.f.	40 s
Whse: 1st 20k @ 1/1,000 SF	20 s
2nd 20k @ 1/2,000	10 s
Above 40k @ 1/4,000 SF	71 s
TOTAL	141 s
AUTO PARKING PROVIDED	
Standard (9' x 16'-6"+ 2' O.H.)	286 s
ADA Parking (9' x 18'-6" + 5' Aisle)	3 s
ADA Van Parking (12' x 18'-6" + 5' Aisle)	2 s
Total Clean Air / EV / Vanpool	18 s
~ EV Parking (9' x 16'-6" + 2' O.H.)	13 s
~ ADA EV Parking (9' x 18'-6" + 5' Aisle)	1 s
~ ADA EV Van Parking (12' x 18'-6" + 5' Aisle)	1 s
TOTAL	309 s
TRAILER PARKING PROVIDED	
Trailer (10' x 53')	136 s
BICYCLE PARKING REQUIRED	
Long Term (min. 5% of Auto Parking)	16 s
Short Term (min. 5% of Auto Parking)	16 s
Total	32 s
BICYCLE PARKING PROVIDED	
Long Term (min. 5% of Auto Parking)	16 s
Short Term (min. 5% of Auto Parking)	16 s
Total	32 s
MAXIMUM BUILDING HEIGHT ALLOWED	
Height -60'	
LANDSCAPE REQUIREMENT	
Percentage -to be verified	
SETBACKS	
Building	Landscape
Front - 25'	15'
Side - 15'	5'
Rear - 15'	5'

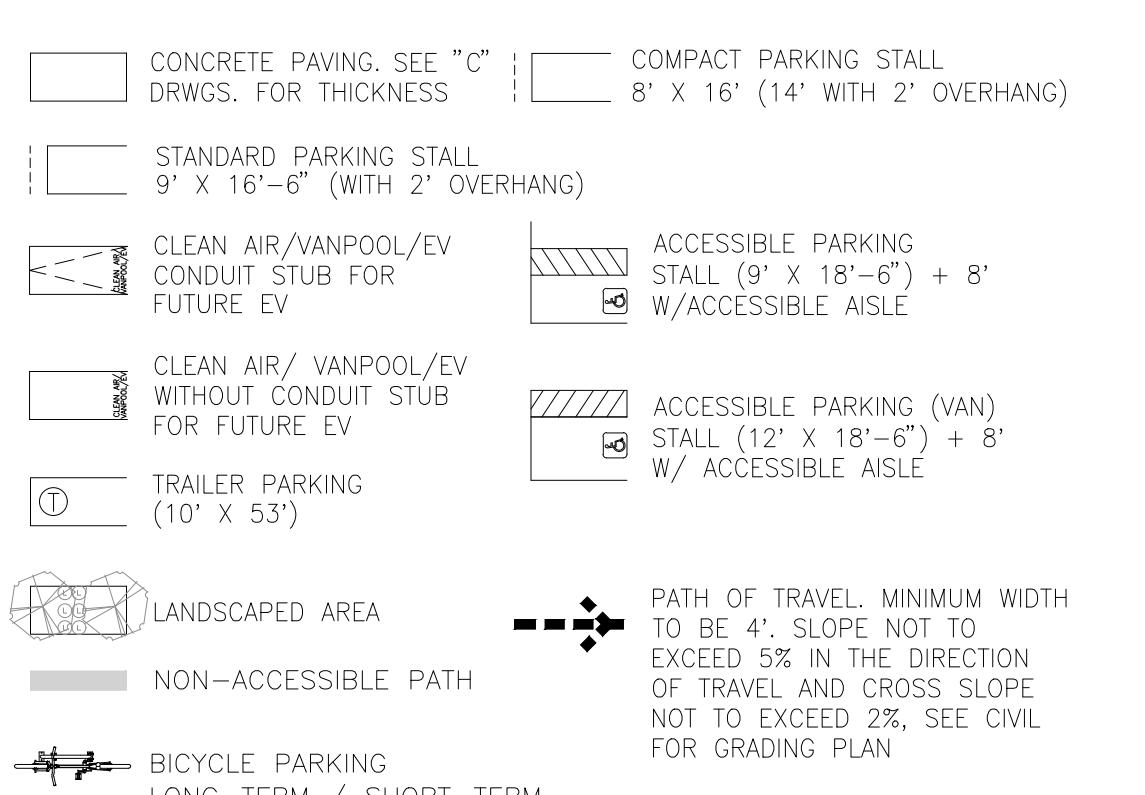
SITE PLAN KEYNOTE

1	HEAVY BROOM FINISH CONCRETE PAVEMENT.	16	PRE-CAST CONC. WHEEL STOP.
2	ASPHALT CONCRETE (AC) PAVING	17	TRUNCATED DOMES.
3	ACCESSIBLE PATH OF TRAVEL	18	ACCESSIBLE PARKING STALL SIGN.
4	DRIVEWAY APRONS	19	Hardscape at entrance. See "L" drawings.
5	5'-6" x 5'-6" x 4" thick concrete exterior landing pad typ. At all exterior man doors to landscaped areas. Finish to be medium broom finish slope to be 1/4" : 12" max.	20	ACCESSIBLE ENTRY SIGN.
6	APPROXIMATE LOCATION OF TRANSFORMER.	21	PUMP ROOM.
7	8' HIGH TUBE STEEL FENCE	22	FIRE CONTROL ROOM
8	CONCRETE WALKWAY, MEDIUM BROOM FINISH. SEE "L" DRAWINGS.	23	ELECTRICAL ROOM.
9	CONCRETE RAMP WITH CONCRETE GUARD WALL. SEE "C" DRAWINGS.	24	EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER
10	BIKE RACK.	25	STORM TREATMENT SEE CIVIL DRAWINGS
11	FUTURE ELECTRIC VEHICLE CHARGER.	26	EXISTING GAS WELL LOCATION SURROUNDED BY BOLLARDS
12	EXTERIOR METAL STEEL STAIR.	27	8' HIGH METAL GATE. SEE NOTE *
13	12' x 14' DRIVE-IN DOOR	28	DECOMPOSED GRANITE
14	LANDSCAPE.		
15	CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.		

*NOTE - THE INSTALLATION OF SECURITY GATES ACROSS APPROVED BY FIRE CODE OFFICIAL. WHERE SECURITY G APPROVED MEANS OF EMERGENCY OPERATION. THE SEC

SITE PLAN GENERAL NOTES

SITE PLAN GENERAL NOTES



*NOTE – THE INSTALLATION OF SECURITY GATES ACROSS A FIRE APPARATUS ACCESS ROAD SHALL BE APPROVED BY FIRE CODE OFFICIAL. WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES AND THE EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200.

DAB-A1.1

Developer



Project:

GRANT LINE RD.
&
CHRISMAN RD.

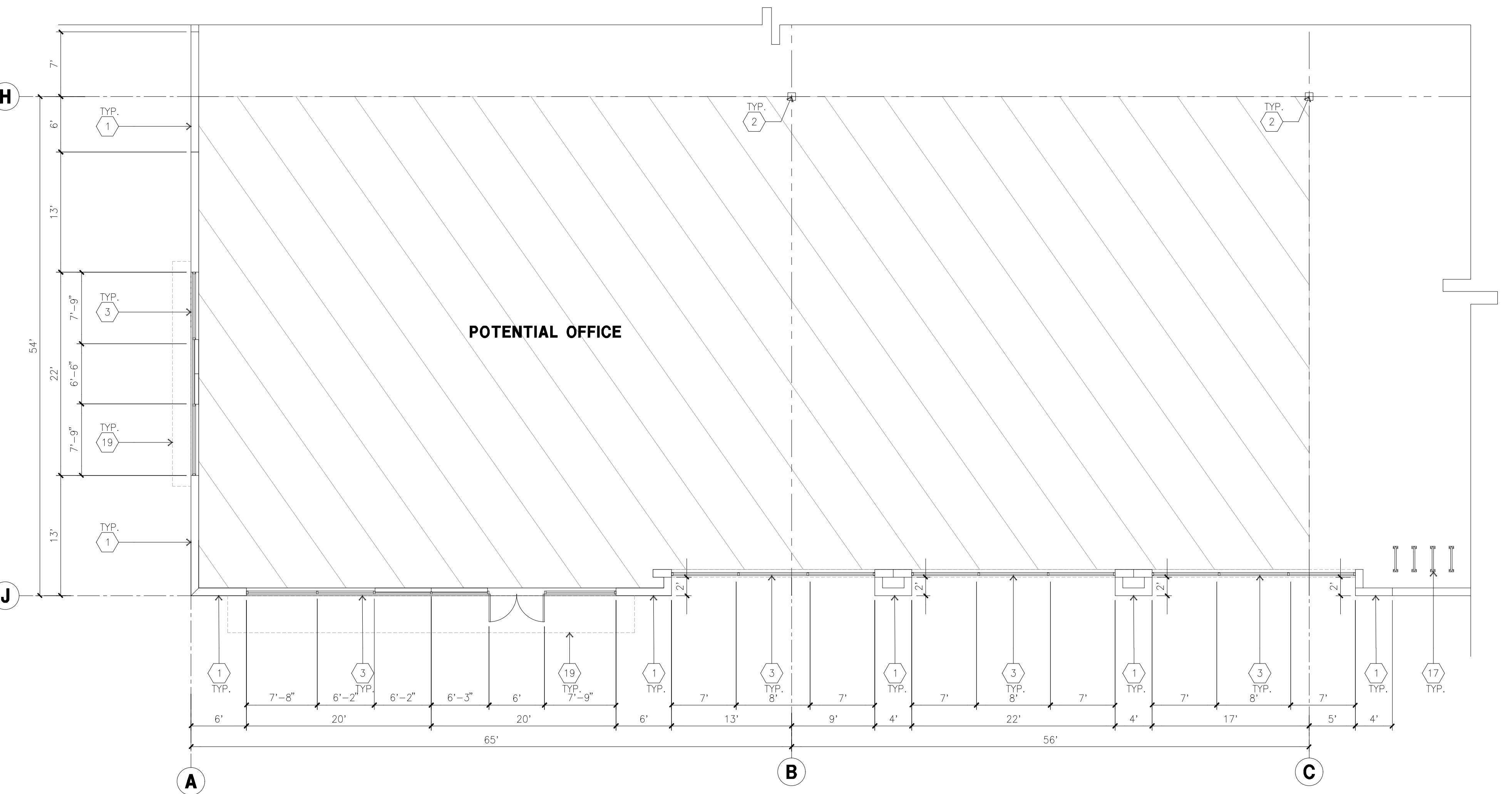
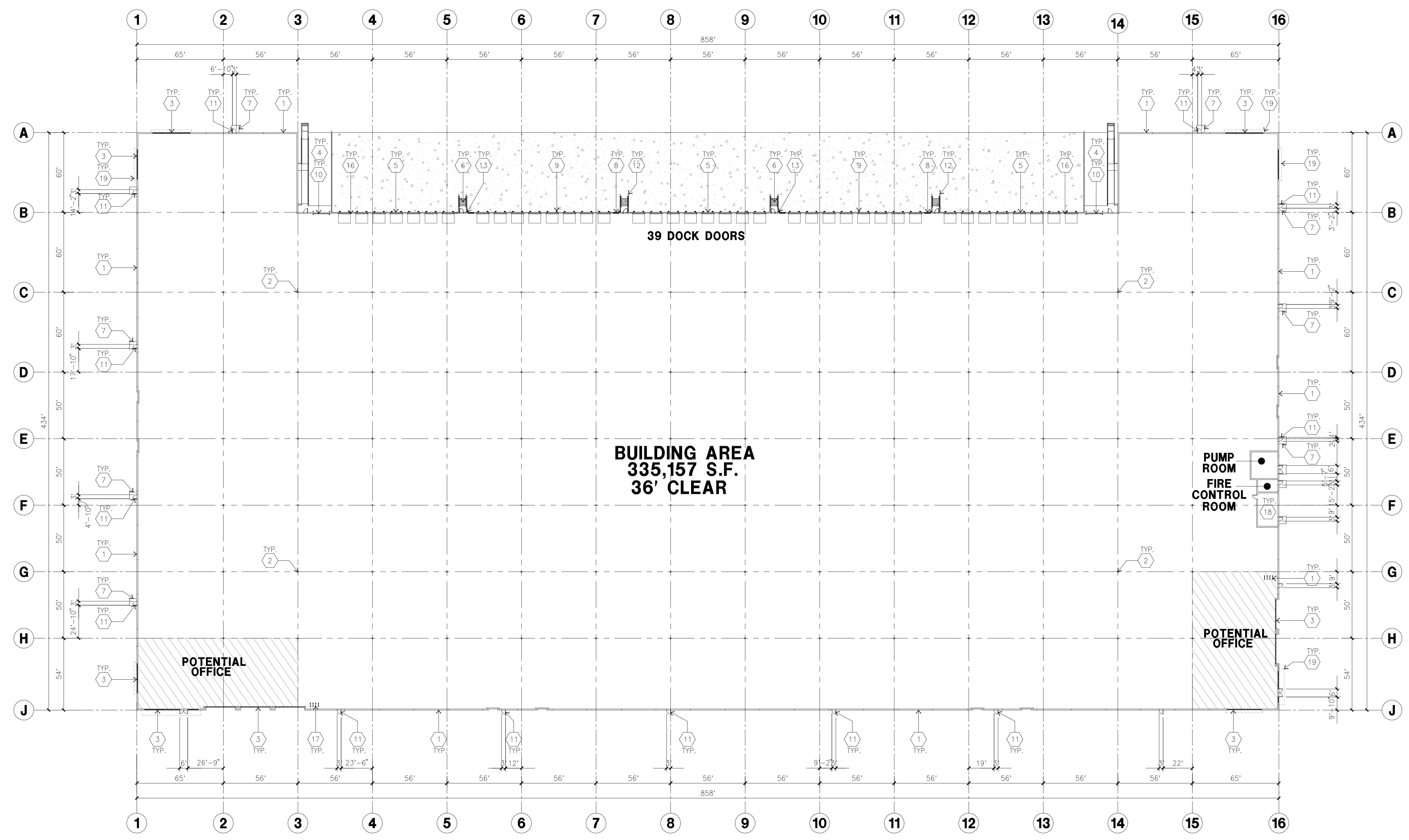
TRACY, CA

Consultants:

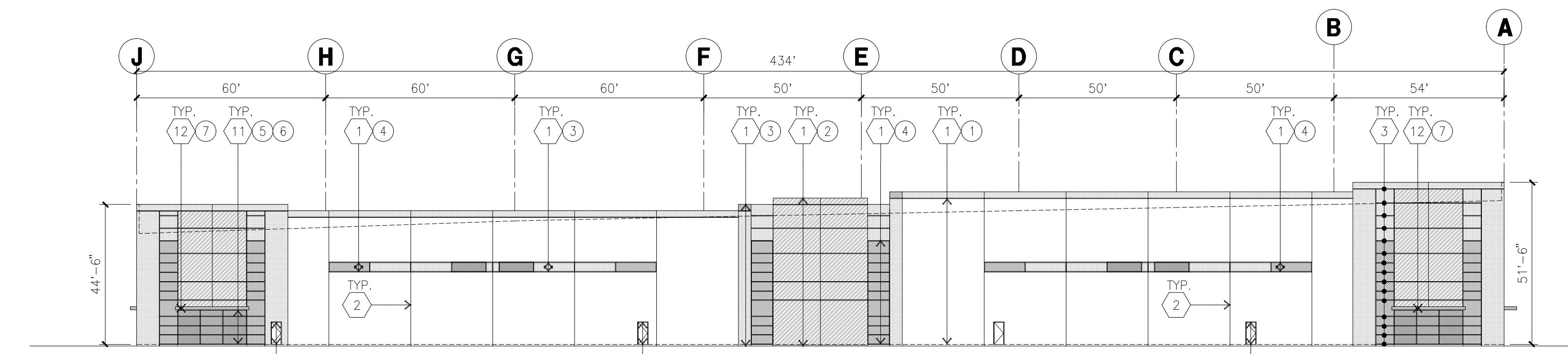
CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title: OVERALL FLOOR PLAN

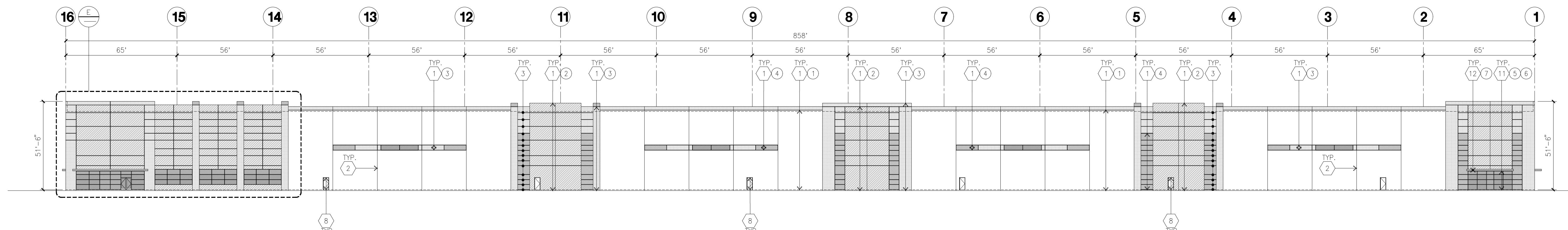
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Drawn by: JV
Date: 10/27/2022
Revision:



Sheet: DAB-A2.1

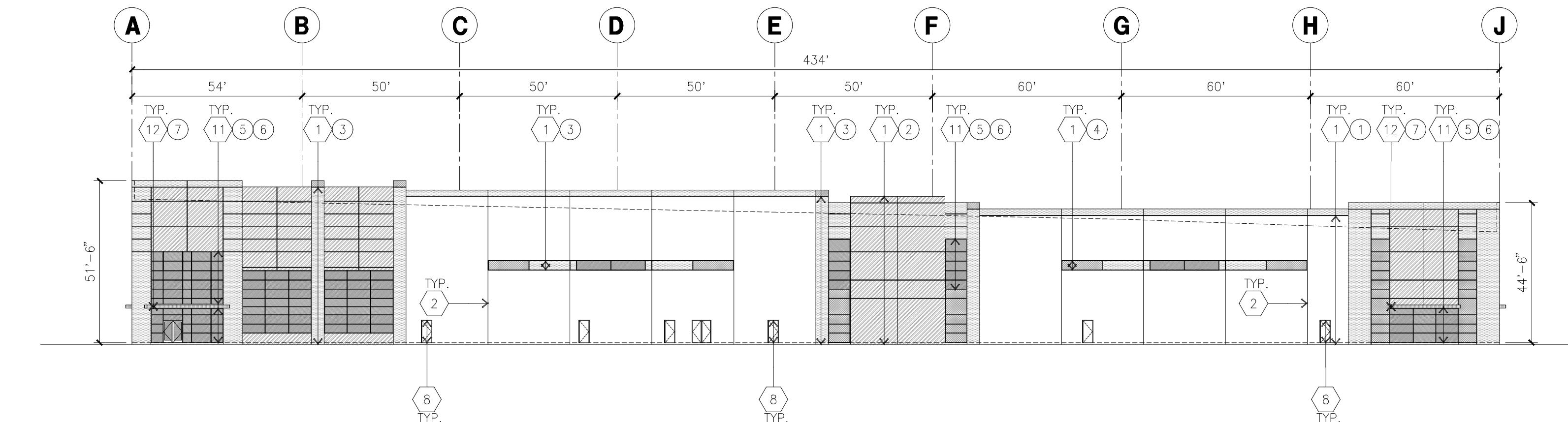


NORTH ELEVATION

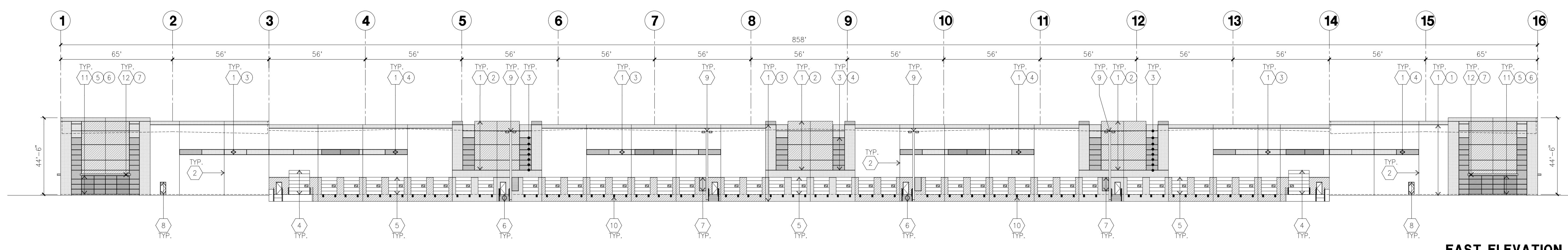


WEST ELEVATION

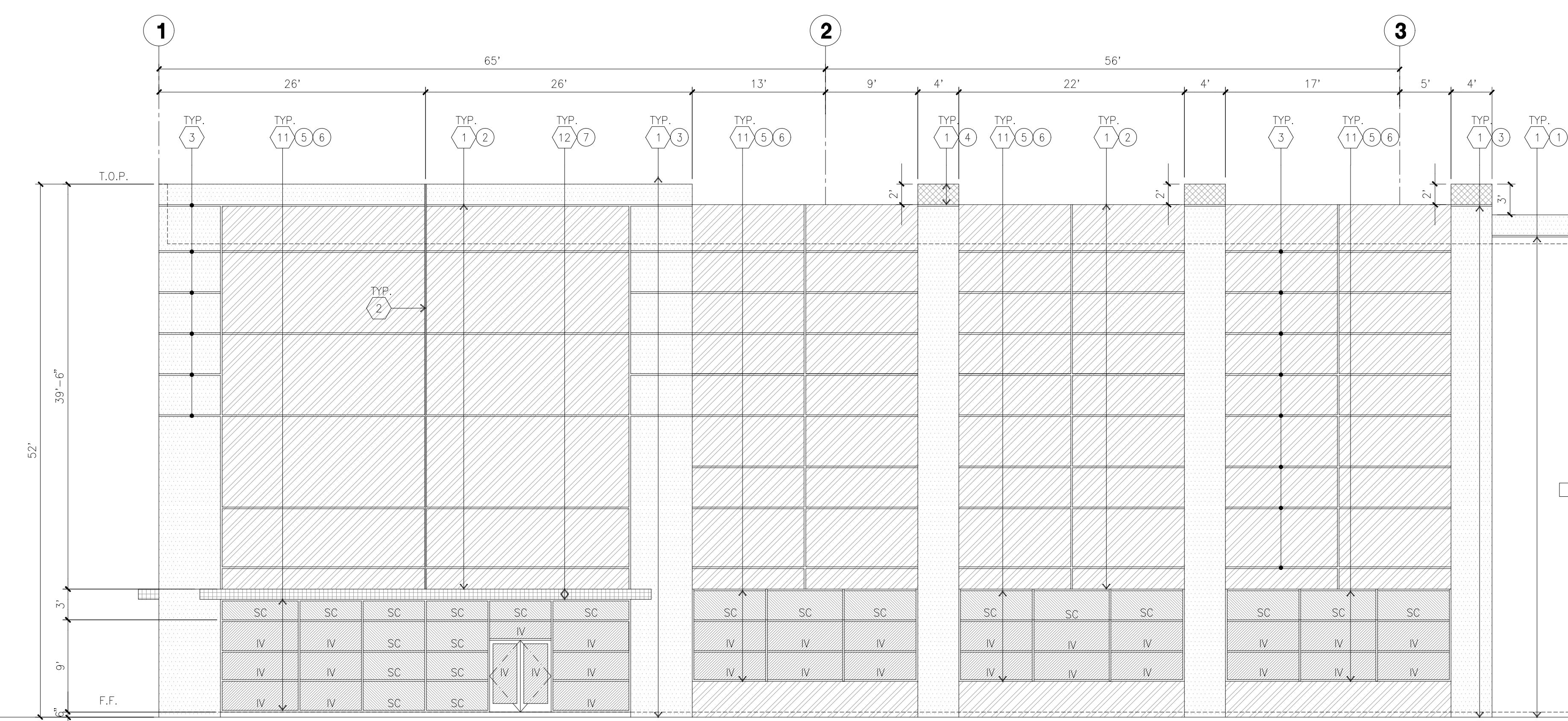
scale: 1" = 30'-0"



SOUTH ELEVATION



EAST ELEVATION



ENLARGED WEST ELEVATION

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL(PAINTED).
FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS.
PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL TUBE STEEL CANOPY

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL.= TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED, EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATH.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON
- L. EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR.
RAILINGS TO MATCH BUILDING COLOR.
- M. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

 IV INSULATED VISION GLASS

 SC SPANDREL GLASS
WITH CONCRETE BEHIND

 V SINGLE LITE
VISION GLASS

IV : INSULATED VISION GLASS
1/4" VISTACOOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.21 VLT: 26%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B

SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOOL PACIFICA WITH OPACI-COAT-300 WARM GRAY
INSTALLED ON CONCRETE.

V : VISION GLASS
1/4" VISTACOOL PACIFICA

MULLIONS : ANODIZED CLEAR.

Sheet:

Developer



SEEFRIED
INDUSTRIAL PROPERTIES

Project:

GRANT LINE RD.
&
CHRISMAN RD.

TRACY, CA

Consultants:

C & W
- CIVIL
- STRUCTURAL
- MECHANICAL
- PLUMBING
- ELECTRICAL
- LANDSCAPE
- FIRE PROTECTION
- SOILS ENGINEER

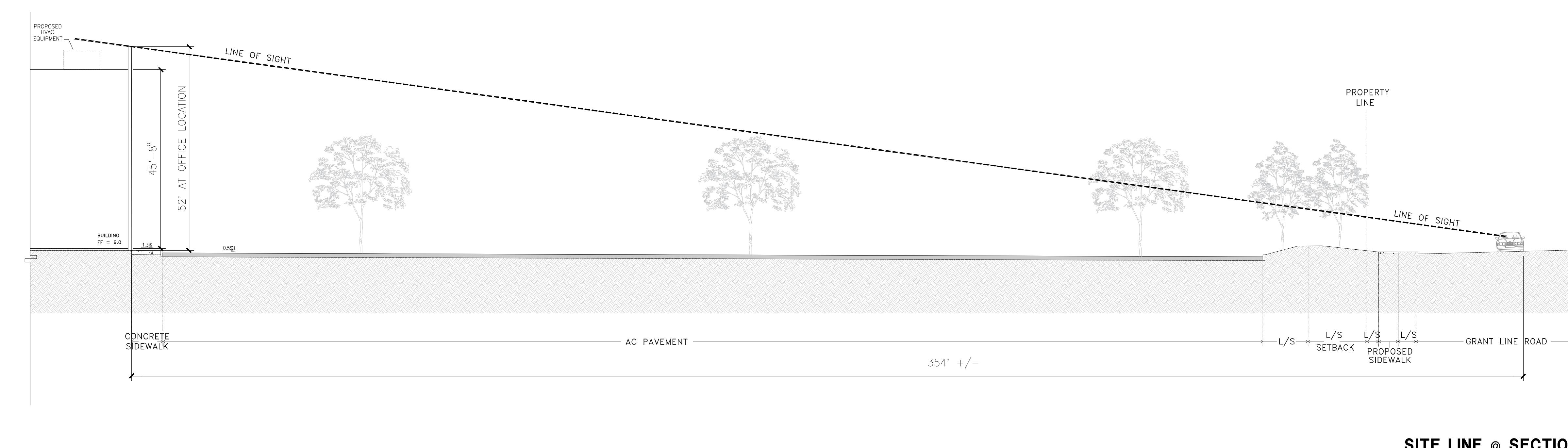
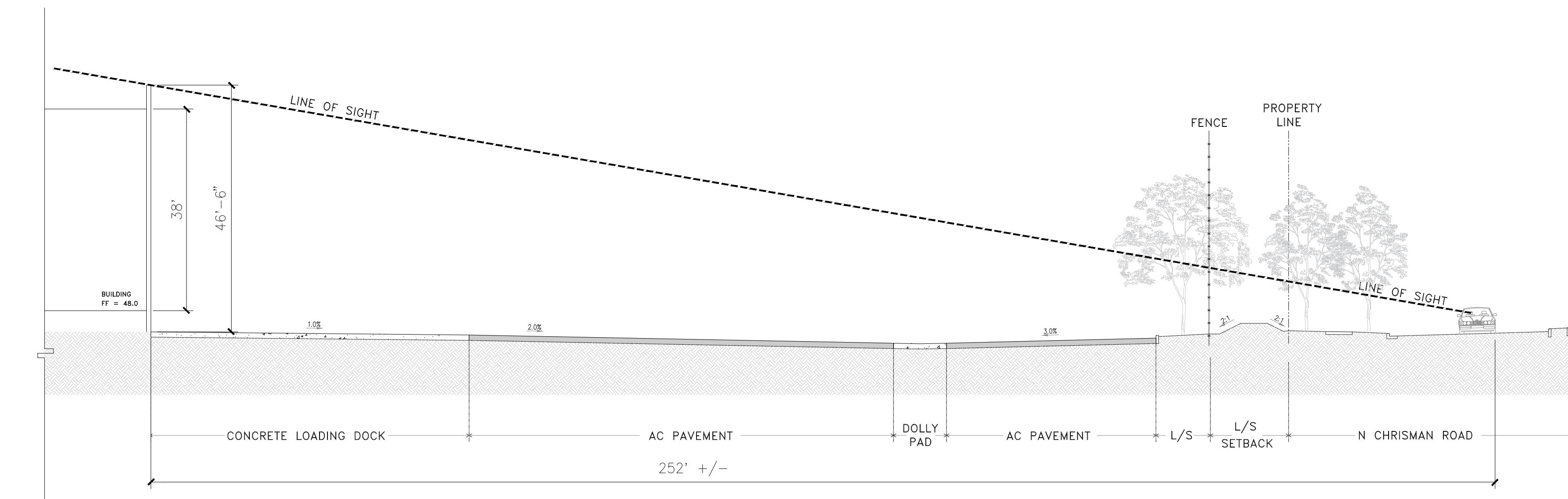
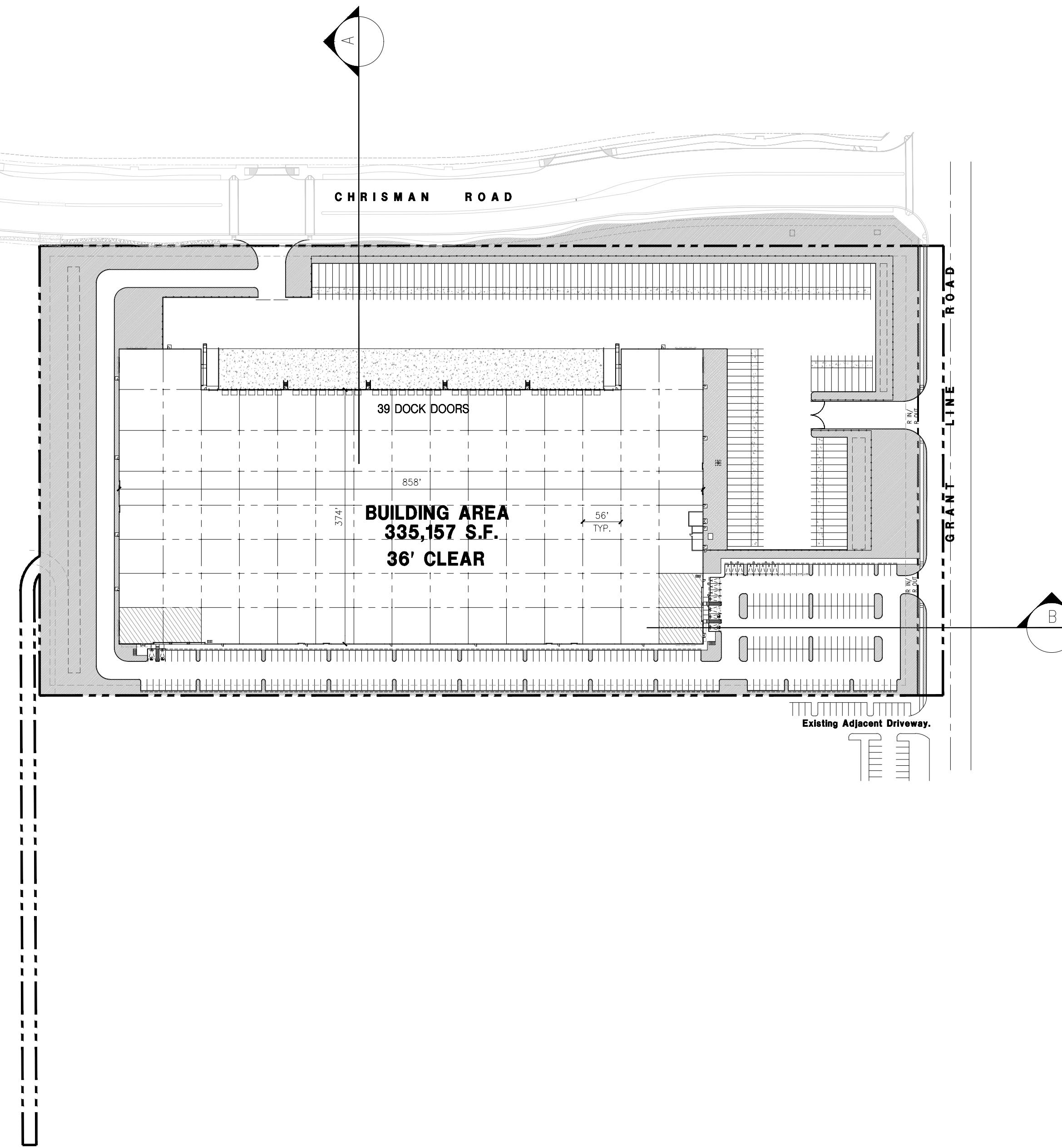
GREEN DESIGN

Title: SITE LINE

Project Number: 22300
Drawn by: JV
Date: 10/27/2022
Revision: _____

Sheet:

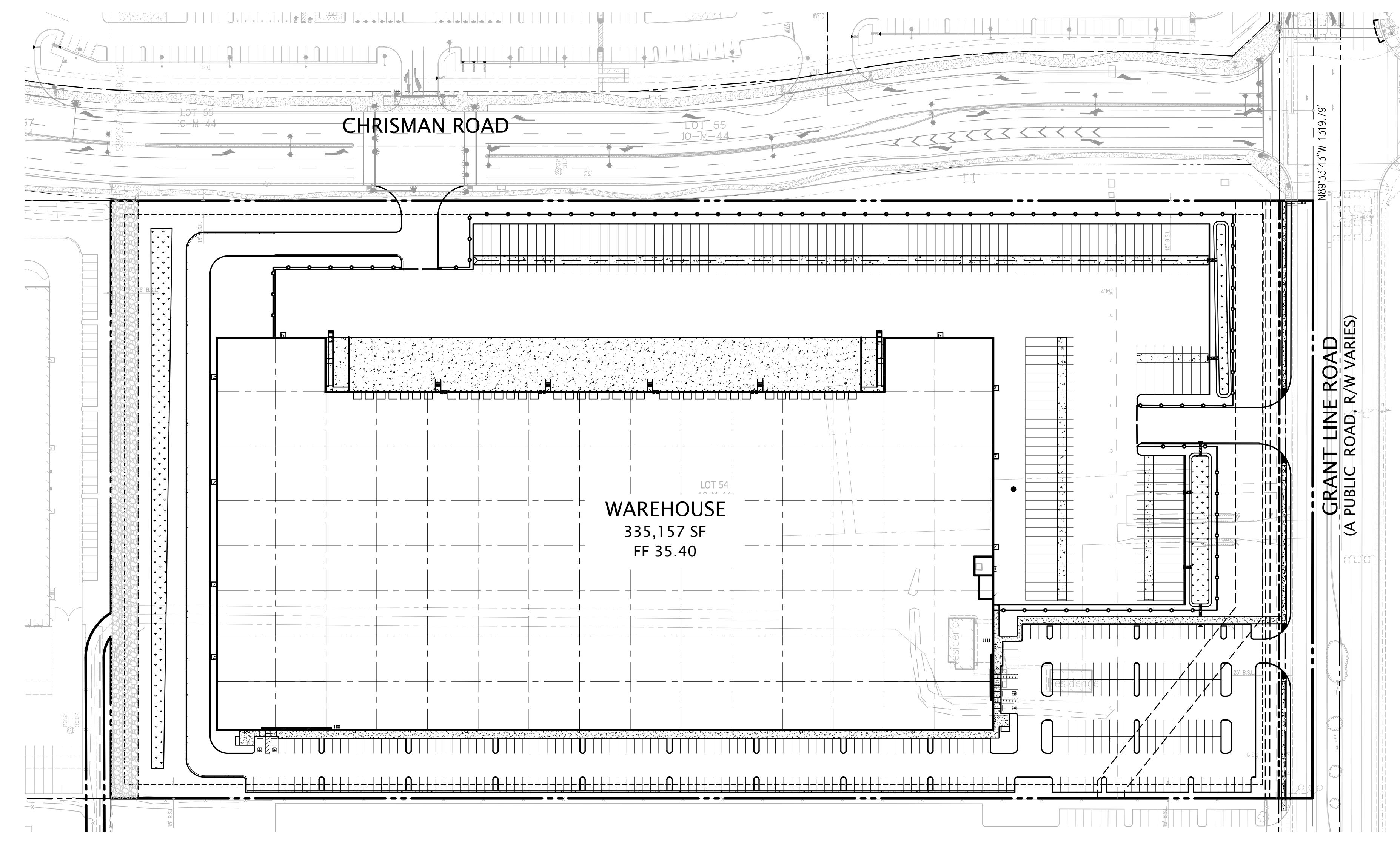
DAB-A4.1



PRELIMINARY SITE IMPROVEMENT PLANS

OF GRANT LINE ROAD FOR SEEFRIED INDUSTRIAL PROPERTIES

TRACY, CALIFORNIA



DEVELOPER

SEEFRIED INDUSTRIAL PROPERTIES
ATTN: SEAN SHEPPARD
ADDRESS: 2201 E. CAMELBACK ROAD SUITE 222,
PHOENIX, AZ 85016
PHONE: (602)337-8730

CIVIL ENGINEER

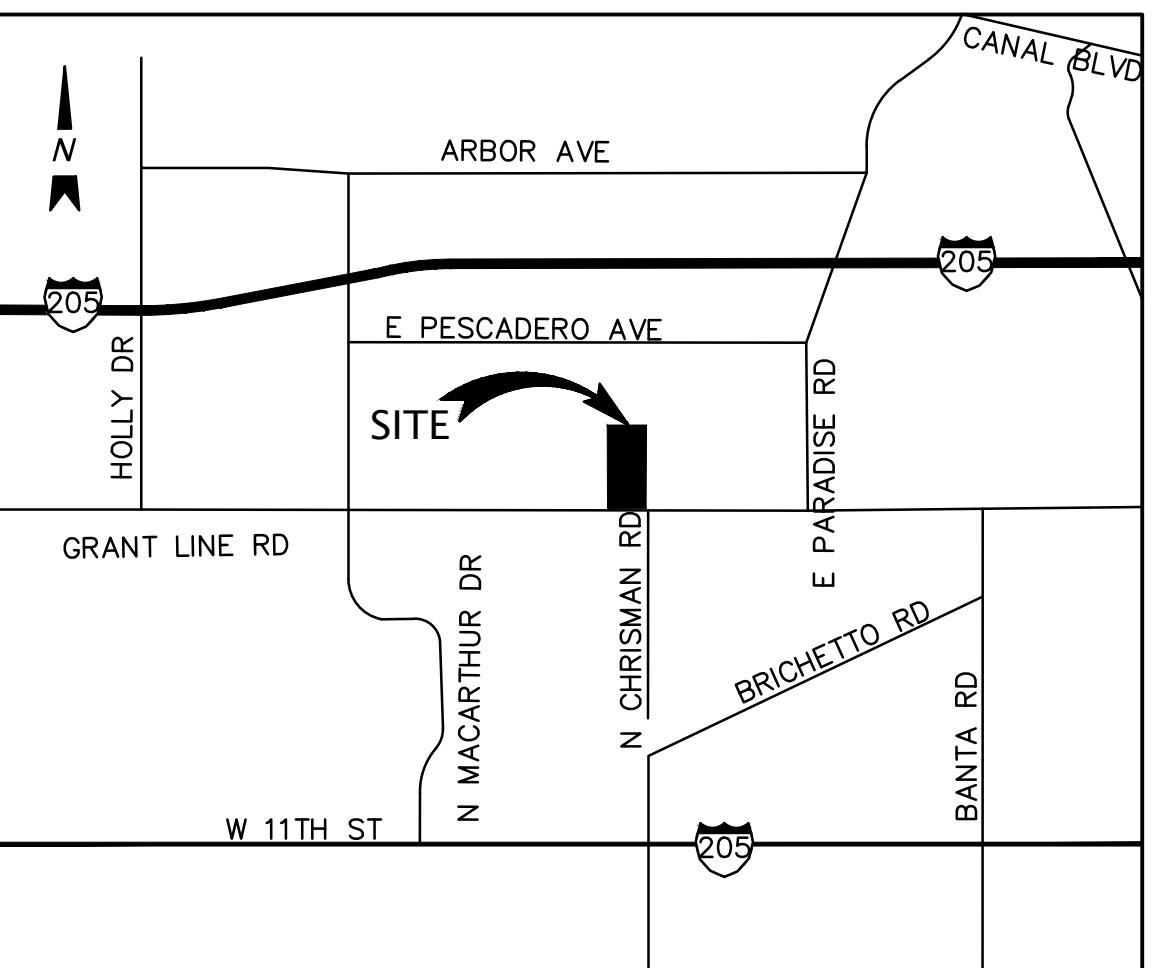
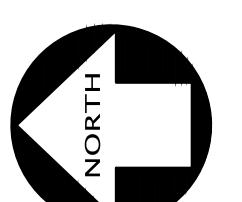
KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
ATTN: ADAM MAHONEY, P.E.
2850 COLLIER CANYON ROAD
LIVERMORE, CA 94551
925-243-5766

LANDSCAPE ARCHITECT

GROENHORN LANDSCAPE ARCHITECTS, INC.
ATTN: BARBARA M. HATCH
ADDRESS: 1464 POPINJAY DRIVE
RENO, NEVADA 89509
PHONE: (775)629-1364

ARCHITECT

HPA, INC.
ATTN: JIAN LEE
ADDRESS: 600 GRAND AVE, SUITE 302
OAKLAND, CA 94610
PHONE: (510)390-2126



VICINITY MAP
NOT TO SCALE

SHEET INDEX

SHEET	DESCRIPTION
C1.0	COVER SHEET
C2.0	BOUNDARY AND TOPOGRAPHIC SURVEY
C3.0	DEMOLITION PLAN
C4.0	PRELIMINARY GRADING & DRAINAGE PLAN
C5.0	PRELIMINARY UTILITY PLAN
C6.0	PRELIMINARY SWCP
C7.0	PRELIMINARY EROSION CONTROL PLAN

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, California 94551
Phone: 925-243-5766
www.kierwright.com

COVER SHEET
1681 E GRANT LINE ROAD
OF
FOR
SEEFRIED INDUSTRIAL PROPERTIES
CALIFORNIA



Know what's below.
Call before you dig.

C1.0
OF 7 SHEETS


CITY OF TRACY
ROBERT ARNAO, P.E.
CITY ENGINEER
DATE:





Think Inside the Triangle


APPROVAL OF THESE PLANS IS SUBJECT TO THE EXISTENCE OF THE APPROVED BOUNDARY AND TOPOGRAPHIC SURVEY AND CONSTRUCTION OF THE PROPOSED ROAD, DRAINAGE, UTILITY AND SWEEP PLANS AS SHOWN ON THESE PLANS. THE CITY OF TRACY RESERVES THE RIGHT TO REOPEN THESE PLANS AND REQUIRE ADDITIONAL PLANS AND INFORMATION AS NECESSARY TO MAKE AN ASSESSMENT OF THE PROPOSED ROAD, DRAINAGE, UTILITY AND SWEEP PLANS.

2850 Collier Canyon Road
Livermore, California 94551
Phone: 925-243-5766
www.kierwright.com



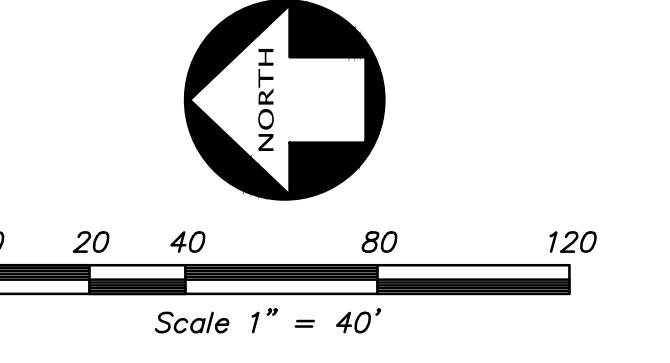
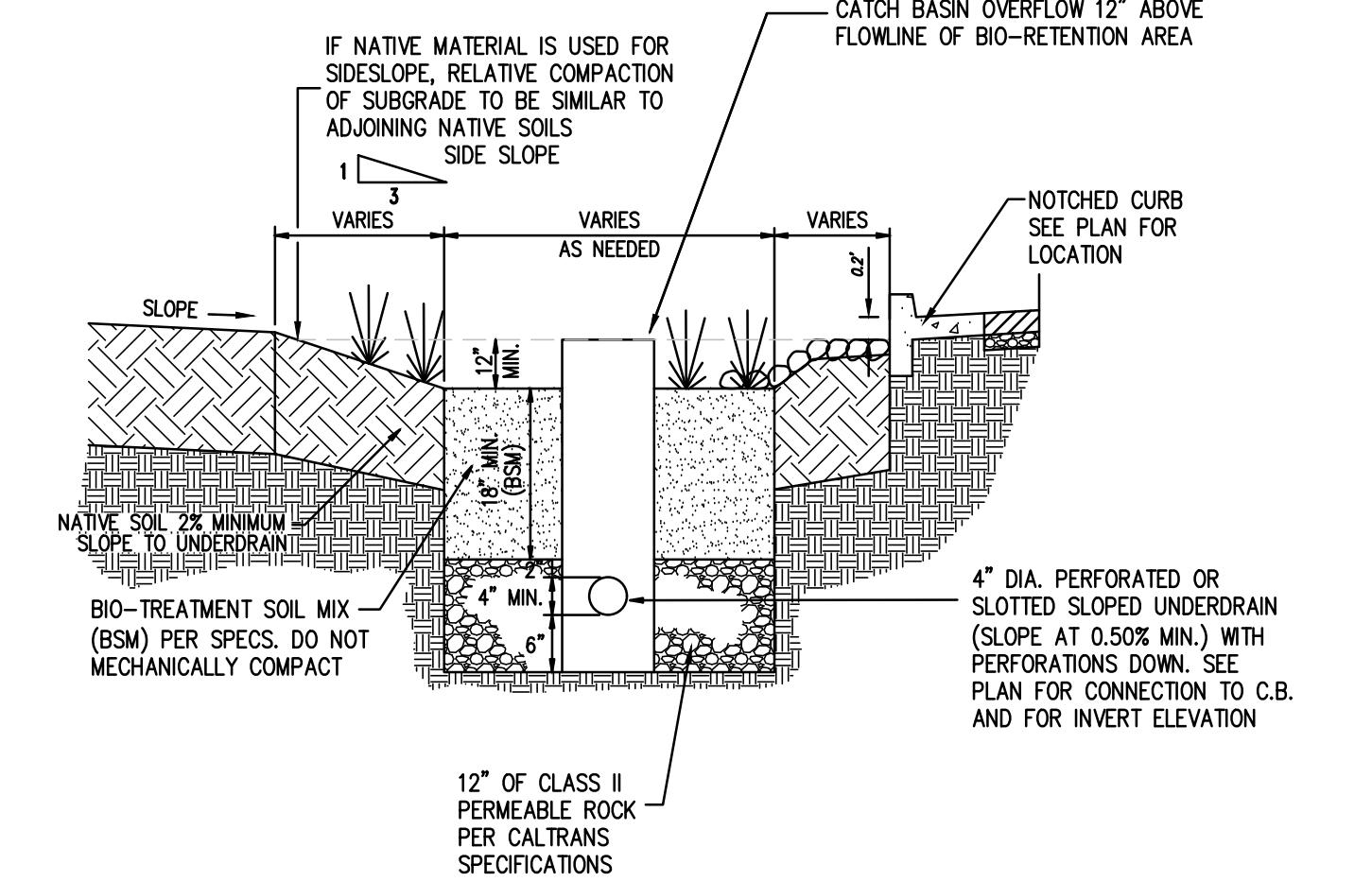






DRAINAGE AREA	TRIBUTARY AREA (SF)	TRIBUTARY AREA (AC)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	IMPERVIOUSNESS RATIO "I"	STORMWATER RUNOFF COEF. "C"	UNIT STORMWATER VOL. "P ₀ "	PONDING DEPTH (FT)	PLANTING MEDIA DEPTH (FT)	GRAVEL DEPTH (FT)	SDV (CF) REQUIRED	SDV (CF) PROVIDED	TREATMENT REQUIRED (SF)	TREATMENT PROVIDED (SF)	TYPE OF TREATMENT
1	137,511	3.16	99,596	37,915	0.72	0.52	0.34	0.50	1.50	1.00	3,841	3,841	3,012	3,040	BIO-RETENTION
2	73,583	1.69	49,858	23,725	0.68	0.47	0.31	0.50	1.50	1.00	1,880	1,880	1,474	1,500	BIO-RETENTION
3	644,810	14.80	562,788	82,022	0.87	0.69	0.45	1.50	1.50	1.00	24,081	24,081	10,585	10,910	BIO-RETENTION

NOTE: PLANTING MEDIA POROSITY = 0.25 AND GRAVEL POROSITY = 0.40 FOR ALL TREATMENT CONTROL MEASURES PER MULTI-AGENCY POST-CONSTRUCTION STORMWATER STANDARDS MANUAL



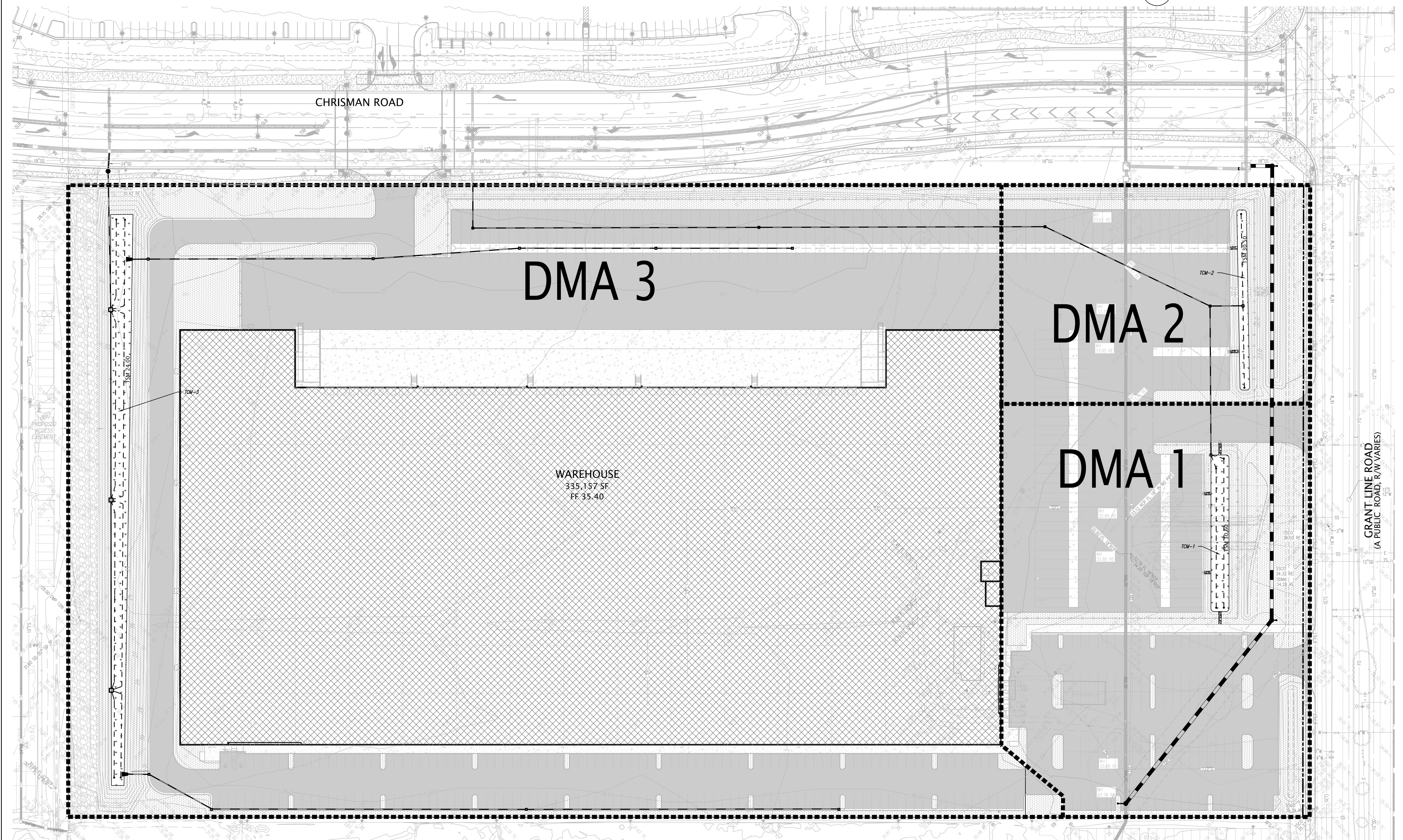
LEGEND

- TRIBUTARY AREA LIMITS
- LANDSCAPE AREA
- IMPERVIOUS ROOFTOP DRAINING TO BIO-SWALE
- IMPERVIOUS PAVEMENT DRAINING TO BIO-SWALE
- BIO-RETENTION TREATMENT AREA
- CONCRETE AREA

TYPICAL BIO-RETENTION DETAIL

NOT TO SCALE

1



PRELIMINARY SWQCP
OF
1681 E GRANT LINE ROAD
FOR
SEEFRIED INDUSTRIAL PROPERTIES

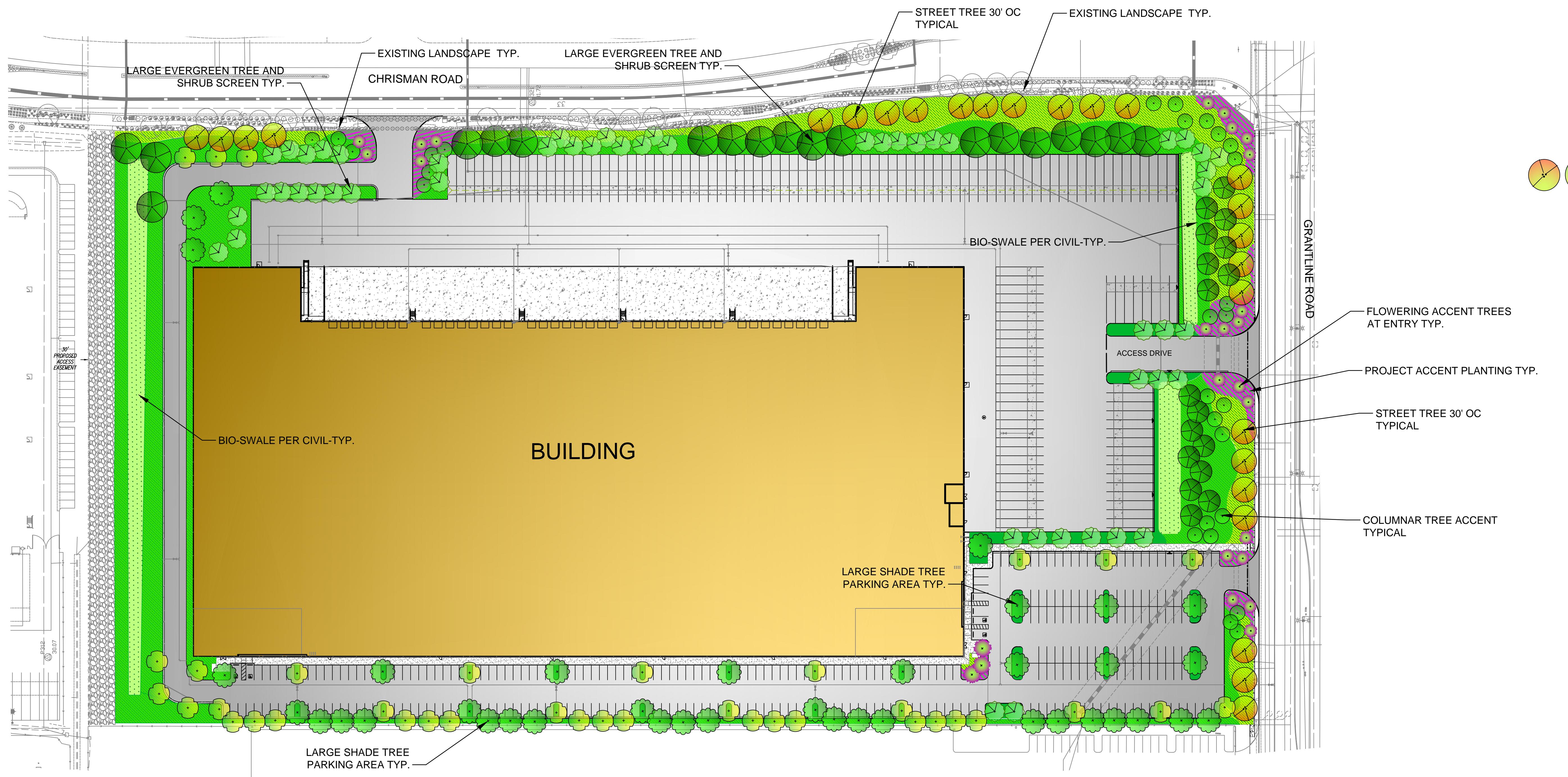
SHEET
C6.0
OF 7 SHEETS

KIER+WRIGHT

2650 Calle San Ramon
Livermore, California 94551
Phone 925.245.2768
www.kierwright.com

CITY OF TRACY

ROBERT ARNAQ, P.E.
CITY ENGINEER
DATE:



LANDSCAPE CALCULATIONS

TOTAL PARKING AREA = 115,294 S.F.
PARKING AREA INCLUDES THE FOLLOWING:
1. PAVEMENT INCLUDING ISLANDS, STALLS, AISLES AND ACCESS DRIVES
2. ADJACENT BUILDING FRONTEAGE LANDSCAPE AREA INC. WALKS
PARKING AREA LANDSCAPE REQUIRED = 11,529 S.F. (10% OF PARKING AREA)
PARKING AREA LANDSCAPE PROVIDED = 19,400 S.F. (16%)
NO. OF STANDARD PARKING SPACES = 307
TREES REQUIRED = 71 (1/10 SPACES)
TREES PROVIDED = 71
REQUIRED PARKING AREA SHADE = (MIN. 40% OF PARKING AREA)
PARKING AREA SHADE PROVIDED AT Maturity = (40%)
TREES 28 @ 100% 40 DIAMETER (1257 S.F.) = 35,196 SF
TREES 28 @ 15% 40 DIAMETER (942 S.F.) = 5,652 SF
TREES 37 @ 50% DIAMETER (928 S.F.) = 23,236 SF
TOTAL IS 64,084 SF SHADE = 55.6%
MINIMUM STREETSCAPE LANDSCAPE REQUIRED: 15' SETBACK (PROVIDED)
TREES REQUIRED AT FRONTEAGE 1/400 S.F. OF LS SETBACK 1913 L.F.: 71 (90 PROVIDED)
THE LANDSCAPE PLAN MEETS THE REQUIREMENTS OF THE
NORTHEAST INDUSTRIAL DEVELOPMENT PLAN

COMBINATION OF MULCHES TO BE UTILIZED IN FINAL DESIGN

4" MINIMUM DEPTH OF 4" MINUS FRACTURED ROCK AS AVAILABLE FROM A LOCAL SOURCE. COLOR TAN TO GRAY. PLACE OVER DEWITT PRO 5 LANDSCAPE FABRIC. TREAT WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLACING FABRIC. INSTALL FABRIC PER MFG. DIRECTION. PLACE BARK PER LEGEND IN PLANT BASINS.

3" MINIMUM DEPTH OF DECOMPOSED GRANITE AS AVAILABLE FROM A LOCAL SOURCE. COLOR TAN IN COLOR. PLACE OVER DEWITT PRO 5 LANDSCAPE FABRIC. TREAT WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLACING FABRIC. INSTALL FABRIC PER MFG. DIRECTION.

BARK MULCH-ALL PLANTERS NOT DESIGNATED FOR ROCK, D.G. OR SEEDING. CHIPPED WOOD, FIR WASTE MULCH - PLACE 2" MIN. DEPTH OF SHREDDED WOOD WASTE FROM A LOCAL PRODUCER.

3/4" 1" DIA. COLOR DARK BROWN W/ NO VISIBLE CONTAMINANTS PLACE 3" MIN. DEPTH OF BARK IN ALL PLANT BASINS IN ROCK MULCH AREAS.

2-4" DIA. FRACTURED ROCK BOULDERS. BOULDER COLOR AND TEXTURE TO BLEND WITH ROCK MULCH. BURY BOULDER BY 1/2 IN SOIL AND OR DG. MULCH. REFER TO DETAIL SHEET 13.3.

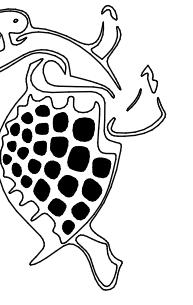
PRELIMINARY LANDSCAPE PLAN



SCALE: 1" = 60'-0"

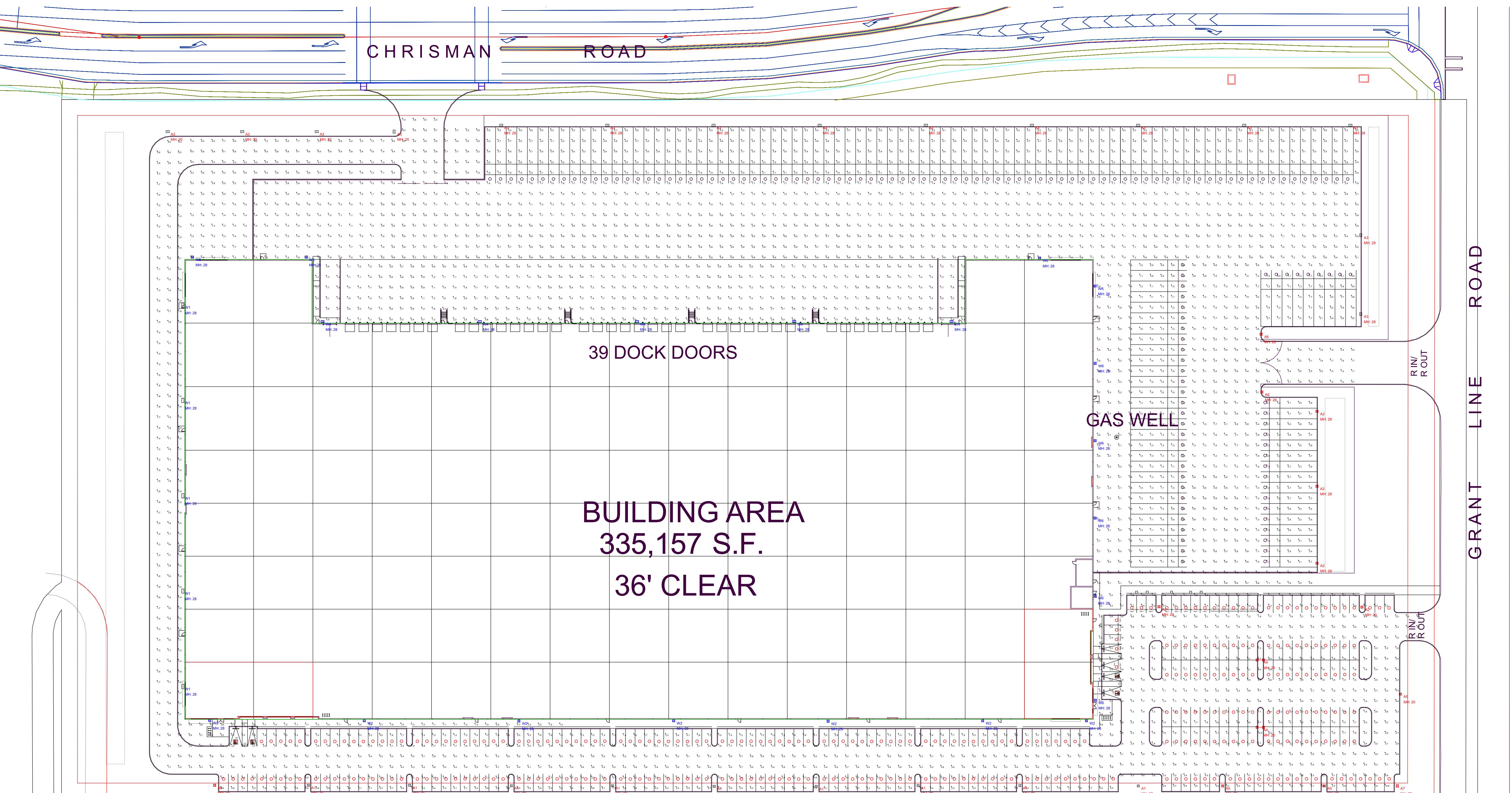
PRELIMINARY PLANT LIST

*N	CA NATIVE	BOTANICAL NAME	COMMON NAME	SIZE	WATER REGIME /ZONE	MATURE HABIT H X W
LARGE DECIDUOUS PARKING LOT TREE						
N	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	24" BOX or B&B	L	60' X 30'	
	PISTACHIA SINENSIS	CHINESE PISTACHE	24" BOX or B&B	L	50' X 40'	
COLUMNAR DECIDUOUS TREE (ACCENTS)						
	QUERCUS CRIMSON SPIRE'	COLUMNAR OAK	24" BOX or B&B	L	40' X 15'	
MEDIUM EVERGREEN TREE						
	OLEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX or B&B	L	20' X 20'	
	LAURUS N. 'SARATOGA'	SARATOGA LAUREL	24" BOX or B&B	L	20' X 20'	
LARGE EVERGREEN TREE						
	CEDRUS DEODARA	DEODAR CEDAR	24" BOX or B&B	L	40' X 40'	
	QUERCUS ILEX	HOLLY OAK	24" BOX or B&B	L	50' X 40'	
MISC.						
	ZELKOVA S. 'VILLAGE GREEN'	JAPANESE ZELKOVA	24" BOX or B&B	M	55' X 50'	
	ULMUS P. 'TRUE GREEN'	EVERGREEN ELM	24" BOX or B&B	M	30' X 30'	
	SHUMARD OAK	SHUMARD OAK	24" BOX or B&B	L	70' X 50'	
FLOWERING TREE						
	LAGERSTROMIA INDICA	CREPE MYRTLE	15 GAL. or B&B	L	15' X 10'	
EVERGREEN SCREENING SHRUBS						
	DODONEA VISCOSA	HOPSEED	5 GAL.	L	10' X 10'	
	NERIUM SPP.	OLEANDER	5 GAL.	L	VARIES	
	CISTUS SPP.	ROCKROSE	5 GAL.	L	VARIES	
	ESCALLONIA 'FRADESS'	ESCALLONIA	5 GAL.	L	4'X4'	
N	CEANOTHUS SPP.	CEANOTHUS	5 GAL.	L	VARIES	
SHRUBS						
N	LANTANA M. 'GOLD RUSH'	GOLD RUSH LANTANA	5 GAL.	L	2' X 4'	
	RHAMNUS CALIFORNICA	COFFEE BERRY	5 GAL.	L	1.5' X 3'	
	NERIUM OLEANDER PETITE PINK	PETITE OLEANDER	5 GAL.	L	9' X 3'	
	PHORMIUM SPP.	NEW ZEALAND FLAX	5 GAL.	L	VARIES	
	PEROVSKIA	RUSSIAN SAGE	1 GAL.	L	3' X 3'	
	ESCALLONIA 'NEWPORT'	ESCALLONIA	5 GAL.	L	3' X 3'	
	ROSACEA 'LOPO'	RED FLOWERING ROSE	5 GAL.	M	3' X 3'	
	ARBUTUS U. 'ELFIN KING'	DW. STRAWBERRY TREE	5 GAL.	M	5' X 5'	
	SALVIA GREGGII 'FURMAN'S RED'	SALVIA	1 GAL.	L	4' X 4'	
	COLEONEMIA P. 'SUNSET GOLD'	BREATH OF HEAVEN	5 GAL	M	1.5' X 4'	
	OLEA LITTLE OLLIE	DW. OLIVE	5 GAL	L	7'X5'	
GROUNDCOVER						
N	LANTANA	LANTANA	1 GAL.	L	2' X 4'	
	ROSMARINUS OFFICINALIS	HUNTINGTON BLUE ROSEMARY	1 GAL.	L	1.5' X 3'	
	LAUREL	LAUREL	1 GAL.	L	6' X 3'	
	CEANOTHUS SPP.	HORZ. CARMEL CEANOTHUS	1 GAL.	L	3' X 10'	
	COTONEASTER D. 'LOWFAST'	BEARBERRY COTONEASTER	1 GAL.	L	1' X 6'	
PERENNIALS						
	DIETES 'ORANGE DROP'	FORT NIGHT LILY	1 GAL	L	3' X 3'	
	TULBAGHIA V. SILVERLACE'	SOCIETY GARLIC	1 GAL	M	1' X 1'	
GRASSES						
N	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL.	L	4' X 4'	
	MUHLENBERGIA LINDEMEIER	LINDEMAYER'S MUHLY GRASS	1 GAL.	L	2' X 2'	
	PENNISETUM SETACEUM 'RUBRUM'	PINK FOUNTAIN GRASS	5 GAL.	L	3' X 2'	



Print Record	
1	-
2	-
3	-
4	-

Revision Record	
1	-
2	-
3	-
4	-



Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
■	1	A7	SINGLE	GLEON-SA3B-750-U-SLL
■	9	A1	SINGLE	GLEON-SA3A-750-U-SL2
■	3	A2	SINGLE	GLEON-SA3A-750-U-SL4
■	15	A3	SINGLE	GLEON-SA3A-750-U-SL4
■	2	A4	2 @ 180 DEGREES	GLEON-SA3A-750-U-T4FT-WM
■	3	A5	SINGLE	GLEON-SA3A-750-U-SL4
■	3	A6	SINGLE	GLEON-SA3A-750-U-T4FT
■	5	W1	SINGLE	GLEON-SA2A-750-U-T2-WM
■	7	W2	SINGLE	GLEON-SA3A-750-U-SL2-WM
■	5	W4	SINGLE	GLEON-SA3A-750-U-T4FT-WM
■	2	W5	SINGLE	GLEON-SA3A-750-U-T4W-WM
■	7	W6	SINGLE	GLEON-SA3A-750-U-T4FT-WM

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Dock	Illuminance	Fc	1.49	4.9	0.3	4.97
Parking 1	Illuminance	Fc	2.07	3.5	0.3	16.33
Parking 2	Illuminance	Fc	1.88	5.2	0.6	3.13
Parking 3	Illuminance	Fc	2.87	10.8	0.6	4.78
Parking 4	Illuminance	Fc	2.65	9.0	0.9	2.94
						10.00

1 Photometric Plan
SCALE: 1" = 50'

NOTE 1 - (NATIONAL ACCOUNT) FIXTURE PACKAGE PRICING PROVIDED
BY TURTLE AND HUGHES.
PLEASE CONTACT (909) 218-8644 OR EMAIL
JESSICA.FISHEL@TURTLE.COM FOR FIXTURE AND CONTROLS PRICING

**CITY OF TRACY
DETERMINATION OF THE
DEVELOPMENT SERVICES DIRECTOR**

Application Number D22-0045

A determination of the Development Services Director approving a Development Review application for a new 335,157 square foot industrial building and its related parking and landscape improvements located at the northwest corner of Grant Line and Chrisman Roads (Assessor's Parcel Numbers 213-070-41, 39, 17). The owner is Linda Massone, Trustee, and applicant is Seefried Industrial Properties.

The following considerations were relevant in evaluating this application: Existing and planned infrastructure improvements, such as adjacent roadways, existing site improvements, storm drain systems, the project's visual impact on Grant Line Road, and Chrisman Road, as well as other adjacent properties, on-site circulation, and landscaping.

Staff has reviewed the application and determined that the following City regulations apply:

TMC Sec 10.08.3920 et seq.: Development Review
TMC Sec 10.08.3440 et seq.: Off-Street Parking Requirements
Northeast Industrial Specific Plan
City of Tracy Design Goals and Standards

The Development Services Director has determined that the proposed project is consistent with the Northeast Industrial Specific Plan Environmental Impact Report (EIR), approved by the City Council in 1996, and the General Plan EIR approved by the City Council on February 1, 2011. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required. An analysis of the project shows that there will be no significant on or off-site impacts as a result of this particular project which were not already discussed in the Northeast Industrial and General Plan EIRs. There is also no evidence of any significant impacts to occur off-site as a result of the project, as traffic, air quality, land use and other potential cumulative impacts have already been considered within the original environmental documentation. No new evidence of potentially significant effects has been identified as a result of this project.

THE DEVELOPMENT SERVICES DIRECTOR, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY APPROVES THE DEVELOPMENT REVIEW APPLICATION AS DESCRIBED IN THE PLANS RECEIVED BY THE DEVELOPMENT SERVICES DEPARTMENT ON MARCH 3, 2023, SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (EXHIBIT 1) AND BASED ON THE FOLLOWING FINDINGS:

Development Review Findings:

1. The proposal increases the quality of the project site and enhances the property in a manner that improves the property in relation to the surrounding area and the citizens of Tracy because it will enhance the property with a new, well-designed industrial building and related landscaping.

Development Services Determination

D22-0045

March 5, 2024

Page 2

2. The proposed project, as conditioned, conforms to the regulations of the Northeast Industrial Specific Plan, the Tracy Municipal Code, the City of Tracy General Plan, the Citywide Design Goals and Standards, California Building and Fire Codes, and all other applicable City regulations, including land use, building design, off-street parking and circulation, and landscape design.

Karin Schnaider, Interim Development Services Director

Date of Action

Exhibit 1 - Development Services Department Conditions of Approval

Conditions of Approval for Seefried Industrial Properties
Northwest corner of Grant Line and Chrisman Roads
Application Number D22-0045
March 5, 2024

A. General Provisions and Definitions

1. These Conditions of Approval shall apply to the real property described as the northwest corner of Grant Line and Chrisman Roads, Assessor's Parcel Numbers 213-070-41, 39 and 17, Application Number D22-0045, a new 335,157 square foot industrial building with related parking and landscaping (hereinafter "Project").
2. The following definitions shall apply to these Conditions of Approval:
 - a. "Applicant" means any person, or other legal entity, defined as a "Developer".
 - b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed engineer designated by the City Manager, or the Development Services Director, or the City Engineer to perform the duties set forth herein.
 - c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, Northeast Industrial Concept Development Plan, ordinances, resolutions, policies, procedures, and the City's Design Documents (including the Standard Plans, Standard Specifications, Design Standards, and relevant Public Facility Master Plans).
 - d. "Development Services Director" means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
 - e. "Conditions of Approval" shall mean the conditions of approval applicable to the 335,157 square foot industrial building and related improvements. Application Number D22-0045, located at the northwest corner of Grant Line and Chrisman Roads, Assessor's Parcel Numbers 213-070-41, 39 and 17. The Conditions of Approval shall specifically include all Development Services Department, including Planning Division, Engineering, and Building Division and Fire Department conditions set forth herein.
 - f. "Project" means the real property located at the northwest corner of Grant Line and Chrisman Roads, Assessor's Parcel Numbers 213-070-41, 39 and 17.
 - g. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or

who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.

3. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to: the Planning and Zoning Law (Government Code sections 65000, et seq.), the Subdivision Map Act (Government Code sections 66410, et seq.), the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and the Guidelines for California Environmental Quality Act (California Administrative Code, title 14, sections 1500, et seq., "CEQA Guidelines").
4. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City Regulations.
5. Pursuant to Government Code section 66020, including section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

B. Planning Division Conditions of Approval

B1. Except as otherwise modified herein, the project shall be developed in accordance with the plans received by the Development Services Department on March 3, 2023. Prior to the issuance of any building permits, any deviations from the approved site plan or elevations shall be evaluated for substantial compliance with the approved plans, to the satisfaction of the Development Services Director. Should any deviations be determined not to be in substantial compliance with the approved plans, they shall be reviewed in a new Development Review application process.

B2. Prior to the issuance of a building permit, a lot line adjustment or lot merger shall be recorded to ensure that the proposed building will not be constructed across existing property lines.

B3. Prior to issuance of a building permit, a detailed landscape and irrigation plan showing the landscaping shall be submitted for approval by the Development Services Director. All landscape and irrigation improvements shall be designed and installed per the requirements of the City of Tracy Off-Street Parking Requirements, the Water Efficient Landscape Guidelines, and all other applicable City standards.

B4. Prior to the issuance of a building permit, an Agreement for Maintenance of Landscape and Irrigation Improvements shall be executed and financial security submitted to the Development Services Department. The Agreement shall ensure maintenance of the on-site landscape and irrigation improvements for a period of two years. Said security shall be equal to the actual material and labor costs for installation of the on-site landscape and irrigation improvements, or \$2.50 per square foot of on-site landscape area.

B5. All PG&E transformers, phone company boxes, trash enclosures or compactors, Fire Department connections, backflow preventers, irrigation controllers, and other on-site utilities, shall be vaulted or screened from view from any public right-of-way, behind structures or landscaping, to the satisfaction of the Development Services Director.

B6. All vents, gutters, downspouts, flashing, electrical conduit, etc. shall be internal to the buildings when feasible, and otherwise shall be painted to match the color of the adjacent surface or otherwise designed in harmony with the building exterior to the satisfaction of the Development Services Director.

B7. Prior to the issuance of a certificate of occupancy, bicycle parking spaces shall be provided in accordance with Tracy Municipal Code Section 10.08.3510 to the satisfaction of the Development Services Director.

B8. All exterior lighting shall be directed downward, onto the parking and maneuvering surface and away from the public rights-of-way.

B9. All improvements shall be consistent with the Tracy Municipal Code, Northeast Industrial Specific Plan, Standard Plans, and other applicable City Regulations.

B10. Where landscape planters are parallel and adjacent to the side of vehicular parking spaces, a 12" wide concrete curb shall be placed adjacent to the parking space to allow for pedestrian access to vehicles without damage to the landscape areas.

B11. Prior to final inspection of certificate of occupancy, on-site circulation signs shall be installed to the satisfaction of the Development Services Director.

B12. No roof mounted equipment, including, but not limited to, HVAC units, vents, fans, antennas, sky lights and dishes whether proposed as part of this application, potential future equipment, or any portion thereof, shall be visible from Grant Line Road, Chrisman Road, Pescadero Road, I-205 or any other public right-of-way. The parapet walls shall be designed at the appropriate height to screen such equipment.

B13. Prior to the issuance of a building permit, a detailed plan of the trash enclosures or compactors shall be submitted, showing solid metal doors, interior concrete curbs, walls of at least eight feet in height, a roof structure, and exterior materials compatible with the adjacent building exteriors.

B14. Prior to the issuance of a building permit, a detailed plans for the amenities in the employees break areas shall be submitted for review and approval by Planning staff.

C. Engineering Conditions

Contacts: Al Gali (209) 831-6436 al.gali@cityoftracy.org

C.1. Technical Analysis incorporated into these Conditions.

Developer shall comply with the applicable recommendations of the technical analyses/reports prepared for the Project listed as follows:

- C.1.1 Technical Memorandum "Seefried Warehouse (D22-0045): I-205 & MacArthur Drive Interchange Ramp Queuing Analysis", Prepared by Frederik Venter, PE, and Colin Ogilvie of Kimley Horn and Associates, dated November 10, 2023.
- C.1.2 Technical Memorandum "Seefried Warehouse (D22-0045) Local Transportation Analysis" prepared by Koosun Kim, PE of Kimley Horn and Associates, Dated November 10, 2023
- C.1.3 Technical Memorandum "Seefried Warehouse Sewer Collection System Hydraulic Capacity Analysis" prepared by Aja Verburg, P.E., and Bao Cha, EIT, of Blackwater Consulting Engineers.
- C.1.4 Email dated November 15, 2023, from Colin Ogilvie of Kimley Horn to Kevin Van Katwyk of Interwest group, on answering questions from the completed traffic studies on the Seefried Warehouse in Tracy.

C.2. Grading Permit

Prior to Grading Permit release, Developer shall provide all documents related to said Grading Permit required by City requirements and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.2.1 All grading work (on-site and off-site) shall require a grading plan and a grading permit. The Developer will complete all requirements set forth in this section.
- C.2.2 Prior to grading permit release, the developer shall prepare grading and drainage plans for all required earthmoving and drainage to serve the Project (on-site and off-site) including grading details, grading quantities, and retaining walls (Grading Plans). Said Grading Plans shall be prepared in accordance with the City's Subdivision Ordinance (Tracy Municipal Code (TMC) Chapter 12.36), City Design Documents as defined in Title 12 of the TMC, and these Conditions of Approval.

- C.2.3 Prior to grading permit release, the developer shall prepare Grading Plans that are stamped and prepared under the supervision of a California registered Civil Engineer (CA-CE). Grading Plans shall be prepared on a 24-inch x 36-inch size 20-pound bond white paper and shall use the City's Title Block.
- C.2.4 Prior to grading permit release, the developer shall prepare Grading Plans in substantial conformance all site building, parking, utility, grading, and other site improvements identified on submitted site improvements drawing package for D22-0045 Seefried Warehouse located on a vacant 19.3-acre parcel at northwest corner of Chrisman Road and Grant Line Road in Tracy CA, dated October 27,2023.
- C.2.5 Prior to grading permit release, the developer shall provide a PDF copy of the Project's Geotechnical Report prepared and stamped by the Project's California registered Geotechnical Engineer (CA-GE). The technical report must include relevant information related to soil types and characteristics, soil bearing capacity, compaction recommendations, slope recommendations, retaining wall recommendations, paving recommendations, and elevation of the highest observed groundwater level. All Grading Plans and grading work shall be performed and completed in accordance with the recommendation(s) of the Project's CA-GE.
- C.2.6 Prior to grading permit release, the developer shall depict in the Grading Plans to use reinforced or engineered masonry blocks for retaining soil when the grade differential exceeds twelve (12) vertical inches. The developer will include construction details of these minor retaining walls with the Grading Plans. The developers may use slopes among the lots to address the grade differential but said slope shall not exceed a slope gradient of three (3) horizontal feet to one (1) vertical foot unless approved by a CA-GE. Slope easements may be required and will be subject to approval by the City Engineer and if adjacent and affected property(s) owner(s) grants said easements.
- C.2.7 Slopes are an acceptable option as a substitute to engineered retaining walls, where cuts or fills do not match existing ground or final grade with the adjacent property or public right of way, up to a maximum grade differential of two (2) vertical feet, subject to approval by the City Engineer.
- C.2.8 Prior to grading permit release, the developer shall depict proposed retaining walls and masonry walls on the grading plans. The Developer is required to include construction details, and structural calculations for retaining walls and masonry walls to Building Safety. Retaining wall and masonry wall design parameters will be included in the geotechnical report.
- C.2.9 Prior to grading permit release, the developer shall provide a copy of the approved building permit from Building Safety for any retaining wall depicted on the Grading Plans.
- C.2.10 Prior to grading permit release, the developer shall obtain all applicable signatures by project's CA-GE, city departments, and outside agencies (where

applicable) on the Grading Plans including signatures by the Fire Marshal prior to submitting the Grading Plans to Engineering for City Engineer's signature.

- C.2.11 Prior to grading permit release, the developer shall depict on the grading plans erosion control measures and shall be implemented in accordance with the Grading Plans. All grading work not completed before October 15 may be subject to additional requirements as applicable. Grading Plans shall specify all proposed erosion control methods and construction details to be employed and specify materials to be used during and after the construction and shall be included in the grading permit.
- C.2.12 Prior to grading permit release, the developer shall pay Grading Permit fees which include grading, plan checking, and inspection fees, and other applicable fees per the fee schedule.
- C.2.13 Prior to grading permit release, the developer shall obtain written approval (i.e., recorded easements for slopes, drainage, utilities, access, parking, etc.) of all other public agencies and/or private entities with jurisdiction over the required public and/or private facilities and/or property. A copy of the recorded easement document(s) shall be provided to the City upon request.
- C.2.14 Prior to grading permit release, the developer shall obtain a demolition permit to remove all existing structures, utilities or other improvements located within the project's limits. The developer shall conduct an asbestos survey of the existing buildings in accordance with City requirements and identify all hazardous materials that must be removed prior to demolition and removal of the existing buildings. The contractor shall then remove all asbestos and all hazardous materials in accordance with state and city requirements prior to new construction to the satisfaction of the City Engineer. Demolition of the existing site utilities disturb, water, sewer, drainage, electrical, phone or internet service to the existing houses of this facility the developer shall install temporary services until permanent services to these existing houses can be restored. If demolition of parking, sidewalks and access to existing residential buildings takes place, the developer shall provide adequate notice to the existing residents of the demolition of the site. Prior to any demolition of the site, the contractor shall a temporary fence of the entire construction of area of new project. At all times, the developer shall maintain safe and clean working conditions for the general public and those residents that will be living in close proximity to the construction of the project. At all times, the developer shall provide adequate warning devices, barricades, metal plating of open trenches and other safety measures installed during construction.
- C.2.15 Prior to grading permit release, the developer shall have obtained the necessary permits to abandon or remove all existing on-site water well(s), septic system(s), leech field(s), and title drain(s), if any, in accordance with City and San Joaquin County requirements. The developer shall be responsible for all costs associated with the abandonment or removal of the aforementioned items including the cost of permit(s) and inspection. A copy of the permits shall be provided to the City upon request.

- C.2.16 Prior to grading permit release, the developer shall provide a copy of the approved Incidental Take Minimization Measures (ITMM) habitat survey [San Joaquin County Multi-Species Habitat Conservation & Open Space Plan (SJMSCP)] from San Joaquin Council of Governments (SJCOG) prior to grading permit.
- C.2.17 Prior to grading permit release, the developer shall provide a copy of the approved Air Impact Assessment (AIA) with an Indirect Source Review (ISR) and Dust Control from San Joaquin Valley Air Pollution Control District (SJVAPCD) prior to grading permit.
- C.2.18 Prior to grading permit release, the developer shall provide to the City's it is written plan to address archeological, historical, or other paleontological findings. If at any point during grading that the developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall 1) inform the City Engineer; 2) shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and 3) subsequent Cultural Resource Policy or mitigation in any applicable environmental document.
- C.2.19 Seven calendar days after the release of the grading permit, the developer shall request a pre-construction (grading) meeting with the City's Construction Management team. At this meeting, the developer shall provide three (3) paper copies of the Grading Plans. The developer shall provide additional copies as requested.

Grading Permit Special Condition(s)

- C.2.20 Prior to grading permit release, the developer shall prepare plans that depict undergrounding all existing overhead utilities such as electric, TV cable, telephone, and others along the project frontage of Grant Line Road and Chrisman Road. Each dry utility shall be installed at the location approved by the respective owner(s) of dry utility and the developer shall coordinate such activities with each utility owner. All costs associated with the underground shall be the sole responsibility of the developer and no reimbursement will be due from the City. Exemptions from this condition are allowable by the TMC.

C.3.0 Encroachment Permit and Improvement Agreement(s)

Prior to construction permit release, the developer shall provide all documents as required by City requirements and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.3.1 All construction activity involving public improvements (on-site and off-site) will require approved plans; an encroachment permit; and a fully executed improvement agreement (Off-site Improvement Agreement - OIA or Subdivision Improvement Agreement - SIA). Any construction activity involving public

improvements without all three items is prohibited. The developer will complete all requirements set forth in this section.

- C.3.2 Prior to construction permit release, the developer shall prepare public infrastructure improvement plans for all required improvements required to serve the Project (on-site and off-site) including construction details, paving sections, joint-trench, traffic signals, etc. (Improvement Plans).
- C.3.3 Prior to construction permit release, the developer shall prepare Improvement Plans that are stamped and prepared under the supervision of a California registered Civil Engineer (CA-CE). Other disciplines' work shall also be stamped and prepared under the supervision of each disciplines' registered design professional.
- C.3.4 Prior to construction permit release, the developer shall prepare Improvement Plans on a 24-inch x 36-inch size 20-pound bond white paper and shall use the City's Title Block. Said Improvement Plans and the improvements and details depicted on said Improvement Plans shall be prepared in accordance with the City's Subdivision Ordinance (Tracy Municipal Code (TMC) Chapter 12.36), City Design Documents as defined in Title 12 of the TMC, City's Facilities Master Plan for storm drainage, roadways, wastewater, and water as adopted, amended, and updated by the City, or as otherwise specifically approved by the City, and all requirements described in the documents described hereon, and these Conditions of Approval.
- C.3.5 Prior to construction permit release, the developer shall prepare Improvement Plans in substantial conformance all site building, parking, utility, grading, and other on-site and off-site improvements identified on submitted site improvements drawing package for D22-0045 Seefried Warehouse located on a vacant 19.3-acre parcel at northwest corner of Chrisman Road and Grant Line Road in Tracy CA, plans dated October 27,0023.
- C.3.6 Prior to construction permit release, the developer shall provide a PDF copy of the Project's Geotechnical/Soils Report prepared and stamped by the Project's CA-GE. The technical report must include relevant information related to street pavement thickness (asphalt concrete and aggregate base), compaction recommendation, building pad compaction recommendation, soil bearing capacity, retaining wall footing design parameters, slope recommendations, peculation rates, ground water depth, and other pertinent information for grading the site and building the building foundations.
- C.3.7 Prior to construction permit release, the developer shall prepare Improvement Plans to specifically include, but not be limited to all existing and proposed utilities such as domestic water line, irrigation service, water fire service, domestic water services, storm drain, sanitary sewer, all existing surface improvements such as PCC, curb, gutter, sidewalk, ADA ramps, fire hydrants, streetlights, landscaping, irrigation, irrigation controllers, striping, etc. including the size and location of all pipes.

- C.3.8 Prior to construction permit release, the developer shall prepare Improvement Plans to specifically include, but not be limited to dimensions of existing and proposed utilities and surface improvements.
- C.3.9 Prior to construction permit release, the developer shall identify and depict on the Improvement Plans any frontage improvements of pavement, curb and gutter, sidewalk, ADA ramps, fire hydrants, streetlights, landscaping, and irrigation in need of repair (cracked, settled, and/or damaged) along the Project's frontage. The developer shall note on the Improvement that said improvement in need of repair shall be repaired accordance with City requirements and to the Satisfaction of the City Engineer. Any repair, removal, and replacement shall be in an equivalent manner to the current improvement, i.e., similar width, color, finish, meander, etc.
- C.3.10 Prior to construction permit release, the developer shall dedicate a ten (10) feet wide Public Utility Easements (PUE) behind the right-of-way/property line.
- C.3.11 Prior to construction permit release, the developer shall provide all supporting engineering calculations, materials information or technical specifications, cost estimate, and technical reports shall be submitted at the time of grading, site improvement and building permit reviews. All improvement plans shall contain a note stating that the Developer will be responsible for preserving and protecting all existing survey monuments and other survey markers such as benchmarks prior to building permits.
- C.3.12 Prior to construction permit release, the developer shall install painted tube steel perimeter fence around the site and install electronic gates at each driveway entrance
- C.3.13 Public Right-of-Way Landscaping and Irrigation – Prior to construction permit release, the developer shall prepare landscape and irrigation plans that depict the following:

The developer shall landscape and irrigate the existing area from the back of curb to the new perimeter fence as per current adopted City landscape standards along the project frontage of Chrisman Road, and Grant Line Road. All landscape and irrigation plans shall be based on the approved LC1 and LC2 preliminary plans submitted with the approved site development package. All landscape drawings shall be prepared on a 24-inch x 36-inch size 20-pound paper that incorporates all requirements described in these Conditions of Approval, and the City's Design Documents as defined in Title 12 of the Tracy Municipal Code. The developer shall use the latest title block on the said plans. The said landscape and irrigation plans shall be prepared by a California licensed landscape architect. The developer can either protect-in-place the existing sidewalk and repair any cracked, settled, and/or damaged sidewalk or remove and replace the sidewalk so long as the replacement sidewalk is similar to the current sidewalk, i.e., similar width, meanders, etc. along Chrisman Road. Along the project frontage, the developer shall also install street trees in the

landscaped area between the site fence, to the existing meandering sidewalk and from the sidewalk to the back of curb and gutter of Chrisman and Grant Line Roadways. The developer shall also install 2 min-3-foot-high (max) graded berms with additional street trees, shrubs, ground cover, and other landscaping as required at distance of 15 from the existing sidewalk to the existing right of way line. The landscaping and irrigation shall conform to MWELO standards. If recommended, the developer shall use structural soil as fill around the placement street trees in large 15- feet landscape areas as well as narrower landscape areas less than five (5) feet wide. The developer shall install new proposed monument signs and their appurtenances, and any items such as mailboxes, etc. out of this clear site visibility zones of all driveway entrances to the site.

C.3.14 Storm Water

Prior to construction permit release, the developer shall depict on the Improvement Plans the existing storm drain located in Chrisman Road for the Project's storm drain connection. The Project's storm water drain connection to the City's storm water system shall be in accordance with City requirements and to the satisfaction of the City Engineer.

The developer shall provide the calculations for the sizing of the storm drain(s) and shall be submitted with the hydrology and storm water report during plan review. The developer shall comply with the applicable requirements of the city's storm water masterplan adopted by the City Council in 2012.-The drainage flows from site bio-retention basin shall flow into the city 24 inch and 42-inch storm drain lines that flow north to Chrisman basin #1 that is currently under construction and Chrisman basin #2 (See Exhibit A). In the event that this new Chrisman basin # 1 is not accepted when this project is ready to connect the site to the existing city storm drainage system, the developer shall meet with City staff and agree to a temporary interim solution of handling the anticipated drainage flows of the project until such time the Chrisman basin #1 is accepted by the City. This interim solution may consist of restricting the drainage flows from the site to predeveloped conditions or finding an alternative site to detain drainage from the site until the new Chrisman basin #1 is accepted by the City. The developer shall work with City staff and City design consultant West Yost and Associates to develop an interim alternative solution acceptable to the City Engineer.

All proposed basin(s) shall comply with the applicable requirements of the city's storm water masterplan adopted by the City Council in 2012 and any subsequent amendments.

C.3.15 As required by Item No. 15, Section V on page 94 of the 2008 Design Standards, storm drain run-off will not cross lot lines. Generally, storm drainage release point is a location at the boundary of the adjacent public right-of-way where storm water leaves the property, in a storm event and that the property's on-site storm drainage system fails to function or it is clogged. Site grading shall be designed such that the project's storm drainage overland release point will be directly to the adjacent public right-of way that has a functional storm drainage system, and

this existing storm drainage line has adequate capacity to drain storm water from the property. The storm drainage release point is recommended to be at least 0.70-feet lower than the new building's finish floor elevation and shall be designed and improved to the satisfaction of the City Engineer.

C.3.16 Per the 2012 Storm Drainage Master Plan, this parcel is master planned to drain into an underground pipe. The on-site storm drains should be sized for the ten (10) year discharge, using the one hundred (100) year water surface elevation for the point of discharge as the starting water surface elevation (tailwater elevation) for capacity or HGL analyses.

Prior to construction permit release, the developer shall depict on the Improvement Plans three (3) bioretention basins with bio-treatment soils to the satisfaction of the City C-3 requirements and to the satisfaction of the City Engineer. On-site runoff from the site landscaping, pavement and roofs will discharge directly into one of these bioretention basins which will then filter the water that will drain into the city storm drain system located in Chrisman Road.

C.3.17 Sanitary Sewer

Prior to construction permit release, the developer shall depict on the Improvement Plans the project's permanent sanitary sewer line laterals from each proposed building to the project's sewer connection in Chrisman Road in accordance with the City's Design Documents and to the satisfaction of the City Engineer. The developer shall install a 6-inch diameter sewer lateral from the new building to a new sewer manhole located on the existing sewer main in Chrisman Road.

C.3.18 Water Distribution

Prior to construction permit release, the developer shall depict on the Improvement Plans the Project's permanent potable domestic, irrigation, and fire water services. Fire sprinkler and irrigation water services shall connect to every building in the project that complies with the city design documents. Waterline sizing, layout and looping requirements for this project shall comply with city requirements. During the construction of the project, the developer is responsible for providing water infrastructure (temporary or permanent) capable of delivering adequate fire flows and pressure appropriate to the various stages of construction and as approved by the Fire Marshal.

The developer shall connect the proposed onsite domestic water and fire sprinkler systems to the existing city water line located on Chrisman Road. This onsite domestic water and fire protection system shall connect to the new building for domestic water and fire protection. The pavement trenching and restoration in Chrisman Road shall be per City Standards.

Interruption to the water supply to the existing businesses and other users will not be allowed to facilitate construction of improvements related to the Project.

The developer shall be responsible for notifying business owner(s) and users, regarding construction work. The written notice, as approved by the City Engineer, shall be delivered to the affected residents or business owner(s) at least seventy-two (72) hours before the start of work. Prior to starting the work described in this section, the Developer shall submit a Work Plan acceptable to the City that demonstrates no interruptions to the water supply, and Traffic Control Plan to be used during the installation of the off-site water mains and connections.

The Project's water service connections shall use a remote-read (radio-read) master water meter (the water meter to be located within City's right-of-way) and a Reduced Pressure Type back-flow protection device in accordance with City requirements. The City Engineer shall approve the location of the meters.

After improvement, acceptance, repair, and maintenance of the water service from the water meter to the point of connection with the water distribution main in the street shall be the responsibility of the City. Water service repairs after the water meter is the responsibility of the Developer or individual lot owner(s).

Prior to improvement, acceptance, repair and maintenance of all on-site water lines, laterals, sub-water meters, valves, fittings, fire hydrant and appurtenances shall be the responsibility of the developer.

All costs associated with the installation of the project's water connection(s) including the cost of removing and replacing asphalt concrete pavement, pavement marking and striping such as crosswalk lines and lane line markings on existing street or parking area(s) that may be disturbed with the installation of the permanent water connection(s), or domestic water service, and other improvements shall be paid by the developer.

Fire Service Line(s) and Hydrants – Location and construction details of fire service line including fire hydrant(s) that are to serve the Project shall be protected with 4 concrete bollards and layout approved by the City Fire Marshal prior to the approval of the Improvement Plans by the City Engineer. The developer shall submit a layout of the fire hydrants and obtain written approval of the location of fire hydrants and fire connections to the building from the Fire Marshal, prior completion of the site water and sprinkler system design.

C.3.19 Prior to construction permit release, the developer shall prepare Joint Trench Plans and Composite Utility Plans, prepared on a 24-inch x 36-inch size 4-millimeter thick mylar for the installation of dry utilities such as electric, gas, TV cable, telephone, and others that will be located within the ten (10) feet wide P.U.E. to be installed to serve the Project. All private utility services to serve Project must be installed underground or relocated to be underground, and to be installed at the location approved by the respective owner(s) of the utilities from the street or an existing or proposed utility easement to the building(s).

Prior to construction permit release, the developer shall dedicate 10-feet wide P.U.E. for access to these new utilities for re-installation, replacement, repair, and maintenance work to be performed by the respective utility owner(s).

C.3.20 Prior to construction permit release, the developer shall provide a signed and stamped Engineer's Estimate that summarizes the cost of constructing all the public improvements shown on the Improvement Plans.

C.3.21 Prior to construction permit release, the developer shall provide the payment of fees required by the City requirements including but not limited to plan checking, grading, construction inspection, agreement processing, encroachment permits, and all other fees. The engineering review fees will be calculated based on the fee rate adopted and updated by the City Council.

C.3.22 Traffic Control Plan - Prior to starting work within the City's right-of way, the Developer shall submit a Traffic Control Plan (TCP). TCP can be split among the different construction phases. TCP will show the method and type of construction signs to be used for regulating traffic at the work areas within all city streets. TCP shall conform to the Manual on Uniform Traffic Control Devices as amended by the State of California, latest edition (MUTCD-CA). TCP shall be prepared under the supervision of, signed and stamped by a Registered Civil Engineer or Registered Traffic Engineer.

Access and Traffic Circulation to Existing Businesses/Residents – The developer shall take all steps necessary to plan and construct site improvements such that construction operations do not impact safety and access (including emergency vehicles) to the existing businesses and residents throughout the duration of construction. The developer shall coordinate with the owners to minimize impacts on existing businesses. All costs of measures needed to provide safe and functional access shall be borne by the developer.

C.3.23 No street trench shall be left open, uncovered, and/or unprotected during night hours and when the Developer's contractor is not performing construction activities. Appropriate signs and barricades shall be installed on the street and on all trenches during such times. If the developer or its contractor elects to use steel plates to cover street trenches, the said steel plates will be skid-resistant, and shall be ramped on all sides. Ramps will be a minimum two-foot wide and will run the entire length of each side of the plate.

C.3.24 If at any point during utility installation or construction the developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the developer shall 1) inform the City Engineer; 2) shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and 3) subsequent Cultural Resource Policy or mitigation in any applicable environmental document.

C.3.25 Off-site Public Improvements - Prior to the developer commencing construction of off-site public improvements, the developer shall possess a fully executed Off-

site Improvement Agreement (OIA). The developer shall also complete all the following offsite improvements to the satisfaction of the City Engineer:

- a. The developer shall construct a dedicated right turn on south bound Chrisman Road based on safe stopping distance at 45 mph design speed being 360 feet long, into a dedicated right turn (45' curb return, plus 225' straight curb, plus 90' lane transition) into the site driveway. This dedicated right turn lane width shall be 13' wide (11' wide travel lane plus 2' wide for the curb and gutter) from the existing outside southbound lane and relocating the west face of curb 0'-5' feet into the parkway. This right turn lane would impact the existing sidewalk, signs, curb, and cutter that would need to be relocated in the west parkway of Chrisman Road outside this new curb. This lane widening will cause the relocation of an existing traffic signal pole located at the north return of the driveway entrance on Chrisman Road and placed 2' behind the newly constructed north curb return. Movement of this traffic pole will cause the traffic signal heads on this existing pole to be relocated to match up with the existing SB travel lanes on Chrisman Road. The developer shall construct a widened driveway entrance to Chrisman Road to approximately 52 ' - 56' to provide for two outbound lanes (14' wide eastbound dedicated right and through lane, plus 12' wide dedicated left turn lane), and two entrance lanes (12' wide lane, 14' wide right turn lane) into the site. This driveway entrance shall be widened to accommodate the right turning movement of a WB67 STAA design vehicle commonly used for interstate trucking to enter the site from this dedicated SB right turn lane into the center 12' wide entrance lane without impacting the eastbound dedicated left turn outbound lane in the same driveway entrance. The curb returns of driveway entrance shall be a minimum of 30' to 45' radius to accommodate the turning movements of this said truck. So not to impact southbound traffic on Chrisman Road, the security gate shall be left open during peak delivery or business hours so trucks can more quickly enter the site without stopping and thus avoiding a traffic backup on SB Chrisman Road. This dedicated right turn at this driveway entrance shall also accommodate passenger vehicles that shall have a dedicated 14' wide right turn lane for them to enter the site to a separate driveway to the employee parking lot located along the west side of the parcel. All these improvements shall be constructed to the satisfaction of the City Engineer.
- b. Prior to construction permit release, the developer shall reconstruct any damaged frontage improvements of curb and gutter, sidewalk, ADA ramps and landscaping along Chrisman Road to the most recent City requirements and standards.
- c. Prior to construction permit release, the developer shall construct a new six (6) feet wide sidewalk, 5 feet behind the existing curb and gutter along the project frontage of Grant Line Road and replace any damaged curb and gutter along the project frontage of Grant Line Road to City requirements to satisfaction of the city engineer. This new six (6) feet wide sidewalk shall connect the existing sidewalks on Grant Line Road and Chrisman Road and be in the same alignment as the previously constructed sidewalks within the

same street in accordance with City standards. The developer may need to construct two new ADA ramps located at the northwest curb returning at the intersection of Grant Line Road and Chrisman Road in accordance with city ADA standards. The developer shall file for an encroachment permit for construction of all improvements in the city right of way.

- d. Prior to construction permit release, the developer shall install three (3) new driveways: a forty (40) feet wide truck entrance driveway along Grant Line Road, a thirty (30) feet wide employee entrance driveway along Grant Line Road and a 56 feet wide driveway along Chrisman Road at the locations shown on approved project site plan. All three driveways shall be constructed in accordance with City ADA ramp standards at each sidewalk approach with the driveway in accordance with City requirements.
- e. Developers shall pay all required permit processing fees including plan check and inspection fees to the City Engineering department prior to construction.

Improvement Security – The developer shall provide an improvement security for all public facilities, as required by the Improvement Agreement. The form of the improvement of security may be a bond, or other form in accordance with the Government Code, and the TMC. The amount of the improvement security shall be in accordance with Title 12 of the TMC.

Insurance – The developer shall provide written evidence of insurance coverage that meets the terms of the Improvement Agreement.

Construction Permit Special Condition(s)

- C.3.26 Prior to building or grading permit, the developer shall prepare Joint Trench Plans and Composite Utility Plans, prepared on a 24-inch x 36-inch size 4-millimeter thick mylar for the installation of dry utilities such as electric, gas, TV cable, telephone, and others that will be located within the ten (10) feet wide P.U.E. to be installed to serve the Project. All private utility services to serve project must be installed underground or relocated to be underground, and to be installed at the location approved by the respective owner(s) of the utilities from the street or an existing or proposed utility easement to the building(s) shall be dedicated. If necessary, the developer shall dedicate 10-feet wide P.U.E. for access to these new utilities for re-installation, replacement, repair, and maintenance work to be performed by the respective utility owner(s) in the future.
- C.3.27 Prior to construction permit release, the developer shall obtain all applicable signatures by City departments and outside agencies (where applicable) on the Improvement Plans including the Fire Marshal prior to submitting said plans to Engineering for City Engineer's signature.

C.4. Building Permit

Prior to building permit release, the developer shall demonstrate, to the satisfaction of the City Engineer, compliance with all required Conditions of Approval, including, but not limited to, the following:

- C.4.1 The developer has satisfied all the requirements set forth in these Conditions of Approval.
- C.4.2 Prior to building permit release, the developer shall pay the development impact fees to the satisfaction of the City Engineer.
- C.4.3 Prior to building permit release, the developer shall have obtained a Grading Permit.

Building Permit Special Condition(s)

- C.6.6 Prior to construction permit release, the developer shall dedicate a thirty (30) feet additional right of way along Grant Line Road shall have a right-of-way, and a ten feet (10 feet) wide Public Utility Easements (PUE) behind the proposed sidewalk.

C.5. Acceptance of Public Improvements and Occupancy

Prior to acceptance of public improvements, the developer shall demonstrate to the satisfaction of the City Engineer completion of the following:

- C.5.1 The developer has satisfied all the requirements set forth in these Conditions of Approval.
- C.5.2 Prior to any form of occupancy, the developer shall demonstrate satisfactory completion of all required/conditioned improvements. The developer shall use diligent and good faith efforts in taking all actions necessary to construct all public facilities required to serve the Project, and the developer shall bear all costs related to construction of the public facilities (including all costs of design, construction, construction management, plan check, inspection, land acquisition, program implementation, and contingency).
- C.5.3 Prior to any form of occupancy, the developer shall provide Certified "As-Built" Improvement Plans (or Record Drawings) from the Project's CA-CE. Upon completion of the construction by the developer, the city, at its sole discretion, temporarily release the original mylars of the Improvement Plans to the Developer so that the developer will be able to document revisions to show the "As-Built" configuration of all improvements.
- C.5.4 Prior to any form of occupancy, the developer shall provide both AutoCAD files (including all X-references files), and GIS Shape files (both in formats approved by the City) for the public improvements.

- C.5.5 Prior to any form of occupancy, the developer shall complete potable domestic and irrigation water service connection(s). The developers shall also complete all fire water lines to fire sprinkler system and on-site fire hydrants. These items are to be installed per City requirements.
- C.5.6 Prior to any form of occupancy, the developer shall complete all sewer improvements. The developer shall also complete but not limited to reconstructing PCC curb, gutter, and sidewalk, replacing asphalt concrete pavement, restoring pavement marking and striping, and other improvements that are disturbed because of installing the Project's permanent sewer connection.
- C.5.6 Prior to acceptance of public improvements, the developer shall repair or reconstruct street pavement, curb, gutter and sidewalk and other public improvements for this Project, if determined by the City Engineer to be in poor condition or damaged by construction activities related to the Project.
- C.5.7 Prior to acceptance of public improvements, the developer has completed the ninety (90) day public landscaping maintenance period.
- C.5.8 Prior to improvement acceptance Per Section 21107.5 of the California Vehicle Code, the developer shall install signs at all entrance(s) of the Project stating that the site parking areas is privately owned and maintained and are not subject to the public traffic regulations or control. Said signs must be conspicuously placed, plainly visible, and legible during daylight hours from a distance of one hundred (100) feet, if applicable.
- C.5.9 Prior to improvement acceptance, the developer shall submit warranty bonds.
- C.5.10 Prior to acceptance of public improvements, the developer shall have constructed all public improvements in accordance with City requirements, the recommendation(s) of the Project's (CA-CE), and to the satisfaction of the City Engineer.
- C.5.11 Release of Improvement Security – Release of improvement security shall be in accordance with the requirements of Title 12 of the TMC. The Monumentation Bond will be released to the developer after the City Council's acceptance of the public improvements and if the developer meets the terms set in Section 66497(c) of the Subdivision Map Act. All survey monuments shown on the Final Map, if applicable, must be installed. Any altered, damaged, or destroyed survey monuments and/or benchmarks shall be re-established. The developer shall submit centerline tie sheets or a record of survey for the following: new public streets; re-established survey monuments, and/or benchmarks. If the developer destroyed, altered, and/or reconstructed any existing curb returns, the developer shall also submit corner records. Any survey document will be submitted the city and to the San Joaquin County Surveyor to comply with California Business and Professions Code Section 8771(c). Said work shall be executed by a California licensed Land Surveyor at the developer's sole expense.

Acceptance or Occupancy Special Condition(s)

C.5.12 Prior to acceptance of public improvements, the developer shall repair any damage to asphalt pavement of existing WB Grant line Road (lip of gutter to lip of gutter) along the project frontage. If required, the developer shall also remove and replace failed aggregate base, grade, and subgrade in kind along the project frontage. This work shall be done in accordance with City pavement requirements and specifications to the satisfaction of the City Engineer.

C.5.13 Prior to any form of occupancy, the developer shall also install painted tube steel perimeter fence around the site prior.

C.6. Special Conditions

C.6.1 When Street cuts are made for the installation of utilities in the paved street, the Developer shall conform to Section 3.14 of the 2008 Design Standards and is required install a 2-inch-thick asphalt concrete (AC) overlay with reinforcing fabric at least 25-feet from all sides of each utility trench. A 2-inch-deep grind on the existing AC pavement will be required where the AC overlay will be applied and shall be uniform thickness to maintain current pavement grades, cross and longitudinal slopes. This pavement repair requirement is when cuts/trenches are perpendicular and parallel to the street's direction.

C.6.2 Nothing contained herein shall be construed to permit any violation of relevant ordinances and regulations of the City of Tracy, or other public agency having jurisdiction. This Condition of Approval does not preclude the City from requiring pertinent revisions and additional requirements to the improvement plans, prior to the City Engineer's signature on the improvement plans, and prior to issuance of Grading Permit, Encroachment Permit, Building Permit, if the City Engineer finds it necessary due to public health and safety reasons, and it is in the best interest of the City. The developer shall bear all the cost for the inclusion, design, and implementation of such additions and requirements, without reimbursement or any payment from the City.

C.6.3 If water is required for the project during construction, the developer shall obtain an account for a temporary water service and register for a temporary water meter with the City Finance Department and Public Works Departments. The developer shall pay all fees associated with obtaining the account number and temporary water meter for the water service.

C.6.4 Developer shall obtain an account for the water service to the project and register the water meter with the Finance Department and Public Works department. The developer shall prepare and submit a map depicting the location of the water meter on an 8.5-inch X 11-inch sheet to the Finance Department.

C.6.5. Prior to construction permit release, the developer shall design and install lights around the parameter of the site and in the interior of the site to obtain the minimum coverage of 1.5 candles per square foot of site area throughout the site. The

developer shall submit yard lighting details, photometrics and yard lighting plans to the City building and Engineering departments for review and approval prior to building permit.

C.6.6. Prior to construction permit release, the developer shall prepare a lot line merger of parcel A (599M365) to the existing parcel to the satisfaction of the City Engineer and County Surveyor at building permit and recorded prior to occupancy.

C.6.7. Prior to construction permit release, the developer shall abandon the following:

- a. an existing gas pipeline and 10" wide easement 515OR351 and in accordance with County requirements and to the satisfaction of the city engineer.
- b. Prior to construction permit release, the existing electrical line, and poles along the easement 160OR250 shall be removed and the easement shall be abandoned to the satisfaction of the City Engineer.
- c. Prior to construction permit release, the developer shall abandon the existing 36" Escudero irrigation line crossing through the site shall be removed and construct a new 36" irrigation line per the alignment shown on sheet 5 of preliminary utility plans of Seefried industrial warehouse preliminary improvement plans and per specifications of the Pescador Irrigation District and to the satisfaction of the City Engineer.

C.6.8 Prior to construction permit release, the developer shall design a parking lot of 309 parking stalls located on west side of the warehouse building connecting to westerly driveway entrance on Grant Line Road and the driveway entrance to Chrisman Road. Within this parking lot shall be 286 standard size parking stalls, 3 ADA parking stalls, 2 ADA Van Pool parking stalls, 18 EV Van Pool parking stalls, 13 EV parking stalls, 1 ADA EV van parking stall, 1 ADA EV parking stalls, 136 55'long truck trailer parking stalls, 32 bicycle parking stalls and constructed prior to occupancy.

Building Division Conditions of Approval

D1. Prior to commencement of construction, applicant shall submit to the Building Safety Division plans that demonstrate compliance with minimum number of accessible spaces required per CBC 11B-208.

D2. Prior to the construction of onsite improvement including but not limited to walks, sidewalks, utilities, signs, lights, retaining walls, sound walls, underground vaults, transformer, trellis, trash enclosures, etc., applicant shall submit to the Building Safety Division construction drawings and supporting documents that conform to the current Title 24 California Code of Regulations at time of application.

D3. Prior to commencement of construction, applicant shall submit to the Building Safety division construction plans and supporting documents for the building conforming to Title 24 California Code of Regulations and Tracy Municipal Code that are current at the time of submittal.

D4. Prior to commencement of demolition of any structures, applicant shall submit demolition plans to the Building Safety Division in conformance with California Building Code section 105.1.

Fire Prevention Conditions of Approval

E1. Prior to building permit approval, applicant shall satisfy all conditions from the South San Joaquin County Fire Authority letter dated 10/14/19.