



August 19, 2025

Regular City Council Meeting

Resolution Exhibits for Agenda Item 3.A

Please contact the City Clerk's Office at (209) 831-6105 with any questions.

City of Tracy
Vesting Tentative Subdivision Map Findings
Development Review Findings
Triway Project
Application Number TSM24-0001 and DR24-0003
City Council – July 1, 2025

Vesting Tentative Subdivision Map Findings

In accordance with Tracy Municipal Code (TMC) Section 12.28.020, the City Council has final authority on all Vesting Tentative Subdivision Maps, following recommendation by the Planning Commission. Vesting Tentative Subdivision Maps must meet the requirements set forth in TMC Chapters 12.28 and 12.16, including a noticed public hearing.

After consideration of the entire record, under TMC Sections 12.28.040 and 12.16.070, the City Council may approve the Vesting Tentative Subdivision Map if the facts in the record support the following findings:

- (1) The proposed map is consistent with the general plan, any applicable specific plan, and this title;
- (2) The site is physically suitable for the type of development;
- (3) The site is physically suitable for the proposed density of development;
- (4) The design of the subdivision or the proposed improvements will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
- (5) The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision;
- (6) Complies with all other applicable ordinances, regulations and guidelines of the City, including but not limited to the local floodplain ordinance (Municipal Code Chapter 9.52).

Therefore, the City Council conducted a noticed public hearing on July 1, 2025, to consider approving a Vesting Tentative Subdivision Map for the Triway Project (Application Number TSM24-0001), and upon its conclusion, makes the following requisite findings for the Vesting Tentative Subdivision Map based on consideration of the entire record of evidence, including, without limitation, the following:

- (1) The proposed Vesting Tentative Subdivision Map (Application Number TSM24-0001) is consistent with the General Plan, the Small Lot Residential (SLR) Zone, TMC Chapter 10.08 Zoning Regulations, and Title 12, the Subdivision Ordinance, of the Tracy Municipal Code. The property has a General Plan designation of Residential High and a zoning designation of Small Lot Residential (SLR) Zone.
- (2) The site is physically suitable for the type of development. The site is flat and has public utilities adjacent to the site. The existing property does not have features that limit the

ability to subdivide the property into a small lot development.

- (3) The site is physically suitable for the proposed density of development. All proposed development on the property will be consistent with the allowable densities and floor area ratios prescribed by the General Plan and the development standards in the Tracy Municipal Code. Traffic circulation is designed in accordance with City standards for the proposed development to ensure adequate traffic service levels are met.
- (4) The design of the subdivision or the proposed improvements will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. The proposed Triway Project (project) is consistent with the land use designations and development intensities assigned to the project site by the City of Tracy General Plan. Cumulative impacts associated with development and buildup of the project site, as proposed, were fully addressed in the City of Tracy General Plan EIR (SCH# 2008092006).

Since the proposed project is consistent with the land use designation and development intensity for the site identified in the General Plan and analyzed in the General Plan EIR, implementation of the proposed project would not result in any new or altered cumulative impacts beyond those addressed in the General Plan EIR. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required. Significant fish or wildlife or their habitat have not otherwise been identified on the site and no further environmental documentation is required. In addition, the subdivider will demonstrate compliance with the San Joaquin County Multi-Species Habitat Conservation & Open Space Plan administered by the San Joaquin Council of Governments for the protection of any wildlife or habitats found on the site prior to development.

- (5) The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. There are no public easements on the property that would conflict with the proposed subdivision. The developer will comply with all utility and infrastructure requirements as development occurs. The subdivision will facilitate the construction and dedication of various streets for proper circulation in accordance with City standards.
- (6) Complies with all other applicable ordinances, regulations and guidelines of the City, including but not limited to the local floodplain ordinance (Municipal Code Chapter 9.52). The subject property is not located within any floodplain and the project, with conditions, will meet all applicable City design and improvement standards.

Development Review Permit Findings

Development Review Permits must meet the requirements set forth in TMC Article 30, including a noticed public hearing. Pursuant to TMC Section 10.08.3960, before approving a Development Review Permit, the City Council must review application materials and public comments submitted prior to or at the public hearing, and consider the following site-specific factors set forth in TMC Section 10.08.3960:

- general site considerations including height, bulk, and size of buildings;
- physical and architectural relationship with the existing and proposed structures;

- site layout, orientation, and location of the buildings and relationships with open areas and topography;
- location and type of landscaping;
- off-street parking areas;
- height, materials, colors and variations in boundary walls, fences, and screen plantings;
- appropriateness of the sign design and exterior lighting; and
- appropriate City utilities, public infrastructure, circulation, and roadway access.

After consideration of the entire record, under TMC Section 10.08.3960, the City Council may approve the Development Review Permit if the facts in the record support the following findings:

- (a) That the proposal increases the quality of the project site, and enhances the property in a manner that therefore improves the property in relation to the surrounding area and the citizens of Tracy; and
- (b) That the proposal conforms to Chapter 10.08, Zoning Regulations, of the Tracy Municipal Code, the General Plan, any applicable Specific Plan, the Design Goals and Standards, any applicable Infrastructure Master Plans, and other City regulations.

Therefore, the City Council conducted a noticed public hearing on July 1, 2025, and upon its conclusion, makes the requisite findings for the Development Review Permit based on consideration of the entire record of evidence, including, without limitation, the following:

- (a) The Project increases the quality of the project site and enhances the property in a manner that therefore improves the property in relation to the surrounding area and for the citizens of Tracy. For the Triway project staff is reviewing a high-density single-family project to ensure consistency with single family and multifamily design standards. The variety of materials, colors and architectural features, combined with the overall site layout and housing variety makes this project consistent with the intent of the guidelines.

The project site has been designed to be oriented towards a neighborhood park amenity. The road system makes accessing the park feature easy from anywhere in the development. The small lot project layout creates villages that will provide for housing product variation.

The project is broken up into three distinct housing product types: the Devon at the Triway (duets), the Kinsley at the Triway (alley load) and Somerset at the Triway (front loaded conventional).

This project provides for a massing and diversity of product that creates an aesthetic interest that might not come from larger multifamily buildings. This project is comprised of two-story buildings and an apartment complex or higher unit condo or triplex project would have a much different aesthetic and massing

and

- (b) The Project conforms to all applicable requirements of Chapter 10.08 of the Tracy Municipal Code, the City of Tracy General Plan, the Small Lot Residential (SLR) Zone, the City Design Goals and Standards, the California Building and Fire Codes, and all other applicable City Standards.

**Conditions of Approval for Triway
Vesting Tentative Subdivision Map and Development Review Permit
Application Number TSM2024-0001 DR2024-0003
July 1, 2025**

Project: These Conditions of Approval shall apply to the Vesting Tentative Subdivision Map and Development Review Permit for the Triway Project, Application Numbers **TSM2024-0001** and **DR2024-0003**, including approximately 275 single-family residential lots and various other parcels.

Property: The property consists of approximately 22.6-acre site located at 200 Valpico Road (APNs: 246-130-03, 04, 05, and 06), Application Numbers TSM24-0001 and D24-0003.

Community Facilities Districts: Certain conditions of approval herein involve the establishment of one or more Community Facilities Districts (CFDs) to implement the Project. The imposition of conditions requiring or involving the establishment of CFDs on the Property shall not limit the City from establishing additional CFDs over the Property, subject to an affirmative vote of the Property owner(s).

A. Definitions; Abbreviations.

The definitions in the City's zoning regulations (Tracy Municipal Code, Title 10, Chapter 10.08) and subdivision ordinance (Tracy Municipal Code, Title 12, Chapter 12.08) apply, and in addition:

1. "Applicant" means any person, or other legal entity, defined as a "Subdivider" by Section 12.08.010 of the City of Tracy Municipal Code.
2. "Community and Economic Development Director" means the Community and Economic Development Director of the City of Tracy, or any other person designated by the City Manager or the Community and Economic Development Director, to perform the duties set forth here. (The Community and Economic Development Director is also referred to in the Tracy Municipal Code as the Development and Engineering Services Director.)
3. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, ordinances, resolutions, written policies, written procedures, and the City's Design Documents (including the Standard Plans, Standard Specifications, Design Standards, and relevant Public Facility Master Plans).
4. "Conditions of Approval" or "Conditions" means these conditions of approval.

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5. "Property" means the approximately 22.6-acre site located at 200 Valpico Road. (APNs: 246-130-03, 04, 05, and 06). Application Numbers TSM24-0001 and D24-0003.

The following abbreviations may be used in these Conditions:

EIR	Environmental Impact Report	PI&RA	Park Improvement and Reimbursement Agreement
DIA	Deferred Improvement Agreement	PUE	Public Utility Easement
OIA	Offsite Improvement Agreement	TMC	Tracy Municipal Code

B. Planning Division Conditions of Approval

1. Compliance with laws. The Subdivider shall comply with all laws (federal, state, and local) related to the development of real property within the Project boundaries, including, but not limited to: the Planning and Zoning Law (Government Code sections 65000, et seq.), the Subdivision Map Act (Government Code sections 66410, et seq.), the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and the Guidelines for the California Environmental Quality Act (California Administrative Code, title 14, sections 15000, et seq., "CEQA Guidelines").
2. City Regulations. Unless specifically modified by these Conditions of Approval, the Subdivider shall comply with all City Regulations.
3. Notice of protest period. Pursuant to Government Code Section 66020, including Section 66020 (d)(1), the City HEREBY NOTIFIES the Subdivider that the 90-day approval period (in which the Subdivider may protest the imposition of any fees, dedications, reservations, or other exactions that are within the purview of the Mitigation Fee Act [Government Code section 66000 et seq.] ("Exactions") and imposed on this Project by these Conditions of Approval) shall begin on the date of the conditional approval of this Project. If the Subdivider fails to file a protest of the Exactions complying with all of the requirements of Government Code Section 66020 within this 90-day period, the Subdivider will be legally barred from later challenging any of the Exactions. The terms of this paragraph shall not affect any other deadlines or statutes of limitations set forth in the Mitigation Fee Act or other applicable law, or constitute a waiver of any affirmative defenses available to the City.
4. Final Maps for Financing Purposes. For the purpose of these Conditions of Approval, if any Final Map or Parcel Map is filed within the boundaries of the Project solely for financing purposes only, and no permits will be requested pursuant to such map, then the requirements listed in these Conditions of Approval shall not apply to the final map or parcel map for financing purposes only.

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5. Conformance with Vesting Tentative Subdivision Map. All Final Maps shall be in substantial conformance with the approved Vesting Tentative Subdivision Map (Application Number TSM24-0001), which was approved by the City Council on July 1, 2025, unless modified by these Conditions.
6. Conformance with Development Review Permit. The development of the site and residential homes will be in substantial conformance with the approved Development Review Permit (Application Number DR24-0031), approved by the City Council on July 1, 2025, unless modified by these Conditions.
7. Streets, Streetlights and Sidewalks

Before approval of the first Final Map or issuance of any building permit for the Property (except for up to fifteen (15) model homes), Subdivider shall provide for perpetual funding of the on-going costs of operation, maintenance and replacement for the traffic signals, streetlights, and street sweeping on the Property (including all costs required by PG&E), by doing one or more of the following, subject to the approval of the City's Finance Director:

- a. Community Facilities District. Subdivider shall enter into an agreement with the City, to be signed by the Finance Director, which shall be recorded against the Property, which requires that prior to the issuance of a certificate of occupancy for a residential dwelling unit, Subdivider shall complete the annexation of the Property to City of Tracy Community Facilities District in compliance with the requirements of the Mello – Roos Community Facilities Act of 1982 (Gov. Code § 53311 et seq.) including, without limitation, affirmative votes, and the recordation of a Notice of Special Tax Lien. Subdivider shall be responsible for all costs associated with the CFD proceedings.

Or

- b. HOA and dormant CFD. If the HOA is the chosen funding mechanism, the Subdivider must do the following:
 - (1) Form a Homeowner's Association (HOA) or other maintenance association, with CC&Rs reasonably acceptable to the City, to assume the obligation for the on-going costs of operation, maintenance and replacement for the traffic signals, streetlights, and street sweeping on the Property (including all costs required by PG&E);
 - (2) Cause the HOA to enter into an agreement with the City, in a form to be approved by the City and to be recorded against the Property prior to the final inspection or occupancy of the first dwelling (except for up to fifteen model homes), setting forth, among other things, the required maintenance obligations, the standards of maintenance, and all other associated obligation(s) to ensure the long-term operation, maintenance and replacement by the HOA for the traffic signals, streetlights, and street sweeping on the Property;

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- (3) Before final inspection or occupancy of the first dwelling (except for up to fifteen model homes), annex into a CFD in a "dormant" capacity, to be triggered if the HOA fails (as determined by the City in its sole and exclusive discretion) to perform the required level of operation, maintenance and replacement for the traffic signals, streetlights, and street sweeping on the Property. The dormant tax or assessment shall be disclosed to all homebuyers and non-residential property owners, even during the dormant period.

Or

- c. Direct funding. Subdivider shall enter into an agreement with the City, which shall be recorded against the Property, which requires that prior to issuance of a certificate of occupancy for a residential dwelling unit, Subdivider shall deposit with the City an amount necessary, as reasonably determined by the City, to fund in perpetuity the on-going costs of operation, maintenance and replacement for the streets, streetlights, and sidewalks on the Property (including all costs required by PG&E).

If the provisions for adequate funding of the on-going costs of operation, maintenance and replacement for the traffic signals, streetlights, and street sweeping on the Property (including all costs required PG&E) are met prior to issuance of the first building permit for the Property, subject to the Finance Director's review and approval, the terms of this condition shall be considered to have been met and this condition shall become null and void.

8. Police/Public Safety & Public Works

Before approval of the first Final Map or issuance of any building permit for the Property (except for up to fifteen (15) model homes), Subdivider shall provide for perpetual funding of the on-going costs of providing Police and public safety and Public Works services for the Property, by doing one of the following, subject to the approval of the City's Finance Director:

- a. Community Facilities District. Subdivider shall enter into an agreement with the City, to be signed by the Finance Director, which shall be recorded against the Property, which requires that prior to the issuance of a certificate of occupancy for a residential dwelling unit, Subdivider shall complete the annexation of the Property to City of Tracy Community Facilities District in compliance with the requirements of the Mello – Roos Community Facilities Act of 1982 (Gov. Code § 53311 et seq.) including, without limitation, affirmative votes, and the recordation of a Notice of Special Tax Lien. Subdivider shall be responsible for all costs associated with the CFD proceedings.

Or

- b. Direct funding. Subdivider shall enter into an agreement with the City, which shall be recorded against the Property, which requires that prior to issuance of a certificate of occupancy for a residential dwelling unit, Subdivider shall deposit

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with the City an amount necessary, as reasonably determined by the City, to fund in perpetuity the on-going costs of providing Police and public safety and Public Works services for the Property.

If the provisions for adequate funding of the on-going costs of providing Police and public safety and Public Works services for the Property are met prior to issuance of the first building permit for the Property, subject to the Finance Director's review and approval, the terms of this condition shall be considered to have been met and this condition shall become null and void.

9. Landscaping Maintenance

Before approval of the first Final Map or issuance of any building permit for the Property (except for up to fifteen (15) model homes), Subdivider shall provide for perpetual funding of the on-going costs of maintenance and replacement for public landscaping for the Property (but shall exclude the community park), by doing one or more of the following, subject to the approval of the City's Finance Director:

a. CFD or other funding mechanism. The Subdivider shall enter into an agreement with the City, which shall be recorded against the Property, which stipulates the following: (1) prior to issuance of a building permit, the Subdivider shall form a Community Facilities District (CFD) for funding the on-going maintenance costs related to maintenance, operation, repair and replacement of public landscaping, public walls and any public amenities included in the Project, and ongoing public landscaping maintenance costs associated with major program roadways identified in the Citywide Roadway and Transportation Master Plan; (2) the items to be maintained include but are not limited to the following: ground cover, turf, shrubs, trees, irrigation systems, drainage and electrical systems; masonry walls or other fencing, entryway monuments. or other ornamental structures, furniture, recreation equipment, hardscape and any associated appurtenances within medians, parkways, dedicated easements, channel-ways, public parks and public open space areas; (3) formation of the CFD shall include, but not be limited to, affirmative votes and the recordation of a Notice of Special Tax Lien; (4) upon successful formation, the parcels will be subject to the maximum special tax rates as outlined in the Rate and Method of Apportionment; (5) prior to issuance of a building permit, the Subdivider shall deposit an amount equal to the first year's taxes; and (6) the Subdivider shall be responsible for all costs associated with formation of the CFD.

Or

b. HOA and dormant CFD. If the HOA is the chosen funding mechanism, the Subdivider must do the following:

(1) Form a Homeowner's Association (HOA) or other maintenance association, with CC&Rs reasonably acceptable to the City, to assume the obligation for the on-going maintenance of all public landscaping areas within the entire tentative subdivision map area;

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- (2) Cause the HOA to enter into an agreement with the City, in a form to be approved by the City and to be recorded against the Property prior to the final inspection or occupancy of the first dwelling (except for up to fifteen model homes), setting forth, among other things, the required maintenance obligations, the standards of maintenance, and all other associated obligation(s) to ensure the long-term maintenance by the HOA of all public landscape areas within the entire tentative subdivision map area;
- (3) For each Final Map, make and submit to the City, in a form reasonably acceptable to the City, an irrevocable offer of dedication of all public landscape areas within the Final Map area;
- (4) Before final inspection or occupancy of the first dwelling (except for up to fifteen model homes), annex into a CFD in a "dormant" capacity, to be triggered if the HOA fails (as determined by the City in its sole and exclusive discretion) to perform the required level of public landscape maintenance. The dormant tax or assessment shall be disclosed to all homebuyers and non-residential property owners, even during the dormant period.

Or

- c. Direct funding. The Subdivider shall enter into an agreement with the City, which shall be recorded against the Property, which stipulates that prior to issuance of a building permit, the Subdivider shall deposit with the City an amount necessary, as reasonably determined by the City, to fund in perpetuity the full on-going maintenance costs related to maintenance, operation, repair and replacement of public landscaping, public walls and any public amenities included in the Project, and ongoing public landscaping maintenance costs associated with major program roadways identified in the Citywide Roadway and Transportation Master Plan. The items to be maintained include but are not limited to the following: ground cover, turf, shrubs, trees, irrigation systems, drainage and electrical systems, masonry walls or other fencing, entryway monuments or other ornamental structures, furniture, recreation equipment, hardscape and any associated appurtenances within medians, parkways, dedicated easements, channel-ways, public parks and public open space areas.

10. **Indemnification.** The City has determined that City, its employees, agents and officials should, to the fullest extent permitted by law, be fully protected from any loss, injury, damage, claim, lawsuit, expense, attorney fees, litigation expenses, court costs or any other costs arising out of or in any way related to this project approval, or the City's activities conducted pursuant to its processing and approval of this project approval, including any constitutional claim. Accordingly, to the fullest extent permitted by law and as a condition of this approval, the applicant and property owner, and its representative(s), or its successors shall defend, indemnify and hold harmless the City, Its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses,

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expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorney fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this project approval, or the City's activities conducted pursuant to its processing and approval of this project approval, including any constitutional claim. The applicant and property owner, and its representative(s), or its successors shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

C. Development Engineering Division Conditions of Approval

C.1. Technical Analysis incorporated into these Conditions.

Subject to the approval of the City, the Developer shall comply with the applicable recommendations of the technical analyses/reports prepared for the Project listed as follows:

- a) "The Triway:2nd Submittal Vesting Tentative Map Traffic Review Comments Memorandum prepared by Kimley Horn, dated March 28, 2025 ("Traffic Analysis"), or as updated by minor deviation.
- b) "Hydraulic and Hydraulic Analysis for the Proposed Triway Development Project" prepared by West Yost Consulting Engineers, dated April 1, 2025 ("SD System Analysis").

C.2. Tentative Subdivision Map

Prior to approval of the Vesting Tentative Subdivision Map, The Triway project submitted Vesting Tentative Map, "The Triway" Tract 4206, prepared by CBG Engineers of San Ramon, CA, dated April 2025, as approved by the City, the Developer shall comply with the requirements set forth in this section, to the satisfaction of the City Engineer.

C.2.1 The Developer shall submit a flatten PDF of the approved tentative subdivision map for the Project. The owner of the Property will sign the Tentative Subdivision Map, and the proposed subdivision of the Property by signing the tentative map. The Tentative Subdivision Map shall contain all the appropriate signature blocks. If at the Public Hearing changes to the final tentative subdivision map are required, Developer shall provide the revised tentative subdivision map within ten (10) days after Public Hearing.

Tentative Subdivision Map Special Condition(s)

NONE

C.3. Final Subdivision Map

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Prior to scheduling the final subdivision map for approval by the City Council, the Developer will demonstrate, to the satisfaction of the City Engineer, compliance with all required Conditions of Approval, including, the following:

- C.3.1 Developer has completed all the requirements set forth in this section, and Condition C.2, above prior to recording of the final map.
- C.3.2 The Final Subdivision Map prepared is in accordance with the applicable requirements of the Tracy Municipal Code (TMC), the City Design Standards, and in substantial conformance with the Tentative Subdivision Map for the Project. Said Final Subdivision Map shall be in substantial conformance with the City Council approved Tentative Subdivision Map prior to recording of the first final map.
- C.3.3 The horizontal and vertical control for the Project shall be based upon the City of Tracy coordinate system with at least three (3) second (2nd) order Class-1 control points establishing the "Basis of Bearing" and shown on the final map. The final map shall also identify surveyed ties from two of the horizontal control points to a minimum of two (2) separate points adjacent to or within the Property described by the Final Map. The vertical control shall be based on closest known city or county benchmarks.
- C.3.4 The Developer shall construct or bond all the conditioned public improvements identified within these conditions of approval for the project prior to subdivision map approval. If all required improvements are not constructed, the Developer will be required to execute improvement agreement(s) with an improvement security, and insurance, as required by the Government Code, the TMC, and these conditions.
- C.3.5 If applicable, the developer will include the creation of any slope easements with the final map to address slopes among the lots to address grade differentials between lots and adjacent properties. The first final map shall be recorded prior to the first building permit.
- C.3.6 The payment of final map checking fees and all applicable city fees as required by these Conditions of Approval and City regulations shall be paid before final map and first building permit of the subdivision.
- C.3.7 At the conclusion of the City's final map review, the Developer shall submit one (1) mylar copy of the approved Final Subdivision Map for signature and recording.

Final Subdivision Map Special Condition(s)

- C.3.2 Prior to approval of the first final map, Developer shall submit a final map that depicts the following: Final maps shall include all offers of dedication of all right(s)-of-ways, and if applicable; all Public Access Easements (PAE); all Public Utility Easements (PUE), and all emergency vehicle access easements (EVAE) all storm drain easements (SDE) as required by the City to serve the

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Project as shown sheets TM03, TM04 and TM05 on the approved Vesting Tentative Map of Tract 4206 submittal (TM 4206), in accordance with State Laws, City Regulations, and these Conditions of Approval prior to recording of the first final map. The said PUEs shall be three (3) feet wide, seven (7) feet wide, and ten (10) feet wide as measured from the edge of the PUE to edge of private street or alley Right-of-Way (ROW) in accordance with what shown on TM 4206 and city standard plans. The PUE shall be continuous along the Project's frontage with no gaps between ROW and PUE. The Developer shall dedicate ROW along the project frontage of Valpico Road per the Valpico Precise Plan Line and TM 4206. This right way dedication is shown on sections DD and EE of TM 4206, and this offer of dedication shall be made on the first final map.

- C.3.3 Prior to approval of the first final map, Developer shall submit a final map offering to dedicate all private streets to the subdivision homeowners association (HOA). All proposed internal public streets shown as streets A, B, C, and D shall include two (2) – twelve (12) feet wide travel lanes, five (5) feet wide sidewalk, and four (4) to six (6) feet wide landscape parkways between the back of curb on both sides of the street, within a 56-feet ROW as shown on sections AA on sheet TM03 of the said tentative map, shall conform with City Standard Plan No. 100 of the 2020 Design Standards for in-fill Private Streets.
- C.3.4 All proposed private Alley Lanes No. 1-12,14-34 within the subdivision shall be dedicated to the HOA, to include two (2) - twelve (12) feet wide travel lanes with beveled curbs on each side, within a 25-feet private right of way as shown on Section BB on sheet TM03 and TM05 of the said Tentative map.
- C.3.5 The proposed private Alley [road] Lane No. 13 within the subdivision shall include two (2) – thirteen (13) feet wide travel lanes with beveled curbs on each side of the paved street, within twenty-six (26) feet wide private paved street, an 8.5-feet landscape parkway, in a 35.5-feet wide ROW as shown on Section CC on sheet TM03 of the said Tentative map.
- C.3.6 As shown on sheet TM02 of the said tentative Map, the Developer shall vacate the following items as part of the final map:
 - a. one (1) 80-feet wide public street right way
 - b. two (2) ten (10) feet wide public Utility easements (PUE) on both sides of the existing 80-feet street
 - c. one (1) thirty (30) feet wide railroad right of way shown.
 - e. two (2) fifteen (15) feet wide private storm drains easements.
 - f. one (1) fifteen (15) feet x fifteen (15) feet storm drain easements.
- C.3.13. The existing four (4) parcels (APN 246-130-030, APN 246-130-040, APN 246-130-060, APN 246-130-270) as shown on Sheet TM02 of the said vesting tentative subdivision map shall be resubdivided into the 275

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residential lots as shown on sheet TM03, TM04 and TM05 of the said vesting tentative map as part of the final map for the project.

- C. 3.14. The Developer shall submit a final map offering to dedicate 155,768-square-feet public park parcel A to the City of Tracy, and a 49,503-square-feet drain basin parcel B to the City of Tracy.
- C.3.15 The Developer shall submit a final map offering to dedicate landscape parcels C, E, FF, HH, K, M, O, P and Z as shown on sheet TM05 of said tentative map to the HOA.
- C.3.16 Prior to approval of the first final map, Developer shall submit a final map offering to dedicate a storm drain easement benefiting the parcel immediately west of the Project's parcel.

C.4. Grading Permit

Prior to the Grading Permit release, the Developer shall provide all documents related to the said Grading Permit required by City requirements and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.4.1 All grading work (on-site and off-site) shall require a grading plan and a grading permit. The Developer will complete all requirements set forth in this section.
- C.4.2 Prior to grading permit release, Developer shall prepare grading, and drainage plans for all required earthwork, earthmoving and drainage to serve the Project (on-site and off-site) including grading details, grading quantities, and retaining walls (Grading Plans). The said Grading Plans shall be prepared in accordance with the City's Subdivision Ordinance (Tracy Municipal Code (TMC) Chapter 12.36), City Design Documents as defined in Title 12 of the TMC, and these Conditions of Approval.
- C.4.3 Prior to grading permit release, Developer shall prepare Grading Plans that are stamped and prepared under the supervision of a California registered Civil Engineer (CA-CE). These grading plans shall be prepared on a 24-inch x 36-inch size 20-pound bond white paper and shall use the City's Title Block.
- C.4.4 Prior to grading permit release, Developer shall prepare Grading Plans in substantial conformance all site building, parking, utility, grading, and other site improvements identified on submitted site improvements drawing package for D24-0003, R24-0001, TSM 24-0001 Vesting Tentative Map (The Triway) Tract 4206, located at the north of the Valpico Road and northeast of intersection of Tracy Blvd and Valpico Road intersection, APN# 246-130-030, and 246-130-040, 246-130-060, 246-130-270, Tracy CA 95376 submitted June, 2024.
- C.4.5 Prior to grading permit release, Developer shall provide a PDF copy of the Project's Geotechnical Report prepared and stamped by the Project's California registered Geotechnical Engineer (CA-GE). The technical report must include

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relevant information related to soil types and characteristics, soil bearing capacity, compaction recommendations, slope recommendations, retaining recommendations, paving recommendations, and elevation of the highest observed groundwater level. All grading plans and grading work shall be performed and completed in accordance with the recommendation(s) of the Project's CA-GE and the satisfaction of the City Engineer.

- C.4.6 Prior to grading permit release, the Developer shall depict in the grading plans the use of reinforced or engineered masonry blocks for retaining soil when the grade differential exceeds twelve (12) vertical inches. The developer will include construction details of these minor retaining walls with the Grading Plans. Developers may use slopes among the lot grading transitions to address the grade differential but said slope shall not exceed a slope gradient of three (3) horizontal feet to one (1) vertical foot, unless approved by a CA-GE and city engineer. Slope easements may be required and will be subject to approval by the City Engineer and if adjacent and affected property(s) owner(s) grants said easements.
- C.4.7 Graded slopes are an acceptable grade transition option to engineered masonry retaining walls, where cuts or fills do not match existing ground or final grade with the adjacent properties or public right of ways, with a maximum grade slope transition of one(1) feet vertical to two (2) feet horizontal, with review and approval by the City Engineer.
- C.4.8 Prior to grading permit release, Developer shall depict all proposed retaining walls as masonry or concrete retaining walls on the grading plans. The Developer is required to include all needed construction details, structural calculations, notes, and specifications for construction of these retaining walls and submit them for review and approval to Building Safety prior to construction. All concrete retaining and masonry wall design parameters will be included in the geotechnical report and made available by appendix to the geotechnical report.
- C.4.9 Prior to grading permit release, Developer shall provide a copy of the approved building permit from Building Safety for any retaining walls depicted on the Grading Plans to the City grading inspector.
- C.4.10 Prior to grading permit release, Developer shall obtain all applicable signatures by Project's CA-GE, other City departments, and any outside agencies (where applicable) on the Grading Plans including signatures of the Fire Marshal prior to submitting the final grading plans to engineering for final City Engineer's signature and issuance of the grading permit.
- C.4.11 Prior to grading permit release, Developer shall depict on the grading plans all erosion control measures that are to be implemented during grading construction of the project in accordance with city and state requirements. All grading work not completed before October 15 may be subject to additional requirements as new regulations are implemented by the city. Grading Plans

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shall specify all proposed erosion control methods, specifications, and construction details to be implemented during grading construction and specify any special materials to be used during and after the construction of the project shall be included in the grading permit.

- C.4.12 Prior to grading permit release, the Developer shall pay the City grading permit fees which include grading, plan checking, and inspection fees, and other applicable fees per the city fee schedule.
- C.4.13 Prior to grading permit release, the Developer shall obtain written approval (i.e., recorded easements for slopes, drainage, utilities, access, parking, etc.) of all other public agencies and/or private entities with jurisdiction over the required public and/or private facilities and/or property. A copy of the recorded approvals permits, and easement document(s) shall be provided to the City upon request.
- C.4.14 Prior to grading permit release, the Developer shall obtain a demolition permit to remove all existing structures, utilities, debris, garbage, or other improvements located within the project's limits of the site to the satisfaction of the city engineer. The Developer shall conduct an asbestos survey of the existing buildings in accordance with City requirements and identify all hazardous materials that must be removed prior to demolition and removal of the existing buildings. The contractor shall then remove all asbestos and all hazardous materials in accordance with state and city requirements prior to new construction to the satisfaction of the City Engineer. Demolition of the existing site utilities that disturb water, sewer, drainage, electrical, phone or internet service to the existing houses located within this project area, the Developer shall install temporary services until permanent services to these existing houses can be restored. If demolition of parking, sidewalks and access to existing residential buildings takes place, the Developer shall provide a minimum of 2 weeks' notice to the existing residents of the demolition of the site utilities and surface improvements may affect them. Prior to any demolition of the site, the contractor shall provide a temporary fence of the entire construction of area of new project area. At all times, the Developer shall maintain safe and clean working conditions for the general public and those residents that will be living in close proximity to the construction of the project. At all times, the Developer shall provide adequate warning devices, barricades, metal plating of open trenches and other safety measures installed during construction.
- C.4.15 Prior to grading permit release, the Developer shall have obtained the necessary permits to abandon or remove all existing on-site water well(s), septic system(s), leech field(s), and title drain(s), if any, in accordance with City and San Joaquin County requirements. The Developer shall be responsible for all costs associated with the abandonment or removal of the aforementioned items including the cost of permit(s) and inspection. A copy of the permits shall be provided to the City upon request.
- C.4.16 Prior to grading permit release, the Developer shall provide a copy of the approved Incidental Take Minimization Measures (ITMM) habitat survey [San

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Joaquin County Multi-Species Habitat Conservation & Open Space Plan (SJMSCP)] from San Joaquin Council of Governments (SJCOG) prior to grading permit.

- C.4.17 Prior to grading permit release, the Developer shall provide a copy of the approved Air Impact Assessment (AIA) with an Indirect Source Review (ISR) and Dust Control from San Joaquin Valley Air Pollution Control District (SJVAPCD) prior to grading permit.
- C.4.18 Prior to grading permit release, the Developer shall provide the city with a written plan of how he will address archeological, historical, or other paleontological findings. If at any point during grading, the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall 1) inform the City Engineer; 2) shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and 3) subsequent Cultural Resource Policy or mitigation in any applicable environmental document.
- C.4.19 A maximum of seven calendar days after the release of the grading permit, the Developer shall request a pre-construction (grading) meeting with the City's Construction Management team. At this meeting, Developer shall provide three (3) paper copies of the Grading Plans. The developer shall provide additional copies as requested.
- C.4.20 The Developer shall provide a Stormwater Quality Control Plan (SWQCP), NOI permit number and improvement plans detailing the various construction details and methods for the project to incorporate to be compliance with the applicable City's Multi-Agency Post-Construction Stormwater Standards Manual (Manual). Prior to the issuance of the grading permit for the project, the SWQCP shall be approved by the City Engineer.

Grading Permit Special Condition(s)

- C4.21 The developer shall rough and final grade the project and the adjacent City regional Det 2B storm drain basin in accordance with the City approved improvement plans "Detention basin 2B expansion (CIP no 76066)" prepared by Stantec, dated 7/12/2019 for Det 2B regional basin. The excavation and grading of this regional basin shall be completed prior to installation of the subdivision storm drain system. Det 2B basin is required to be operational prior to occupying the first building within the subdivision. The developer may receive development impact fee credits for this work in accordance with Title 13 of the City of Tracy Municipal Code. The Developer will need to enter into an Improvement Agreement in order to receive fee credits.

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C.5.0 Construction Permit [Encroachment Permit and Improvement Agreement(s)]

Prior to construction permit release, if applicable, the Developer shall provide all documents as required by City requirements, these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.5.1 All construction activity involving public improvements (on-site and off-site) may require one (1) or a combination of the following: approved plans; an encroachment permit; and/or a fully executed improvement agreement (Off-site Improvement Agreement - OIA or Subdivision Improvement Agreement - SIA). Any construction activity involving public improvements without the required items is prohibited. The Developer will complete all requirements set forth in this section.
- C.5.2 Prior to construction permit release, Developer shall prepare public infrastructure improvement plans for all required improvements required to serve the Project (on-site and off-site) including construction details, paving sections, joint-trench, traffic signals, etc. (Improvement Plans).
- C.5.3 Prior to construction permit release, Developer shall prepare Improvement Plans that are stamped and prepared under the supervision of a California registered Civil Engineer (CA-CE). Other disciplines' work shall also be stamped and prepared under the supervision for each discipline's registered design professional.
- C.5.4 Prior to construction permit release, Developer shall prepare Improvement Plans on a 24-inch x 36-inch size 20-pound bond white paper and shall use the City's Title Block. The said Improvement Plans and the improvements and details depicted on said Improvement Plans shall be prepared in accordance with the City's Subdivision Ordinance (Tracy Municipal Code (TMC) Chapter 12.36), City Design Documents as defined in Title 12 of the TMC, City's Facilities Master Plan for storm drainage, roadways, wastewater, and water as adopted, amended, and updated by the City, or as otherwise specifically approved by the City, and all requirements described in the documents described hereon, and these Conditions of Approval.
- C. 5.5 Prior to construction permit release, Developer shall prepare Improvement Plans in substantial conformance all site building, parking, utility, grading, and other on-site and off-site improvements identified on submitted site improvements drawing package for D24-0003, R24-0001, TSM 24-0001 Vesting Tentative Map (The Triway) Tract 4206, located at the north of the Valpico Road and northeast of intersection of Tracy Blvd and Valpico Road intersection, APN# 246-130-030, and 246-130-040, 246-130-060246-130-270, Tracy CA 95376 submitted June, 2024.
- C. 5.6 Prior to construction permit release, Developer shall provide a PDF copy of the Project's Geotechnical/Soils Report prepared and stamped by the Project's CA-GE. The technical report must include relevant information related to street

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pavement thickness (asphalt concrete and aggregate base), compaction recommendation, building pad compaction recommendation, soil bearing capacity, retaining wall footing design parameters, slope recommendations, peculation rates, ground water depth, and other pertinent information for grading the site and building the building foundations.

- C. 5.7 Prior to construction permit release, Developer shall prepare Improvement Plans to specifically include, but not be limited to all existing and proposed utilities such as domestic water line, irrigation service, water fire service, domestic water services, storm drain, sanitary sewer, all existing surface improvements such as PCC, curb, gutter, sidewalk, ADA ramps, fire hydrants, streetlights, landscaping, irrigation, irrigation controllers, striping, etc. including the size and location of all existing and proposed underground pipes within the project to the satisfaction of the City Engineer.
- C. 5.8 Prior to construction permit release, Developer shall prepare Improvement Plans to specifically include but not be limited to dimensions of existing and proposed utilities and surface improvements.
- C.5.9 Prior to construction permit release, Developer shall identify and depict on the Improvement Plans all frontage improvements of pavement, curb and gutter, sidewalk, ADA ramps, fire hydrants, streetlights, landscaping, and irrigation that are in need of repair (cracked, settled, and/or damaged) along the Project's frontage or will be new frontage improvements per the approved improvement plans as outlined in these conditions of approval and tentative amp. Developer shall than note on the Improvement plans that said improvements in need of repair shall be repaired accordance with City requirements to the satisfaction of the City Engineer. Any repair, removal, and replacement shall be in accordance with city standard requirements and/or similar manner to the current city standards of improvement and shall match existing, i.e., similar width, color, finish, meander, etc.to match existing improvements to the satisfaction of the City Engineer.
- C. 5.10 Prior to construction permit release, Developer shall provide all supporting engineering calculations, materials information or technical specifications, engineers cost estimate, and technical reports shall be submitted at the time of grading, site improvements and building permit reviews. All improvement plans shall contain a note stating that the Developer will be responsible for preserving and protecting all existing survey monuments and other survey markers such as benchmarks prior to building permit to the satisfaction of the City Engineer.
- C. 5.11 Public Right-of-Way Landscaping and Irrigation – Prior to construction permit release, Developer shall prepare landscape and irrigation plans that depict the following:

The Developer shall fully landscape and irrigate the existing area along the project frontage, from the back of curb to the ROW. Landscape and irrigation plans shall be in substantial conformance with the approved preliminary plans

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submitted with the approved site development review permit for this Project. All landscape drawings shall be prepared on a 24-inch x 36-inch size 20-pound bond white paper that incorporates all requirements described in these Conditions of Approval, and the City's Design Documents as defined in Title 12 of the Tracy Municipal Code. Developers shall use the latest title block. The said landscape and irrigation plans shall be prepared by a California licensed landscape architect. The Developer shall also reinstall all existing street trees in the landscaped area between the sidewalk and curb line along the project frontage, if applicable. The Developer shall also install additional street trees, shrubs, ground cover, and other landscaping and other corresponding irrigation systems as required the Tentative map by City Engineer. The landscaping and irrigation shall conform to MWELD standards. If recommended, Developer shall use structural soil if the street trees' well is narrower than five (5) feet wide. The Developer shall construct new proposed monument signs and their appurtenances, and any other existing items such as mailboxes, etc. out of this clear site visibility zones of all driveway entrances to the site.

C.5.12 Storm Water

Prior to construction permit release, the Developer shall depict on the project Improvement Plans all proposed storm drain lines, structures and basins of the Project's storm drain system. The Project's storm water drain system shall connect to the City's storm water system through the regional Basin 2B in accordance with City requirements and to the satisfaction of the City Engineer. The design shall be completed prior to building permit and construction completed prior to occupancy of first residential unit.

The developer shall provide a 10-year (24 hr.) hydrology and hydraulic calculations for sizing of all the storm drain(s) lines within the project and through the regional basin. This analysis shall be submitted within a hydrology and storm water report during improvement plan-review of the project prior to building permit. Developers shall comply with the applicable requirements of the City's storm water masterplan adopted by the City Council in 2012, and any subsequent amendments and requirements stated in these conditions of approval.

C.5.13 As required by Item No. 16, Section V on page 103 of the 2020 Design Standards, storm drain run-off shall not cross lot lines. Storm drainage release point is a location at the boundary of the Project adjacent public right-of-way where storm water leaves the Property, in a storm event and that the Property's on-site storm drainage system fails to function or it is clogged. Site grading shall be designed such that the project's storm drainage overland release point will be directly into the adjacent regional 2B basin parcel and then flow through a pump station to the existing City storm drainage channel system. If constructed according to plan, this regional 2B basin has adequate capacity to handle the storm water from this proposed project property and the surrounding developed parcels with the drainage basin. The storm drainage release point is recommended to be at least 0.70-feet lower than the lowest new building's finish-

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floor elevation and should be designed prior to building permit and improved to the satisfaction of the City Engineer prior to occupying the first residential unit of the subdivision.

C.5.14 Per the 2012 Storm Drainage Master Plan, this development is master planned subdivision to drain into an 2B rational basin by an underground pipe. The on-site storm drains should be sized for the ten (10) year storm event, using the one hundred (100) year water surface elevation for the point of discharge as the starting water surface elevation (tailwater elevation) for capacity or HGL analyses. This project drainage system requires the developer to construct a complete storm drain system within the project private property.

Prior to construction permit release, the Developer shall depict on the project Improvement Plans a drainage out fall into project bioretention basins with bio-treatment soils to the satisfaction of the City C-3 requirements and to the satisfaction of the City Engineer. All on-site runoff from the site landscaping, pavement and roofs will discharge directly into these bioretention basins which will then filter the water that will drain into the city regional 2B storm drain system. Use of underground runoff pretreatment and storage chambers is only an alternate to bioretention basins by the Developer should be considered on a case-by-case basis.

C.5.15 Sanitary Sewer

Prior to construction permit release, Developer shall depict on the Improvement Plans the Project's sewer connections to existing sanitary sewer main lines located in Valpico Road, to sewer lines in streets A, B, C and D and then extend to sewer line laterals to each proposed residential buildings, in accordance with the City's Design Documents and to the satisfaction of the City Engineer. Developer shall depict an eight (8) inch minimum sewer lateral in each public street. The pavement restoration in Valpico Road shall be by City Standards and subject to Condition C.8.1 and to the satisfaction of the City Engineer.

C.5.16 Water Distribution

Prior to construction permit release, Developer shall depict on the Improvement Plans the Project's permanent potable domestic, irrigation, and fire water lines and services. Fire sprinkler and irrigation water services to every building in the project shall comply with the City Design Documents and city requirements. Water line sizing, layout and looping requirements for this Project shall comply with City design criteria and city requirements. During the construction of the Project, the Developer is responsible for providing water infrastructure (temporary or permanent) capable of delivering adequate fire flows and pressure appropriate to the various stages of construction and as approved by the Fire Marshal and City Engineer.

The Developer shall use existing water lines in Valpico road to connect to new water lines in streets A, B, C and D for water line connections to every new

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residential building fire system. The pavement restoration shall be per City design criteria and City standards plans and subject to Condition C.8.1.to the satisfaction of the city engineer.

Interruption to the water supply to the existing businesses and other users will not be allowed to facilitate construction of improvements related to the Project. Developer shall be responsible for notifying business owner(s) and users, regarding construction work. The written notice, as approved by the City Engineer, shall be delivered to the affected residents or business owner(s) at least seventy-two (72) hours before the start of work. Prior to starting the work described in this section, the Developer shall submit a Work Plan acceptable to the City that demonstrates no interruptions to the water supply, and the Traffic Control Plan to be used during the installation of the off-site water mains and connections.

All the water service connections shall use a remote-read (radio-read) master water meter (the water meter to be located within the City's right-of-way) and a Reduced Pressure Type back-flow protection device in accordance with City requirements. The City Engineer shall approve the location of the meters.

After improvement, acceptance, repair, and maintenance of the water service from the water meter to the point of connection with the water distribution main in the street shall be the responsibility of the City. Water service repairs after the water meter are installed are the responsibility of the Developer or individual lot owner(s).

Prior to improvement, acceptance, repair and maintenance of all on-site water lines, laterals, sub-water meters, valves, fittings, fire hydrant and appurtenances shall be the responsibility of the Developer or the individual lot owner(s).

All costs associated with the installation of the Project's water connection(s) including the cost of removing and replacing asphalt concrete pavement, pavement marking and striping such as crosswalk lines and lane line markings on existing street or parking area(s) that may be disturbed with the installation of the permanent water connection(s), or domestic water service, and other improvements shall be paid by the Developer.

Fire Service Line(s) and Hydrants – Location and construction details of fire service line including fire hydrant(s) that are to serve the approved project as reviewed and approved by the City Fire Marshal prior to the approval of the Improvement Plans by the City Engineer. The Developer shall submit a layout of the fire hydrants and obtain written approval of the location of fire hydrants and fire connections to the building from the Fire Marshal, prior completion of the water line design.

C.5.17 Prior to construction permit release, Developer shall prepare Joint Trench Plans and Composite Utility Plans, prepared on a 24-inch x 36-inch size 4-millimeter

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thick mylar for the installation of dry utilities such as electric, gas, TV cable, telephone, and others that will be located generally within PUE and consistent with TM 4206 to be installed to serve the Project. All private utility services to serve Project must be installed underground or relocated to be underground, and to be installed at the location approved by the respective owner(s) of the utilities from the street or an existing or proposed utility easement to the building(s).

C.5.18 Prior to construction permit release, Developer shall provide a signed and stamped Engineer's Estimate that summarizes the cost of constructing all the public improvements shown on the Improvement Plans. Said Estimate shall be prepared in accordance with City Regulations to be used for calculating engineering review fees and for bonding purposes. In determining the total construction cost, add ten percent (10%) for construction contingencies.

C.5.19 Prior to construction permit release, Developer shall provide Payment of fees required by the City requirements including but not limited to plan checking, grading, construction inspection, agreement processing, encroachment permits, and other fees. The engineering review fees will be calculated based on the fee rate adopted and updated by the City Council.

C.5.20 Traffic Control Plan - Prior to starting the work for any work within City's right-of-way, the Developer shall submit a Traffic Control Plan (TCP). TCP can be split among the different construction phases. TCP will show the method and type of construction signs to be used for regulating traffic at the work areas within these streets. TCP shall conform to the Manual on Uniform Traffic Control Devices as amended by the State of California, latest edition (MUTCD-CA). TCP shall be prepared under the supervision of, signed and stamped by a Registered Civil Engineer or Registered Traffic Engineer.

Access and Traffic Circulation to Existing Businesses/Residents - Developer shall take all steps necessary to plan and construct site improvements such that construction operations do not impact safety and access (including emergency vehicles) to the existing businesses and residents throughout the duration of construction. The Developer shall coordinate with the owners and cooperate to minimize impacts on existing businesses or adjacent residents. All costs of measures needed to provide safe and functional access shall be borne by the Developer.

C.5.21 No street trench shall be left open, uncovered, and/or unprotected during night hours and when the Developer's contractor is not performing construction activities. Appropriate signs and barricades shall be installed on the street and on all trenches during such times. If the Developer or its contractor elects to use steel plates to cover street trenches, said steel plates will be skid-resistant, and shall be ramped on all sides. Ramps will be a minimum two-foot wide and will run the entire length of each side.

C.5.22 If at any point during utility installation or construction the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor,

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and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall 1) inform the City Engineer; 2) shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and 3) subsequent Cultural Resource Policy or mitigation in any applicable environmental document.

C.5.23 Off-site Public Improvements - Prior to the Developer commencing construction of off-site public improvements, the Developer shall possess a fully executed Off-site Improvement Agreement (OIA). The developer shall also complete all of the following requirements to the satisfaction of the City Engineer:

Developers shall pay all required permit processing fees including plan check and inspection fees to the City Engineering department prior to construction.

Improvement Security - Developer shall provide improvement security for all public improvements, as required by the Improvement Agreement. The form of improvement of security may be a bond, or another form in accordance with the Government Code, and the TMC. The amount of improvement security shall be in accordance with Title 12 of the TMC.

Insurance – Developer shall provide written evidence of insurance coverage that meets the terms of the Improvement Agreement.

Construction Permit Special Condition(s)

C.5.24 Prior to construction permit release, Developer shall obtain all applicable signatures of City departments and outside agencies (where applicable) on the Improvement Plans including the Fire Marshal prior to submitting said plans to Engineering for City Engineer's final signature.

C.5.25 The Developer shall install two (2) new streets A and C along the Project's frontage of this subdivision. Said new streets shall be constructed in accordance with City Standards. Along with the new driveways, the Developer shall also demolish an existing driveway along the Project's frontage on Valpico Road and replace it with new curb, curb and gutter and sidewalk and landscaping improvements along the Valpico Road. This new meandering concrete sidewalk shall be in the same alignment as the previously constructed sidewalk and constructed in accordance with City Standards. The Developer shall also widen the existing street pavement, concistent with the Valpico Road Precise Plan Line, with new curb and gutter and construct an underground storm drain system under the pavement to connect to the subdivision public storm drain system. The Developer shall also connect the proposed Project on-site sidewalks to the existing City sidewalk along the Project's frontage on Valpico Road. The Developer shall file for an encroachment permit for the demolition and construction of new improvements in the City ROW.

C.5.26 Developer shall install all proposed vertical curbs, curb and gutters and sidewalks, ADA ramps, signage and striping in the project's public streets A, B, C

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and D and install new rolled curb and gutter, sidewalks of all private streets and all alley ways in the alignment shown on the approved tentative map per current City Standards, and to the satisfaction of the City Engineer. Both the public and private streets should be fully designed prior to building permit and installed prior to occupying the first residential building. The Developer shall file for an encroachment permit for the demolition of existing improvements on existing parcels and all new construction of improvements within the city right of way.

C.5.27 The Developer shall install the drainage pipe and improvements to the regional 2B drainage system and pump system as in accordance with the City approved improvement plans of this "Detention basin 2B expansion" (CIP 76066) plans prepared by Stantec, dated July 12, 2019, for the regional Basin 2B. The installation of storm drain system and pump station of this basin shall be completed prior to installation of the subdivision storm drain system. This regional 2B basin is required to be operational prior to occupying the first building within the subdivision. Included with the construction of this basin, the developer may form a benefit district to be reimbursed for by other developers within the local drainage area that will contribute their fair share contribution to the construction of this basin.

C.6. Building Permit

Prior to building permit release, Developer shall demonstrate, to the satisfaction of the City Engineer, compliance with all required Conditions of Approval, including, but not limited to, the following:

- C.6.1 Developer has satisfied all the requirements set forth in Condition C.1 through C.2, and C.4, above.
- C.6.2 Prior to building permit release, Developer shall pay all applicable City and County development impact fees to the satisfaction of the City Engineer.
- C.6.3 Prior to building permit release, Developer shall have obtained a Grading Permit.

Building Permit Special Condition(s)

NONE

C.7. Acceptance of Public Improvements and Occupancy

Prior to acceptance of public improvements, if applicable, Developer shall demonstrate to the satisfaction of the City Engineer completion of the following:

- C.7.1 Developer has satisfied all the requirements set forth in these Conditions of Approval.
- C.7.2 Prior to any form of occupancy, Developer shall demonstrate satisfactory completion of all required/conditioned improvements. Developer shall use diligent

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and good faith efforts in taking all actions necessary to construct all public facilities required to serve the Project, and the Developer shall bear all costs related to construction of the public improvement and facilities (including all costs of design, construction, construction management, plan check, inspection, land acquisition, program implementation, and contingency).

- C.7.3 Prior to tract acceptance, Developer shall provide Certified "As-Built" Improvement Plans (or Record Drawings) from the Project's CA-CE. Upon completion of the construction by the Developer, the City, at its sole discretion, temporarily release the original mylars of the Improvement Plans to the Developer so that the Developer will be able to document revisions to show the "As-Built" configuration of all improvements.
- C.7.4 Prior to tract acceptance, Developer shall provide both AutoCAD files (including all X-references files), and GIS Shape files (both in formats approved by the City) for public improvements.
- C.7.5 Prior to tract acceptance, Developer shall complete but not limited to reconstructing PCC curb, gutter, and sidewalk, replacing asphalt concrete pavement, pavement marking and striping, and other improvements in poor condition or damaged by construction activities.

C.7.7 Prior to acceptance of public improvements, the Developer has completed the ninety (90) day public landscaping maintenance period.

- C.7.8 Prior to tract acceptance per Section 21107.5 of the California Vehicle Code, Developer shall install signs at all entrance(s) of the Project stating that the streets are privately owned and maintained and are not subject to public traffic regulations or control. Said signs must be conspicuously placed, plainly visible, and legible during daylight hours from a distance of one hundred (100) feet.
- C.7.9 Prior to acceptance of public improvements, Developer shall have constructed all public improvements in accordance City requirements, the recommendation(s) of the Project's (CA-CE), and to the satisfaction of the City Engineer.
- C.7.10 Release of Improvement Security – Release of improvement security shall be in accordance with the requirements of Title 12 of the TMC. Monumentation Bond will be released to the Developer after the City Council's acceptance of the public improvements and if the Developer meets the terms set in Section 66497(c) of the Subdivision Map Act. All survey monuments shown on the Final Map, if applicable, must be installed. Any altered, damaged, or destroyed survey monuments and/or benchmarks shall be re-established. The Developer shall submit centerline tie sheets or a record of survey for the following: new public streets; re-established survey monuments, and/or benchmarks. If the Developer destroyed, altered, and/or reconstructed any existing curb returns, Developer shall also submit corner records. Any survey document will be submitted the city and to the San Joaquin County Surveyor to comply with California Business and Professions Code Section 8771(c). Said work shall be executed by a California licensed Land Surveyor at the Developer's sole expense.

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Acceptance or Occupancy Special Condition(s)

C.7.11 Prior to issuance of temporary/final certificate of occupancy of the first building, all overhead utilities along entire project frontage shall be placed underground.

C.8. Special Conditions

C.8.1 When Street cuts are made for the installation of utilities in the paved street, the Developer shall conform to Section 3.13 of the 2020 Design Standards and is required install a 2-inch-thick asphalt concrete (AC) overlay with reinforcing fabric at least 25-feet from all sides of each utility trench. A 2-inch-deep grind on the existing AC pavement will be required where the AC overlay will be applied and shall be uniform thickness in order to maintain current pavement grades, cross and longitudinal slopes. This pavement repair requirement is when cuts/trenches are perpendicular and parallel to the street's direction.

C.8.2 Nothing contained herein shall be construed to permit any violation of relevant ordinances and regulations of the City of Tracy, or other public agency having jurisdiction. This Condition of Approval does not preclude the City from requiring pertinent revisions and additional requirements to the improvement plans, prior to the City Engineer's signature on the improvement plans, and prior to issuance of Grading Permit, Encroachment Permit, Building Permit, if the City Engineer finds it necessary due to public health and safety reasons, and it is in the best interest of the City. The Developer shall bear all the cost for the inclusion, design, and implementation of such additions and requirements, without reimbursement or any payment from the City.

C.8.3 If water is required for the project, the Developer shall obtain an account for the water service and register for a temporary water meter with the City Finance Department and Public Works Departments. The Developer shall pay all fees associated with obtaining the account number and temporary water meter for the water service.

C.8.4 Developer shall obtain an account for the water service to the Project and register the water meter with the Finance Department and Public Works department. The Developer shall prepare and submit a map depicting the location of the water meter on an 8.5-inch X 11-inch sheet to the Finance Department.

D. South San Joaquin County Fire Authority

D.1 Prior to construction, applicant shall submit construction documents to the South San Joaquin County Fire Authority for review and approval.

a) Construction documents shall be designed to the current edition of the California Code of Regulations, Title 24, as amended by the City of Tracy Municipal Code.

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- b) A request for fire flow shall be submitted to the South San Joaquin County Fire Authority and results shall be approved by the Fire Marshal prior to construction. Fire flow requirements shall be in accordance with CFC Appendix B.
- D.2 Engineering and building permit applications received by our offices are subject to the current fee schedule for South San Joaquin County Fire Authority. Contact our offices for additional information.
 - a) Application processing fees and minimum plan review fees are due at time of submittal of construction documents.
 - b) Additional plan review fees, minimum inspection fees and administrative fees are calculated on approval of project and shall be paid prior to issuance of permit.
 - c) Permit holder is responsible for any additional inspection fees incurred, and shall be paid prior to final inspection.
- D.3 The buildings shall be provided with approved address identification in accordance with 2022 California Fire Code §505.1 as amended by the Tracy Municipal Code §9.06.070 Section 912.2.CFC §505.1. The address shall be illuminated at night. Illumination shall be either internally or externally at an intensity of 5.0 foot-candles.
- D.4 All fire hydrants shall be installed, inspected and tested prior to bringing combustible materials onsite, including storage.
- D.5 Prior to construction, an address must be posted at the construction site entrance. Address must be a minimum of 4 inches high by ½ inch numerals. Address must be provided so that emergency service personnel can locate the construction site in the event of an emergency.
- D.6 Prior to construction, all-weather fire apparatus access roads shall be installed. Fire apparatus access roads during construction shall have a minimum 20' unobstructed width in accordance with CFC §503
- D.7 Additional comments may occur upon submittal of construction documents.

E. City of Tracy Building Department

- E.1 Prior to commencement of vertical construction, applicant shall submit to the Building Safety division construction plans and supporting documents for the building conforming to Title 24 California Code of Regulations and Tracy Municipal Code that are current at the time of submittal.
- E.2 Prior to commencement of vertical construction, applicant shall provide to the Building Safety Division plans that demonstrate compliance with CRC R310.1 and provide an unobstructed pathway (20 inch minimum clearance from fence to nearest equipment) from courts or yards used for emergency egress or rescue to public ways. Typical of all residences.

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- E.3 Prior to commencement of vertical construction, applicant shall provide to the Building Safety Division plans that demonstrate compliance with CRC R327.1.3 and provide doorway(s) with 32" minimum net clear opening to at least one bedroom and one bathroom (including toilet room). Typical of all residences.
- E.4 Prior to commencement of demolition of any structures, applicant shall submit demolition plans to the Building Safety Division in conformance with California Building Code section 105.1.
- E.5 Prior to commencement of construction, applicant shall submit to the Building Safety division construction plans that include an accessible route at street crossings (Street B) where people are expected to cross per CBC 11B-206.2.19.
- E.6 Prior to commencement of construction, applicant shall submit to the Building Safety division construction plans and supporting documents for concrete and masonry fences over 4 feet in height and wood and other light material over 7 feet in height in compliance with TMC 9.10.050.
- E.7 Prior to the construction of onsite improvement including but not limited to walks, sidewalks, utilities, signs, lights, retaining walls, sound walls, underground vaults, transformer, trellis, trash enclosures, etc., applicant shall submit to the Building Safety Division construction drawings and supporting documents that conform to the current Title 24 California Code of Regulations at time of application.

F. Parks, Recreation & Community Services Department

F.1 General Conditions

- 1. Current City of Tracy Design & Construction Standards (Standard Plans – Parks & Streetscapes) shall be followed for all public landscaping and the public park. See Policy 1F in the Citywide Parks, Recreation and Trails Master Plan for more information.
- 2. The Developer shall prepare construction improvement plans and specifications for any public landscape or public park improvements for Parks, Recreation and Community Services Department's approval, at Developer's expense.
- 3. Any landscape needs to comply with current Model Water Efficient Landscape Ordinance (MWELO) requirements.
- 4. Based on the project application, the Developer is planning to establish a Homeowner's Association (HOA) as the chosen funding mechanism. The preferred approach for the maintenance of public landscaping in this project is that the public park will be City maintained and all public landscaping will be maintained by the HOA.
- 5. The mailbox area shall be located outside of the public park site unless other options are necessary. (Parcel A).

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F.2 Neighborhood Park

1. Master Planning & Park Naming
 - a. After approval of vesting tentative map, the Developer shall submit the neighborhood park conceptual plan that meets City design criteria, complies with California Environmental Quality Act (CEQA), and complies with the Citywide Parks, Recreation and Trails Master Plan (PRTMP) policies. Once the Parks, Recreation and Community Services Department determines that the plan substantially meets the City's criteria, the Developer will be required to present the plan to the City's Parks & Community Services Commission at a public meeting for review and approval.
 - b. The park will be required to establish a name through the City's Park Naming Policy prior to starting construction documents.
2. Construction Document Preparation
 - a. Once a plan is approved, Developer prepares & submits 60%, 90% and 100% documents through the Engineering Division of the Public Works Department. The 60% submittal is a department-specific review, 90% and 100% submittals are City-wide review.
 - b. During the construction documentation phase, the Parks, Recreation and Community Services Department will work with the Developer and the Finance Department to establish estimated costs for the ongoing maintenance, operations and capital replacement of the facility. The Developer is required to join a Community Facilities District (CFD) to ensure these financial obligations are met in perpetuity.
3. The Developer is required to enter into a park-specific Subdivision Improvement Agreement. The developer may receive development impact fee credits for this work in accordance with Title 13 of the City of Tracy Municipal Code. The Developer will need to enter into an Improvement Agreement in order to receive fee credits.
4. The proposed neighborhood park is 3.58 acres in size and although it does not meet specific criteria for neighborhood parks between 2 and 4 acres in size as specified in the PRTMP, the City will accept a less than 4 acre neighborhood park due to the project site being located within a key neighborhood park opportunity area where neighborhood park access is limited.
5. The neighborhood park shall have an overall style that is unique from other parks within the City of Tracy. The developer may receive development impact fee credits for this work in accordance with Title 13 of the City of Tracy Municipal Code. The Developer will need to enter into an Improvement Agreement in order to receive fee credits.
6. Required Amenities:
 - a. Two distinct playground areas: one for 2-5 age children and another for 5-12 age children, including climbing apparatus and swings. The playground equipment should have a unique theme and/or aesthetic. The playground spaces shall be significantly shaded from day 1 of project opening by freestanding shade

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structures. The play areas should incorporate all-ability play (inclusive. It should be noted that as shown, the playground and shall be a 48" high Omega II Secur fencing /non-climbable fencing along the southern edges to promote a safe play environment near the public roads and the park design needs to discourage direct path of travel from play areas to street no matter the distance.

- b. Pedestrian scaled lighting shall be provided along all walking paths, street frontages, and amenity areas in the park. The multi-use court shall also be lighted to provide extended recreational opportunities during evening hours.
- c. Site identification signage consistent with City standards.
- d. Appropriate site furnishings (benches, drinking fountains, trash receptacles, picnic tables, etc.) for the intended size and use of the park.
- e. Flat, open, contiguous turf area for unstructured play; minimum one acre.
- f. At least 10 picnic tables, with 75% of tables under one shade structure.
- g. At least one active use amenity, such a multi-use sport court.
- h. Accessible pathway connecting park elements and creating a walking loop.
- i. General landscape improvements in natural or open space areas, including groundcovers, plantings and trees for shade and windbreaks.
- j. Bike parking, with a minimum of 5 spaces provided.
- k. Provide on-street accessible parking near the primary use areas of the park.
- l. Provide maintenance vehicle access into the park from the public road at northwest and south west corners.
- m. Park Plant Palette – *Stachys byzantina lantana* (Lamb's Ear) is not a durable species for a public park setting. Select a different species that is more robust to achieve similar design goals.
- n. In an effort to reduce water usage and maintenance inputs, 20% minimum of all planting areas within the park will need to consist of nonirrigated landscaping (ie. mulch, cobble, decomposed granite, artificial turf, etc.).
- o. Locations of in-ground and above-ground utility structures within park are subject to prior review and approval of Parks, Recreation and Community Services Department. Utilities shall not be placed near playground areas, field activities or obstruct the overall design of the primary park area.
- p. The neighborhood park must be completed and open for public use when 50% of the homes in the project are occupied, or sooner.
- q. Adjust trees within park so that no mature tree canopies hang over into private property.
- r.
- s. The proposed park site (Parcel A) is in an area of the project site that currently has industrial use actively occurring. The City has clear policy related to not accepting parkland that has contamination or similar environmental concerns. Staff reached out to the Developer and confirmed this current use is industrial. It was also stated that the CEQA analysis would evaluate site conditions including potential soil contamination and similar environmental concerns and that those issues would be mitigated prior to any public park construction occurring. The Parks, Recreation and Community Services Department will need confirmation from the Developer that the park site is not contaminated, including any specific remediation that may have been required by CEQA, prior to any construction activities occurring. If confirmation of a clean site cannot be obtained, the Developer would need to relocate the park to another portion of the project site

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that does not have these concerns. If the Developer chooses to not relocate the park, the park would not be eligible for neighborhood park credits (or as a community benefit as required for establishments of PUD zones) and the park will not be accepted as a public park.

F.3 Public Landscape Areas/Streetscape

1. In an effort to reduce water usage and maintenance inputs, a 20% minimum of all public landscape area will need to consist of non-irrigated landscaping (ie. mulch, cobble, decomposed granite, artificial turf, etc.).
2. Public landscaping that abuts private property landscaping shall be separated by a concrete mow band per City Standard Detail D7.10 and/or privately owned fence.
3. The split rail fence along Valpico Road needs to be pre-cast concrete and located on private property, not in the public right of way.
4. Tree Selection Comments
 - a. *Arbutus x 'Marina'* is not an acceptable street tree in Tracy due to maintenance concerns from wet fruit produced by tree. Please select a different species that doesn't create significant maintenance concerns.
 - b. *Platanus x acerifolia 'Yarwood'* has a high root damage potential. Please be mindful of placement along Valpico and create adequate separation between tree and hardscape areas.

F.4 City Basin/Project Bio-Retention Areas

1. The Civil plans call for Basin 2A access (PAE) off the public road. Provide driveway apron and asphalt access road with concrete mow band edge restraint up to City property. Provide gate and coordinate with City on material/model. Coordinate improvements with approved basin design.

F.5 The park shall be completed and open for public use (City Council acceptance) when 50% of the homes in a new development are occupied, or sooner. If a development is built in phases, the park must be completed and open for public use when 50% of the homes are occupied in that phase.”

G. San Joaquin County Multi-Species Habitat Conservation and Open Space Plan (SJMSCP).

Please contact SJMSCP staff regarding completing the following steps to satisfy SJMSCP requirements: Schedule a SJMSCP Biologist to perform a pre-construction survey ***prior to any ground disturbance.***

G.1. SJMSCP Incidental take Minimization Measures and mitigation requirement:

- Incidental Take Minimization Measures (ITMMs) will be issued to the project and must be signed by the project applicant prior to any ground disturbance but no later than six (6) months from receipt of the ITMMs. If ITMMs are not signed within six months, the applicant must reapply for SJMSCP Coverage. Upon receipt of signed ITMMs from project applicant, SJCOG, Inc. staff will sign the ITMMs. This is the effective date of the ITMMs.

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July 1, 2025

- Under no circumstance shall ground disturbance occur without compliance and satisfaction of the ITMMs.
- Upon issuance of fully executed ITMMs and prior to any ground disturbance, the project applicant must:
 - a. Post a bond for payment of the applicable SJMSCP fee covering the entirety of the project acreage being covered (the bond should be valid for no longer than a 6 month period); or
 - b. Pay the appropriate SJMSCP fee for the entirety of the project acreage being covered; or
 - c. Dedicate land in-lieu of fees, either as conservation easements or fee title; or
 - d. Purchase approved mitigation bank credits.
- Within 6 months from the effective date of the ITMMs or issuance of a building permit, whichever occurs first, the project applicant must:
 - a. Pay the appropriate SJMSCP for the entirety of the project acreage being covered; or
 - b. Dedicate land in-lieu of fees, either as conservation easements or fee title; or
 - c. Purchase approved mitigation bank credits.
- Failure to satisfy the obligations of the mitigation fee shall subject the bond to be called.

Receive your Certificate of Payment and release the required permit

H San Joaquin Valley Air Pollution Control District (District)

The District issues permits for many types of air pollution sources, and regulates some activities that do not require permits. A project subject to District rules and regulations would reduce its impacts on air quality through compliance with the District's regulatory framework. In general, a regulation is a collection of individual rules, each of which deals with a specific topic. As an example, Regulation II (Permits) includes District Rule 2010 (Permits Required), Rule 2201 (New and Modified Stationary Source Review), Rule 2520 (Federally Mandated Operating Permits), and several other rules pertaining to District permitting requirements and processes.

The list of rules below is neither exhaustive nor exclusive. Current District rules can be found online at: <https://ww2.valleyair.org/rules-and-planning/current-district-rules-and-regulations>. To identify other District rules or regulations that apply to future projects, or to obtain information about District permit requirements, the project proponents are strongly encouraged to contact the District's Small Business Assistance (SBA) Office at (209) 557-6446.

H.1 District Rule 4601 (Architectural Coatings)

The Project will be subject to District Rule 4601 since it is expected to utilize architectural coatings. Architectural coatings are paints, varnishes, sealers, or stains that are applied to

Conditions of Approval

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structures, portable buildings, pavements or curbs. The purpose of this rule is to limit VOC emissions from architectural coatings. In addition, this rule specifies architectural coatings storage, cleanup and labeling requirements. Additional information on how to comply with District Rule 4601 requirements can be found online at:

<https://ww2.valleyair.org/media/tkgjeusd/rule-4601.pdf>

H.2 District Regulation VIII (Fugitive PM10 Prohibitions)

The project proponent may be required to submit a Construction Notification Form or submit and receive approval of a Dust Control Plan prior to commencing any earthmoving activities as described in Regulation VIII, specifically Rule 8021 – *Construction, Demolition, Excavation, Extraction, and Other Earthmoving Activities*.

Should the project result in at least 1-acre in size, the project proponent shall provide written notification to the District at least 48 hours prior to the project proponents intent to commence any earthmoving activities pursuant to District Rule 8021 (Construction, Demolition, Excavation, Extraction, and Other Earthmoving Activities). Also, should the project result in the disturbance of 5-acres or more, or will include moving, depositing, or relocating more than 2,500 cubic yards per day of bulk materials, the project proponent shall submit to the District a Dust Control Plan pursuant to District Rule 8021 (Construction, Demolition, Excavation, Extraction, and Other Earthmoving Activities). For additional information regarding the written notification or Dust Control Plan requirements, please contact District Compliance staff at (559) 230-5950.

The application for both the Construction Notification and Dust Control Plan can be found online at: <https://ww2.valleyair.org/media/fm3jrbsq/dcp-form.docx>

Information about District Regulation VIII can be found online at:

<https://ww2.valleyair.org/dustcontrol>

I. Byron-Bethany Irrigation District (legacy WSID)

I.1 There needs to be a physical barrier between BBID property and the Triway development.

I.2 Any landscaping within 10 feet of the BBID canal needs to be coordinated to make sure operational impacts are reduced. BBID cannot have any tree branches extending into BBID property which would impede BBID equipment using the canal access road. Due to these reasons, we would request that the trees be moved at least 10' back from the wall, or replaced with other vegetation that does not cause these concerns.

I.3 Construction along the BBID property line will require coordination with BBID staff. Construction documents, reports and improvement plans shall ensure that the BBID canal and property will be protected from stormwater, sediment, and other trash and debris during construction.

J. City of Tracy – Transit Division

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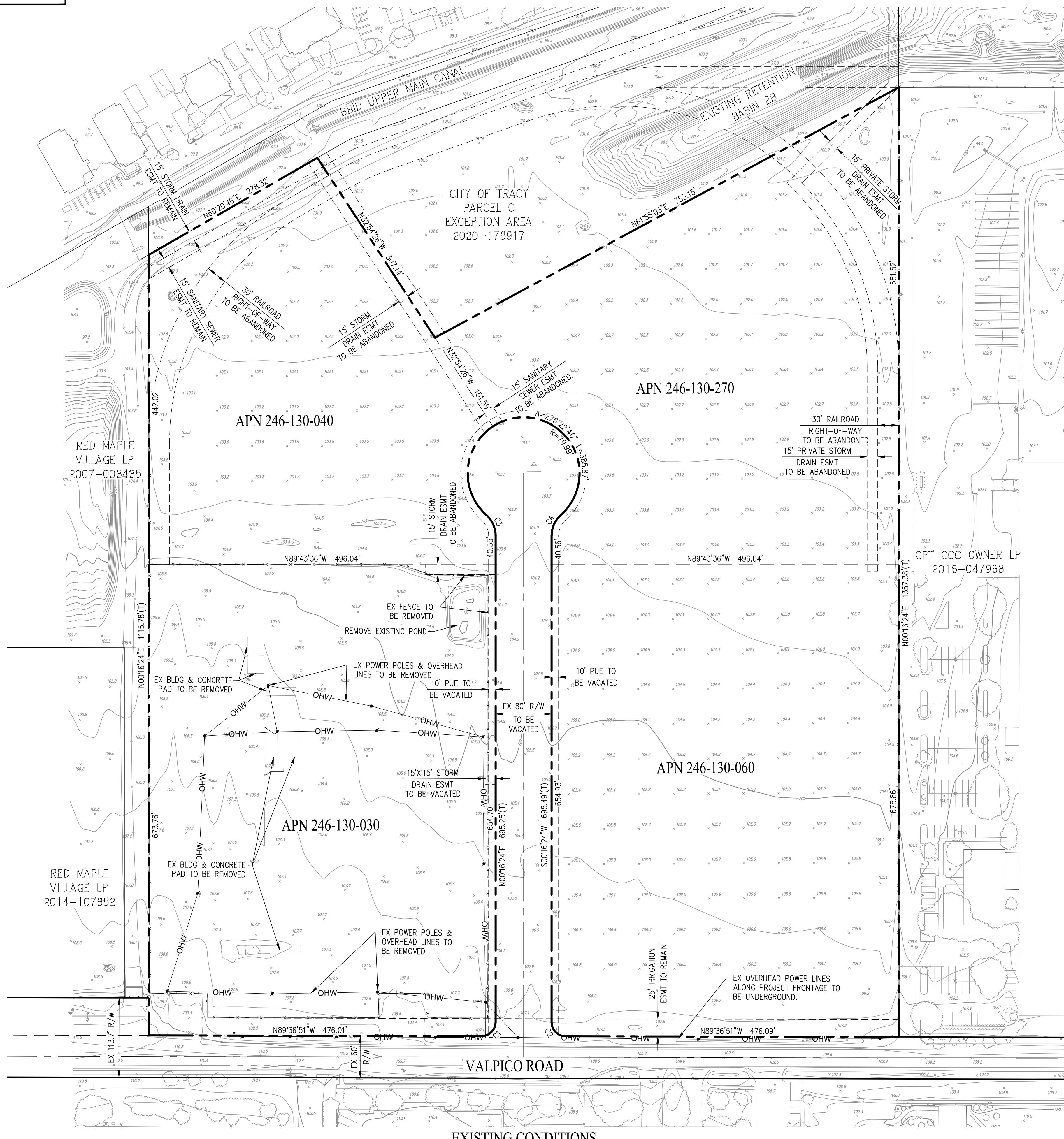
July 1, 2025

J.1 A bus stop needs to be included on Valpico. It should be located approximately halfway in-between the two sub-division entrances. A bus stop pole, shelter, bench, and trash can are required, matching existing bus stop designs.

J.2 Bike lanes should be included along Valpico connecting with existing bike lanes to the west, with green markings as necessary according to City standard.



**Now what's below.
Call 811 before you dig.**



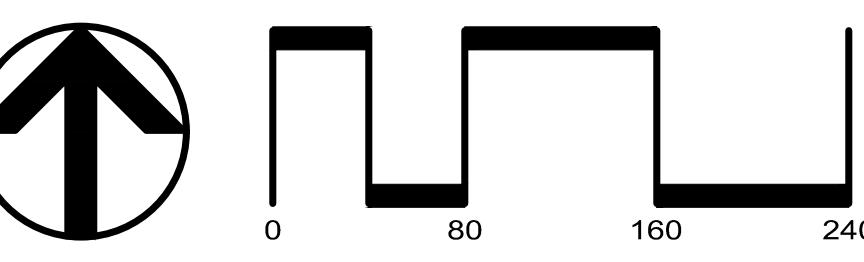
LEGEND

— — — — —	EXISTING BOUNDARY
— — — — —	EXISTING EASEMENT
— x — x — —	EXISTING FENCE
— OHW — — —	EXISTING OVERHEAD POWER LINES AND POST

CURVE TABLE			
NO	RADIUS	DELTA	LENGTH
C1	20.00'	90°06'45"	31.45'
C2	20.00'	89°53'15"	31.37'
C3	40.00'	48°11'23"	33.64'
C4	40.00'	48°11'23"	33.64'

NOTES:

1. ALL EXISTING EASEMENTS & RIGHT OF WAYS WITHIN PROJECT BOUNDARY WILL BE QUITCLAIMED OR VACATED, UNLESS NOTED "TO REMAIN".
2. THE SITE SHALL BE STRIPPED CLEAN PRIOR TO GRADING OPERATIONS. THIS INCLUDES DEMOLITION AND REMOVAL OF EXISTING POWER LINES, POWER POLES, BUILDINGS, CONCRETE SLABS, FENCES, PONDS, CONTAINERS AND DEBRIS WITHIN PROJECT BOUNDARY. REFER TO GEOTECHNICAL REPORT RECOMMENDATIONS



EXISTING CONDITIONS

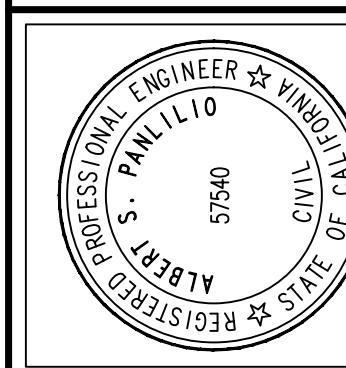
TRACT 4206

EXISTING TENTATIVE SUBDIVISION MAP

THE TRIWAY

SHEET
TM02
OF 15 SHEET

CITY OF TRACY



cbg

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LOTTING PLAN

SCALE: 1"

Figure 1 consists of two parts. On the left is a circular logo featuring a thick black arrow pointing upwards, set against a white background with a thin black border. On the right is a waveform diagram showing a square wave. The x-axis is labeled with the values 0, 60, 120, and 180. The waveform is black and has sharp transitions at each of these values.

LOTTI TRAVESTING TENTATIVA THE

SHEET
TM04

CITY OF TRACY

APPROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR
CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF
CONSTRUCTION OF THE IMPROVEMENTS PUBLIC INTEREST REQUIRES MODIFICATION OF OR A DEPARTURE
FROM THE SPECIFICATIONS AND DETAILS OF THE CITY OF TRACY OR THESE PLANS, THE CITY ENGINEER
SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATIONS OR DEPARTURE AND TO SPECIFY THE
MANNER IN WHICH THE SAME IS TO BE MADE AT NO COST TO THE CITY. APPROVED AS TO DESIGN
ONLY BASED ON THE INFORMATION SUBMITTED HEREON. APPROVED FOR THE CITY OF TRACY

A circular registration stamp. The outer ring contains the text "PROFESSIONAL ENGINEER" at the top and "CIVIL ENGINEER" at the bottom, separated by a five-pointed star. The inner circle contains "REGISTRATION" at the top and "STATE OF CALIFORNIA" at the bottom, separated by a five-pointed star. The name "ALBERT S. PANILIO" is in the center, and the registration number "57540" is to the right of the name.

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SACRAMENTO (916) 375-1877
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APPROVED							
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ONS
OPTION

14, 2025	BY:	ED BY:
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DATE: MAY	DRAWN AP	CHECK GZ	SCALE:
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ON MAP

PLAN

4206 SUBDIVISION RIWAY

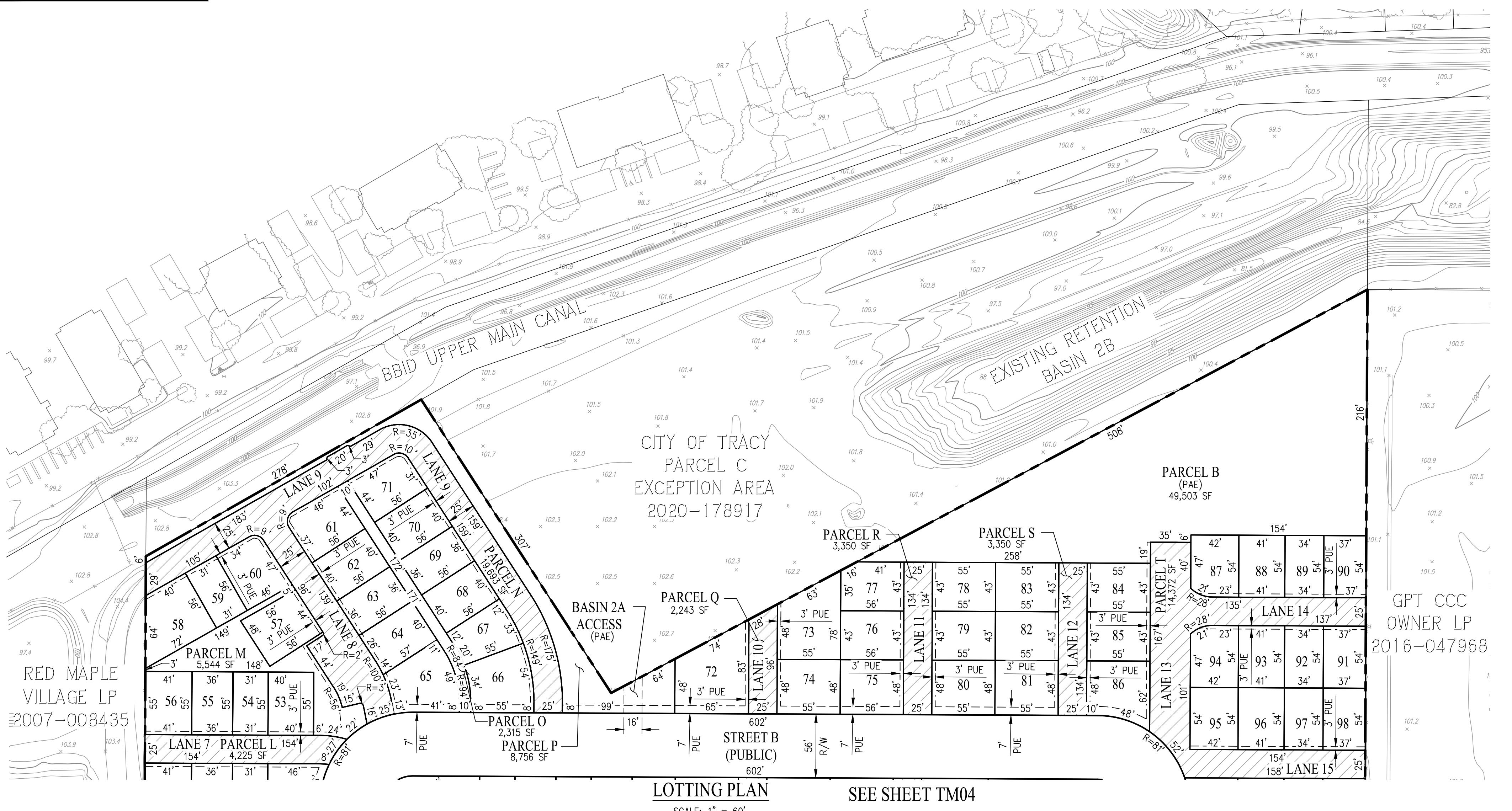
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VESTIN

SHEET
TM04



Know what's below.
Call 811 before you dig.



LOT NO.	LOT AREA
1	2,555
2	2,328
3	2,095
4	3,109
5	2,553
6	1,721
7	1,998
8	2,266
9	2,272
10	1,998
11	1,721
12	2,553
13	2,303
14	2,209
15	1,861
16	2,021
17	2,026
18	1,862
19	2,207
20	2,298
21	2,298
22	2,207
23	1,862
24	2,026

LOT NO.	LOT AREA
25	2,026
26	1,862
27	2,207
28	2,298
29	2,298
30	2,207
31	1,862
32	2,026
33	2,026
34	1,862
35	2,207
36	2,298
37	2,298
38	2,207
39	1,862
40	2,026
41	2,026
42	1,862
43	2,207
44	2,298
45	2,553
46	1,720
47	1,998
48	2,276

LOT NO.	LOT AREA
49	2,276
50	1,998
51	1,720
52	2,645
53	2,220
54	1,720
55	1,998
56	2,276
57	2,549
58	3,107
59	1,721
60	2,429
61	2,516
62	2,220
63	1,998
64	2,250
65	3,021
66	2,903
67	2,127
68	2,220
69	1,998
70	2,220
71	2,315
72	4,243

LOT NO.	LOT AREA
73	3,521
74	2,664
75	2,664
76	2,387
77	2,333
78	2,387
79	2,386
80	2,664
81	2,664
82	2,386
83	2,387
84	2,387
85	2,386
86	2,868
87	2,253
88	2,207
89	1,862
90	2,026
91	2,026
92	1,862
93	2,207
94	2,253
95	2,298
96	2,207

LOT NO.	LOT AREA
97	1,862
98	2,026
99	2,026
100	1,862
101	2,207
102	2,337
103	2,298
104	2,207
105	1,862
106	2,026
107	2,026
108	1,862
109	2,207
110	2,298
111	2,298
112	2,207
113	1,862
114	2,026
115	2,026
116	1,862
117	2,207
118	2,298
119	2,298
120	2,207

LOT NO.	LOT AREA
121	1,862
122	2,026
123	2,026
124	1,862
125	2,207
126	2,298
127	2,298
128	2,207
129	1,862
130	2,026
131	2,026
132	1,862
133	2,207
134	2,298
135	2,299
136	2,211
137	1,868
138	2,035
139	2,279
140	1,998
141	1,721
142	2,553
143	2,553
144	1,721

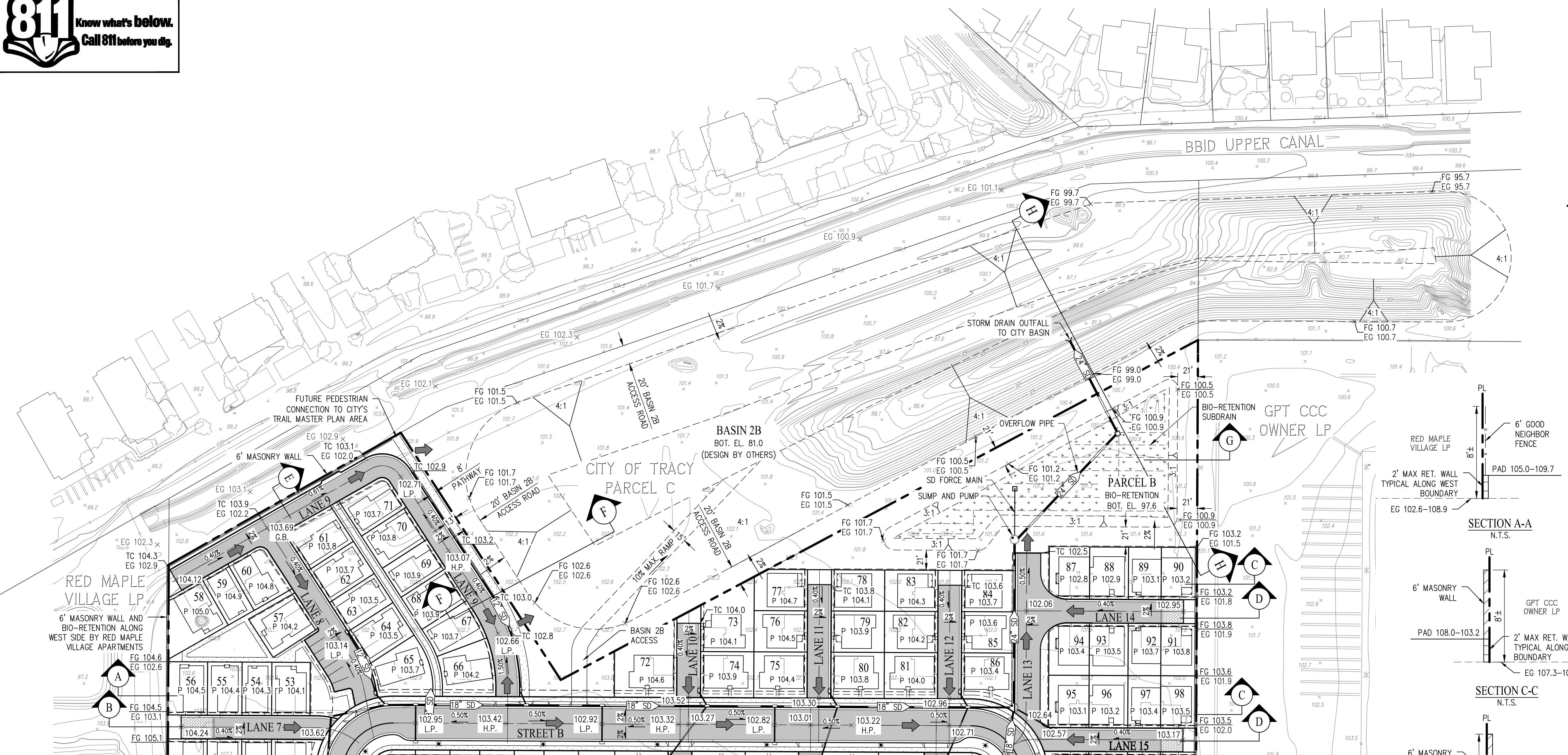
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145	1,998
146	2,285
147	4,170
148	3,547
149	2,938
150	4,001
151	2,317
152	1,906
153	1,907
154	2,582
155	2,362
156	1,813
157	2,106
158	1,813
159	1,813
160	2,106
161	1,813
162	2,106
163	1,813
164	2,106
165	1,813
166	2,106
167	1,813
168	2,401

LOT NO.	LOT AREA
169	2,582
170	1,907
171	1,907
172	2,316
173	2,567
174	1,937
175	2,250
176	1,937
177	2,250
178	1,938
179	2,250
180	1,937
181	2,250
182	1,938
183	1,938
184	2,250
185	1,938
186	2,527
187	2,882
188	2,750
189	2,323
190	2,461
191	2,759
192	3,805

LOT NO.	LOT AREA
193	3,176
194	2,228
195	1,989
196	1,879
197	2,228
198	2,391
199	2,726
200	2,427
201	2,386
202	2,386
203	2,664
204	2,664
205	2,386
206	2,387
207	2,427
208	2,741
209	3,246
210	2,964
211	2,386
212	2,386
213	2,664
214	2,664
215	2,386
216	2,387
217	2,525
218	3,166
219	2,664
220	2,386
221	2,386
222	2,510
223	2,386
224	2,386
225	2,386
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232	3,076
233</td	

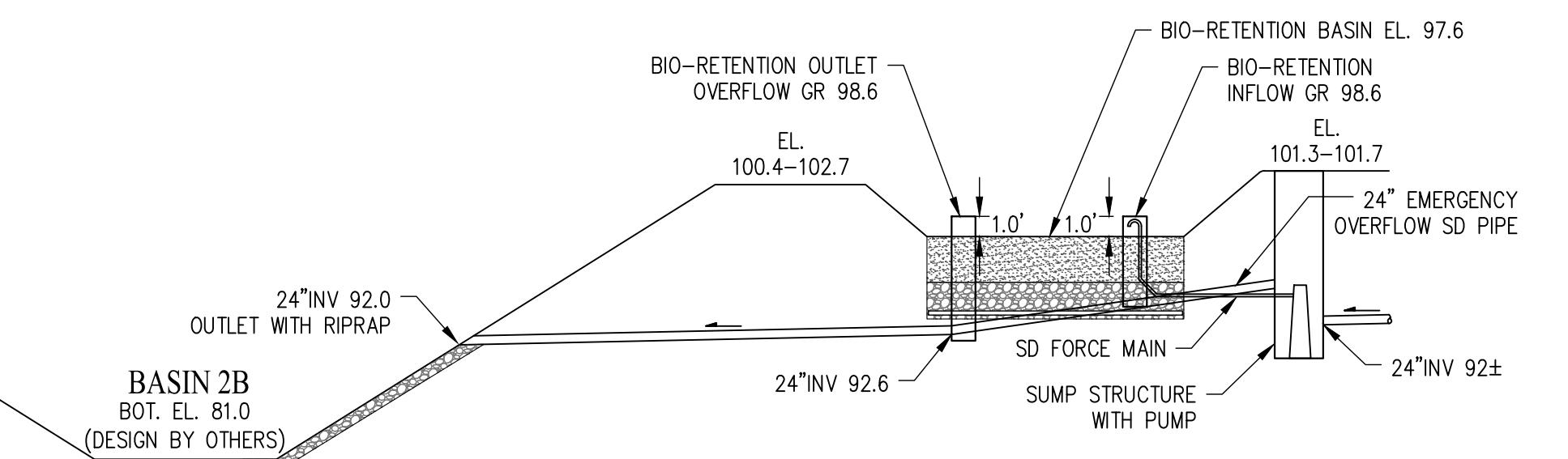
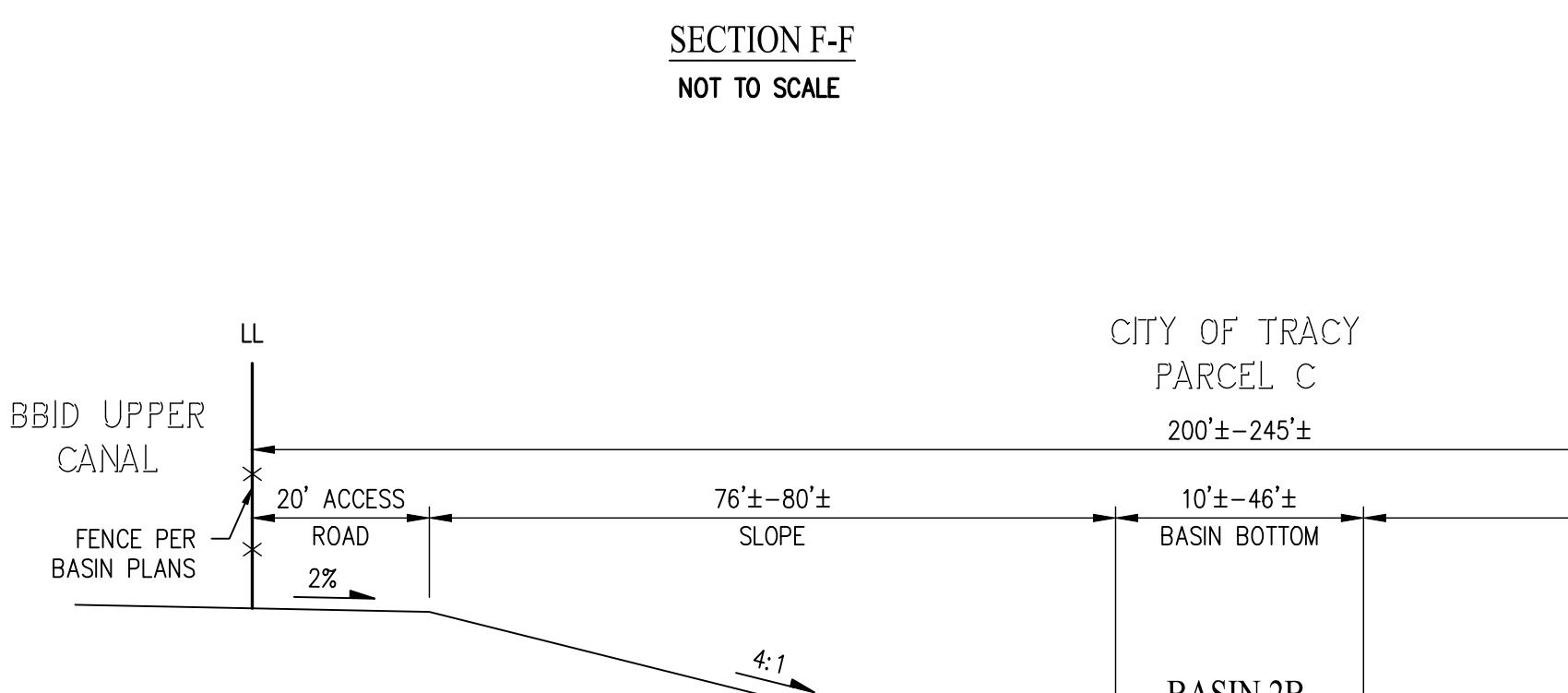
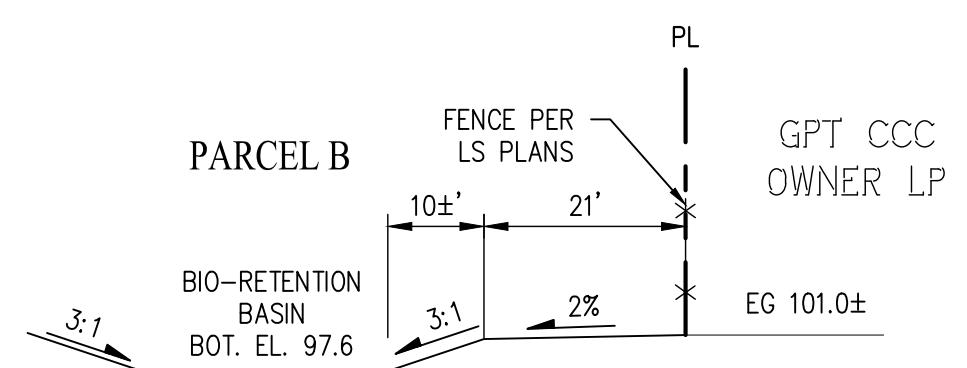
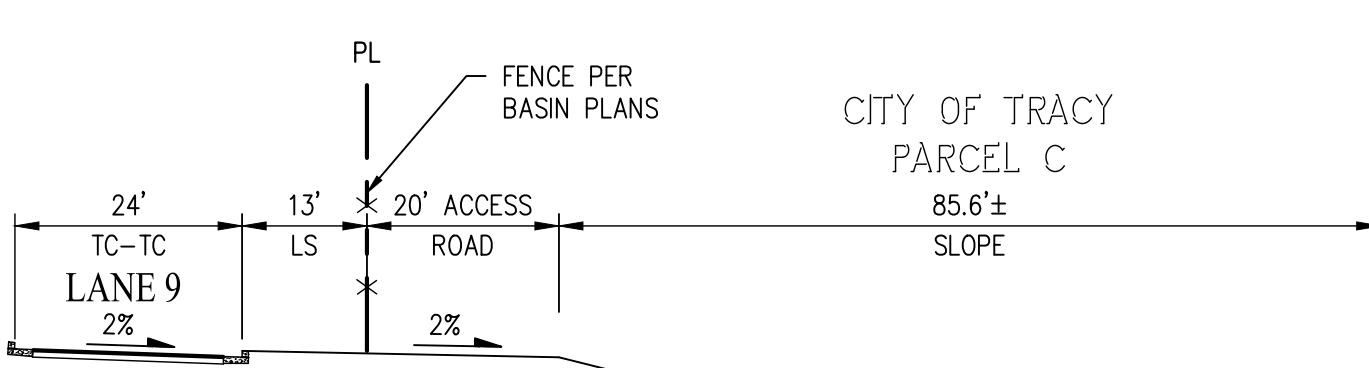
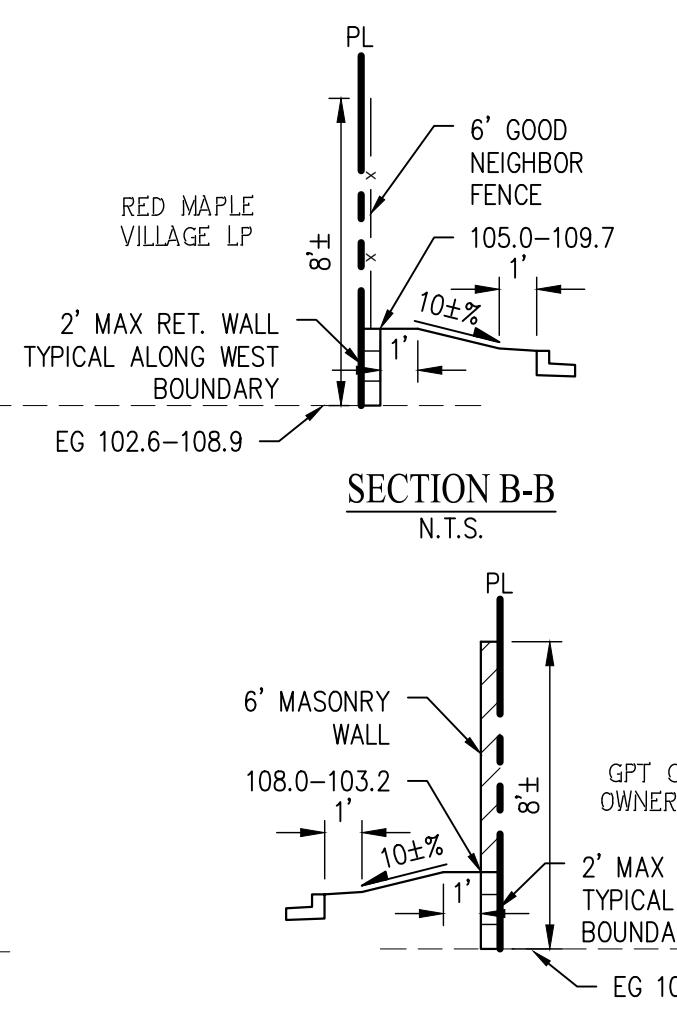


Know what's below.
Call 811 before you dig.



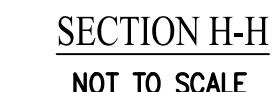
LEGEND

		PROJECT BOUNDARY
P		PAD ELEVATION
FG		FINISH GRADE
EG		EXISTING GRADE
		OVERLAND RELEASE DIRECTION
		BIO-RETENTION AREA



BIO-RETENTION AND BASIN 2B DIAGRAM

NOTE: ELEVATIONS AND INVERTS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH FINAL DESIGN.



NOT TO SCALE

CITY OF TRACY

APPROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN, IF DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS PUBLIC INTEREST REQUIRES MODIFICATION OF OR A DEPARTURE FROM THE SPECIFICATIONS AND DETAILS OF THE CITY OF TRACY OR THESE PLANS. THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATIONS OR DEPARTURE AND TO SPECIFY THE SAME IS TO BE MADE AT NO COST TO THE CITY, APPROVED AS TO DESIGN ONLY BASED ON THE INFORMATION SUBMITTED HEREON. APPROVED FOR THE CITY OF TRACY
KODAK SAFETY FILM
CITY FINANCED
DATE: _____

The logo for Tracy is a graphic design. It features a large, stylized 'T' and 'R' that are interconnected. A triangle is positioned above the 'T', and a series of wavy lines are to the right of the 'R'. Below the graphic, the word 'TRACY' is written in a bold, sans-serif font. To the right of the logo, the tagline 'Think Inside the Triangle' is written vertically in a smaller, sans-serif font.

cbg

SAN RAMON (925) 866-0322
SACRAMENTO (916) 375-1877
WWW.CBANDG.COM

CIVIL ENGINEERS ■ SURVEYORS ■ PLANNERS

DATE:	MAY 14, 2025
DRAWN BY:	AP
CHECKED BY:	GZ
SCALE:	AS SHOWN

GRADING AND DRAINAGE PLAN

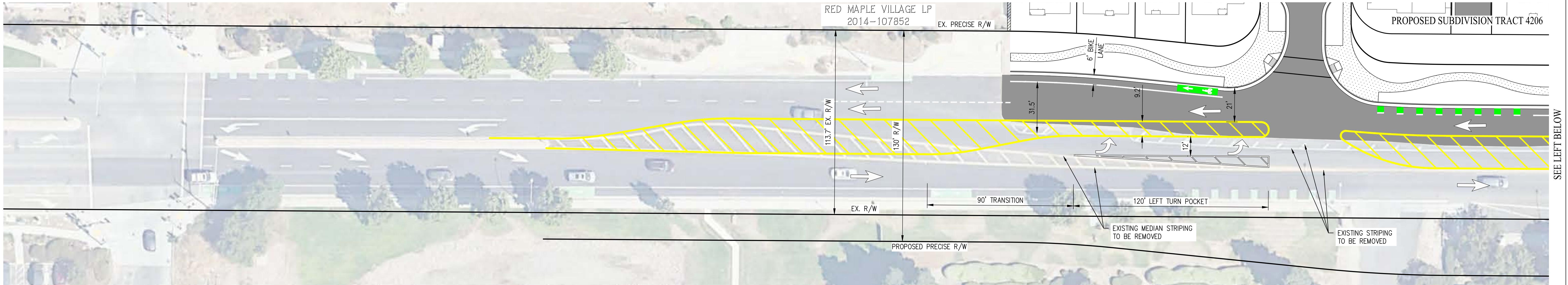
TRACT 4206

VESTING TENTATIVE SUBDIVISION MAP

THE TRIWAY

CALIFORNIA

SHEET
TM10
OF 15 SHEETS

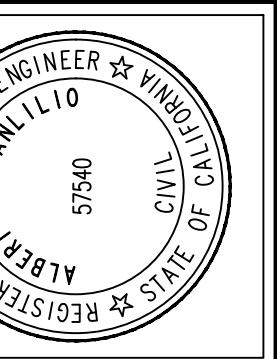


CITY OF TRACY

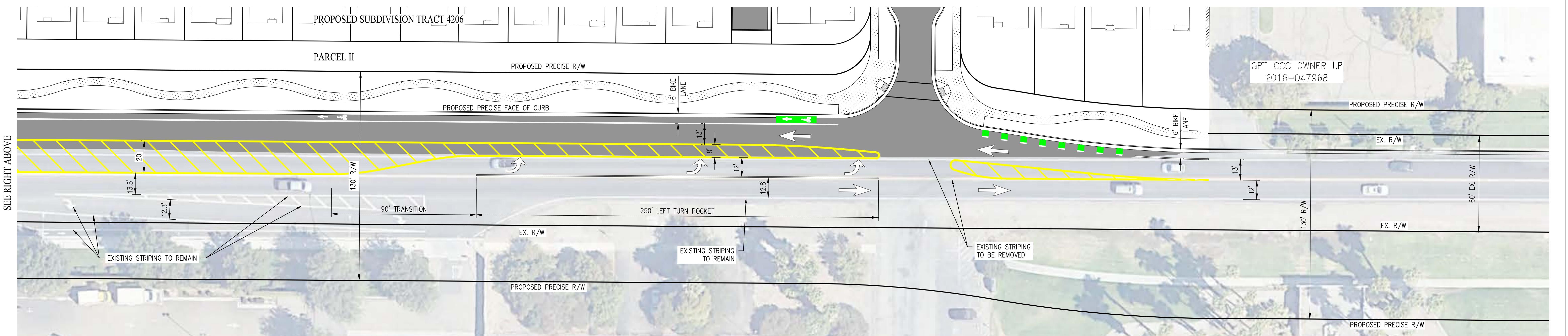
APPROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER OR THE RESPONSIBILITY FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, AND USE OF THE WORKS. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO SECURE AN APPROVAL FROM THE CITY FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, AND USE OF THE WORKS. THE CITY APPROVED THIS DESIGN IN THE MANNER IN WHICH IT WAS SUBMITTED. NO PART OF THE CITY APPROVED DESIGN IS TO BE MADE OR ALTERED IN ANY MANNER WITHOUT THE CITY'S APPROVAL. NO INFORMATION CONTAINED IN THESE PLANS IS TO BE MADE PUBLIC OR DISCLOSED IN ANY MANNER UNLESS APPROVED BY THE CITY. THE CITY APPROVED DESIGN IS THE ONLY DESIGN BASED ON THE INFORMATION SUBMITTED HERETO APPROVED FOR THE CITY OF TRACY.

KOSENINIA P.E.

DATE:



cbg SAN RAMON SACRAMENTO (925) 866-0322 www.cbgands.com CIVIL ENGINEERS • SURVEYORS • PLANNERS



VALPICO ROAD PLAN LINE

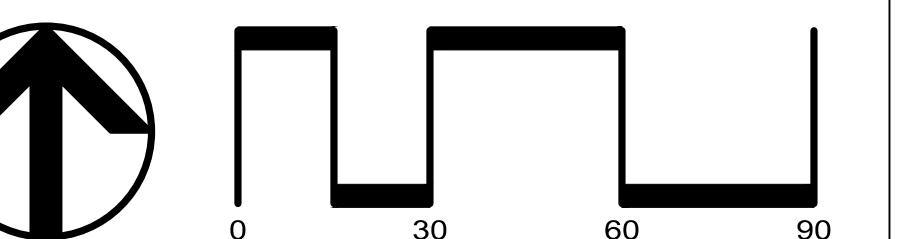
TRACT 4206 VESTING TENTATIVE SUBDIVISION MAP THE TRIWAY TRACY CALIFORNIA

SHEET TM15 OF 15 SHEETS

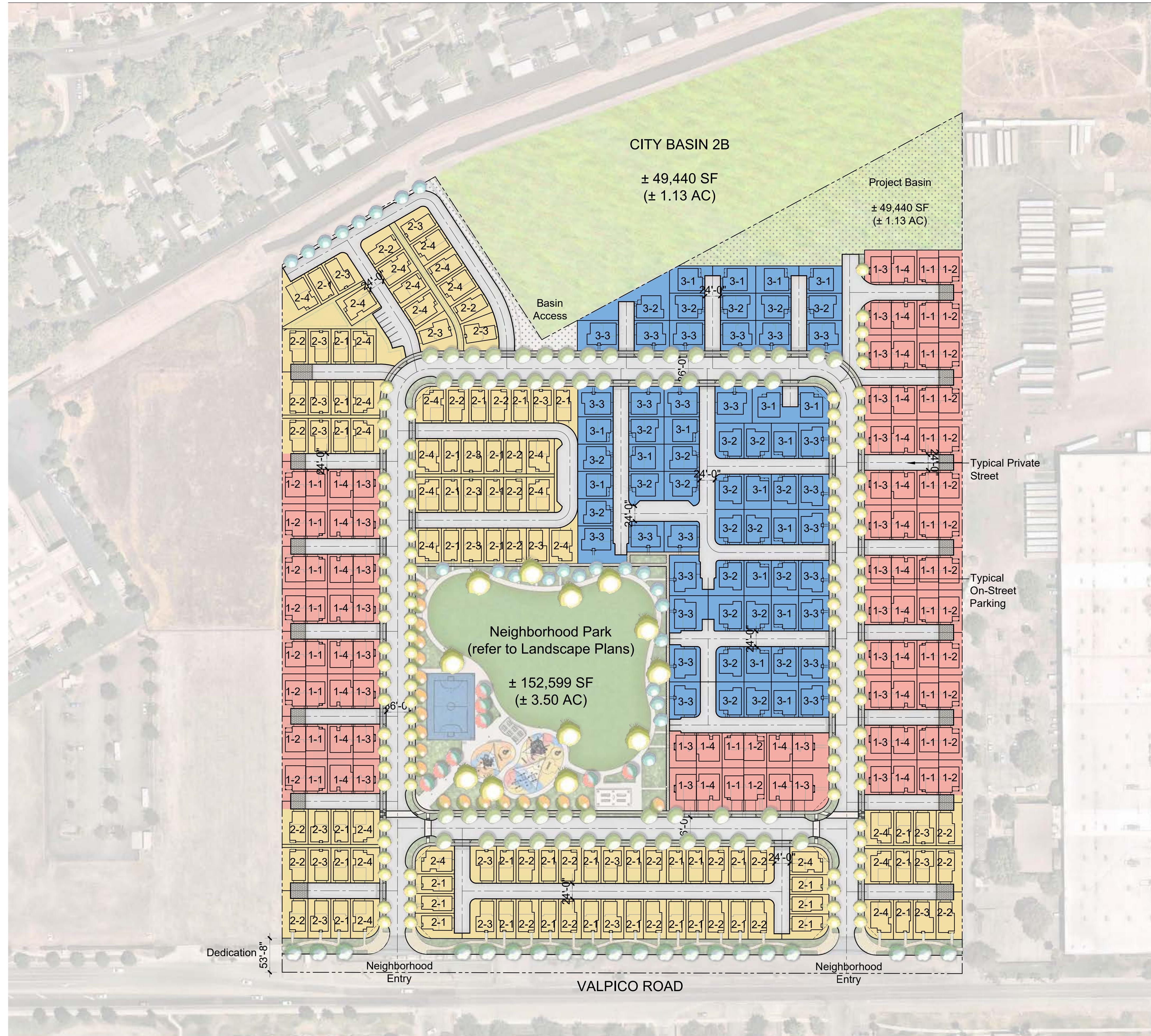
5/20/2023 1:46 PM

LEGEND:

PROPOSED PAVEMENT



F-0385-0001ACAD/TM/TM15.DWG



The Triway
Tracy, Ca
Brookfield Residential
KTGY #2021-1312
5/19/2025

ARCHITECTURAL

PROJECT OVERVIEW

- A0.0.0 SITE PLAN AND PROJECT DATA
- A0.0.1 SHEET INDEX
- A0.0.2 SITE PHOTOS
- A0.0.3 CONCEPTUAL PERSPECTIVE

N1: DEVON AT THE TRIWAY

DUET - DUET 1

- N1-A1.1.0 DUET 1 FRONT ELEVATIONS
- N1-A1.2.0 DUET 1A FLOOR PLAN
- N1-A1.2.1 DUET 1A FLOOR PLAN
- N1-A1.3.0 DUET 1A EXTERIOR ELEVATIONS
- N1-A1.3.1 DUET 1B EXTERIOR ELEVATIONS
- N1-A1.3.2 DUET 1C EXTERIOR ELEVATIONS
- N1-A1.4.0 DUET 1A ROOF PLAN
- N1-A1.4.1 DUET 1B ROOF PLAN
- N1-A1.4.2 DUET 1C ROOF PLAN

DUET - DUET 2

- N1-A2.1.0 DUET 2 FRONT ELEVATIONS
- N1-A2.1.1 LOOP STREET PERSPECTIVE
- N1-A2.2.0 DUET 2A FLOOR PLAN
- N1-A2.2.1 DUET 2A FLOOR PLAN
- N1-A2.3.0 DUET 2A EXTERIOR ELEVATIONS
- N1-A2.3.1 DUET 2B EXTERIOR ELEVATIONS
- N1-A2.3.2 DUET 2C EXTERIOR ELEVATIONS
- N1-A2.3.3 DUET 2D EXTERIOR ELEVATIONS
- N1-A2.4.0 DUET 2A ROOF PLAN
- N1-A2.4.1 DUET 2B ROOF PLAN
- N1-A2.4.2 DUET 2C ROOF PLAN
- N1-A2.4.3 DUET 2D ROOF PLAN

N1-A0.5.0 COLOR / MATERIALS BOARD

N2: KINSLEY AT THE TRIWAY

N2-A0.0.1 VALPICO STREET SCENE

ALLEY LOAD - PLAN 1

- N2-A1.1.0 PLAN 1 FRONT ELEVATIONS
- N2-A1.2.0 PLAN 1A FLOOR PLANS
- N2-A1.3.0 PLAN 1A EXTERIOR ELEVATIONS
- N2-A1.3.1 PLAN 1B EXTERIOR ELEVATIONS
- N2-A1.3.2 PLAN 1C EXTERIOR ELEVATIONS
- N2-A1.4.0 PLAN 1 ROOF PLAN
- N2-A1.4.1 PLAN 1 ROOF PLAN

ALLEY LOAD - PLAN 2

- N2-A2.1.0 PLAN 2 FRONT ELEVATIONS
- N2-A2.2.0 PLAN 2A FLOOR PLANS
- N2-A2.3.0 PLAN 2A EXTERIOR ELEVATIONS
- N2-A2.3.1 PLAN 2B EXTERIOR ELEVATIONS
- N2-A2.3.2 PLAN 2C EXTERIOR ELEVATIONS

N2-A2.4.0 PLAN 2 ROOF PLAN

N2-A2.4.1 PLAN 2 ROOF PLAN

ALLEY LOAD 3

- N2-A3.1.0 PLAN 3 FRONT ELEVATIONS
- N2-A3.2.0 PLAN 3A FLOOR PLANS
- N2-A3.3.0 PLAN 3A EXTERIOR ELEVATIONS
- N2-A3.3.1 PLAN 3B EXTERIOR ELEVATIONS
- N2-A3.3.2 PLAN 3C EXTERIOR ELEVATIONS
- N2-A3.4.0 PLAN 3 ROOF PLAN
- N2-A4.1.1 PLAN 3 ROOF PLAN

ALLEY LOAD - PLAN 4

- N2-A4.1.0 PLAN 4 FRONT ELEVATIONS
- N2-A4.2.0 PLAN 4A FLOOR PLANS
- N2-A4.3.0 PLAN 4A EXTERIOR ELEVATIONS
- N2-A4.3.1 PLAN 4B EXTERIOR ELEVATIONS
- N2-A4.3.2 PLAN 4C EXTERIOR ELEVATIONS
- N2-A4.4.0 PLAN 4 ROOF PLAN
- N2-A4.4.1 PLAN 4 ROOF PLAN

N2-A0.5.0 COLOR / MATERIALS BOARD

N3: SOMERSET AT THE TRIWAY

FRONT LOAD - PLAN 1

- N3-A1.1.0 PLAN 1 FRONT ELEVATIONS
- N3-A1.2.0 PLAN 1A FLOOR PLANS
- N3-A1.3.0 PLAN 1A EXTERIOR ELEVATIONS
- N3-A1.3.1 PLAN 1B EXTERIOR ELEVATIONS
- N3-A1.3.2 PLAN 1C EXTERIOR ELEVATIONS
- N3-A1.4.0 PLAN 1 ROOF PLAN
- N3-A1.4.1 PLAN 1 ROOF PLAN

FRONT LOAD - PLAN 2

- N3-A2.1.0 PLAN 2 FRONT ELEVATIONS
- N3-A2.2.0 PLAN 2A FLOOR PLANS
- N3-A2.3.0 PLAN 2A EXTERIOR ELEVATIONS
- N3-A2.3.1 PLAN 2B EXTERIOR ELEVATIONS
- N3-A2.3.2 PLAN 2C EXTERIOR ELEVATIONS
- N3-A2.4.0 PLAN 2 ROOF PLAN
- N3-A2.4.1 PLAN 2 ROOF PLAN

FRONT LOAD - PLAN 3

- N3-A3.1.0 PLAN 3 FRONT ELEVATIONS
- N3-A3.1.1 LOOP STREET PERSPECTIVE
- N3-A3.2.0 PLAN 3A FLOOR PLANS
- N3-A3.3.0 PLAN 3A EXTERIOR ELEVATIONS
- N3-A3.3.1 PLAN 3B EXTERIOR ELEVATIONS
- N3-A3.3.2 PLAN 3C EXTERIOR ELEVATIONS
- N3-A3.4.0 PLAN 3 ROOF PLAN
- N3-A3.4.1 PLAN 3 ROOF PLAN

N3-A0.5.0 COLOR / MATERIALS BOARD

CIVIL

- TM-01 TITLE SHEET AND GENERAL NOTES
- TM-02 EXISTING CONDITIONS
- TM-03 PROPOSED STREET SECTIONS
- TM-04 LOTTING PLAN
- TM-05 LOTTING PLAN
- TM-06 OVERALL SITE PLAN
- TM-07 DETAILED SITE PLAN
- TM-08 DETAILED SITE PLAN
- TM-09 GRADING AND DRAINING PLAN
- TM-10 GRADING AND DRAINING PLAN
- TM-11 UTILITY PLAN
- TM-12 UTILITY PLAN
- TM-13 PRELIMINARY STORMWATER CONTROL PLAN
- TM-14 FIRE ACCESS PLAN
- TM-15 VALPICO ROAD PLAN LINE

LANDSCAPE

- L-1 OVERALL CONCEPT PLAN
- L-2 OVERALL FENCING PLAN
- L-3 OVERALL TREE PLANTING PLAN
- L-4 PARK PLANT PALETTE
- L-5 PARK PLANT PALETTE INFORMATION
- L-6 PRELIMINARY IRRIGATION PLAN
- L-7 PRELIMINARY IRRIGATION CALCULATION
- L-8 ENLARGED PARK CONCEPT PLAN
- L-9 ENLARGED NEIGHBORHOOD ENTRY
- L-10 SECTIONS
- L-11 PRODUCTION TYPICALS
- L-12 MODEL TYPICAL PLANT PALETTE



1. View 1



2. View 2



3. View 3



4. View 4



7. View 7



6. View 6



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Brookfield
Residential

THE TRIWAY
TRACY, CA # 2021-1312

CONCEPTUAL PLANNING
SEPTEMBER 13, 2024

SITE PHOTOS

A0.0.2

SYMBOLS LEGEND



PROJECT SITE



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Brookfield
Residential

THE TRIWAY
TRACY, CA # 2021-1312

CONCEPTUAL PLANNING
SEPTEMBER 13, 2024

CONCEPTUAL PERSPECTIVE

A0.0.3

KEY MAP



VIEW



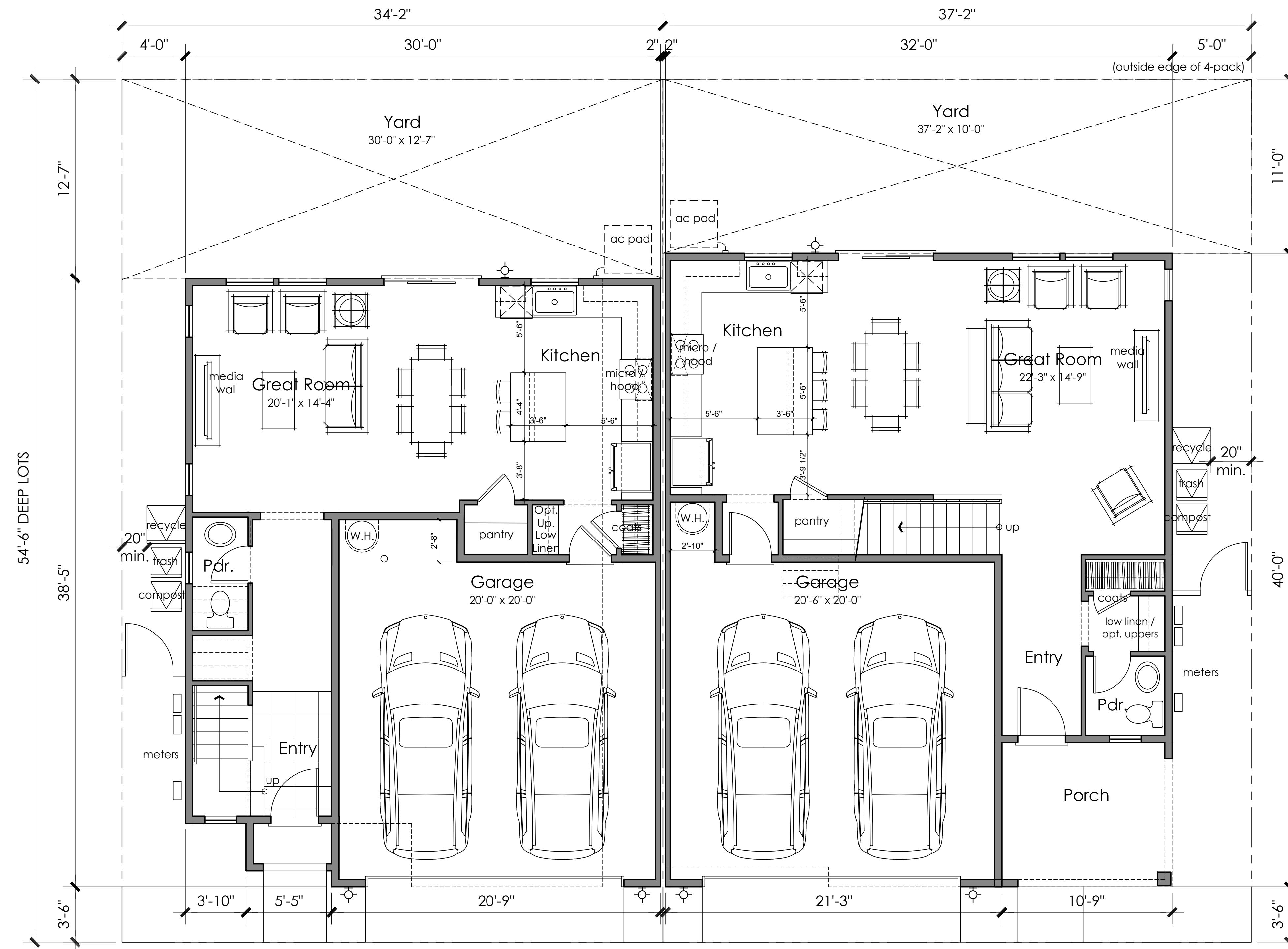
Plan 1A - Farmhouse



Plan 1B - Craftsman



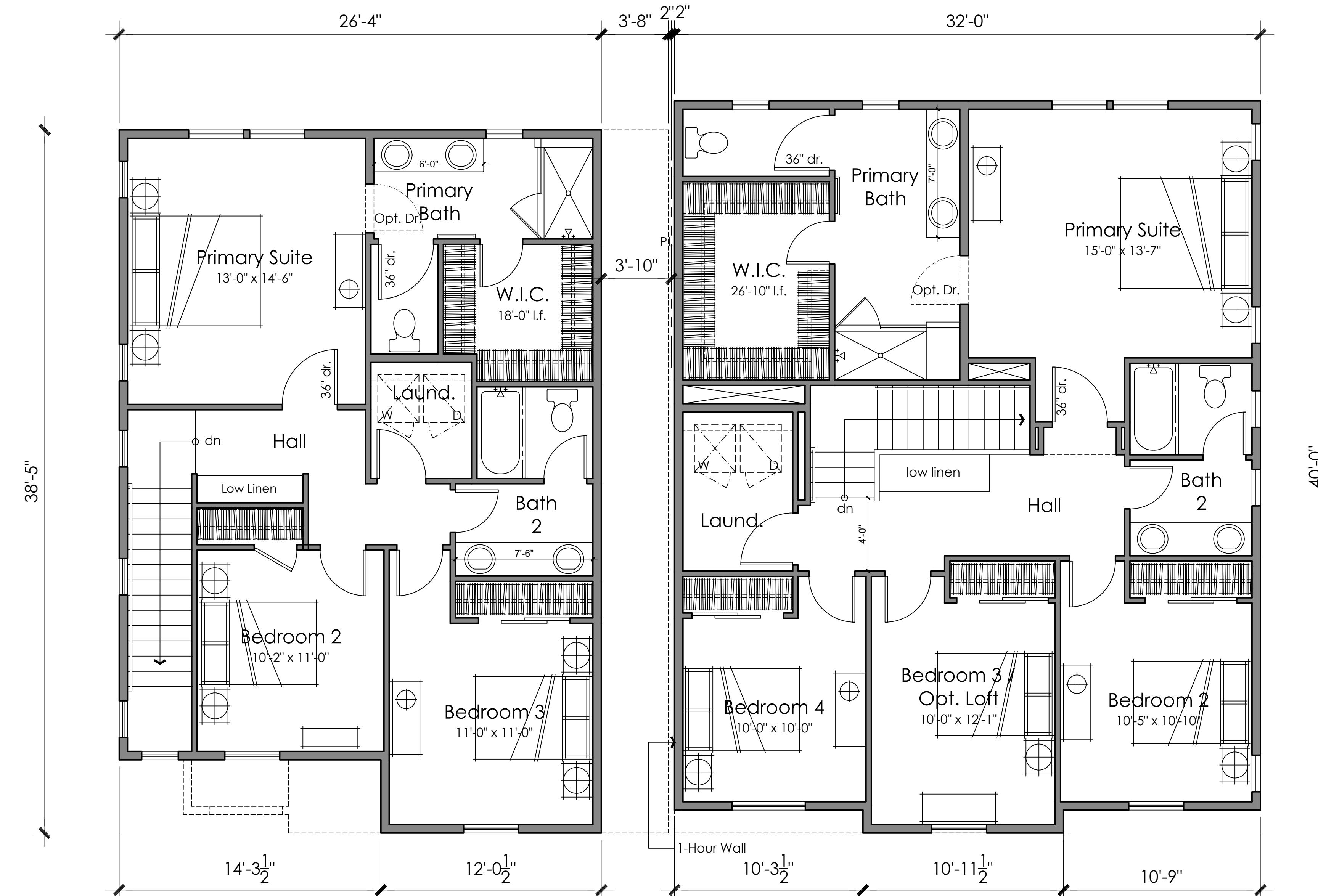
Plan 1C - Country European



Plan 1
Floor Plan
3 Bedrooms
2.5 Baths
1,587 s.f.

Plan 2
Floor Plan
4 Bedrooms
Opt. Loft
2.5 Baths
1,974 s.f.

First Floor



Plan 1
Floor Plan
3 Bedrooms
2.5 Baths
1,587 s.f.

Plan 2
Floor Plan
4 Bedroom
Opt. Loft
2.5 Baths
1,974 s.f.

Second Floor



Plan 2A

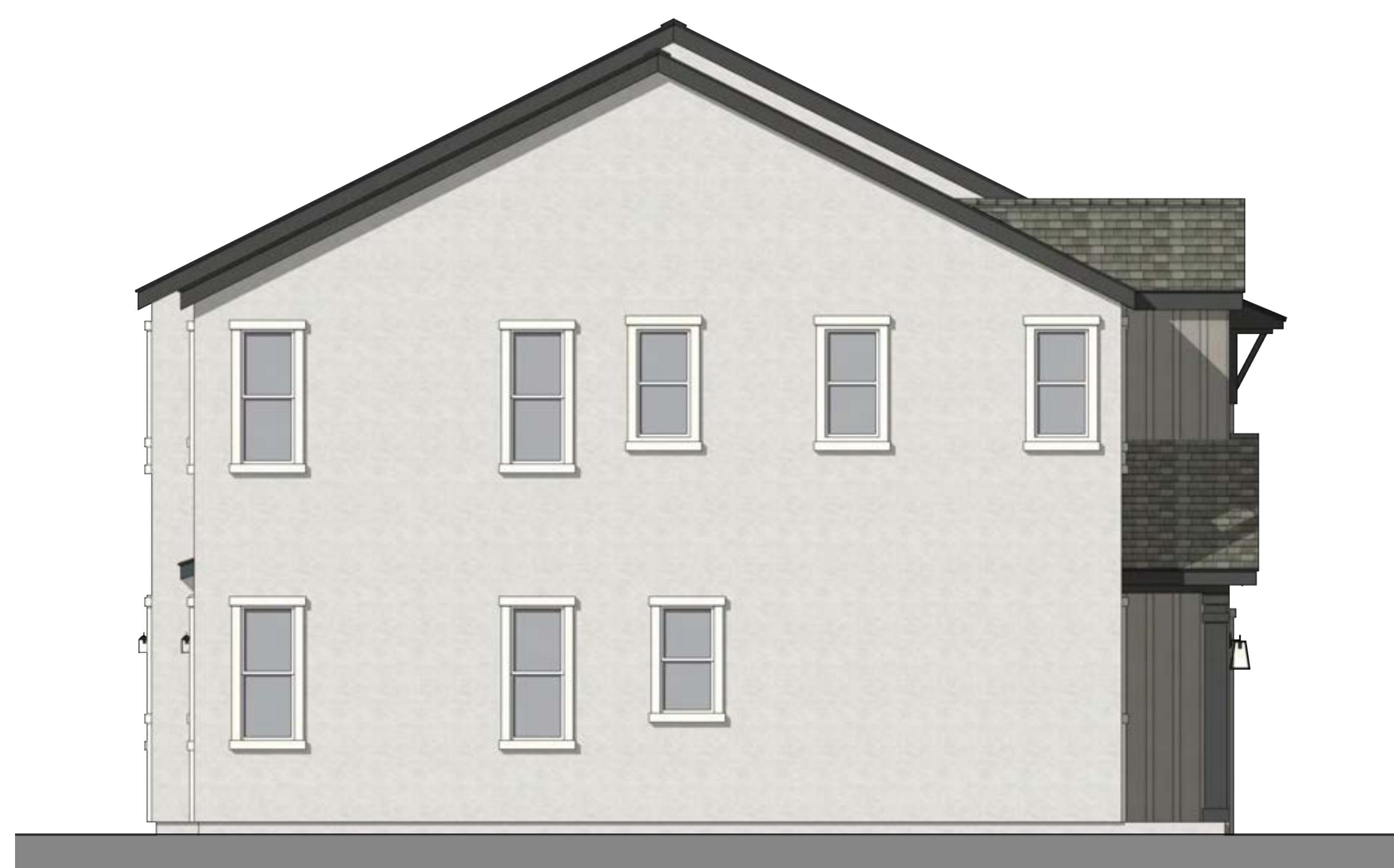


Plan 2A

Plan 1A

1A: Farmhouse - Material Legend

1. Composition Shingle Roofing
2. Standing Seam Roof
3. Cementitious Board and Batten Siding
4. Stucco finish
5. Awning
6. Decorative Post
7. Enhanced Head and Sill Trim



Plan 1A



Plan 1A

Plan 2A



1B: Craftsman - Material Legend

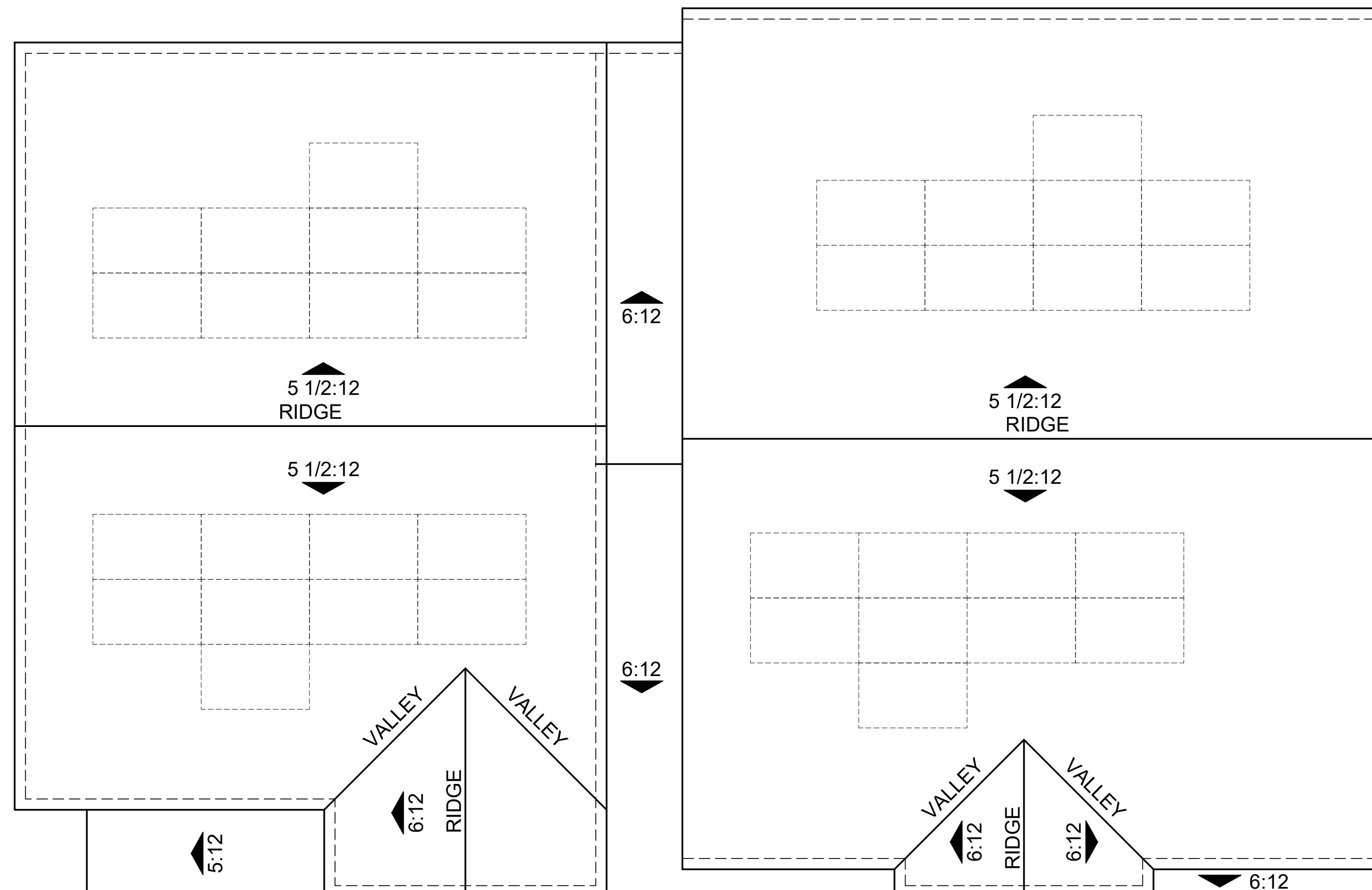
1. Composition Shingle Roofing
2. Cementitious Lap Siding
3. Stucco finish
4. Brick Veneer
5. Window Shutters
6. Decorative Post
7. Decorative Gable end Detail
8. Enhanced Head and Sill Trim





1C: Country European - Material Legend
 1. Composition Shingle Roofing
 3. Cementitious Board and Batten Siding
 4. Stucco finish
 5. Stone Veneer
 6. Window Shutters
 7. Decorative Post
 8. Decorative Gable end Detail
 9. Enhanced Head and Sill Trim



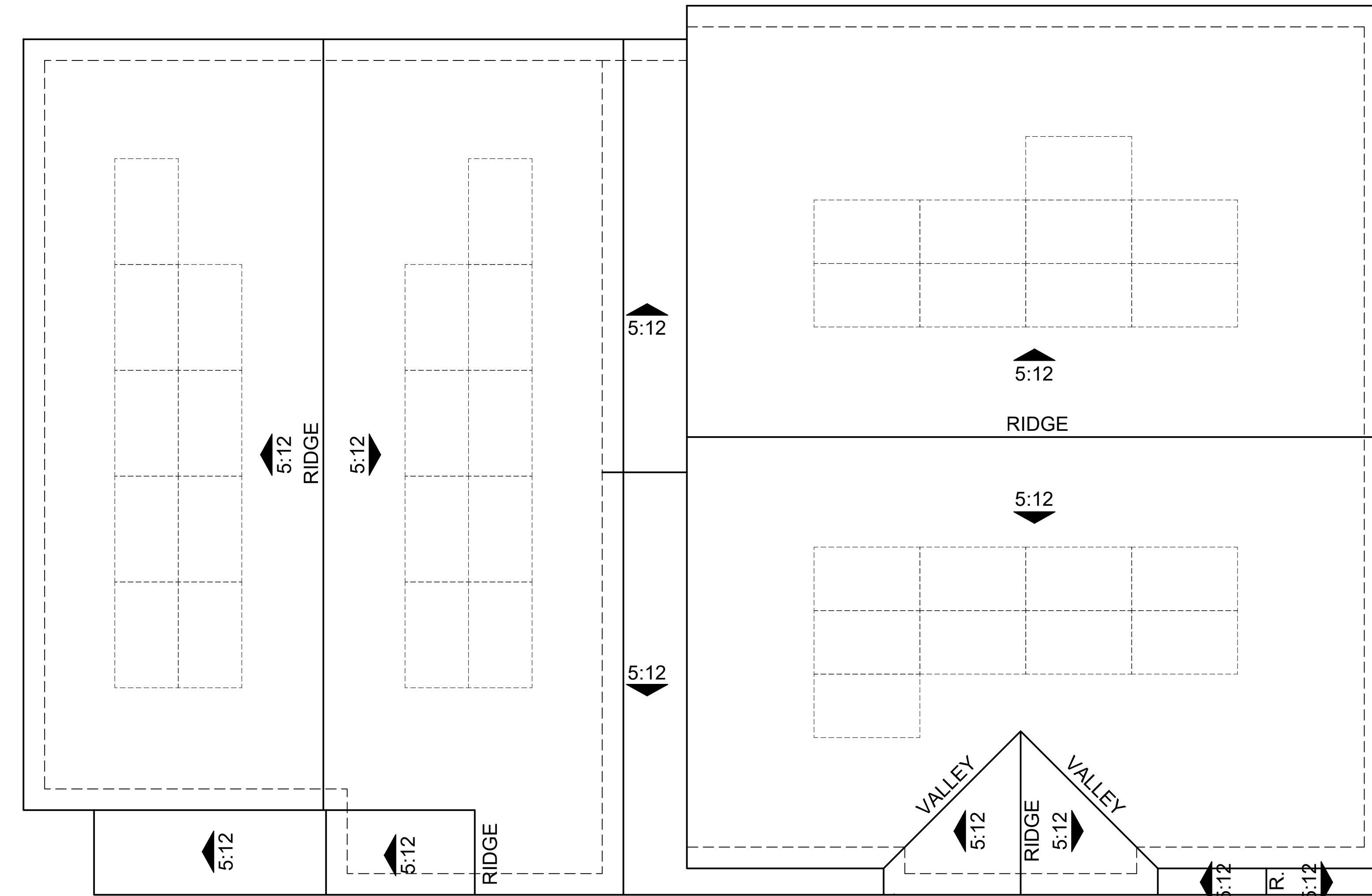


ROOF PLAN PLAN 1A
OVERHANG: 6"
RAKE: 6"
ROOF PITCH: 6:12 U.N.O

ROOF PLAN PLAN 2A
OVERHANG: 6"
RAKE: 6"
ROOF PITCH: 6:12 U.N.O

Building 1

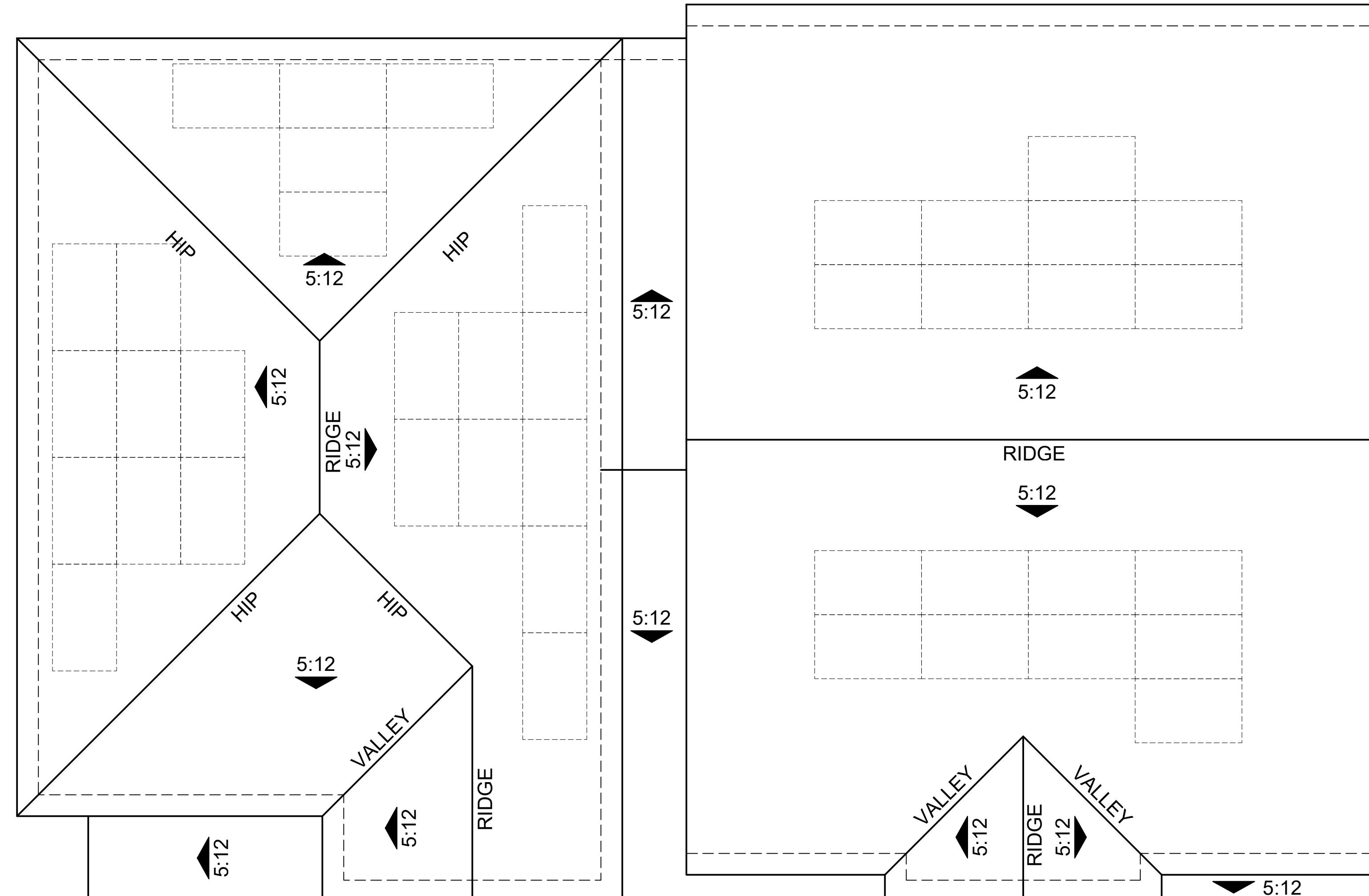
Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



ROOF PLAN 1B
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O

ROOF PLAN 2B
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



ROOF PLAN 1C

OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O

ROOF PLAN 2C

OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



Plan 2A - Farmhouse



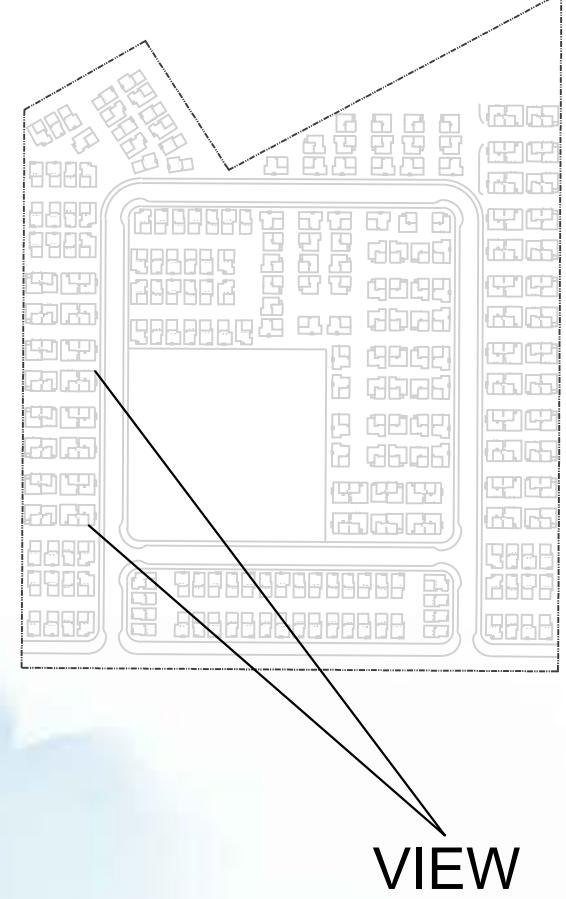
Plan 2D - Contemporary Farmhouse



Plan 2B - Craftsman



Plan 2C - Country European



Landscape shown for illustrative purposes only. See landscape drawings for specific selections.
 Color and materials shown for illustrative purposes only. See color and material boards for specific selections.



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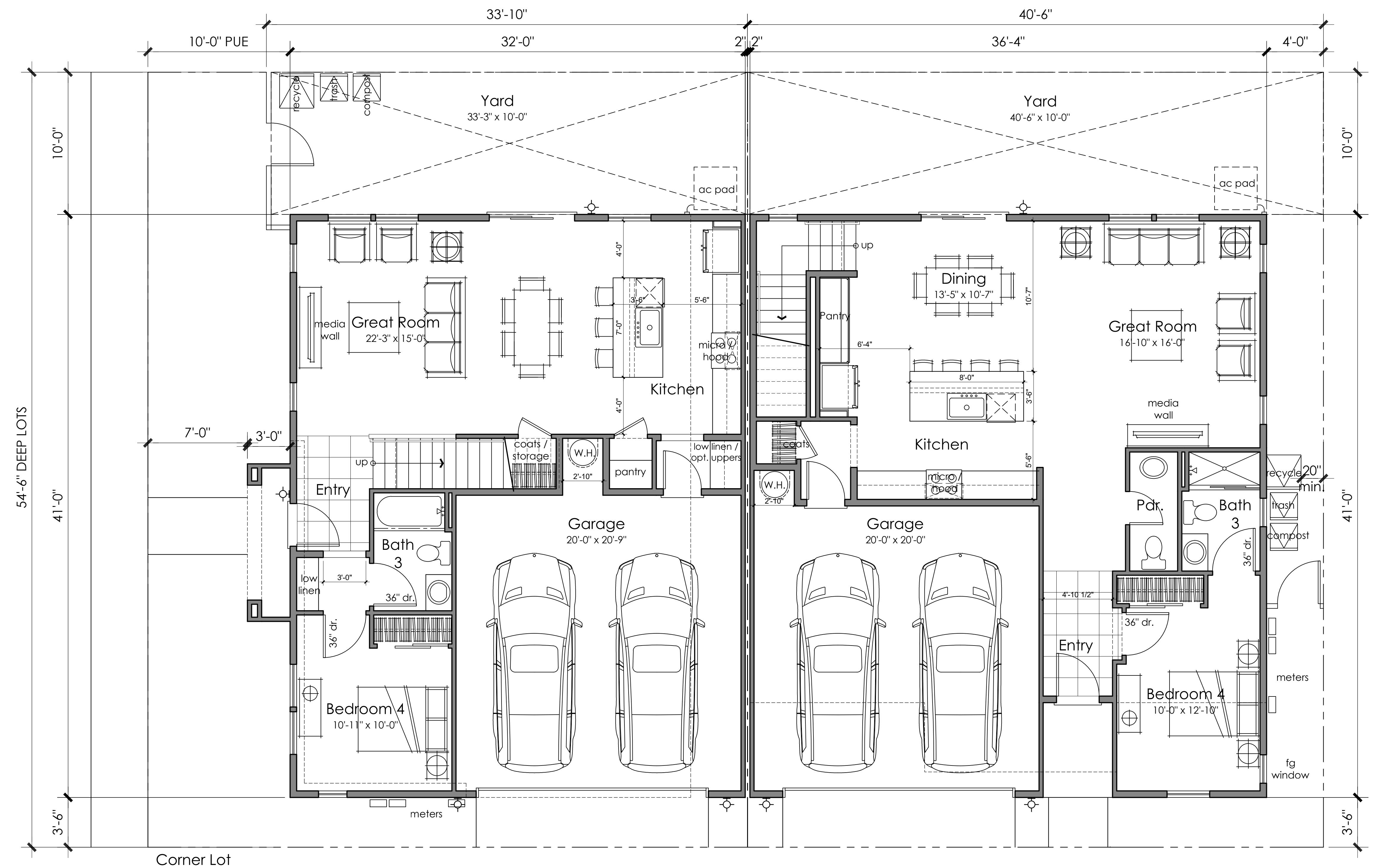
Brookfield
Residential

N1 : DEVON AT THE TRIWAY
TRACY, CA # 2021-1312

CONCEPTUAL PLANNING
SEPTEMBER 13, 2024

LOOP STREET PERSPECTIVE

N1-A2.1.1



Plan 3
Floor Plan
4 Bedrooms
Opt. Loft
3 Baths
1,937 s.f.

Plan 4

Floor Plan

4 Bedrooms + Loft
Opt. Bedroom 5
3.5 Baths
2,297 s.f.

First Floor

- Exterior Wall Light fixture
N1/Building 2 Entry Light at Porch Ceilings



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Brookfield
Residential

N1 : DEVON AT THE TRIWAY

TRACY, CA # 2021-1312

CONCEPTUAL PLANNING

SEPTEMBER 13, 2024

A horizontal number line starting at 0 and ending at 8. There are tick marks at 0, 2, 4, and 8. The segments between the tick marks are of equal length.

DUET 2A

FLOOR PLANS

FIRST FLOOR

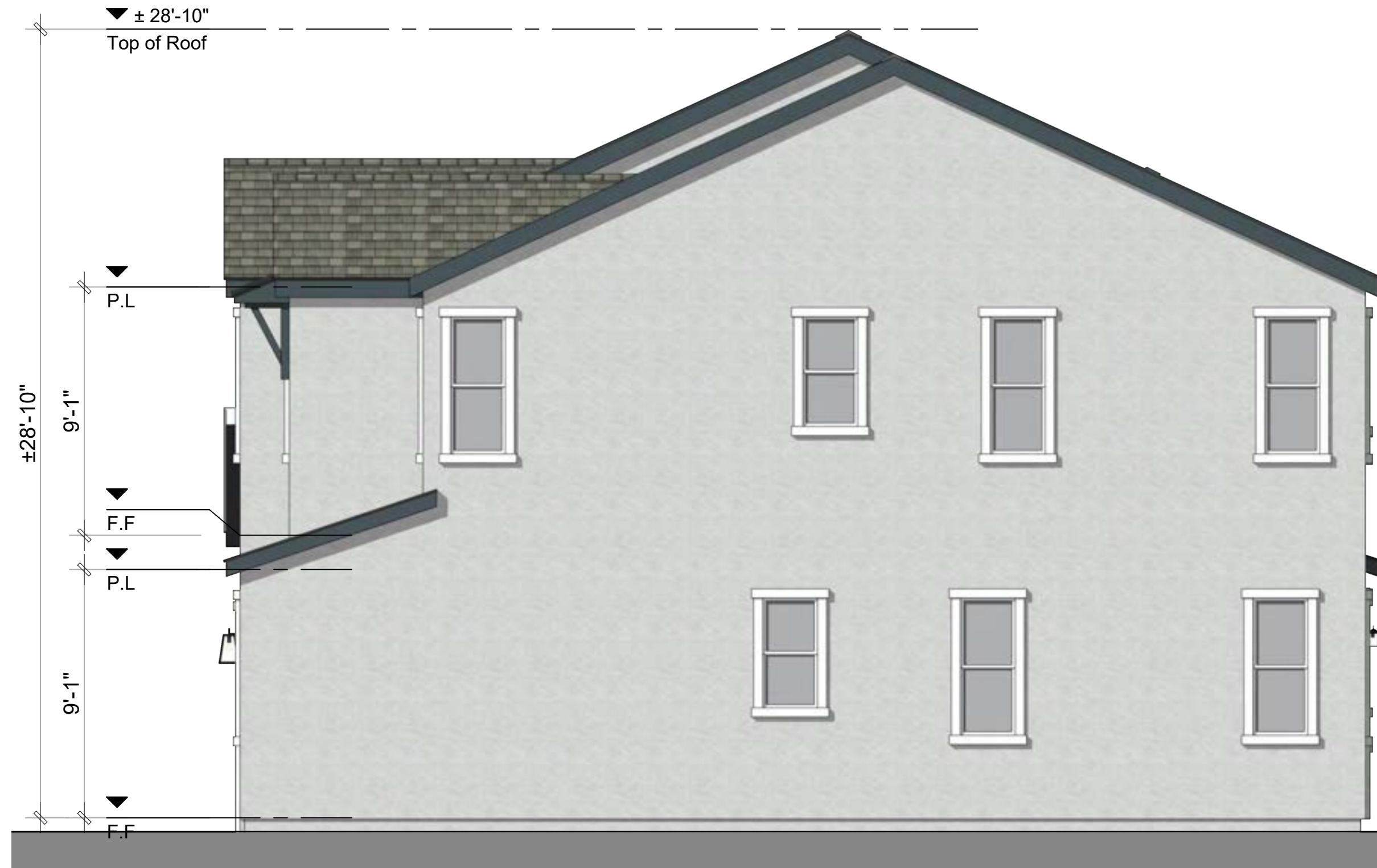
N1-A2.2.0



Plan 3
Floor Plan
4 Bedrooms
Opt. Loft
3 Baths
1,937 s.f.

Plan 4
Floor Plan
4 Bedrooms + Loft
Opt. Bedroom 5
3.5 Baths
2,297 s.f.

Second Floor



Plan 4A



Plan 4A

Plan 3A



Plan 3A



Plan 3A

Plan 4A

2A: Farmhouse - Material Legend

1. Composition Shingle Roofing
2. Standing Seam Roof
3. Cementitious Board and Batten Siding
4. Stucco finish
5. Awning
6. Decorative Post
7. Enhanced Head and Sill Trim



Right Elevation



Rear Elevation



Plan 3B



Plan 3B

Left Elevation



Plan 3B

Front Elevation 2B - Craftsman

Plan 4B



2C: Country European -
Material Legend

1. Composition Shingle Roofing
2. Cementitious Board and Batten Siding
3. Stucco finish
4. Stone Veneer
5. Window Shutters
6. Decorative Post
7. Decorative Gable end Detail
8. Enhanced Head and Sill Trim





Right Elevation

PLAN 4D



Rear Elevation

Plan 4D

Plan 3D



Left Elevation

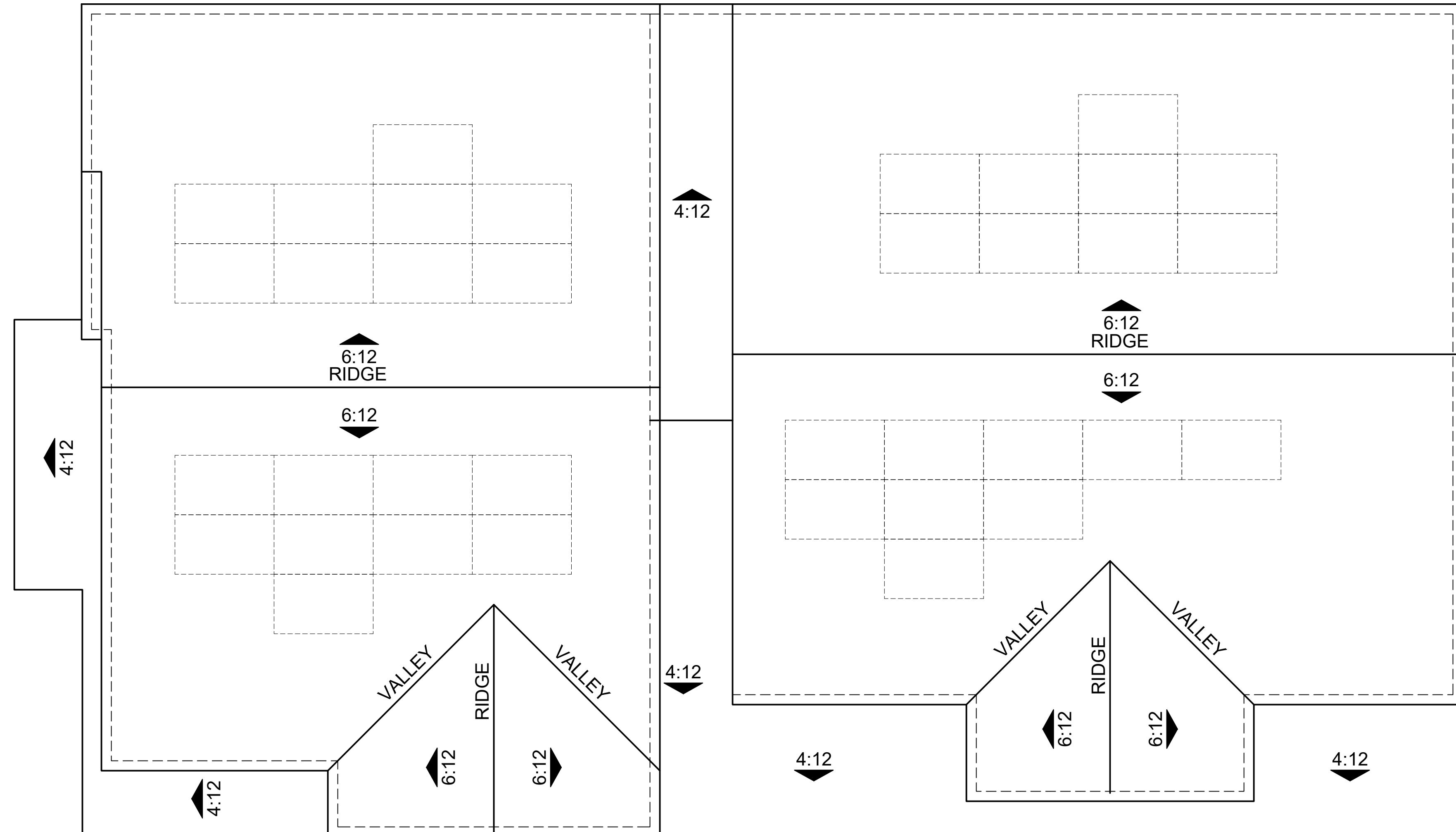
Plan 3D



Front Elevation 2A - Farmhouse

Plan 3D

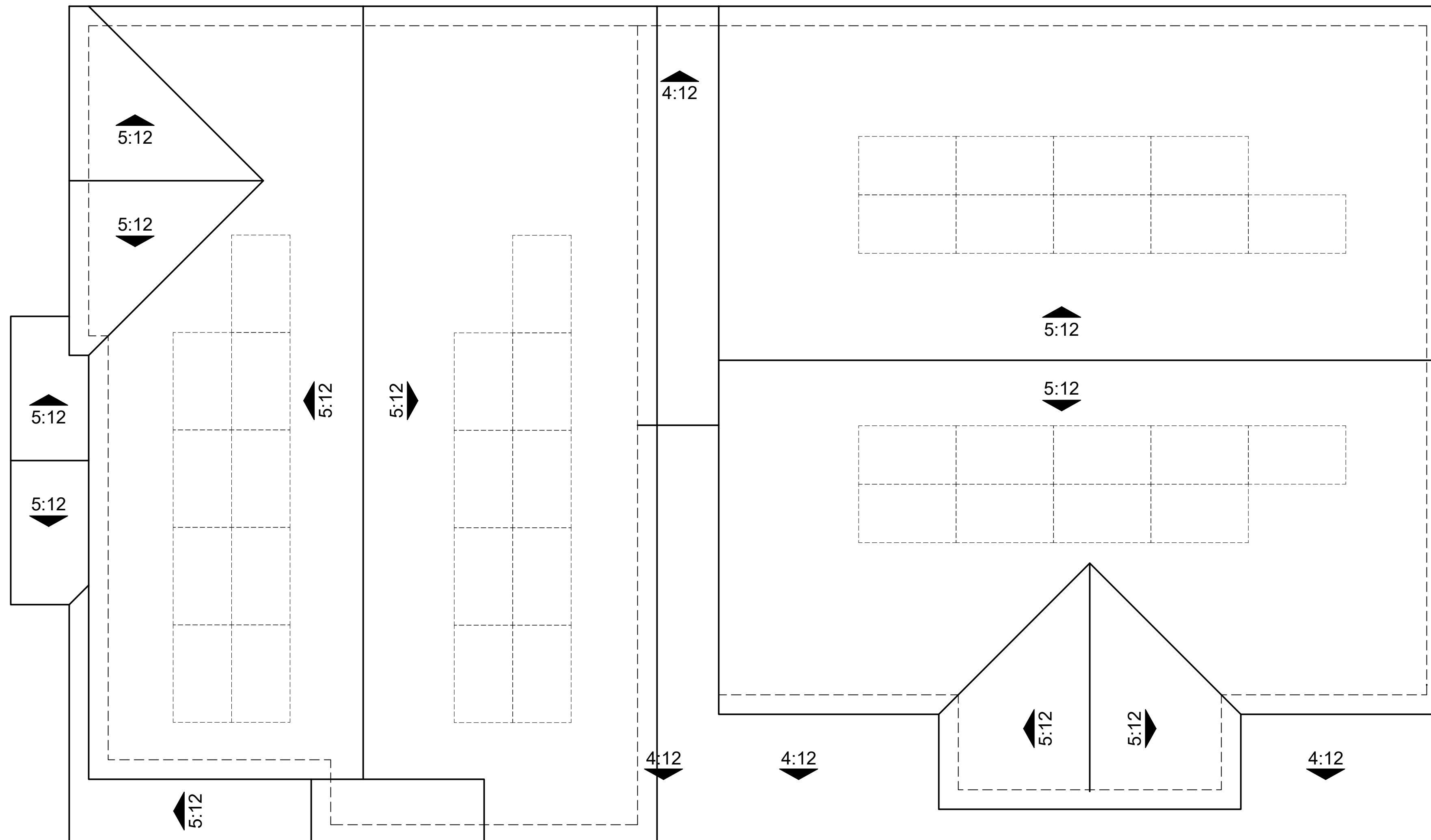
Plan 4D



ROOF PLAN 3A
OVERHANG: 6"
RAKE: 6"
ROOF PITCH: 6:12 U.N.O

ROOF PLAN 4A
OVERHANG: 6"
RAKE: 6"
ROOF PITCH: 6:12 U.N.O

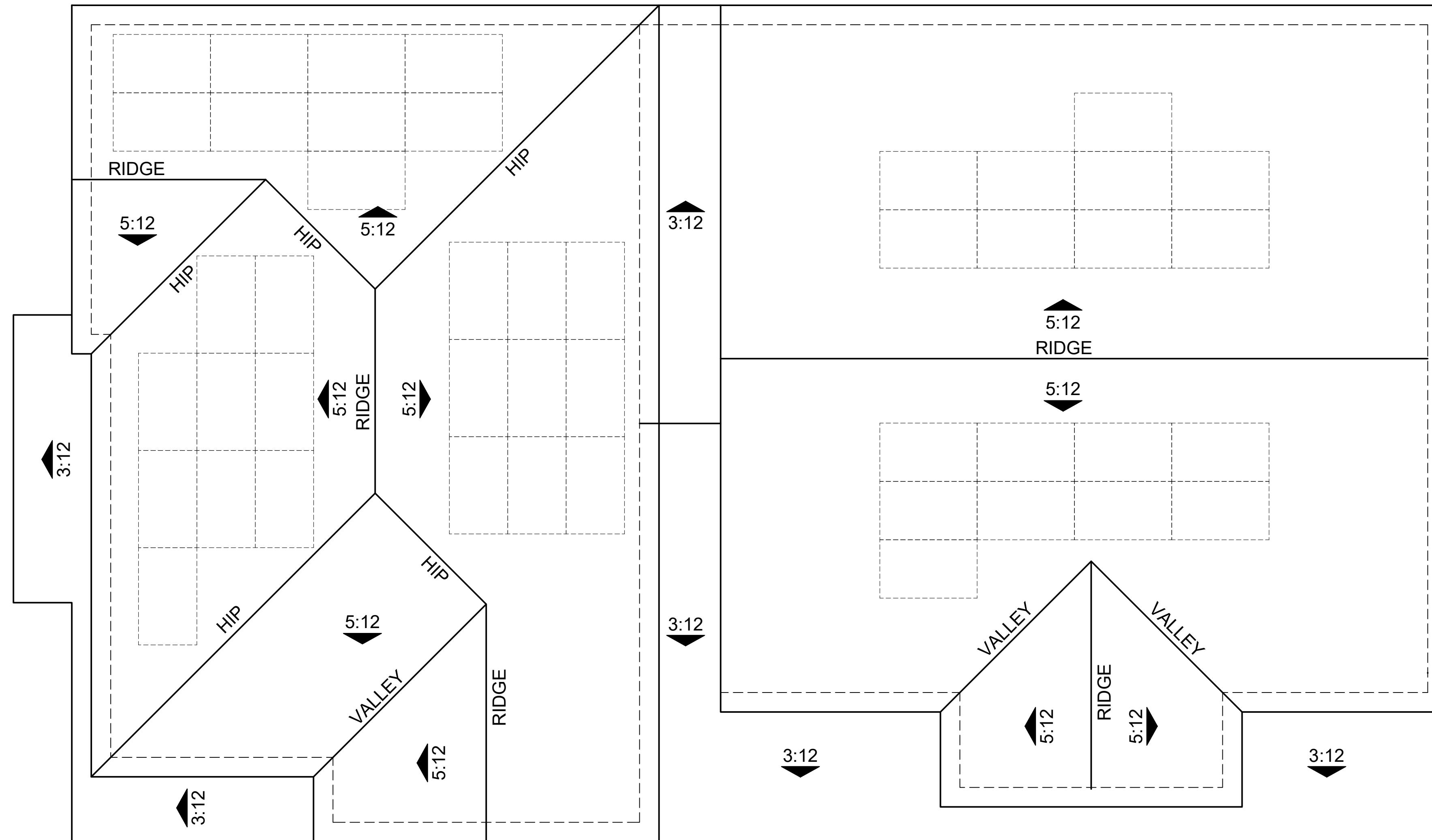
Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



ROOF PLAN 3B
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O

ROOF PLAN 4B
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O

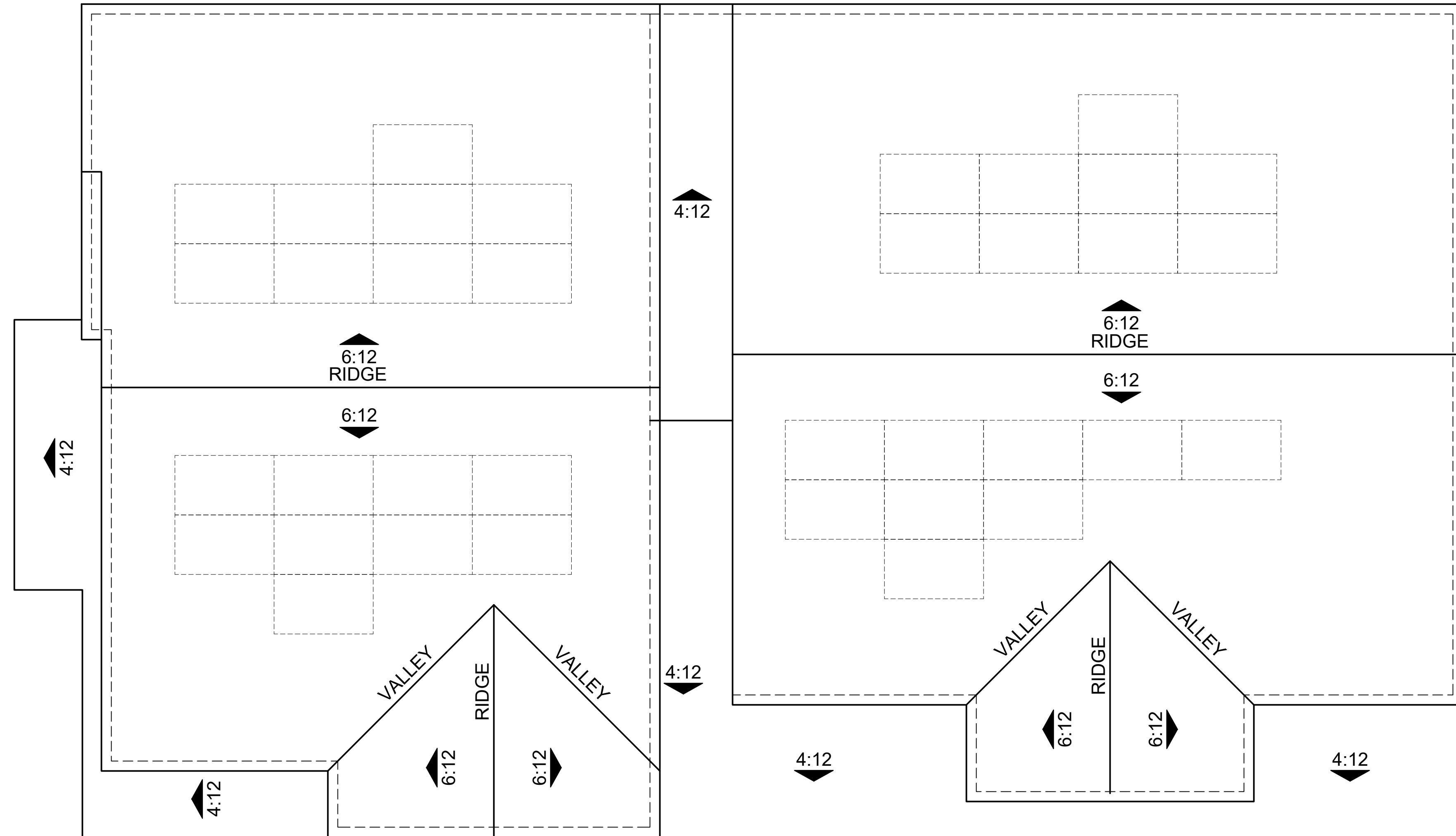
Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



ROOF PLAN 3C
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O

ROOF PLAN 4C
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



ROOF PLAN 2D
OVERHANG: 6"
RAKE: 6"
ROOF PITCH: 6:12 U.N.O

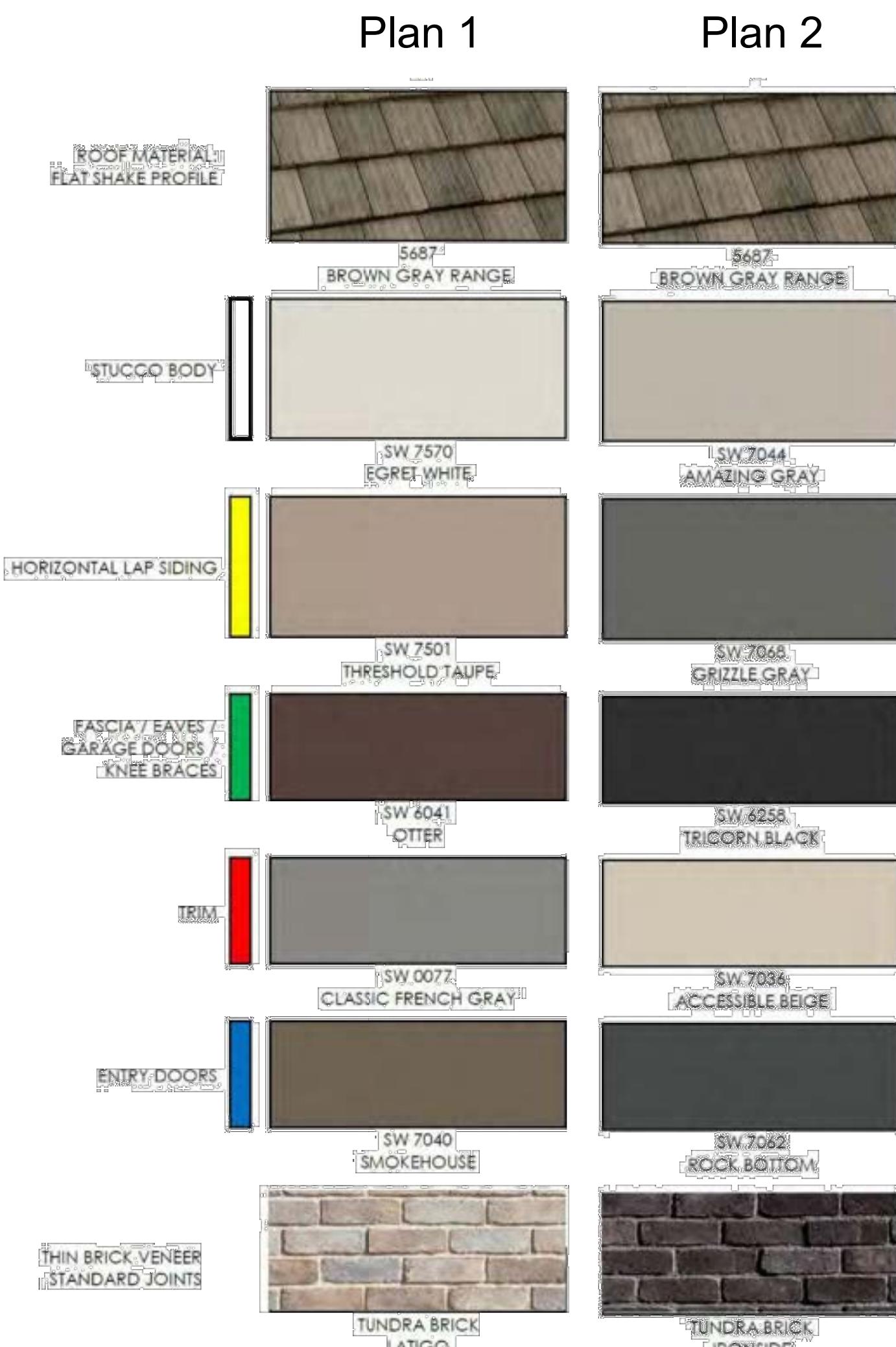
ROOF PLAN 4D
OVERHANG: 6"
RAKE: 6"
ROOF PITCH: 6:12 U.N.O

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.

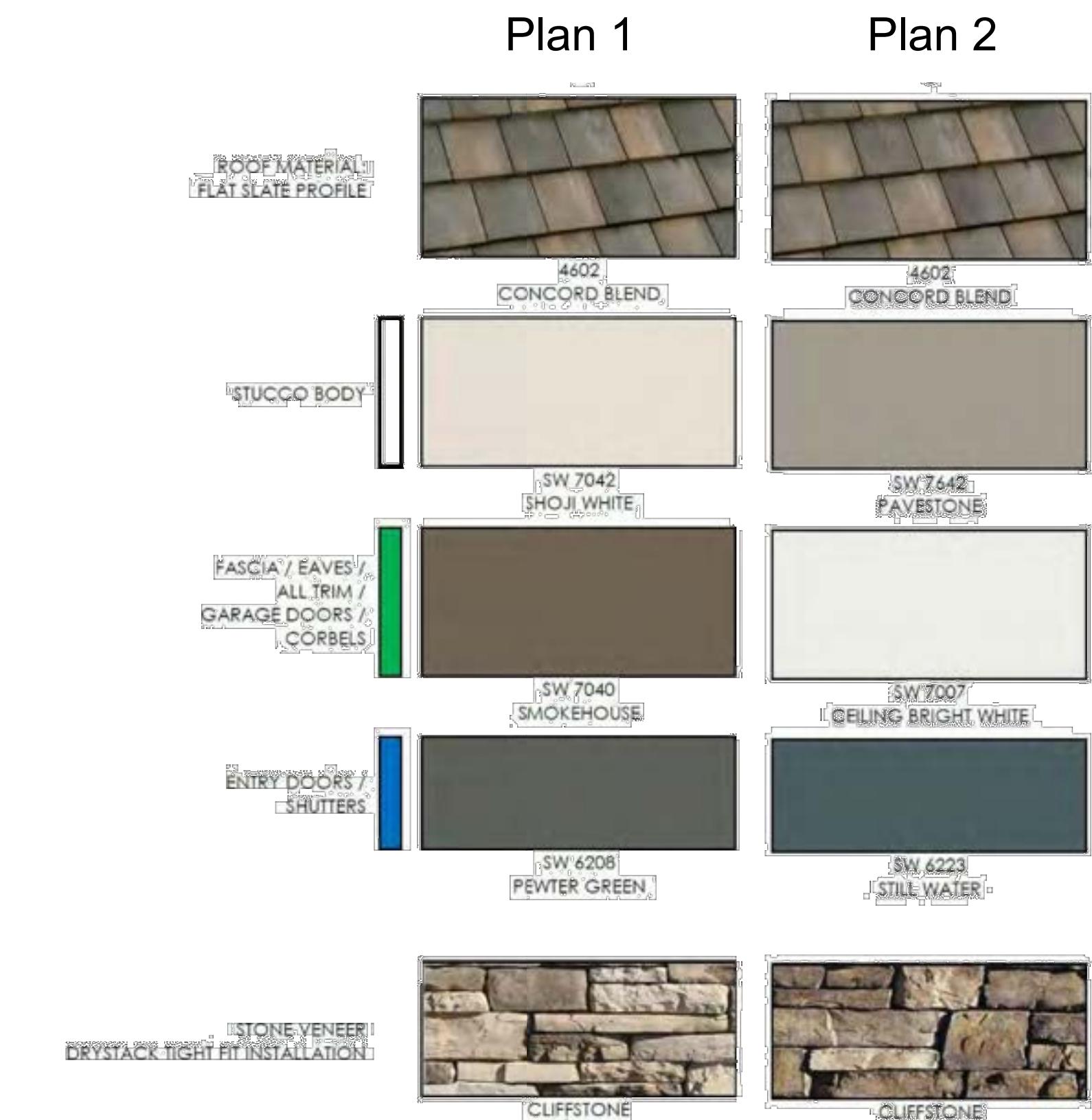
'A' - FARMHOUSE ELEVATIONS - DUETS



'B' - CRAFTSMAN ELEVATIONS - DUETS



'C' - COUNTRY EUROPEAN - DUETS



'D' - MODERN FARMHOUSE - DUETS



Note: Alternative and/or similar to meet design intent may be used.



Landscape shown for illustrative purposes only. See landscape drawings for specific selections.
 Color and materials shown for illustrative purposes only. See color and material boards for specific selections.



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N2 : KINSLEY AT THE TRIWAY
TRACY, CA # 2021-1312

CONCEPTUAL PLANNING
SEPTEMBER 13, 2024

VALPICO STREET SCENE

N2-A0.0.1



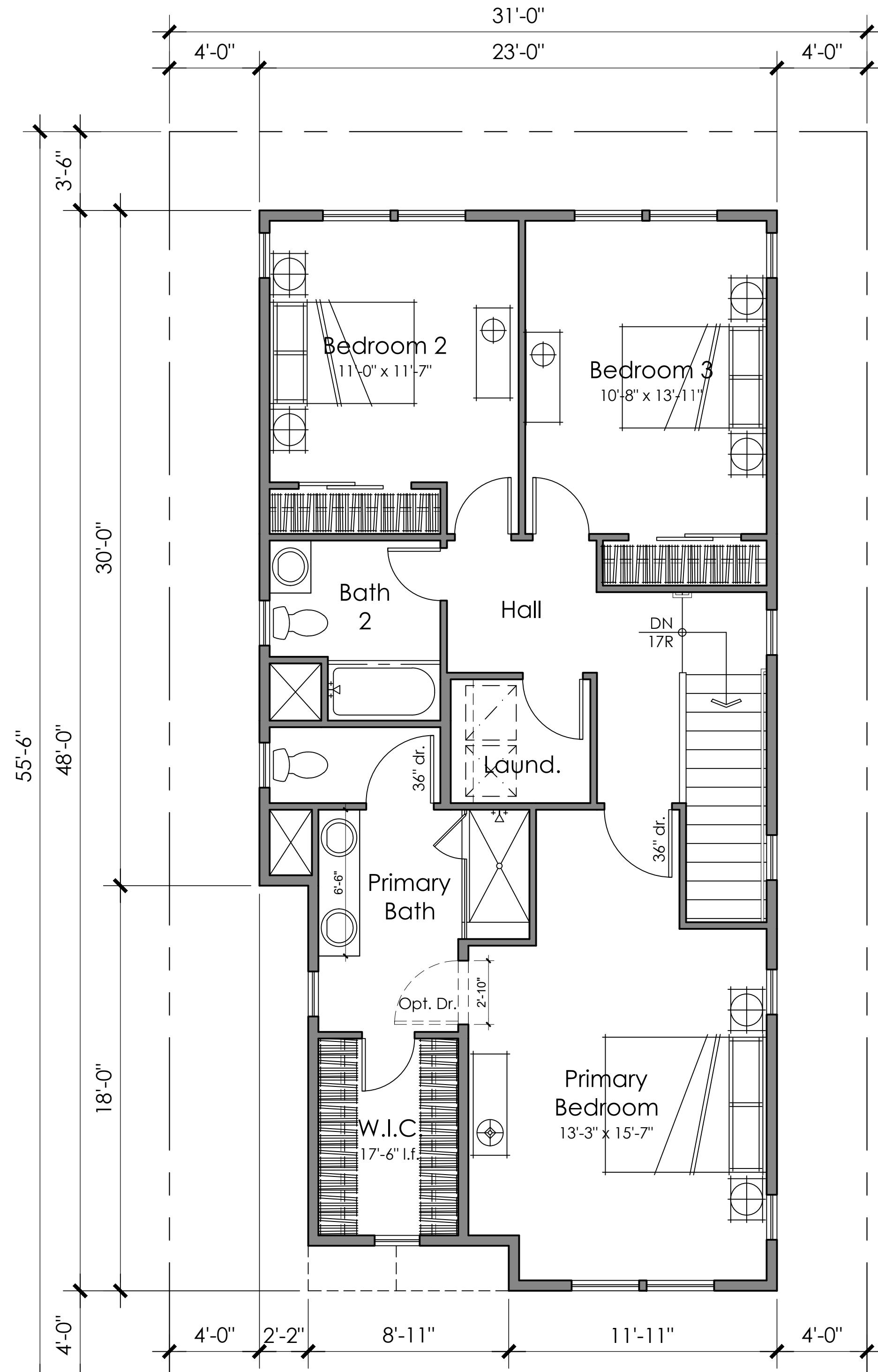
Plan 1A - Farmhouse



Plan 1B - Craftsman



Plan 1C - Country European



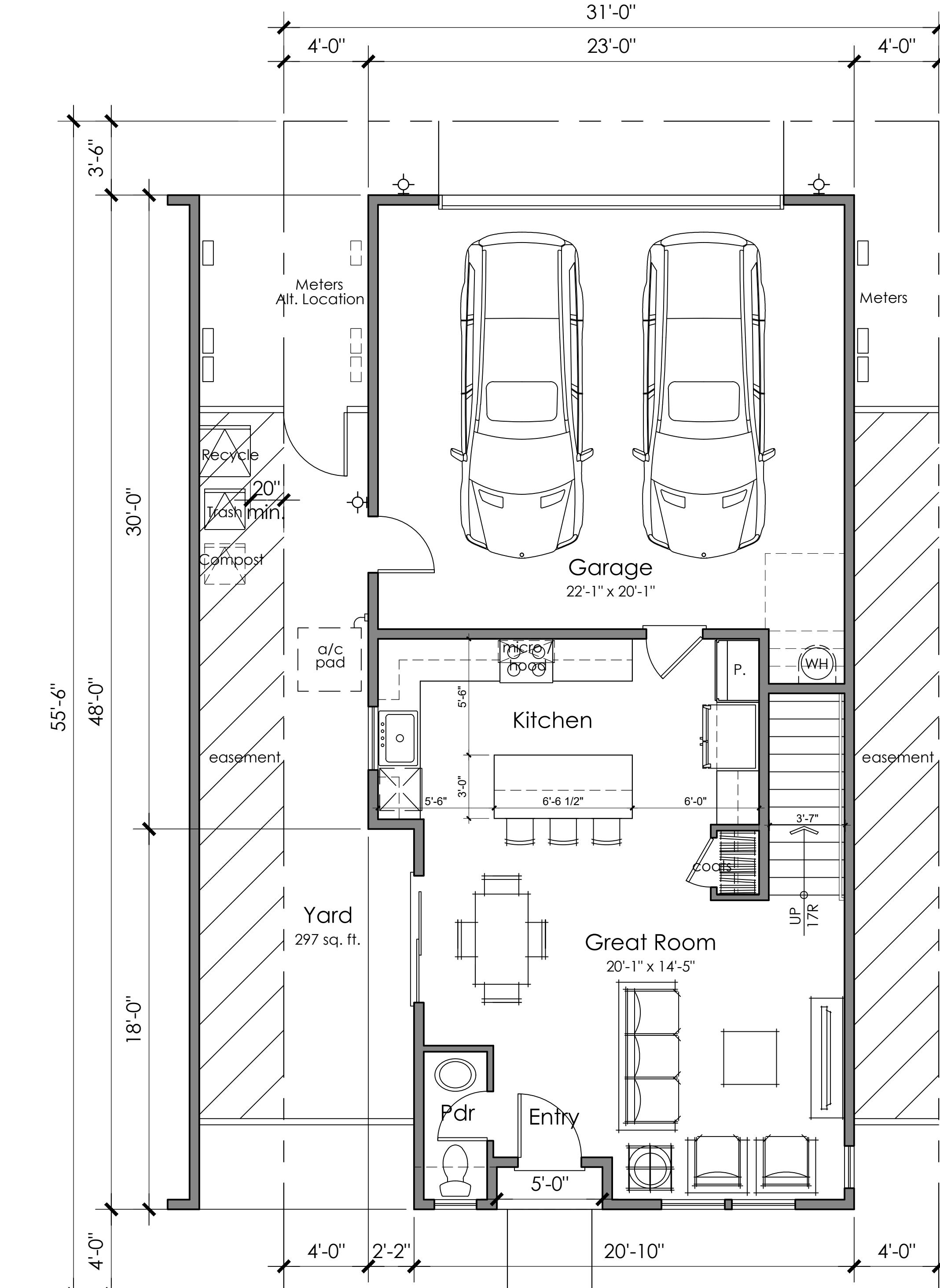
Exterior Wall Light fixture
N2/Building 1 Entry Light at Porch Ceilings



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N2 : KINSLEY AT THE TRIWAY
TRACY, CA # 2021-1312



CONCEPTUAL PLANNING
SEPTEMBER 13, 2024

0 2 4 8

3 BEDROOMS
2.5 BATHS
1,591 S.F.

PLAN 1A
FLOOR PLANS

N2-A1.2.0



Right Elevation (Inactive Side)



Rear Elevation

1A: Farmhouse - Material Legend

1. Composition Shingle Roofing
2. Standing Seam Roof
3. Cementitious Board and Batten Siding
4. Stucco finish
5. Awning
6. Decorative Post
7. Enhanced Head and Sill Trim



Left Elevation (Active Side)



Front Elevation 1A - Farmhouse



Right Elevation (Inactive Side)



Rear Elevation

1B: Craftsman - Material Legend

1. Composition Shingle Roofing
2. Cementitious Lap Siding
3. Stucco finish
4. Brick Veneer
5. Window Shutters
6. Decorative Post
7. Decorative Gable end Detail
8. Enhanced Head and Sill Trim



Left Elevation (Active Side)



Front Elevation 1B - Craftsman



Right Elevation (Inactive Side)



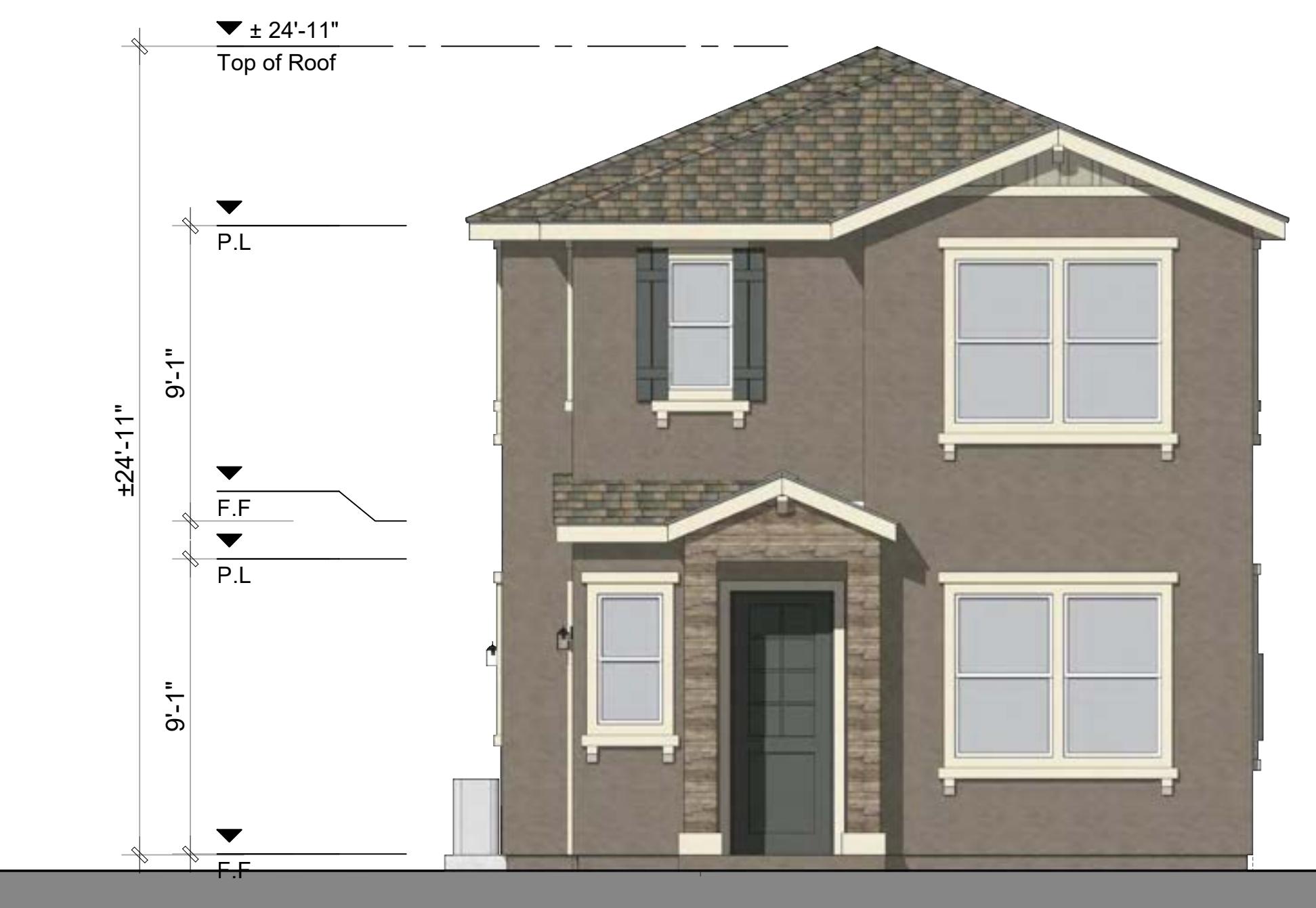
Rear Elevation

1C: Country European - Material Legend

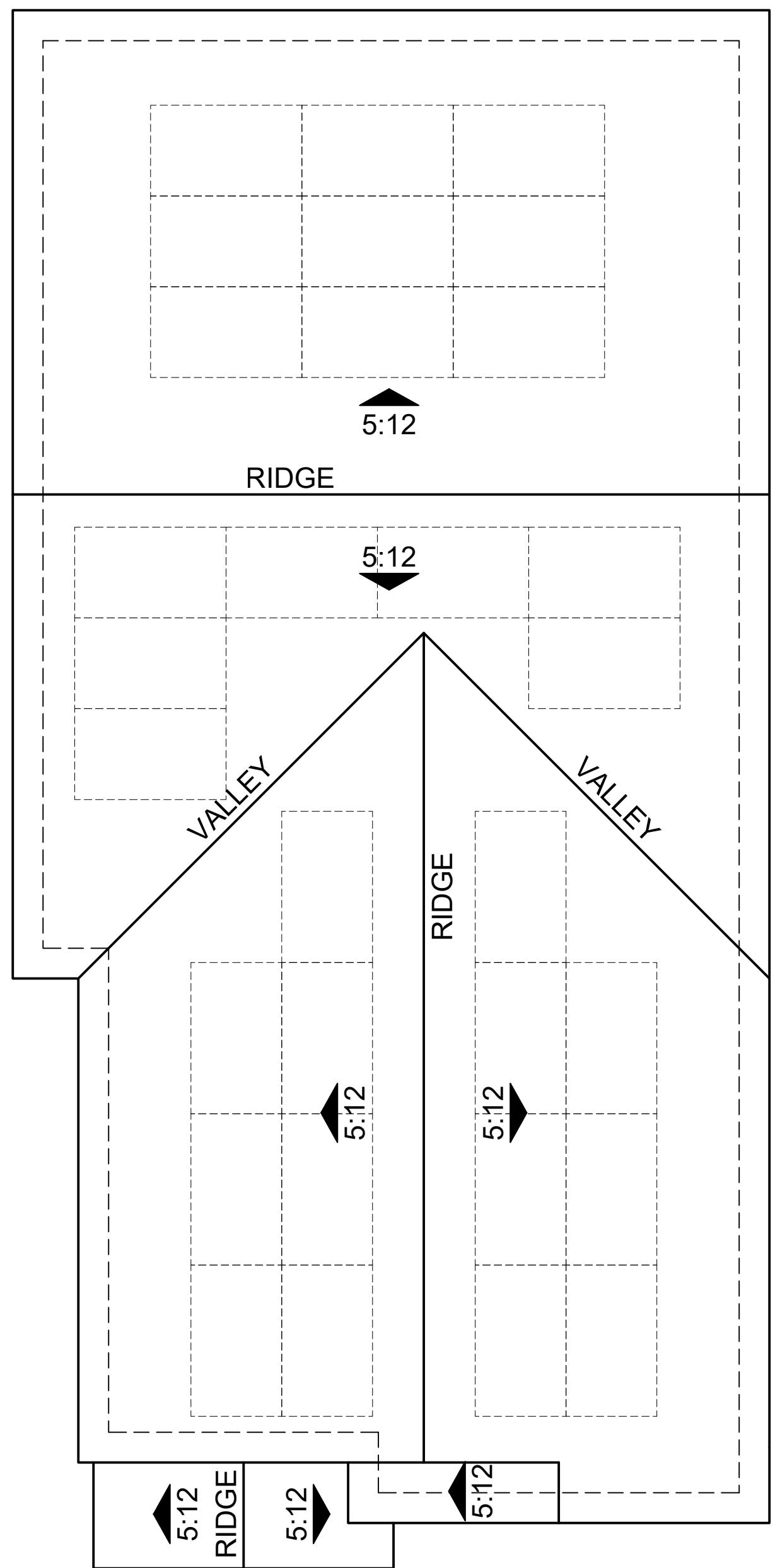
1. Composition Shingle Roofing
3. Cementitious Board and Batten Siding
4. Stucco finish
5. Stone Veneer
6. Window Shutters
7. Decorative Post
8. Decorative Gable end Detail
9. Enhanced Head and Sill Trim



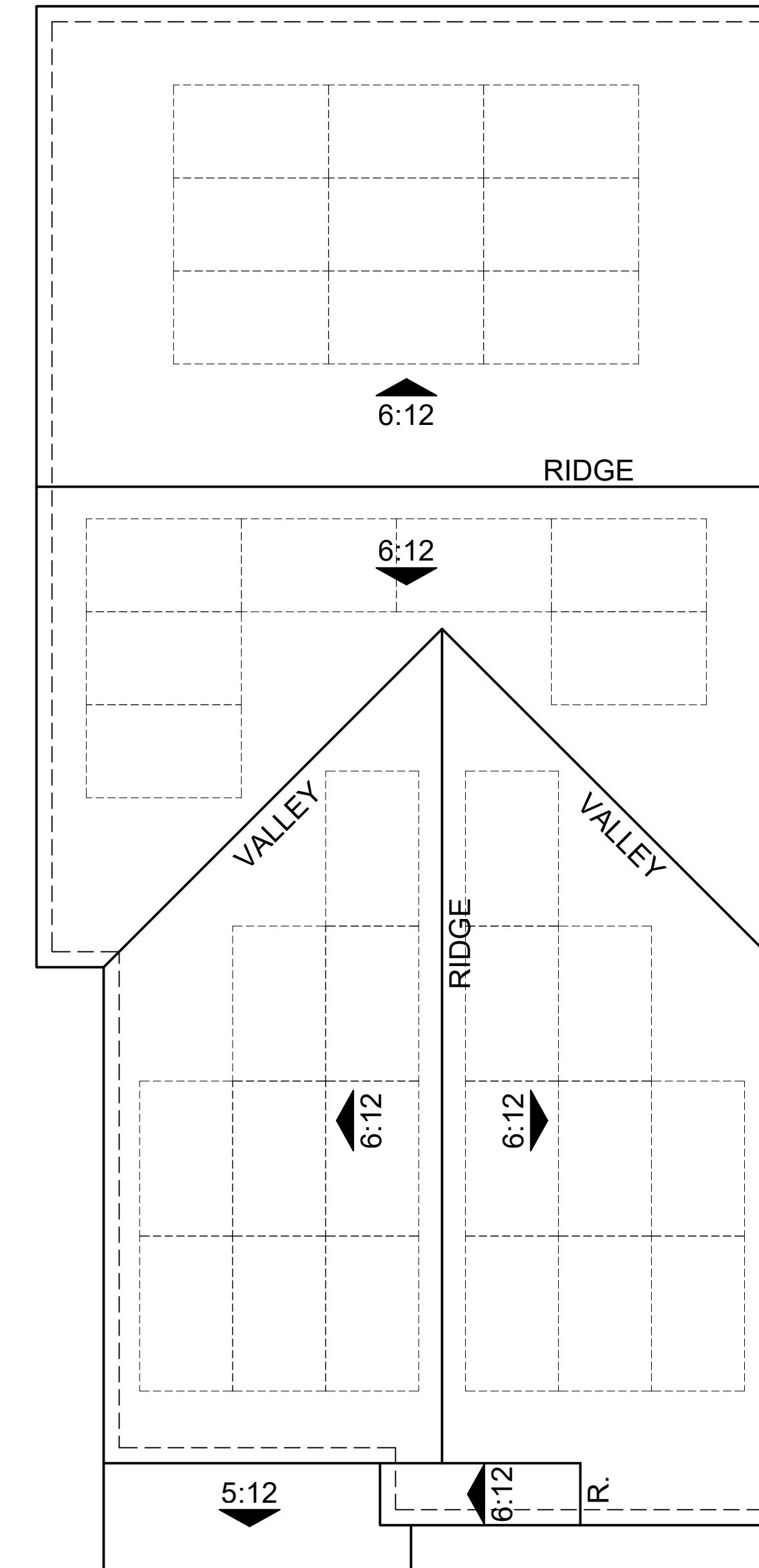
Left Elevation (Active Side)



Front Elevation 1C - Country European

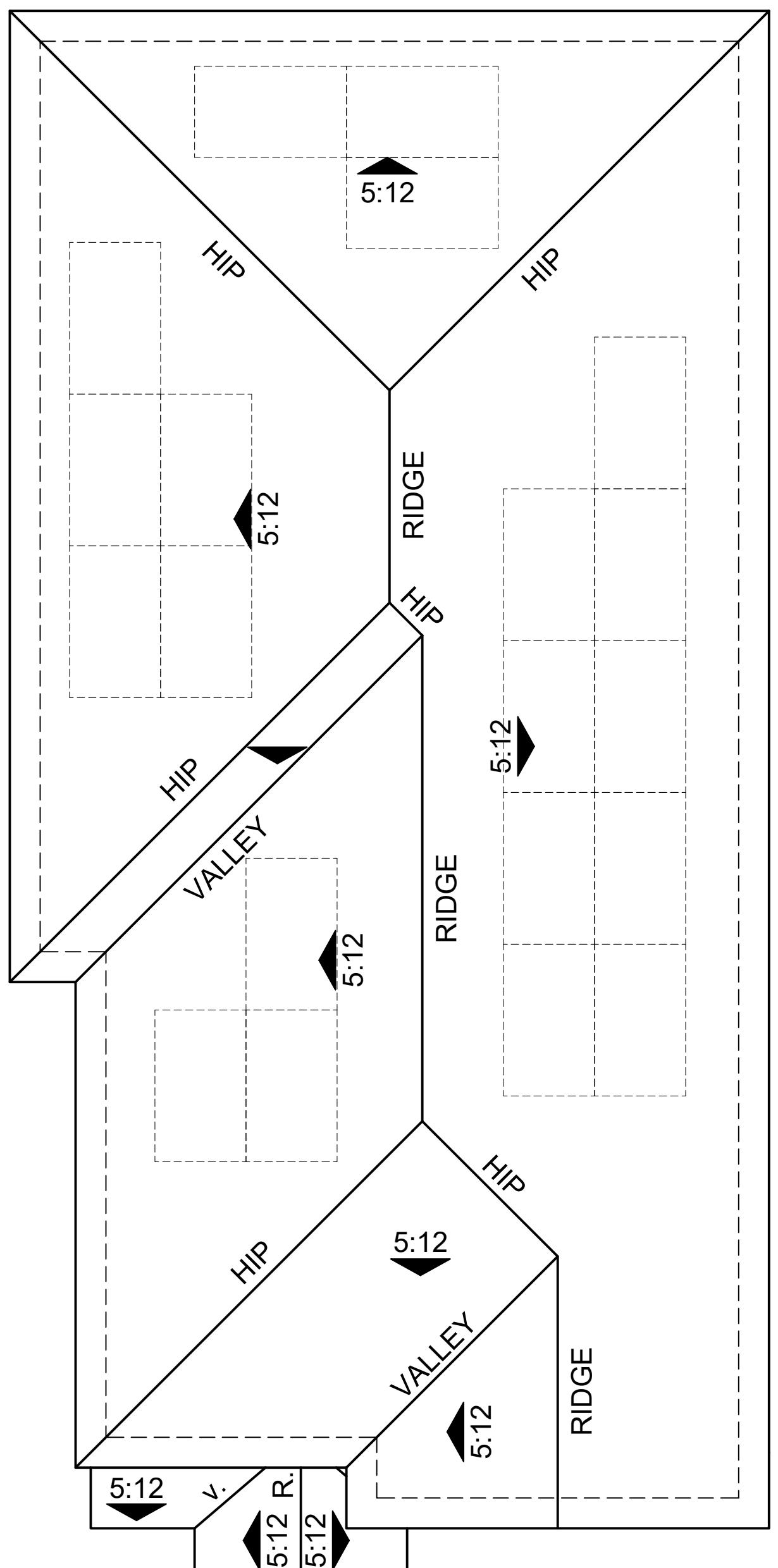


ROOF PLAN 1B
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O



ROOF PLAN 1A
OVERHANG: 6"
RAKE: 6"
ROOF PITCH: 6:12 U.N.O

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



ROOF PLAN UNIT 1C
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.

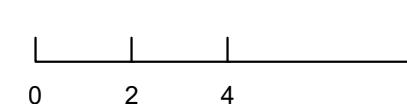


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N2 : KINSLEY AT THE TRIWAY
TRACY, CA # 2021-1312

CONCEPTUAL PLANNING
SEPTEMBER 13, 2024



PLAN 1 ROOF PLAN

N2-A1.4.1



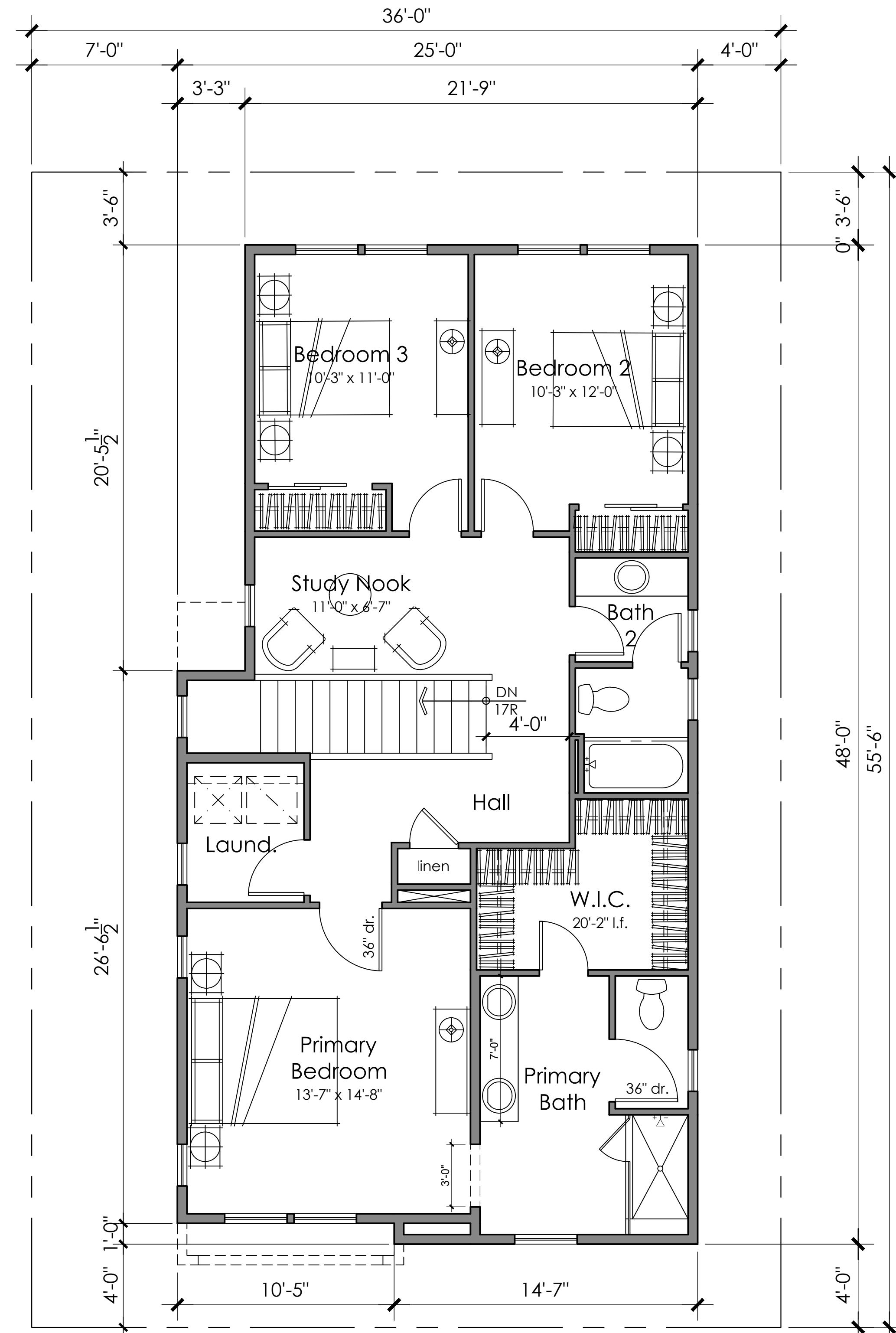
Plan 2A - Farmhouse



Plan 2B - Craftsman



Plan 2C - Country European



Second Floor

1087 SQ. FT.

Exterior Wall Light fixture

N2/Building 2 Entry Light at Porch Ceilings



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N2 : KINSLEY AT THE TRIWAY
TRACY, CA # 2021-1312

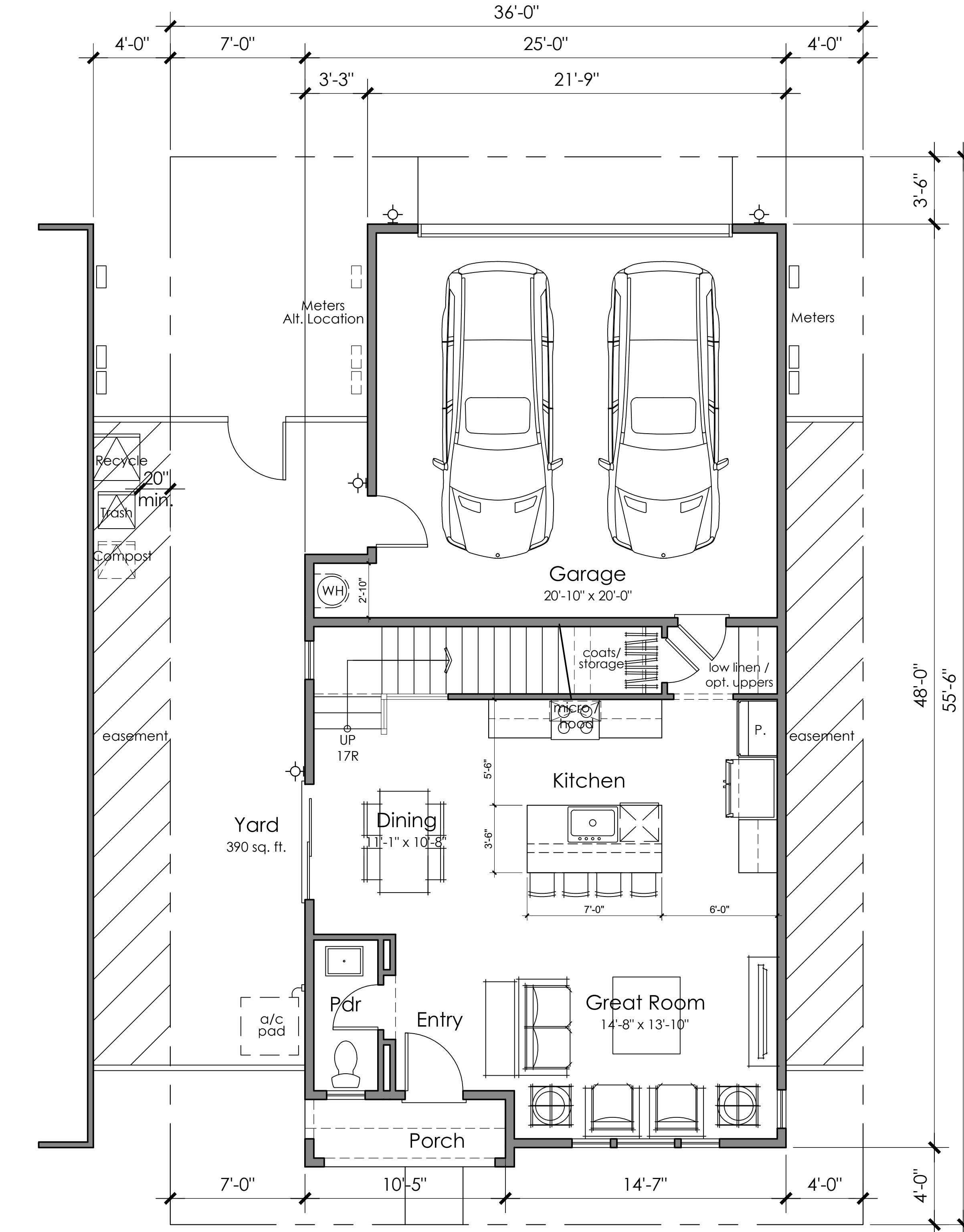
CONCEPTUAL PLANNING
SEPTEMBER 13, 2024

0 2 4 8

3 BEDROOMS
2.5 BATHS
1,749 S.F.

PLAN 2A
FLOOR PLANS

N2-A2.2.0



First Floor

662 SQ. FT.



Right Elevation (Inactive Side)



Rear Elevation

2A: Farmhouse - Material Legend

1. Composition Shingle Roofing
2. Standing Seam Roof
3. Cementitious Board and Batten Siding
4. Stucco finish
5. Awning
6. Decorative Post
7. Enhanced Head and Sill Trim



Left Elevation (Active Side)



Front Elevation 2A - Farmhouse



Right Elevation (Inactive Side)



Rear Elevation



Left Elevation (Active Side)



Front Elevation 2B - Craftsman

2B: Craftsman - Material Legend

1. Composition Shingle Roofing
2. Cementitious Lap Siding
3. Stucco finish
4. Brick Veneer
5. Window Shutters
6. Decorative Post
7. Decorative Gable end Detail
8. Enhanced Head and Sill Trim



Right Elevation (Inactive Side)



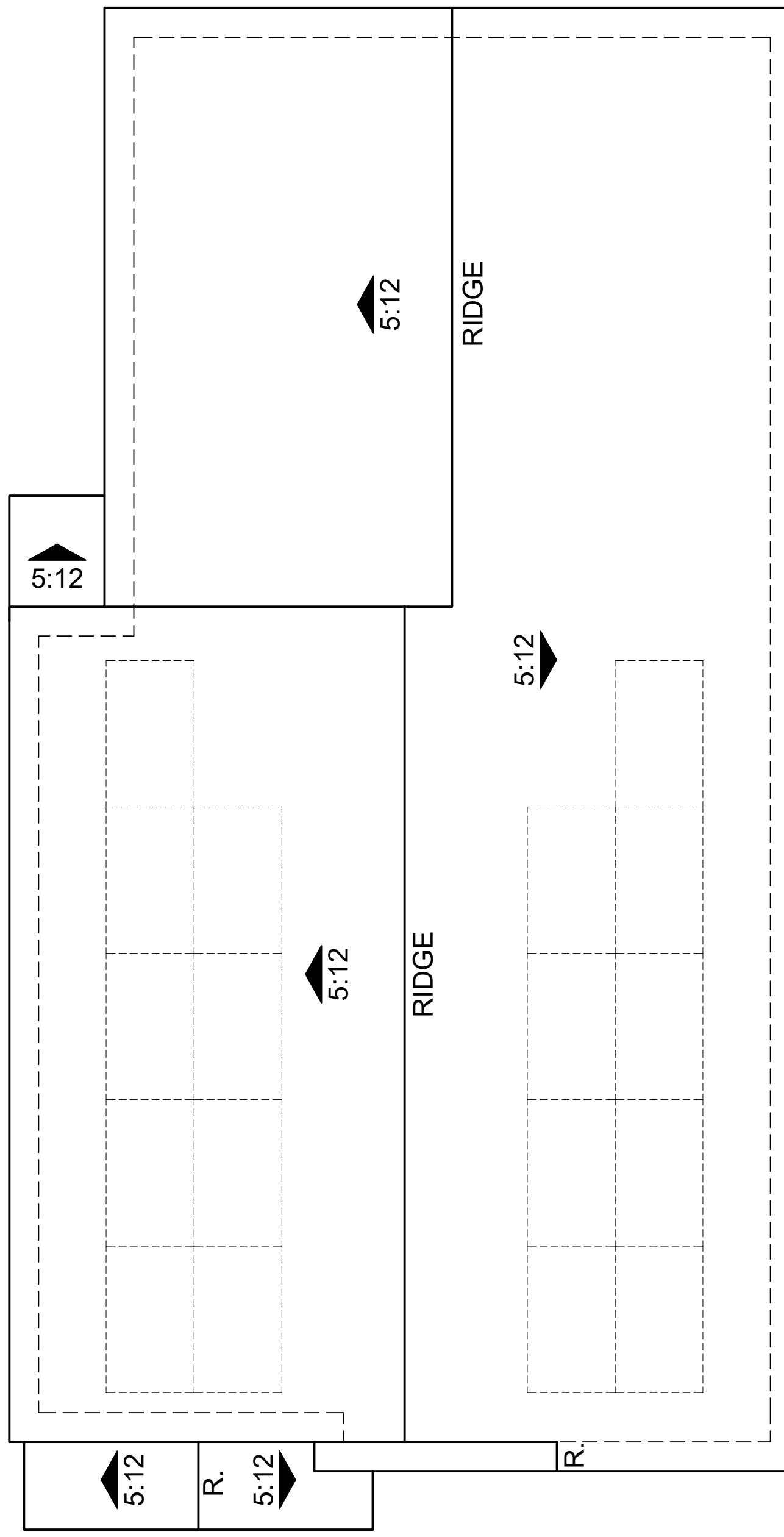
Rear Elevation



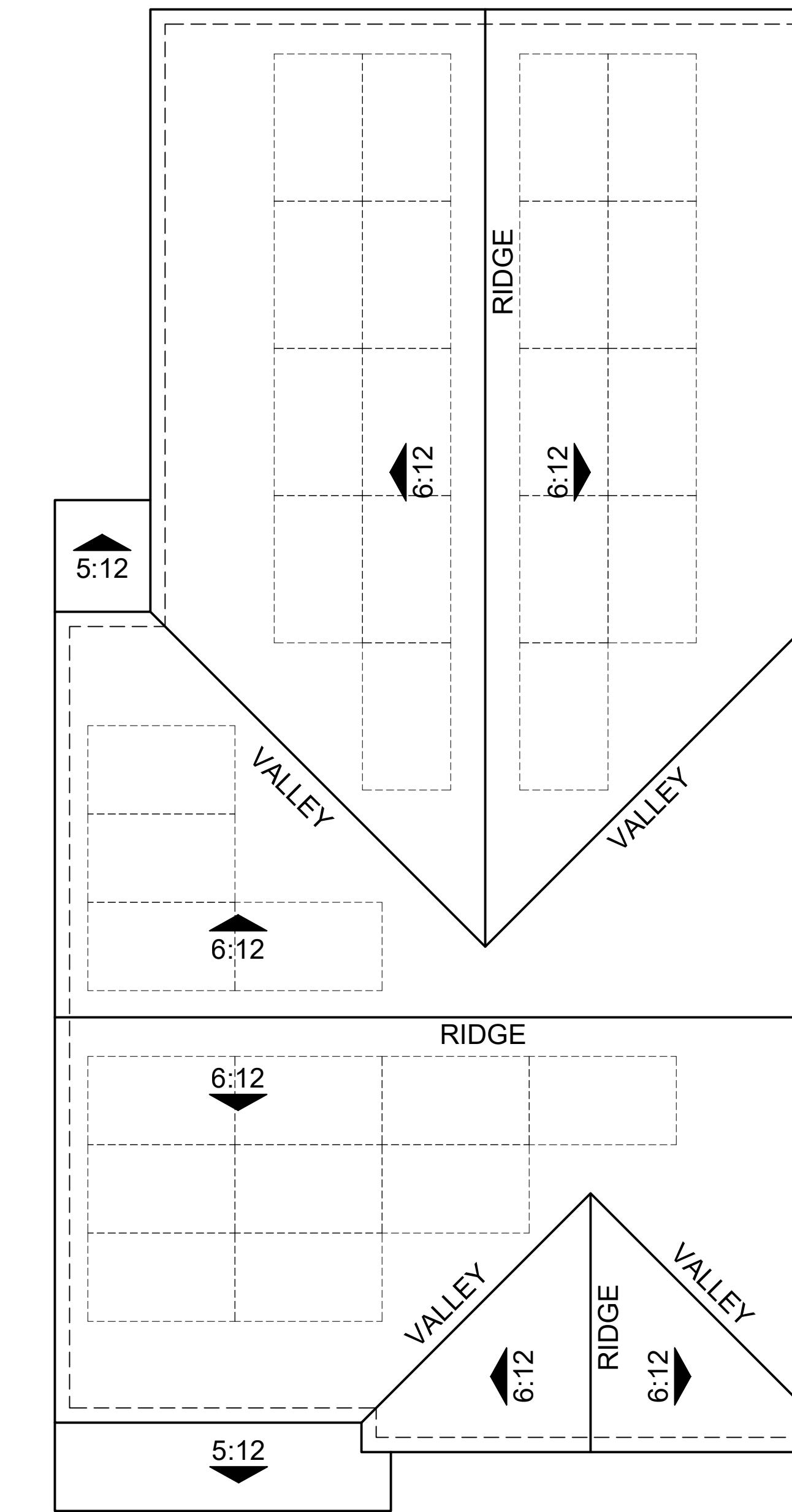
Left Elevation (Active Side)



Front Elevation 2C - Country European

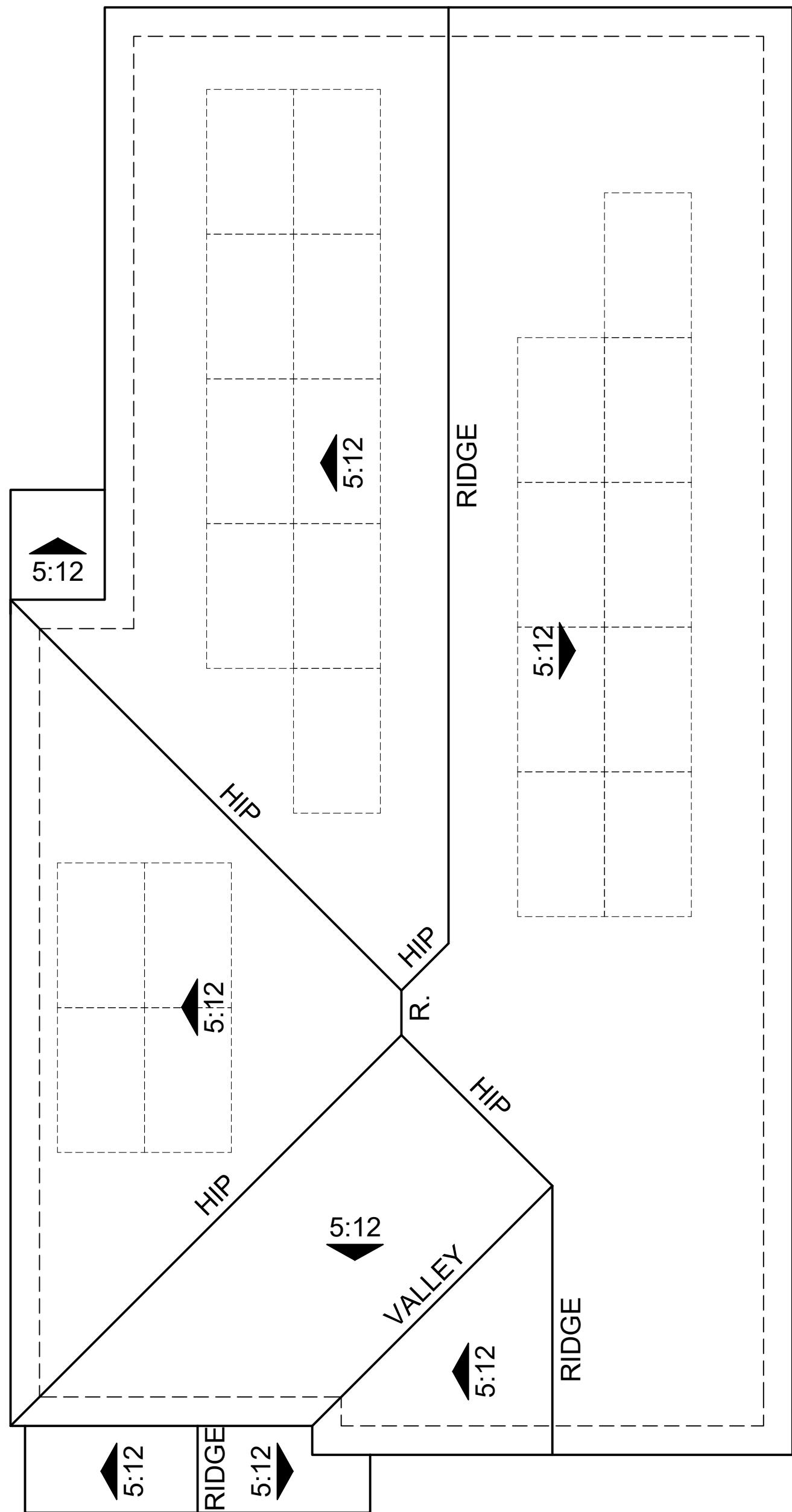


ROOF PLAN 2B
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O



ROOF PLAN 2A
OVERHANG: 6"
RAKE: 6"
ROOF PITCH: 6:12 U.N.O

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



ROOF PLAN 2C
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O.

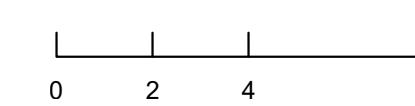


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N2 : KINSLEY AT THE TRIWAY
TRACY, CA # 2021-1312

CONCEPTUAL PLANNING
SEPTEMBER 13, 2024



PLAN 2 ROOF PLAN

N2-A2.4.1

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



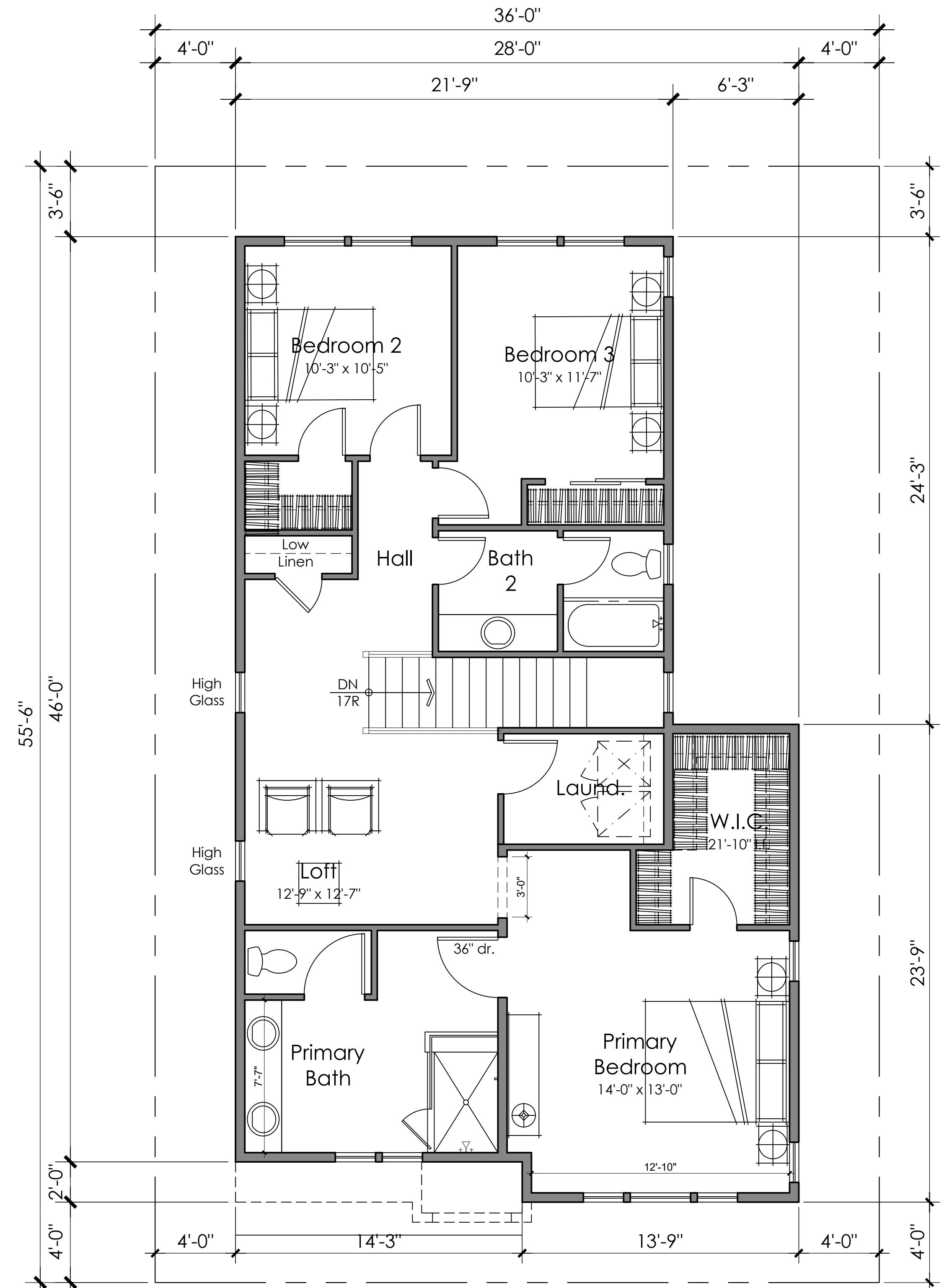
Plan 3A - Farmhouse



Plan 3B - Craftsman



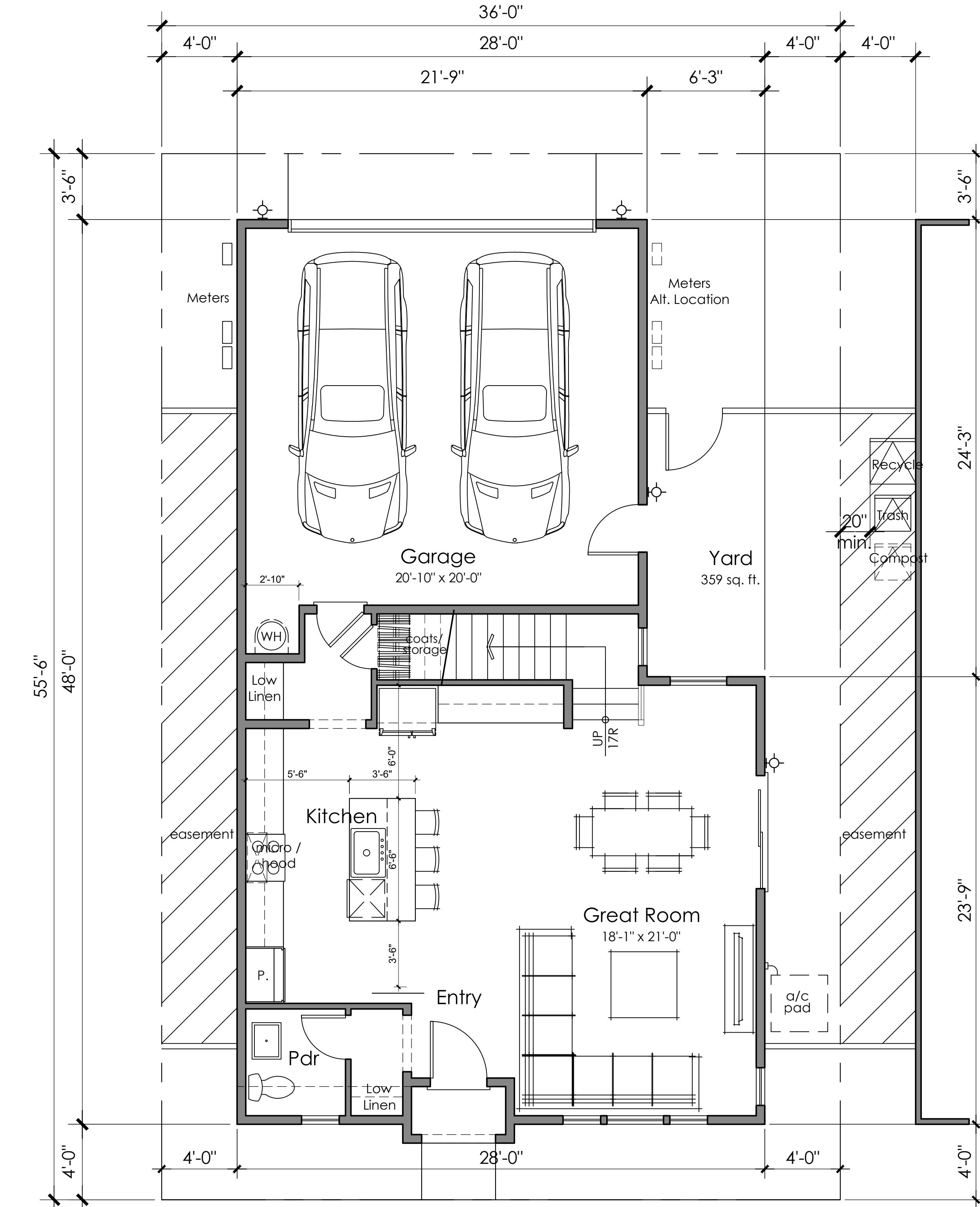
Plan 3C - Country European



Second Floor

1129 SQ. FT.

- Exterior Wall Light fixture
N2/Building 3 Entry Light at Porch Ceilings



First Floor

729 SQ. FT.



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N2 : KINSLEY AT THE TRIWAY

TRACY, CA # 2021-1312

CONCEPTUAL PLANNING

SEPTEMBER 13, 2024

A horizontal number line with tick marks at 0, 2, and 4. The tick marks are vertical lines extending downwards from the number line. The number 0 is at the far left, 2 is in the middle, and 4 is at the far right. The segments between the tick marks are labeled with their respective values: 0, 2, and 4.

3 BEDROOMS
2.5 BATHS
1,842 S.F.

PLAN 3A

FLOOR PLANS

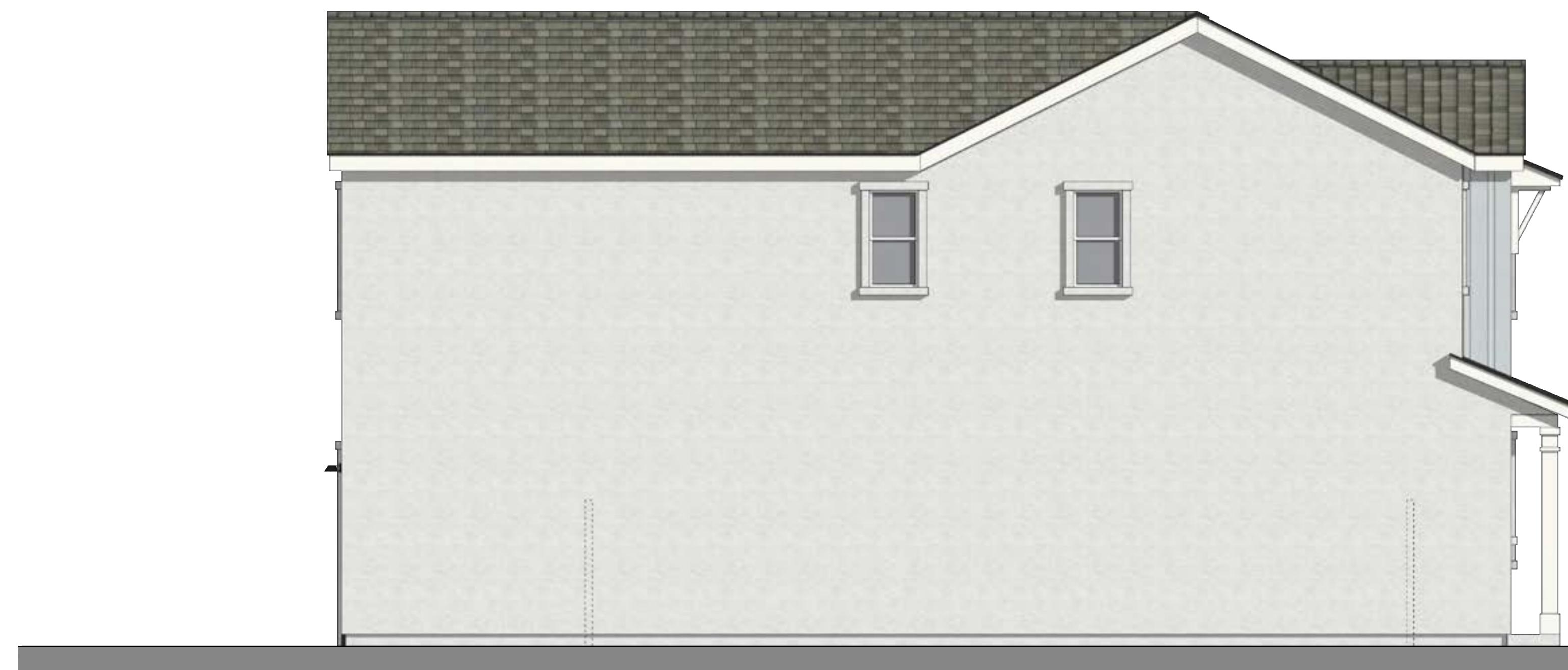
N2-A3.2.0



Right Elevation (Active Side)



Rear Elevation



Left Elevation (Inactive Side)



Front Elevation 3A - Farmhouse



Right Elevation (Active Side)



Rear Elevation

3B: Craftsman - Material Legend

1. Composition Shingle Roofing
2. Cementitious Lap Siding
3. Stucco finish
4. Brick Veneer
5. Window Shutters
6. Decorative Post
7. Decorative Gable end Detail
8. Enhanced Head and Sill Trim



Left Elevation (Inactive Side)



Front Elevation 3B - Craftsman



Right Elevation (Active Side)



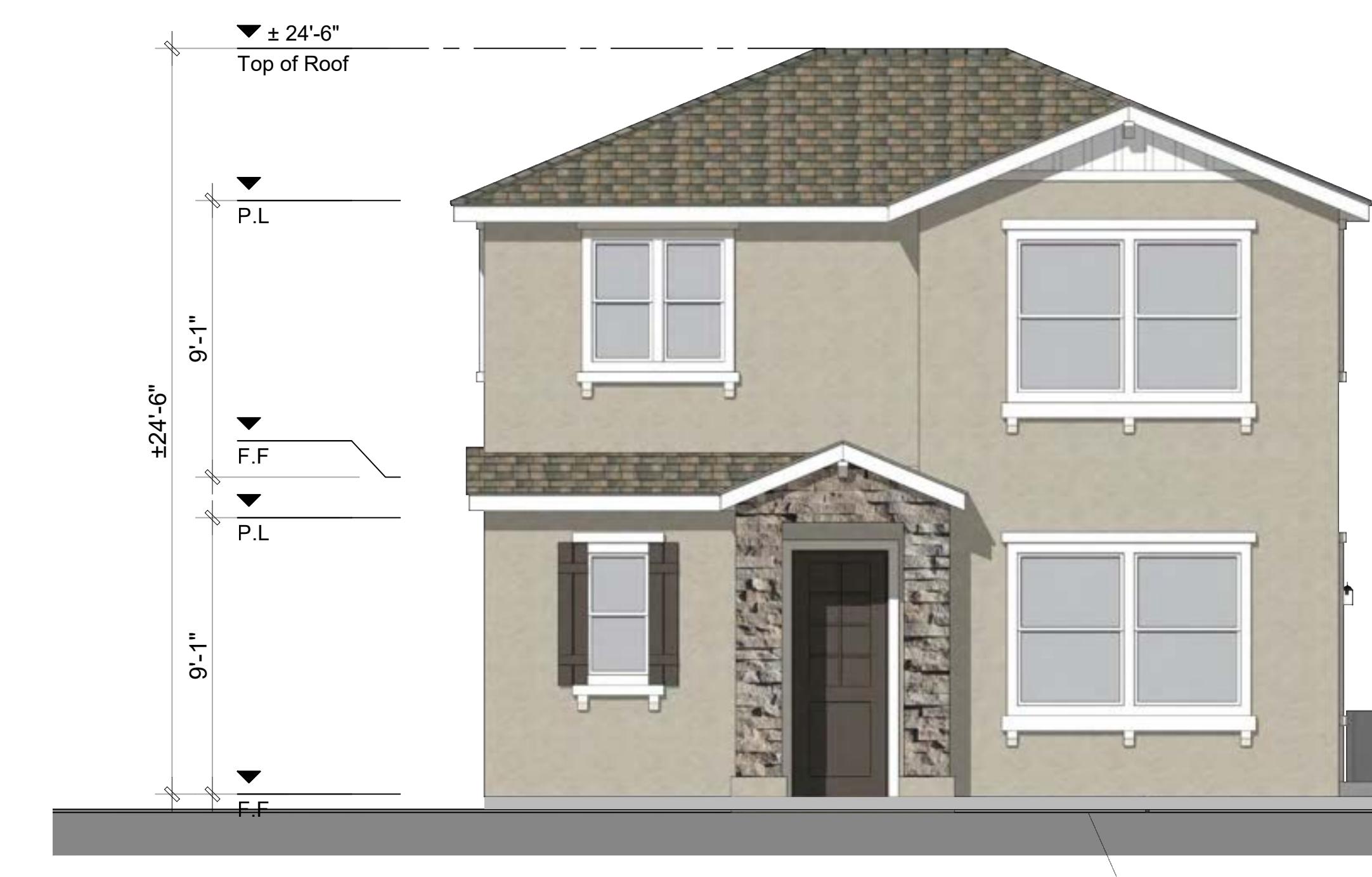
Rear Elevation

3C: Country European - Material Legend

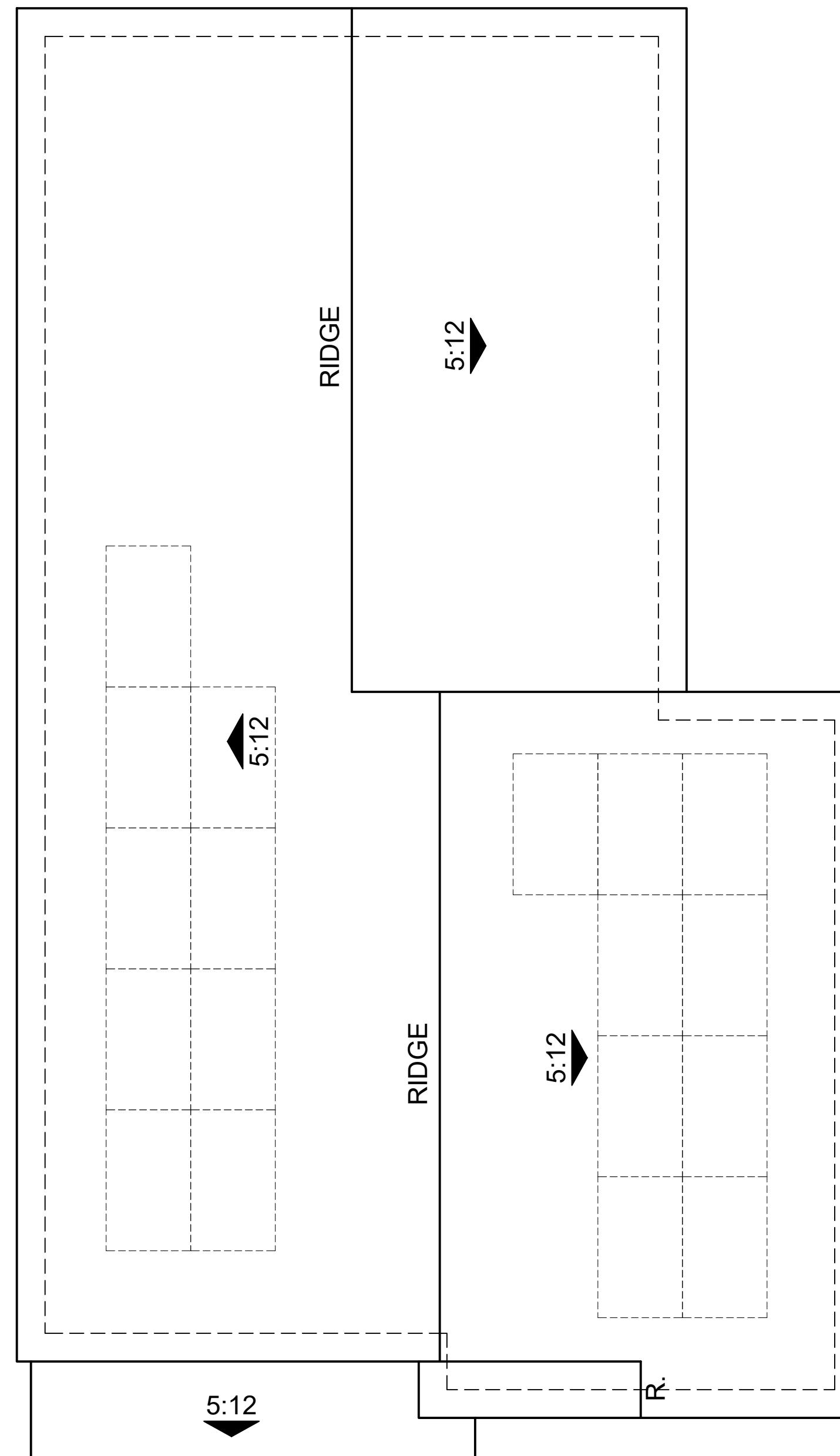
1. Composition Shingle Roofing
3. Cementitious Board and Batten Siding
4. Stucco finish
5. Stone Veneer
6. Window Shutters
7. Decorative Post
8. Decorative Gable end Detail
9. Enhanced Head and Sill Trim



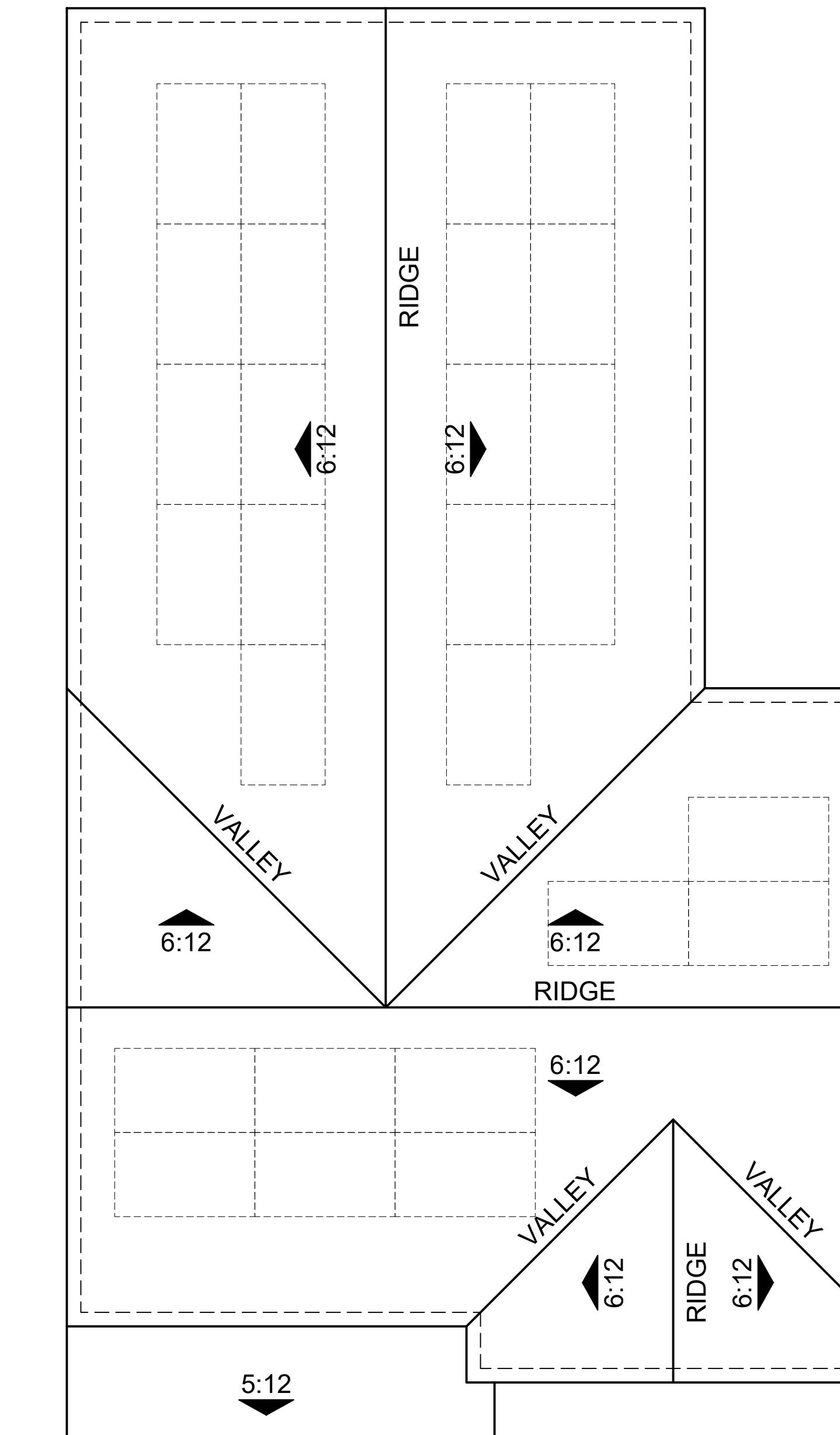
Left Elevation (Inactive Side)



Front Elevation 3C - Country European

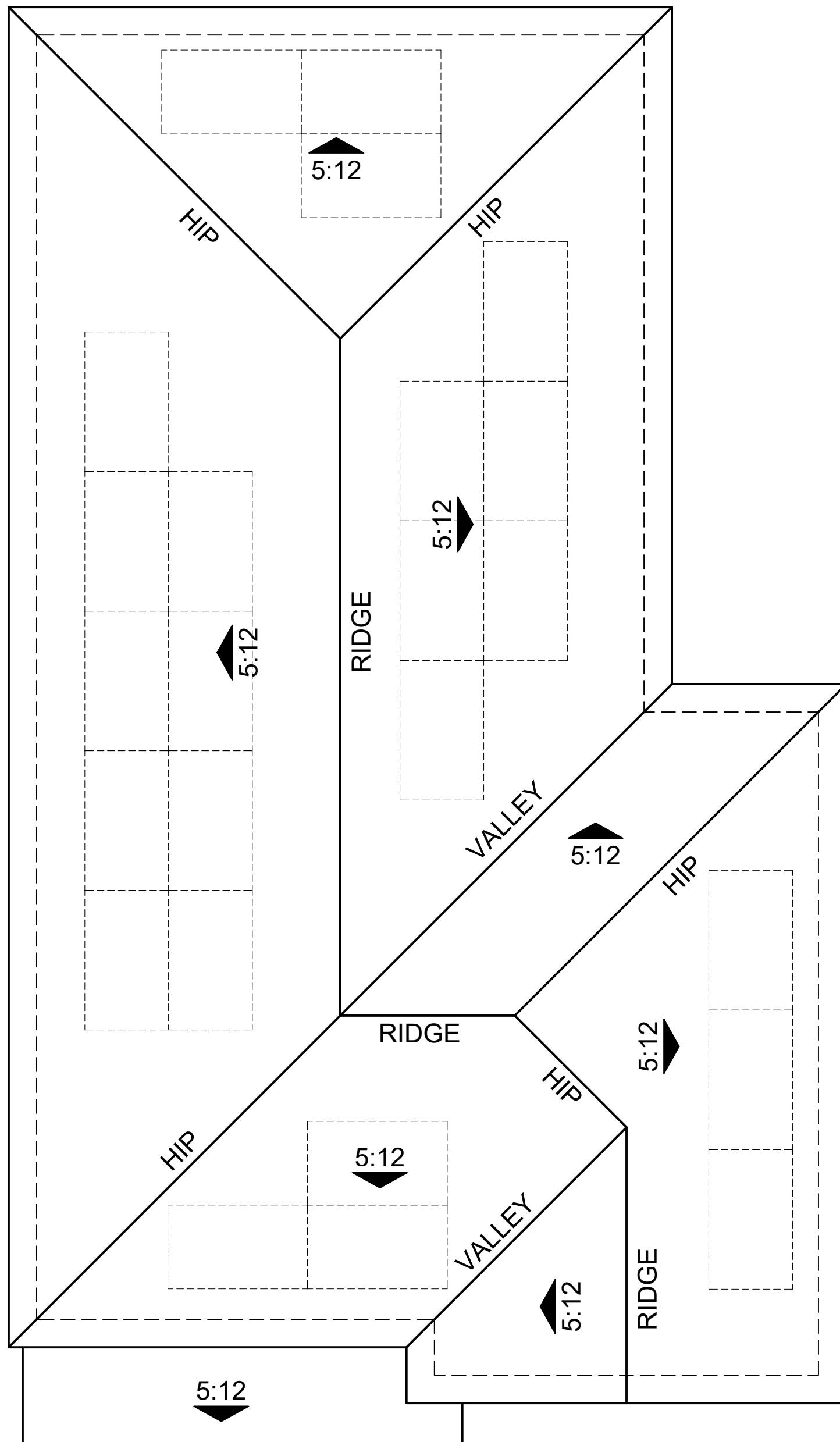


ROOF PLAN 3B
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O



ROOF PLAN 3A
OVERHANG: 6"
RAKE: 6"
ROOF PITCH: 6:12 U.N.O

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



ROOF PLAN 3C
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O.

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.

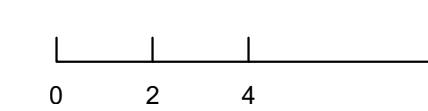


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N2 : KINSLEY AT THE TRIWAY
TRACY, CA # 2021-1312

CONCEPTUAL PLANNING
SEPTEMBER 13, 2024



PLAN 3 ROOF PLAN

N2-A3.4.1



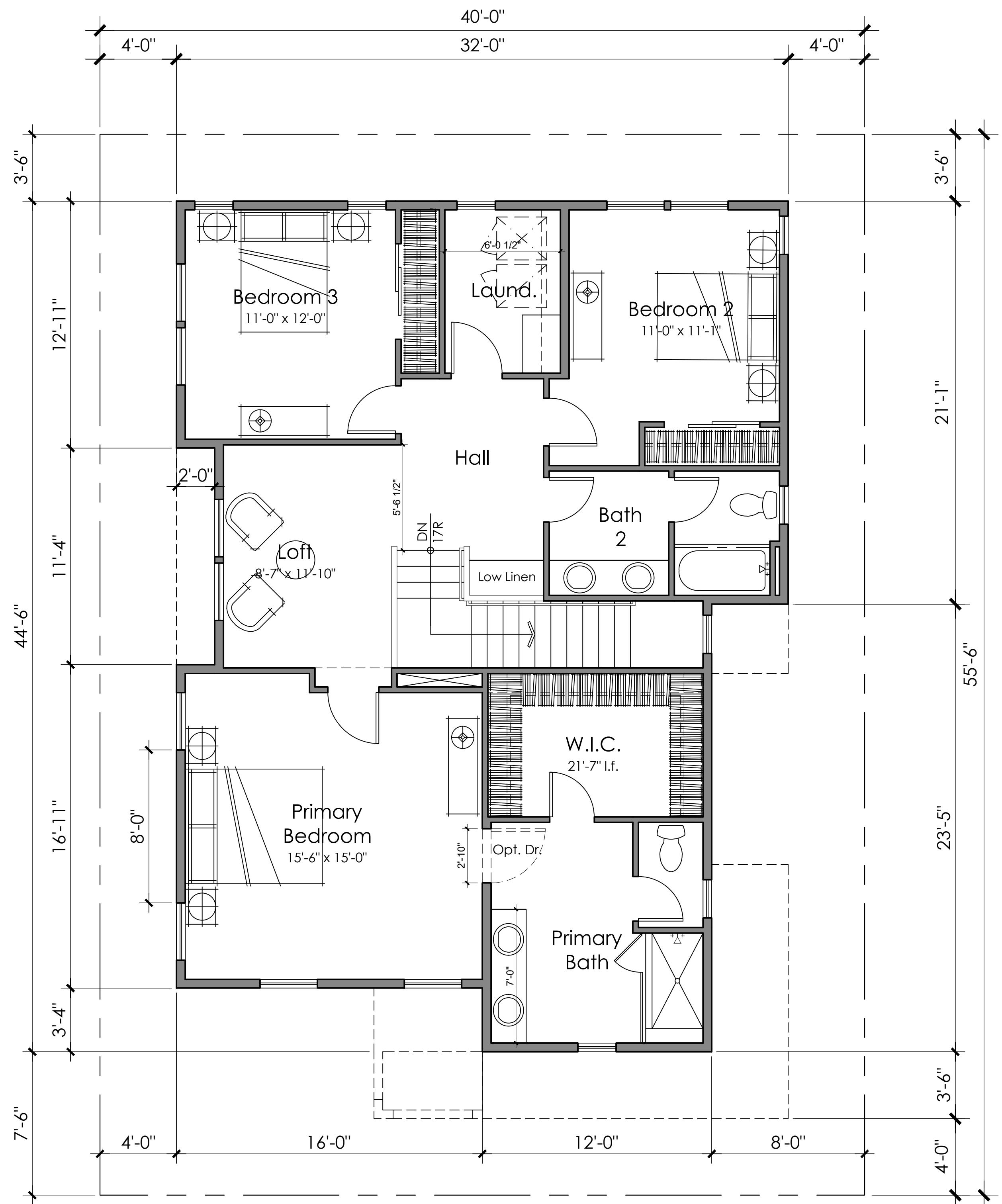
Plan 4A - Farmhouse



Plan 4B - Craftsman



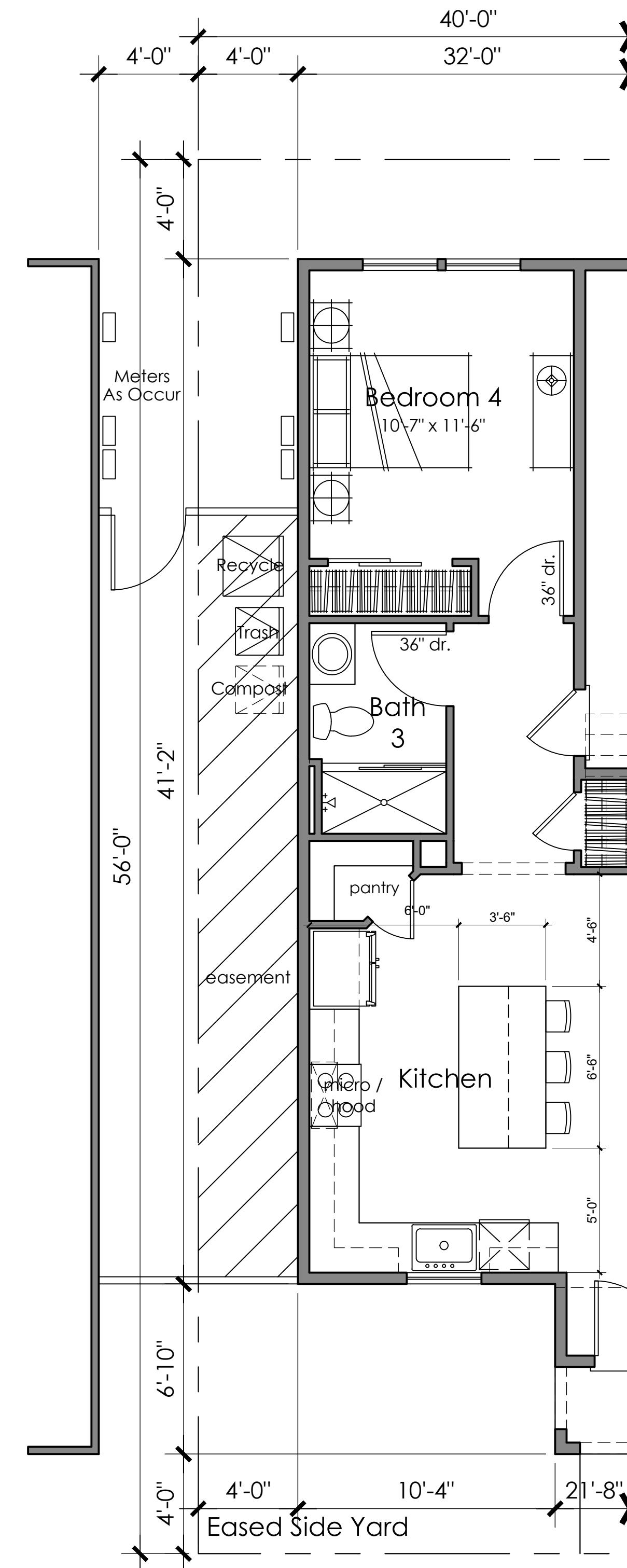
Plan 4C - Country European



Second Floor

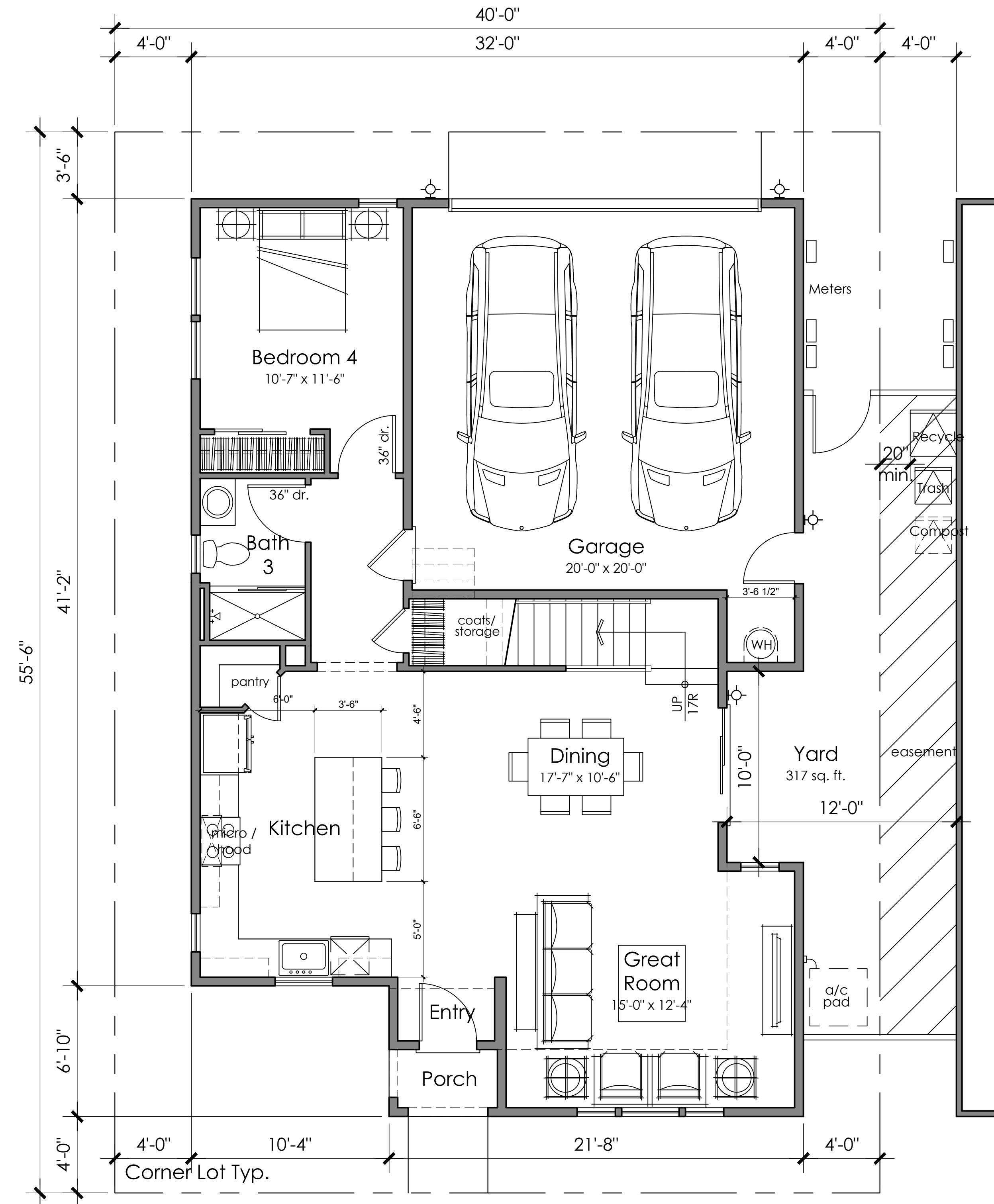
1216 SQ. FT.

⊕ Exterior Wall Light fixture
N2/Building 4 Entry Light at Porch Ceilings



First Floor

970 SQ. FT.



First Floor

970 SQ. FT.



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Brookfield Residential

N2 : KINSLEY AT THE TRIWAY

TRACY, CA # 2021-1312

CONCEPTUAL PLANNING

SEPTEMBER 13, 2024

A horizontal number line with tick marks at 0, 2, and 4. The tick marks are vertical lines extending upwards from the line. The numbers 0, 2, and 4 are placed below the line under their respective tick marks.

**4 BEDROOMS + LOFT
3 BATHS
2,188 S.F.**

PLAN 4A

FLOOR PLANS

N2-A4.2.0



Right Elevation (Active Side)



Rear Elevation



Left Elevation (Inactive Side)



Front Elevation 4A - Farmhouse

4A: Farmhouse - Material Legend

1. Composition Shingle Roofing
2. Standing Seam Roof
3. Cementitious Board and Batten Siding
4. Stucco finish
5. Awning
6. Decorative Post
7. Enhanced Head and Sill Trim



Right Elevation (Active Side)



Left Elevation (Inactive Side)



Rear Elevation



Front Elevation 4B - Craftsman

4B: Craftsman - Material Legend

1. Composition Shingle Roofing
2. Cementitious Lap Siding
3. Stucco finish
4. Brick Veneer
5. Window Shutters
6. Decorative Post
7. Decorative Gable end Detail
8. Enhanced Head and Sill Trim



Right Elevation (Active Side)



Rear Elevation

4C: Country European - Material Legend

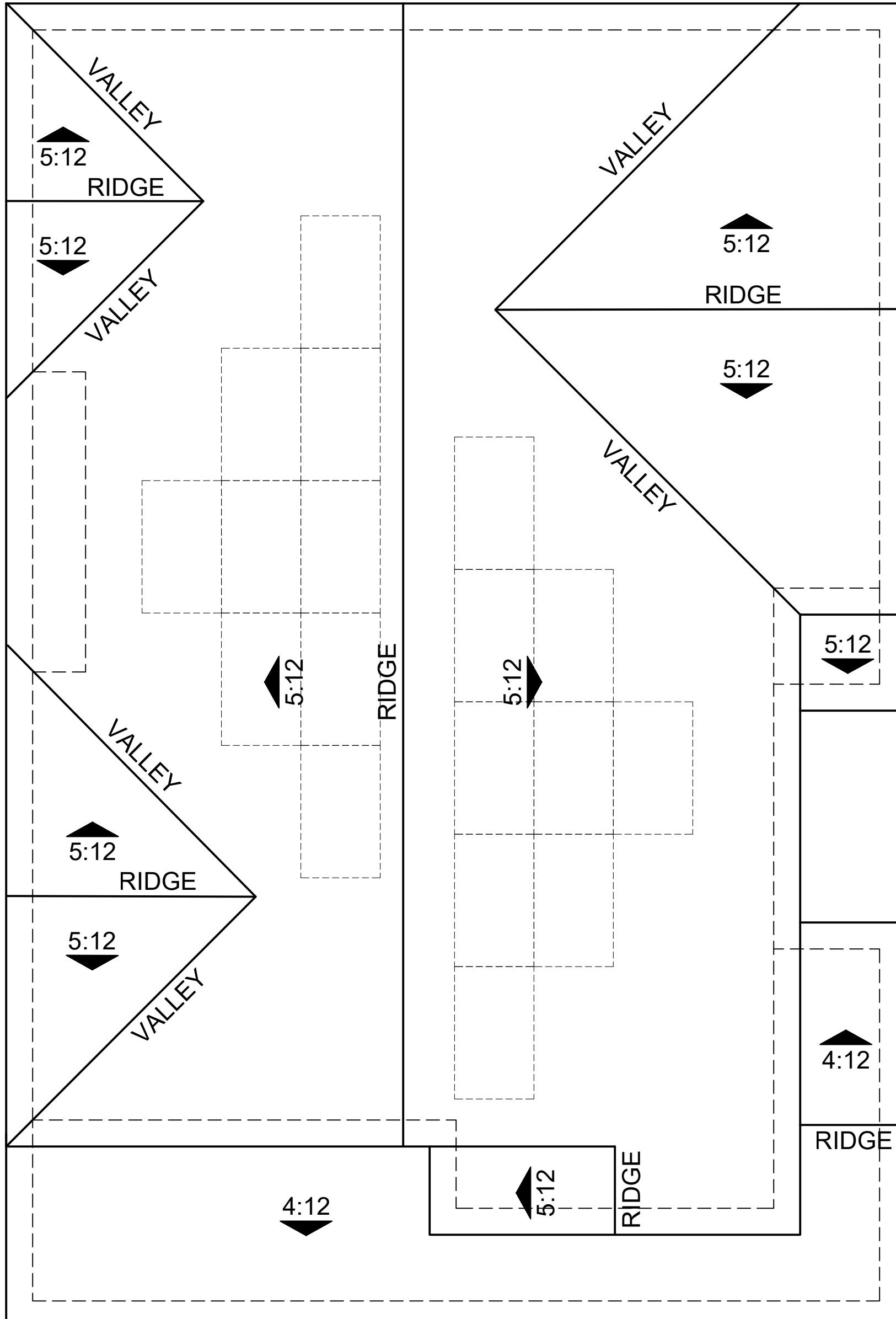
1. Composition Shingle Roofing
3. Cementitious Board and Batten Siding
4. Stucco finish
5. Stone Veneer
6. Window Shutters
7. Decorative Post
8. Decorative Gable end Detail
9. Enhanced Head and Sill Trim



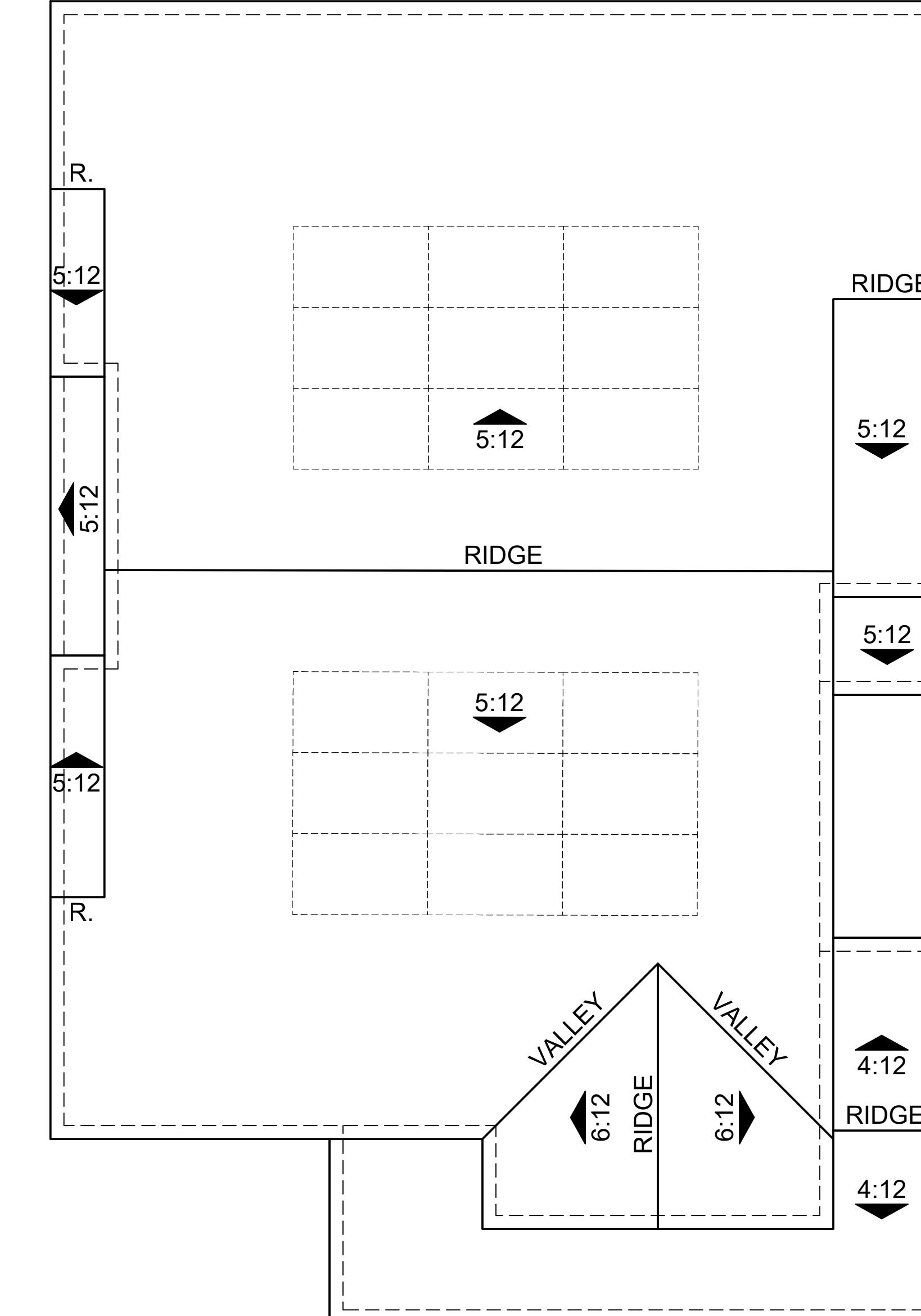
Left Elevation (Inactive Side)



Front Elevation 4C - Country European

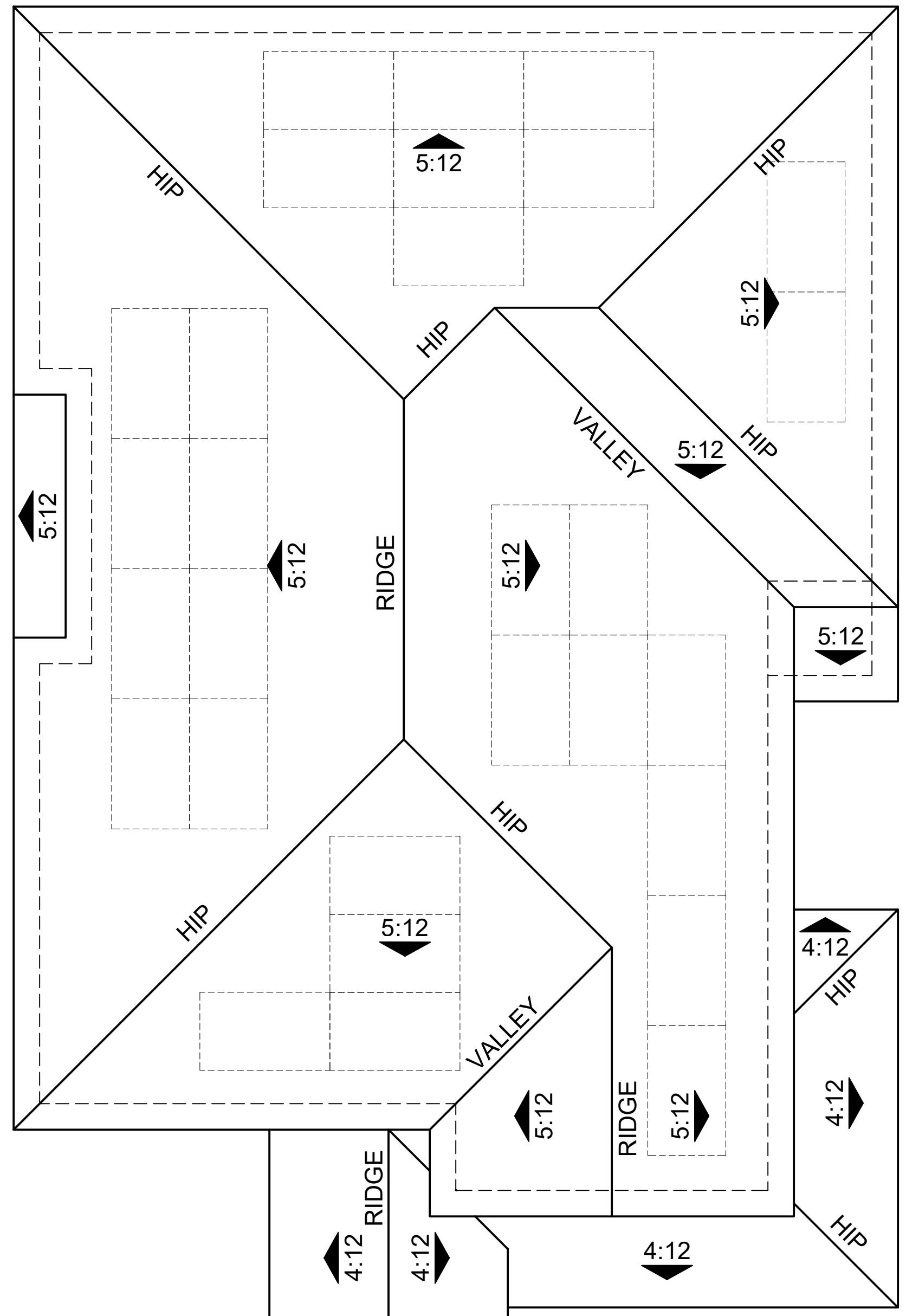


ROOF PLAN 4B
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O



ROOF PLAN 4A
OVERHANG: 6"
RAKE: 6"
ROOF PITCH: 6:12 U.N.O

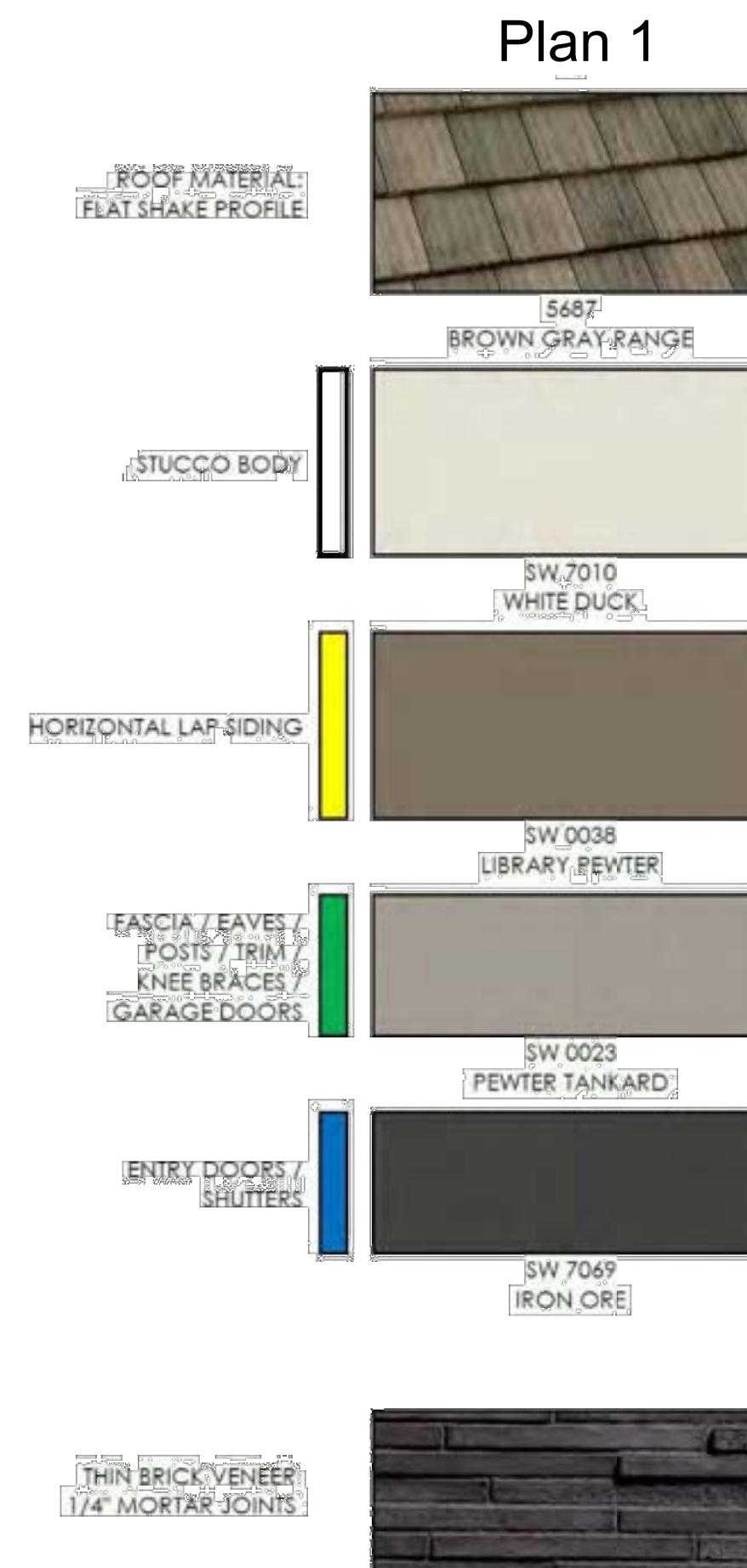
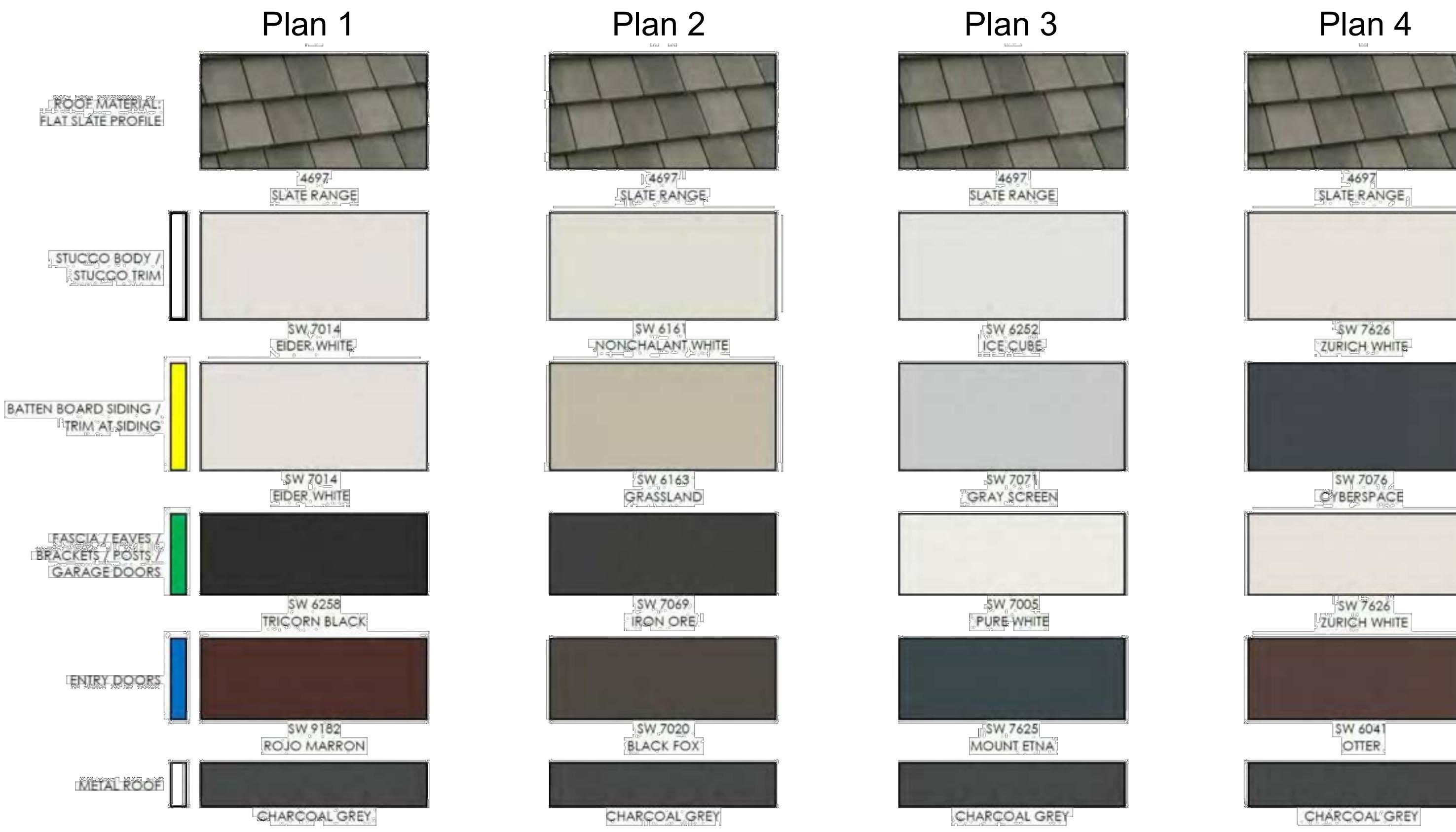
Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



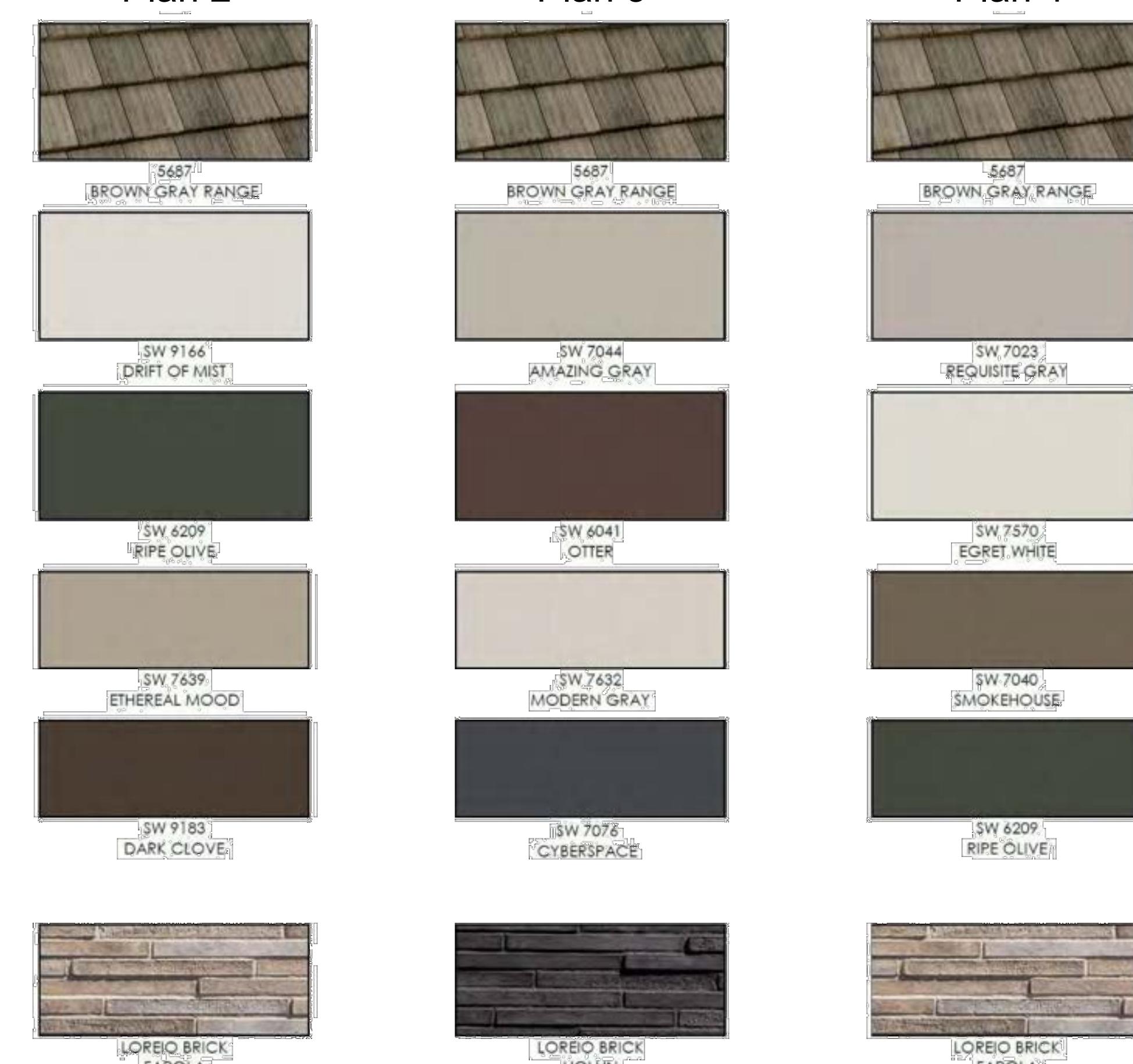
ROOF PLAN 4C
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.

'A' - FARMHOUSE ELEVATIONS - ALLEY LOAD



'B' - CRAFTSMAN ELEVATIONS - ALLEY LOAD



'C' - COUNTRY EUROPEAN - ALLEY LOAD



Note: Alternative and/or similar to meet design intent may be used.



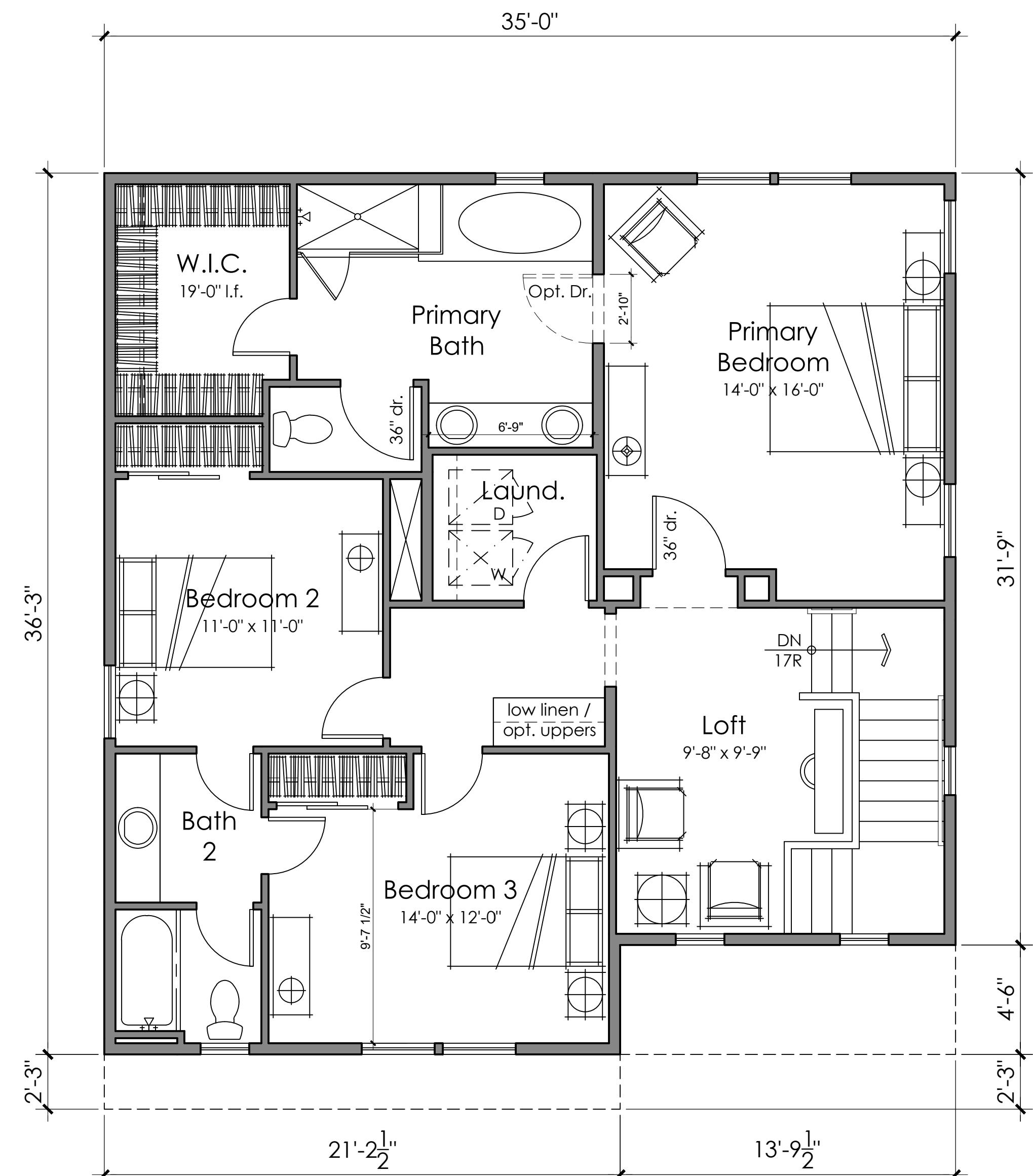
Plan 1A - Farmhouse



Plan 1B - Craftsman



Plan 1C - Country European



Second Floor

1166 SQ. FT.

Exterior Wall Light fixture

N3/Building 1 Entry Light at Porch Ceilings



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Residential

N3 : SOMERSET AT THE TRIWAY
TRACY, CA # 2021-1312

CONCEPTUAL PLANNING
SEPTEMBER 13, 2024

0 2 4 8

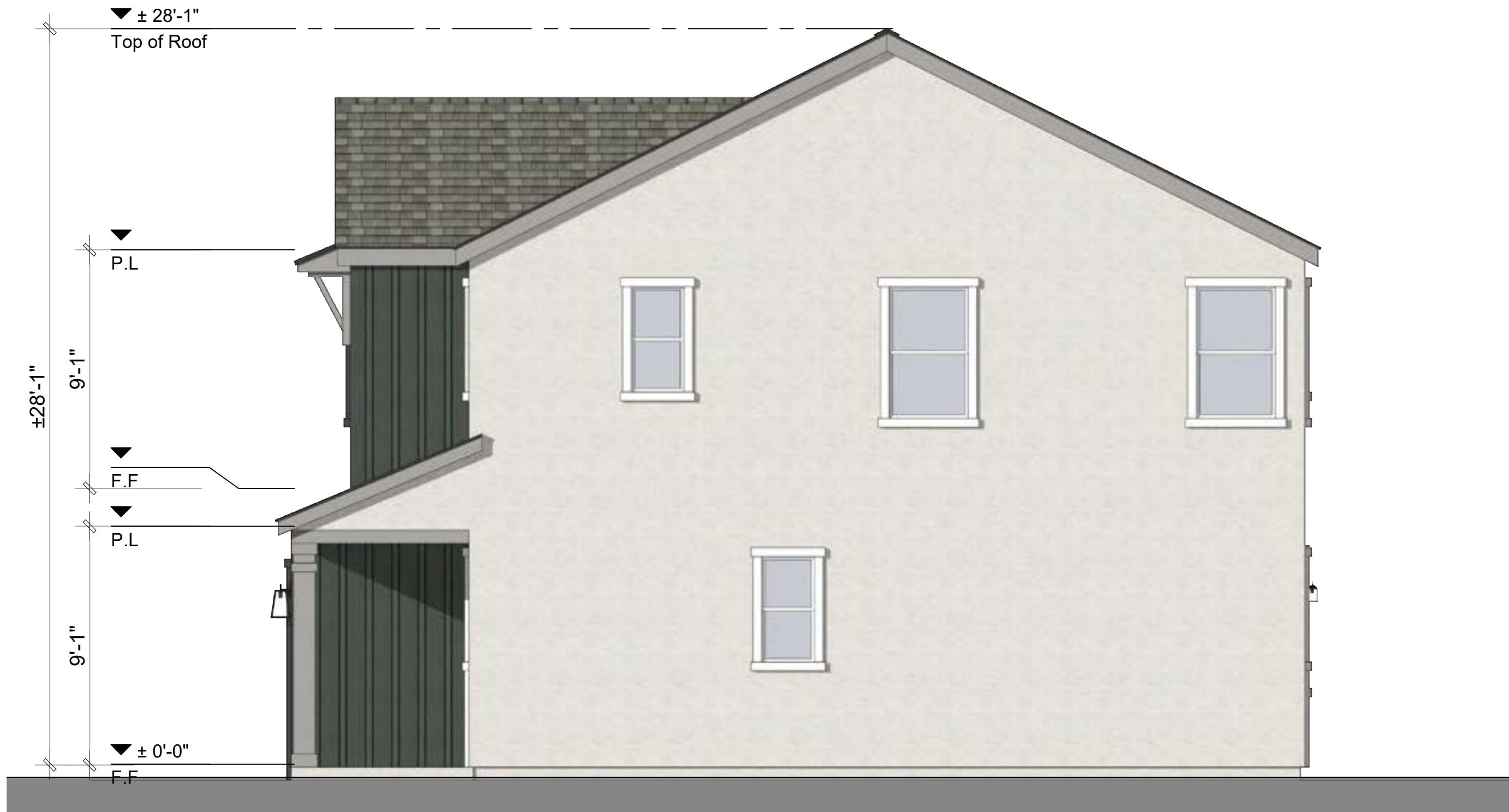
3 BEDROOMS + LOFT
2.5 BATHS
1,985 S.F.

PLAN 1A
FLOOR PLANS

First Floor

819 SQ. FT.

N3-A1.2.0



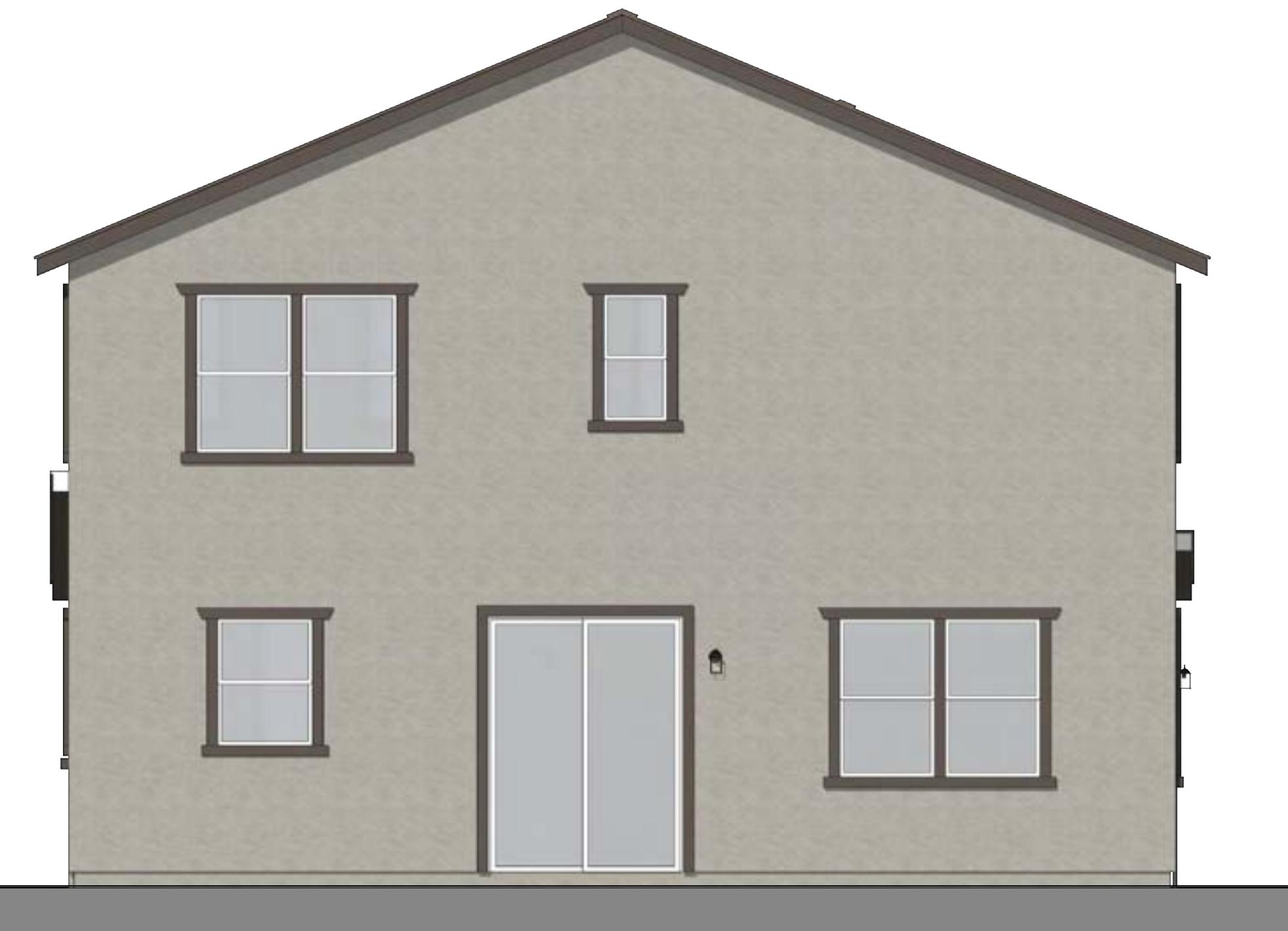
1A: Farmhouse - Material Legend

1. Composition Shingle Roofing
2. Standing Seam Roof
3. Cementitious Board and Batten Siding
4. Stucco finish
5. Awning
6. Decorative Post
7. Enhanced Head and Sill Trim





Right Elevation



Rear Elevation

1B: Craftsman - Material Legend

1. Composition Shingle Roofing
2. Cementitious Lap Siding
3. Stucco finish
4. Brick Veneer
5. Window Shutters
6. Decorative Post
7. Decorative Gable end Detail
8. Enhanced Head and Sill Trim



Left Elevation



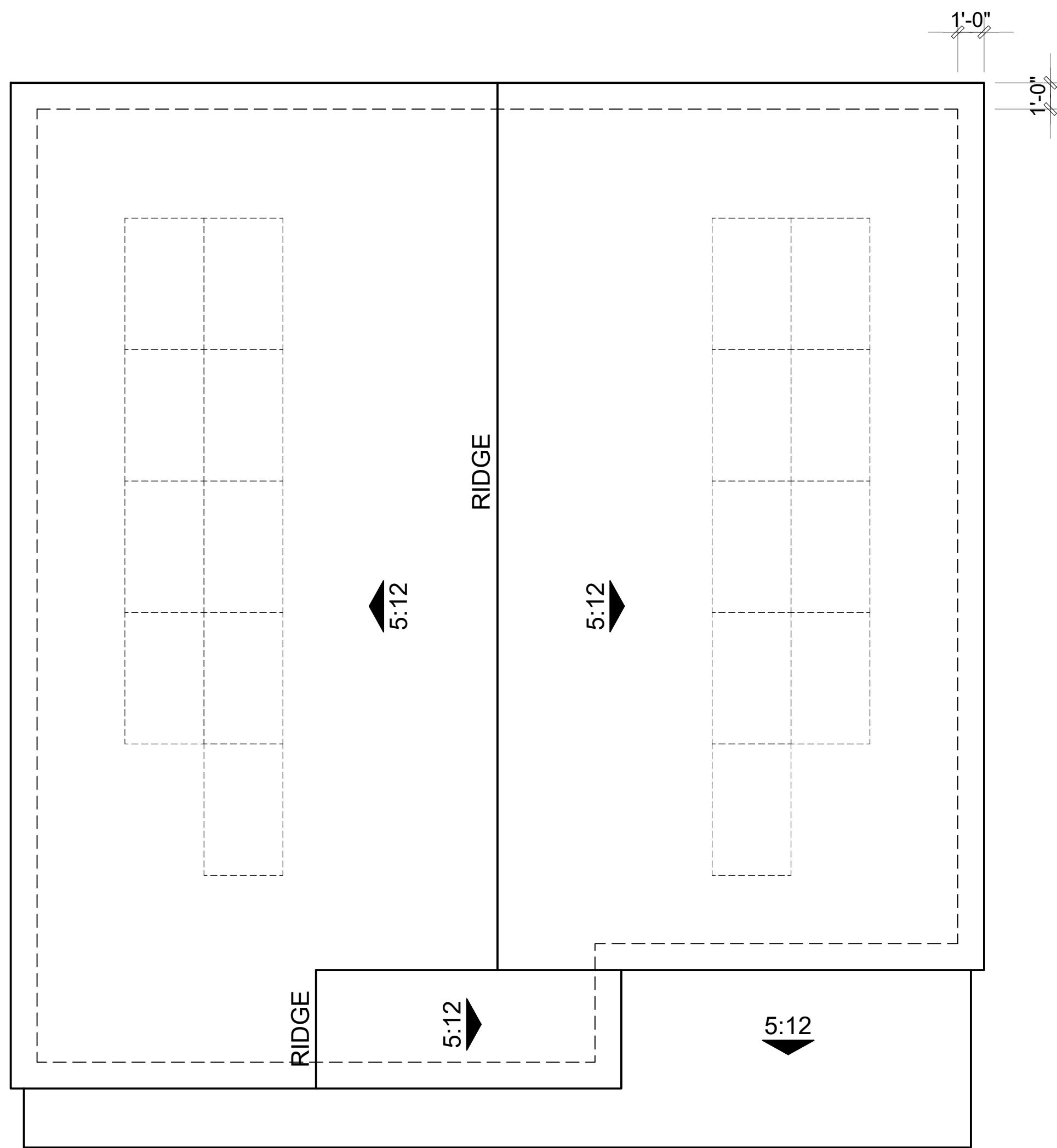
Front Elevation 1B - Craftsman



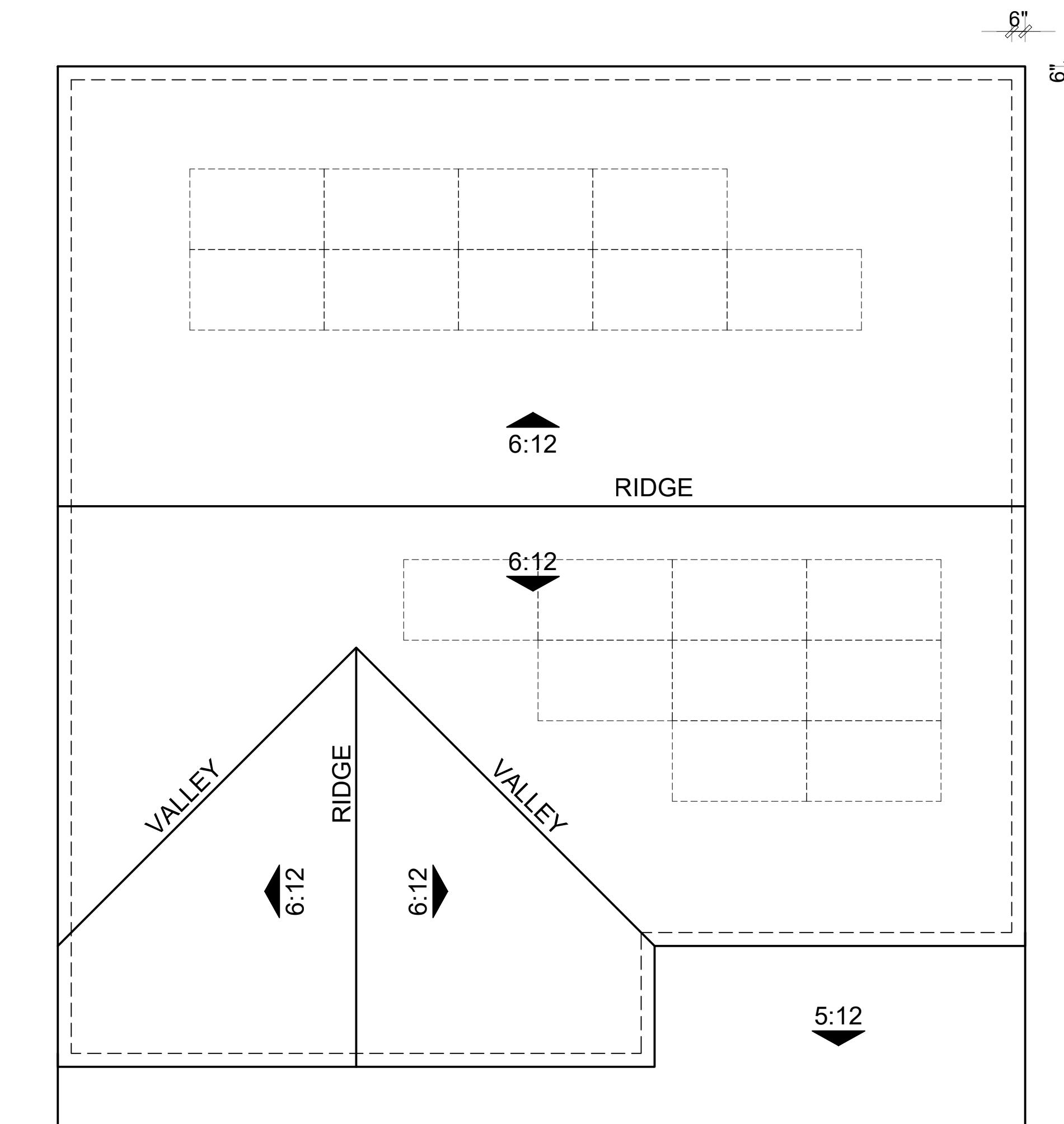
1C: Country European - Material Legend

1. Composition Shingle Roofing
2. Cementitious Board and Batten Siding
3. Stucco finish
4. Stone Veneer
5. Window Shutters
6. Decorative Post
7. Decorative Gable end Detail
8. Enhanced Head and Sill Trim



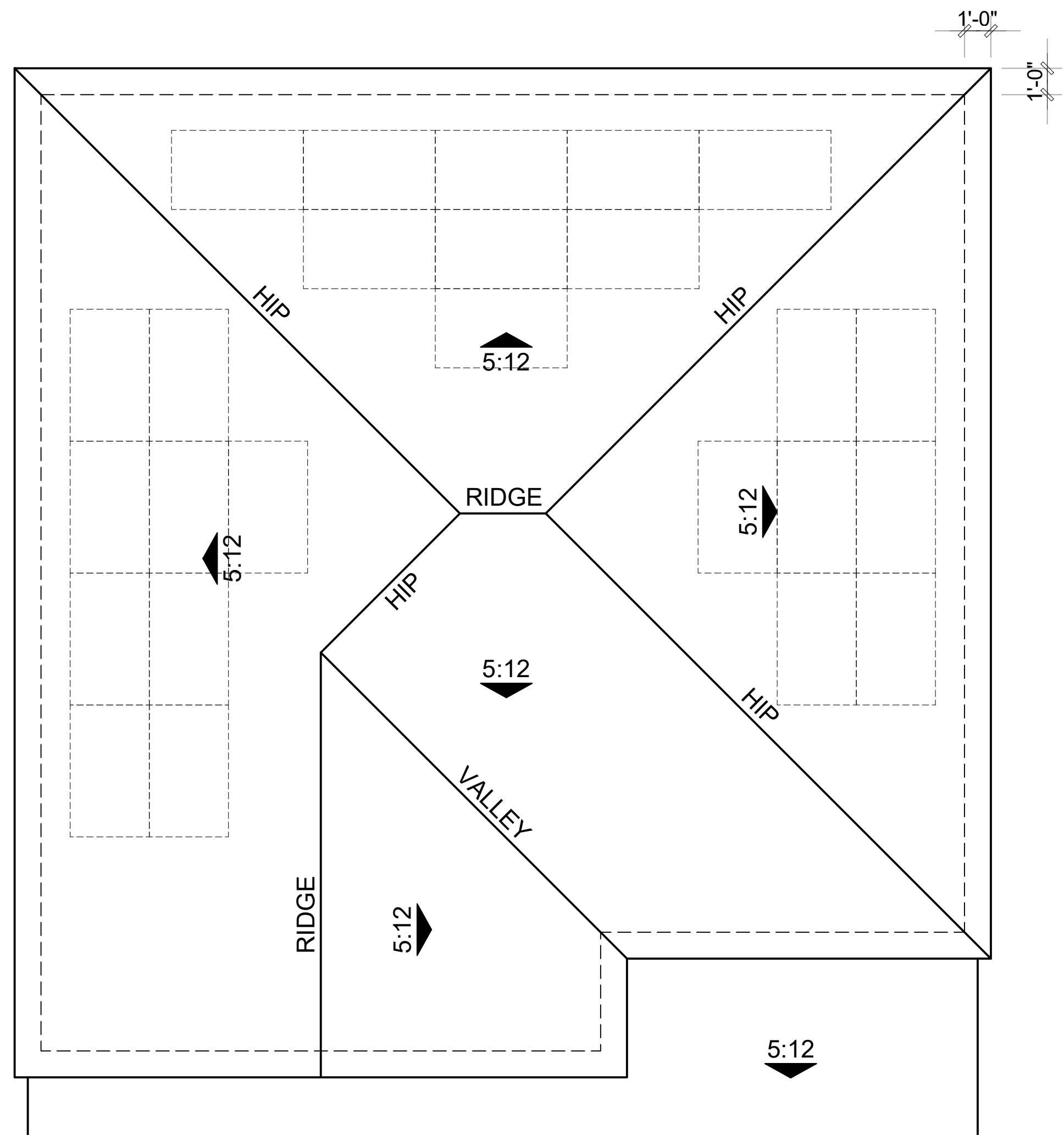


ROOF PLAN 1B
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O



ROOF PLAN 1A
OVERHANG: 6"
RAKE: 6"
ROOF PITCH: 6:12 U.N.O

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



ROOF PLAN 1C
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O

Roof Plan 1C

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



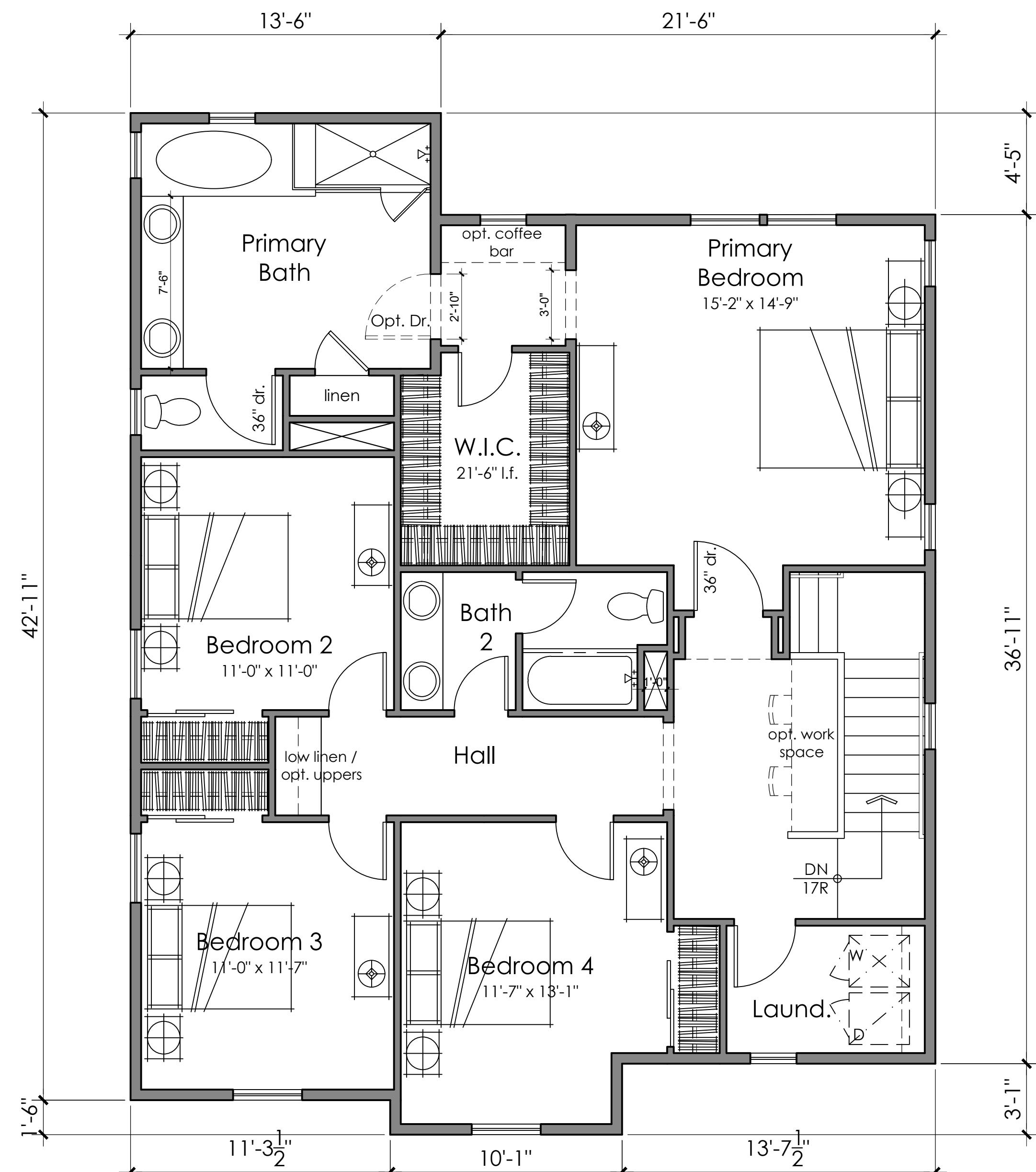
Plan 2A - Farmhouse



Plan 2B - Craftsman



Plan 2C - Country European



Second Floor

1364 SQ. FT.

Exterior Wall Light fixture

N3/Building 2 Entry Light at Porch Ceilings



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N3 : SOMERSET AT THE TRIWAY
TRACY, CA # 2021-1312

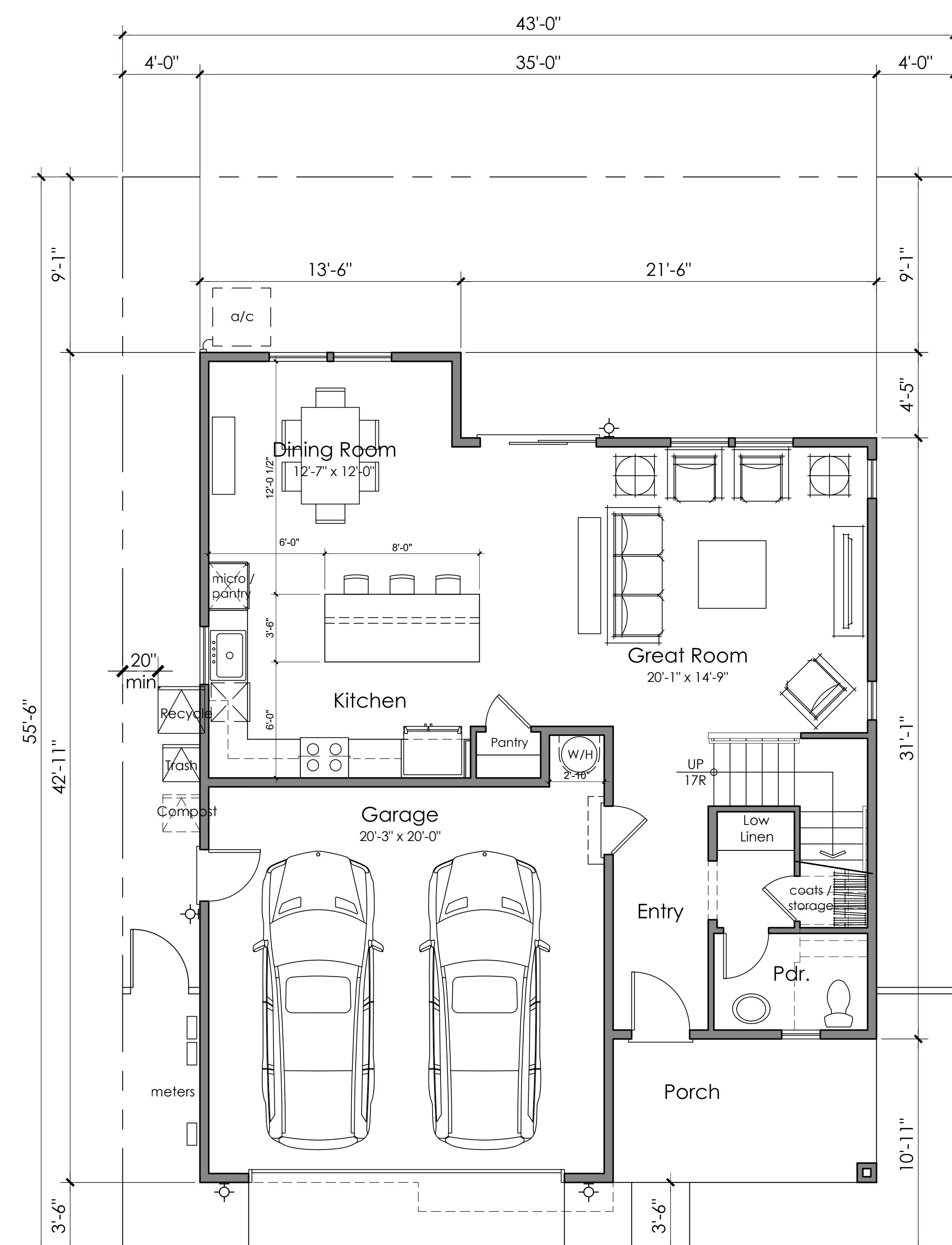
CONCEPTUAL PLANNING
SEPTEMBER 13, 2024

0 2 4 8

4 BEDROOMS
2.5 BATHS
2,231 S.F.

PLAN 2A
FLOOR PLANS

N3-A2.2.0



First Floor

867 SQ. FT.



Right Elevation



Rear Elevation

2A: Farmhouse - Material Legend

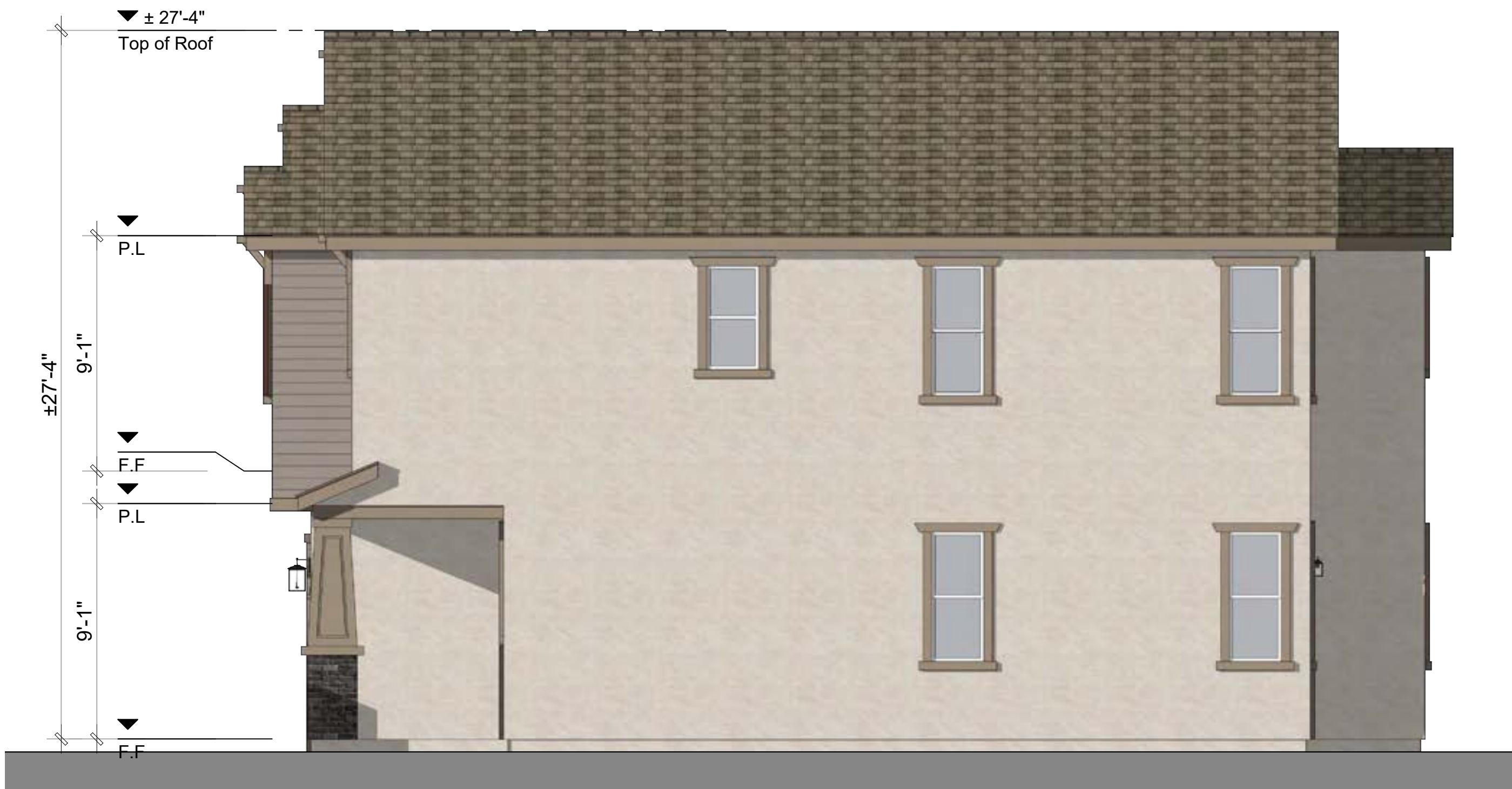
1. Composition Shingle Roofing
2. Standing Seam Roof
3. Cementitious Board and Batten Siding
4. Stucco finish
5. Awning
6. Decorative Post
7. Enhanced Head and Sill Trim



Left Elevation

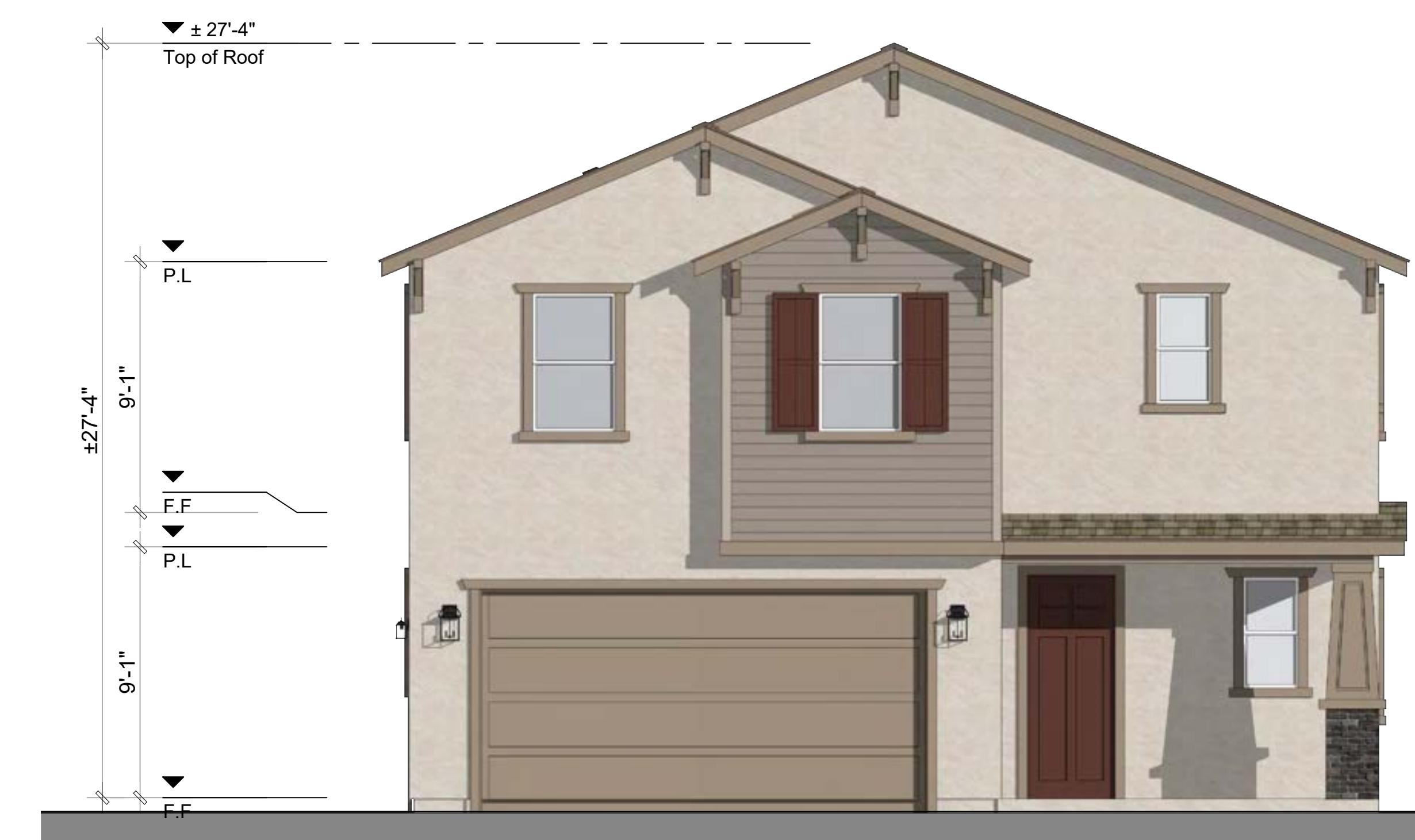
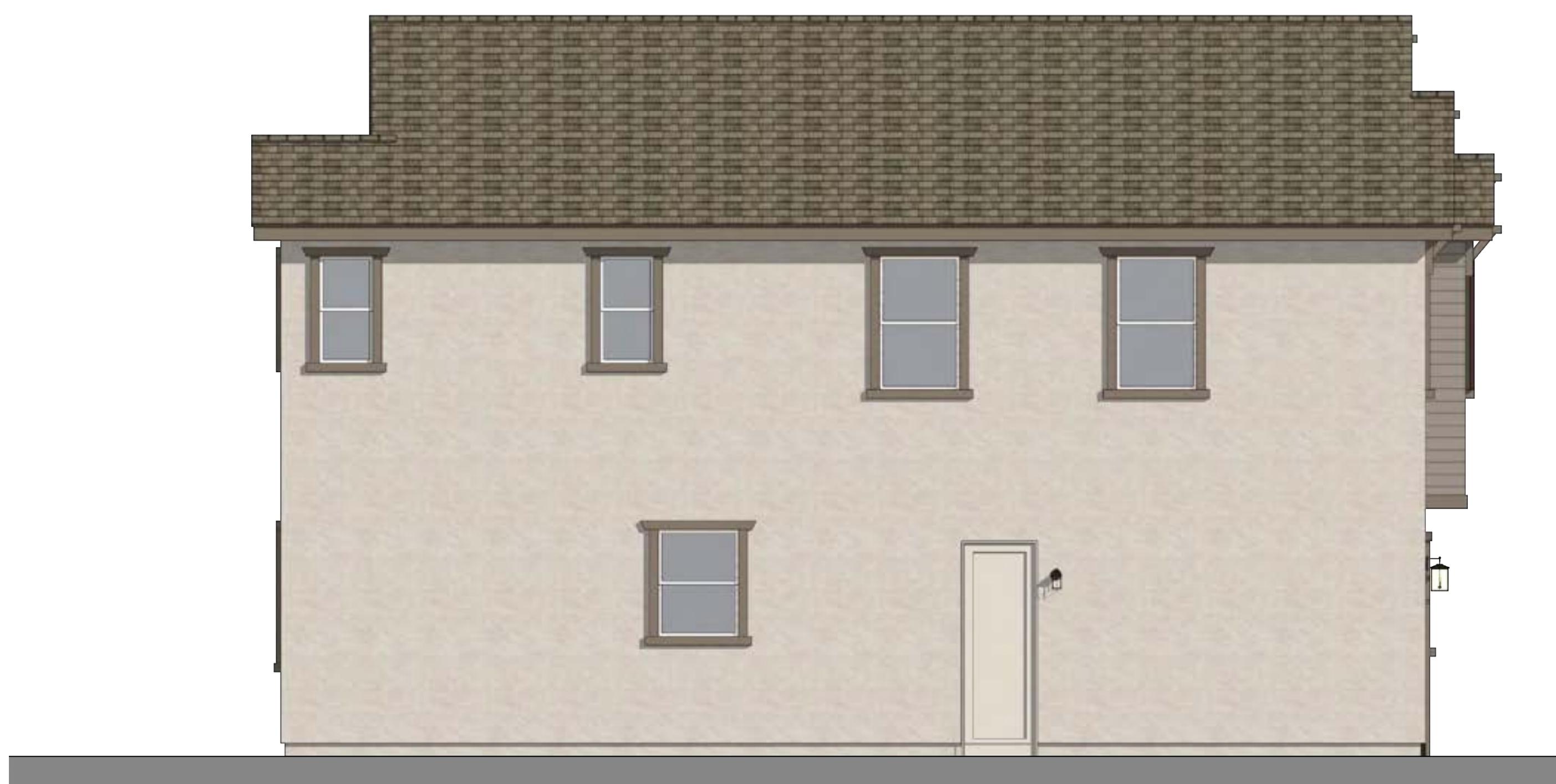


Front Elevation 2A - Farmhouse



2B: Craftsman - Material Legend

1. Composition Shingle Roofing
2. Cementitious Lap Siding
3. Stucco finish
4. Brick Veneer
5. Window Shutters
6. Decorative Post
7. Decorative Gable end Detail
8. Enhanced Head and Sill Trim

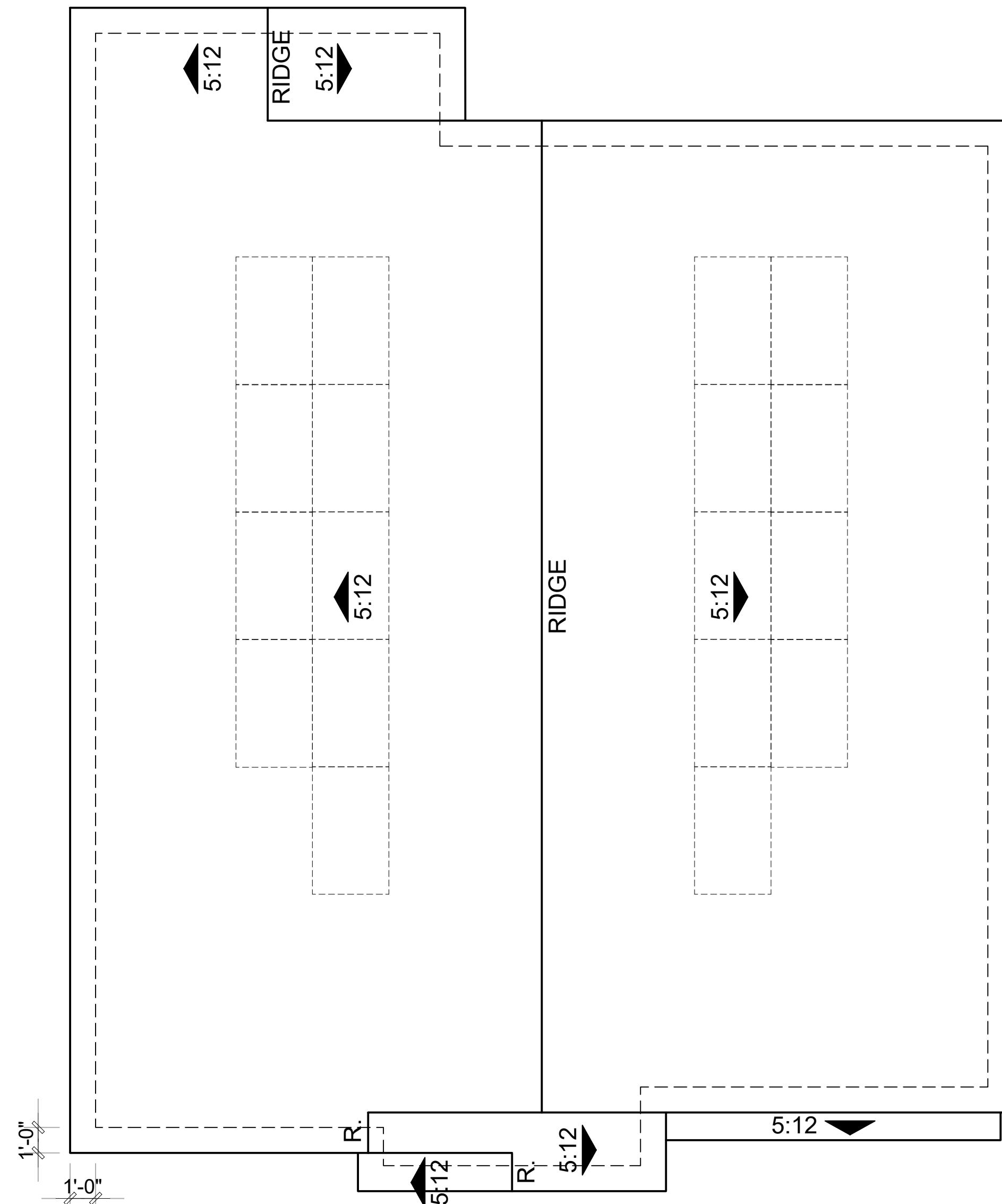




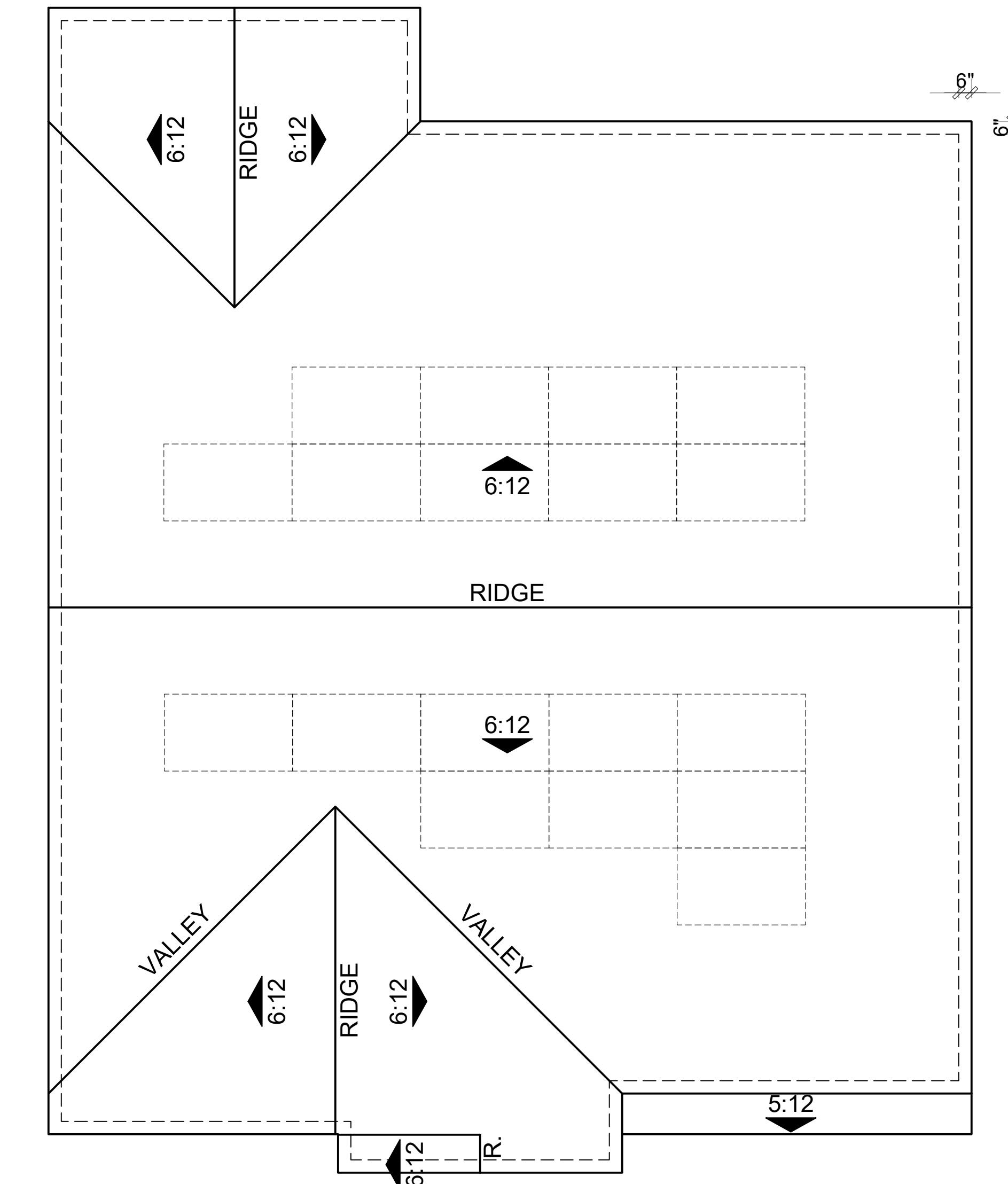
2C: Country European - Material Legend

1. Composition Shingle Roofing
2. Cementitious Board and Batten Siding
3. Stucco finish
4. Stone Veneer
5. Window Shutters
6. Decorative Post
7. Decorative Gable end Detail
8. Enhanced Head and Sill Trim



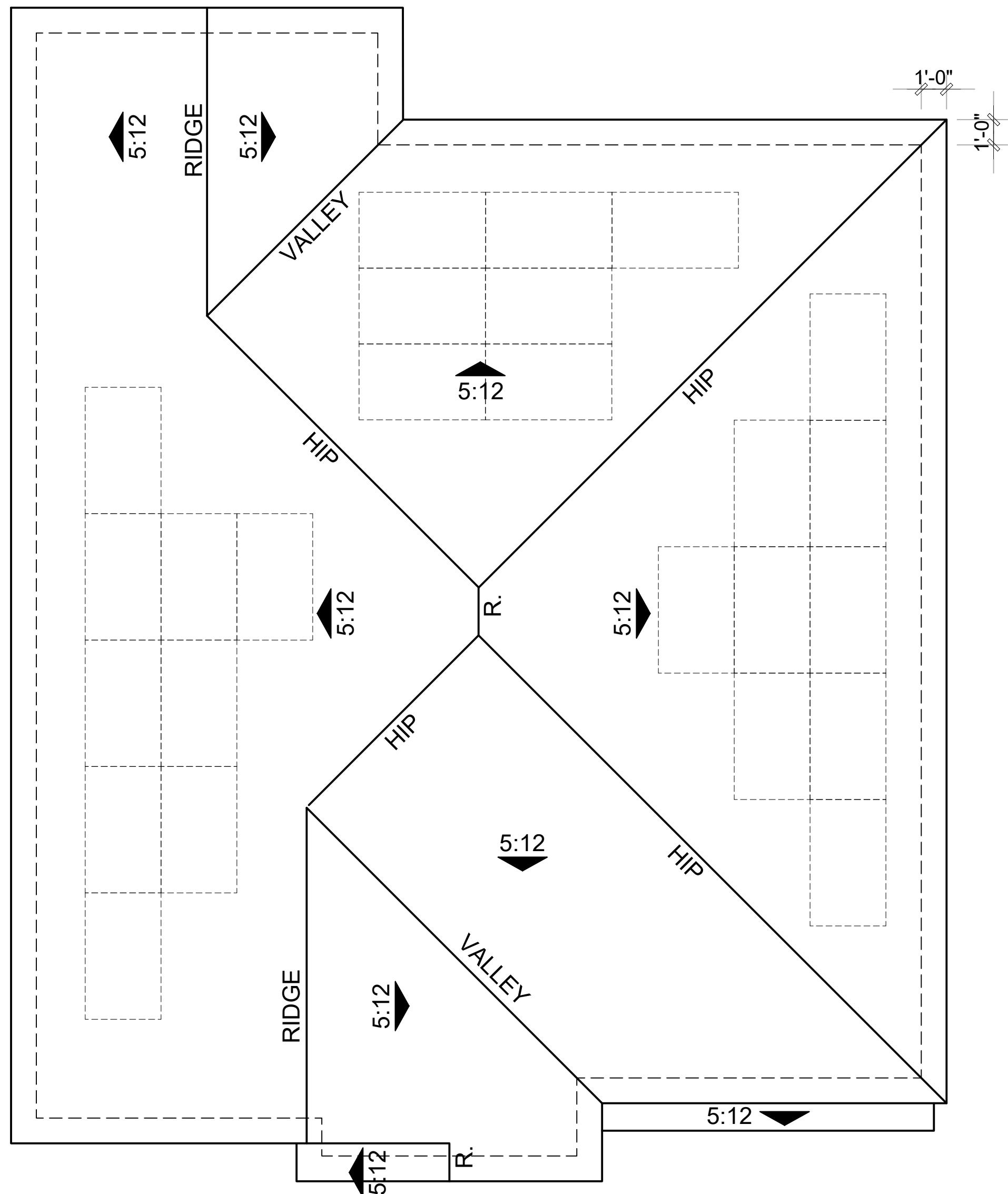


ROOF PLAN 2B
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O



ROOF PLAN 2A
OVERHANG: 6"
RAKE: 6"
ROOF PITCH: 6:12 U.N.O

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



ROOF PLAN 2C
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.

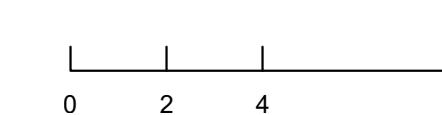


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Residential

N3 : SOMERSET AT THE TRIWAY
TRACY, CA # 2021-1312

CONCEPTUAL PLANNING
SEPTEMBER 13, 2024



PLAN 2 ROOF PLAN

N3-A2.4.1



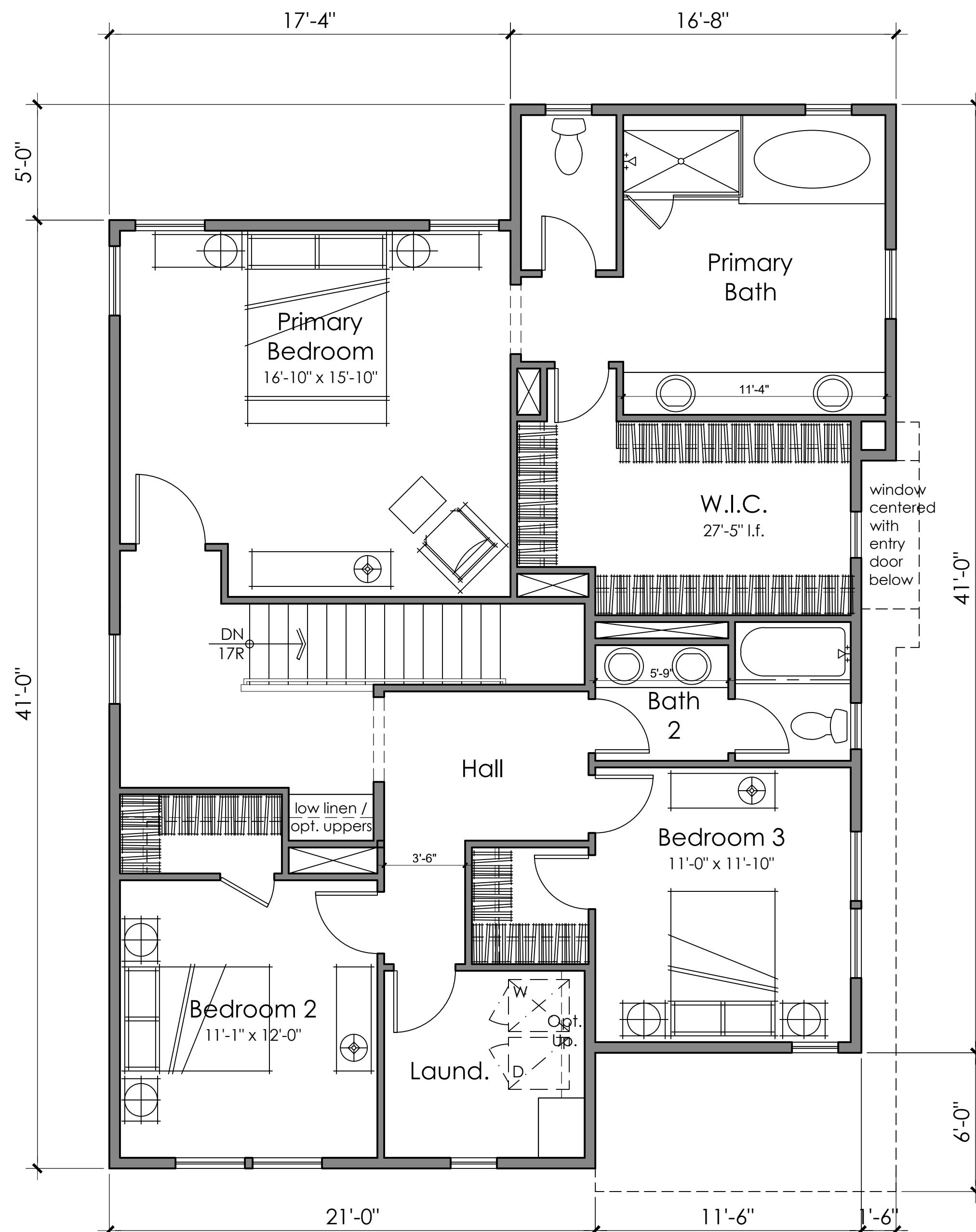
Plan 3A - Farmhouse



Plan 3B - Craftsman



Plan 3C - Country European



Second Floor

1341 SQ. FT.

Exterior Wall Light fixture

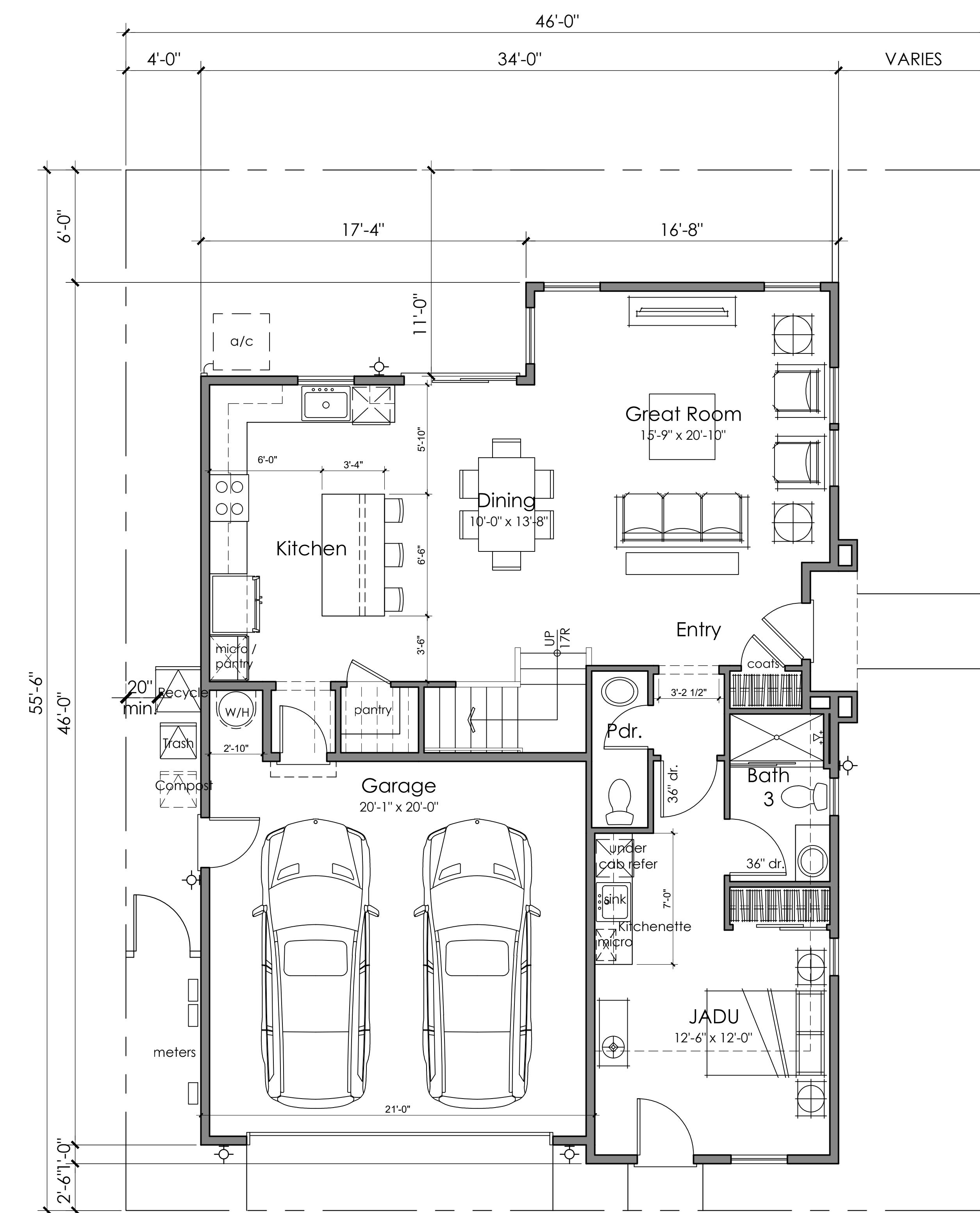
N3/Building 3 Entry Light at Porch Ceilings



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Residential

N3 : SOMERSET AT THE TRIWAY
TRACY, CA # 2021-1312



First Floor

1048 SQ. FT.

Corner Lot, Typ.

0 2 4 8

3 BEDROOMS + JADU
3.5 BATHS
2,376 S.F.

PLAN 3A
FLOOR PLANS

CONCEPTUAL PLANNING
SEPTEMBER 13, 2024

N3-A3.2.0



Right Elevation



Rear Elevation



Left Elevation



Front Elevation 3A - Farmhouse

3A: Farmhouse - Material Legend

1. Composition Shingle Roofing
2. Standing Seam Roof
3. Cementitious Board and Batten Siding
4. Stucco finish
5. Awning
6. Decorative Post
7. Enhanced Head and Sill Trim



Right Elevation



Rear Elevation



Left Elevation



Front Elevation 3B - Clubhouse

3B: Craftsman - Material Legend

1. Composition Shingle Roofing
2. Cementitious Lap Siding
3. Stucco finish
4. Brick Veneer
5. Window Shutters
6. Decorative Post
7. Decorative Gable end Detail
8. Enhanced Head and Sill Trim



Landscape shown for illustrative purposes only. See landscape drawings for specific selections.
Color and materials shown for illustrative purposes only. See color and material boards for specific selections.



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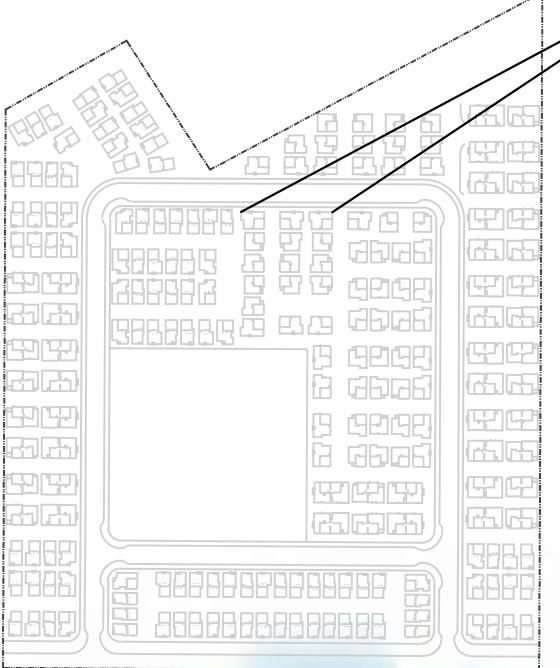
Brookfield
Residential

N3 : SOMERSET AT THE TRIWAY
TRACY, CA # 2021-1312

CONCEPTUAL PLANNING
SEPTEMBER 13, 2024

LOOP STREET PERSPECTIVE

N3-A3.1.1



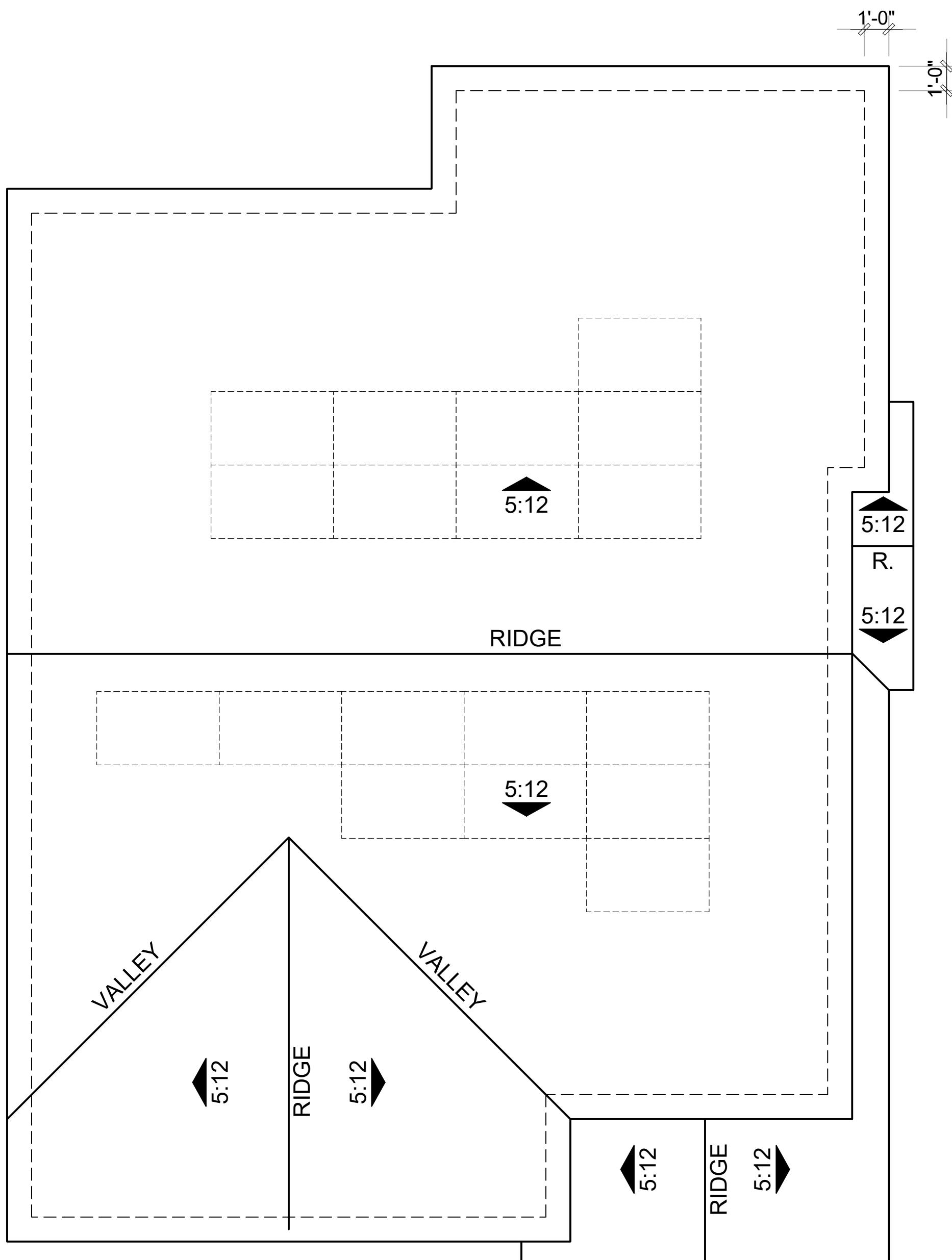
KEY MAP



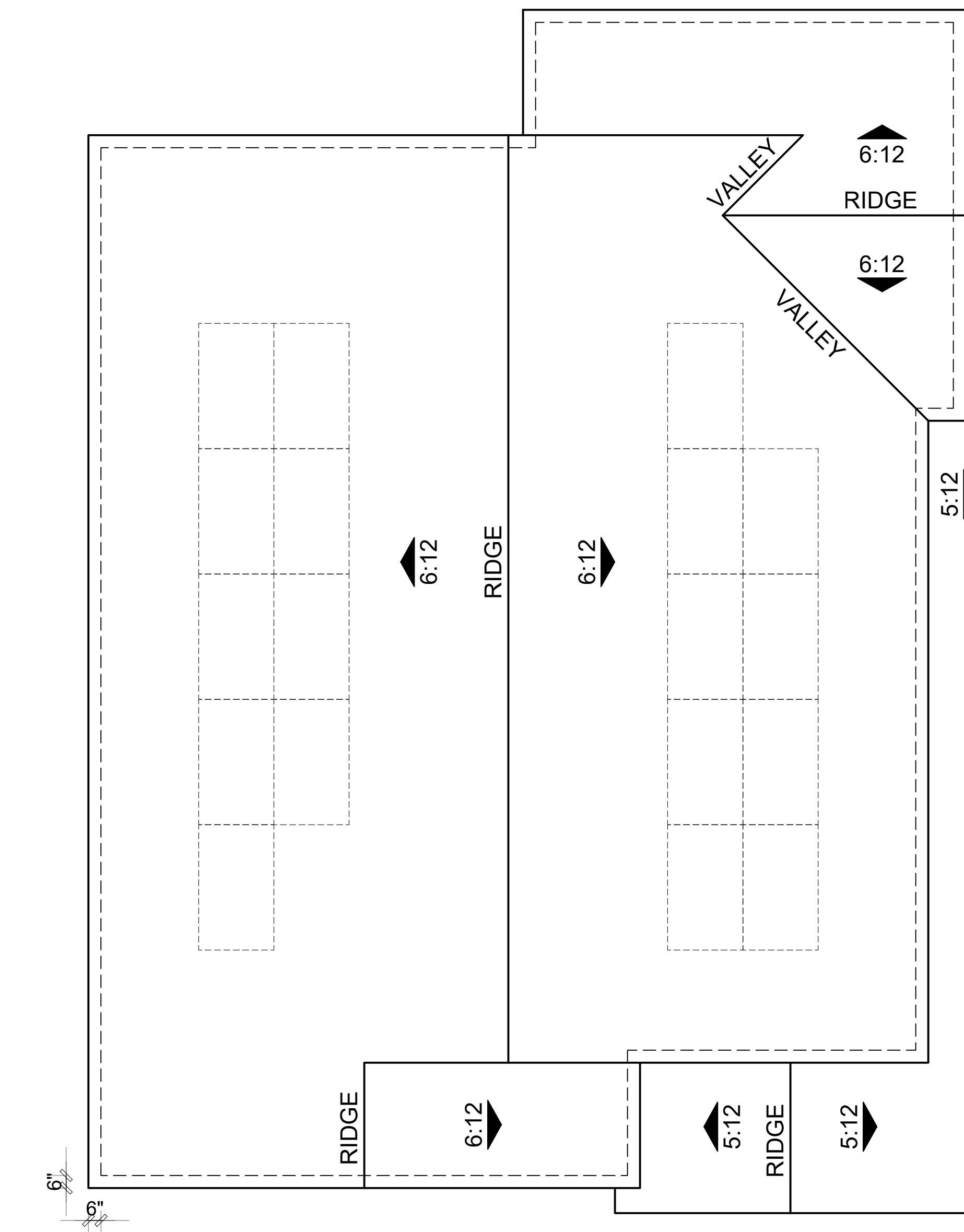
3C: Country European - Material Legend

1. Composition Shingle Roofing
2. Cementitious Board and Batten Siding
3. Stucco finish
4. Stone Veneer
5. Window Shutters
6. Decorative Post
7. Decorative Gable end Detail
8. Enhanced Head and Sill Trim



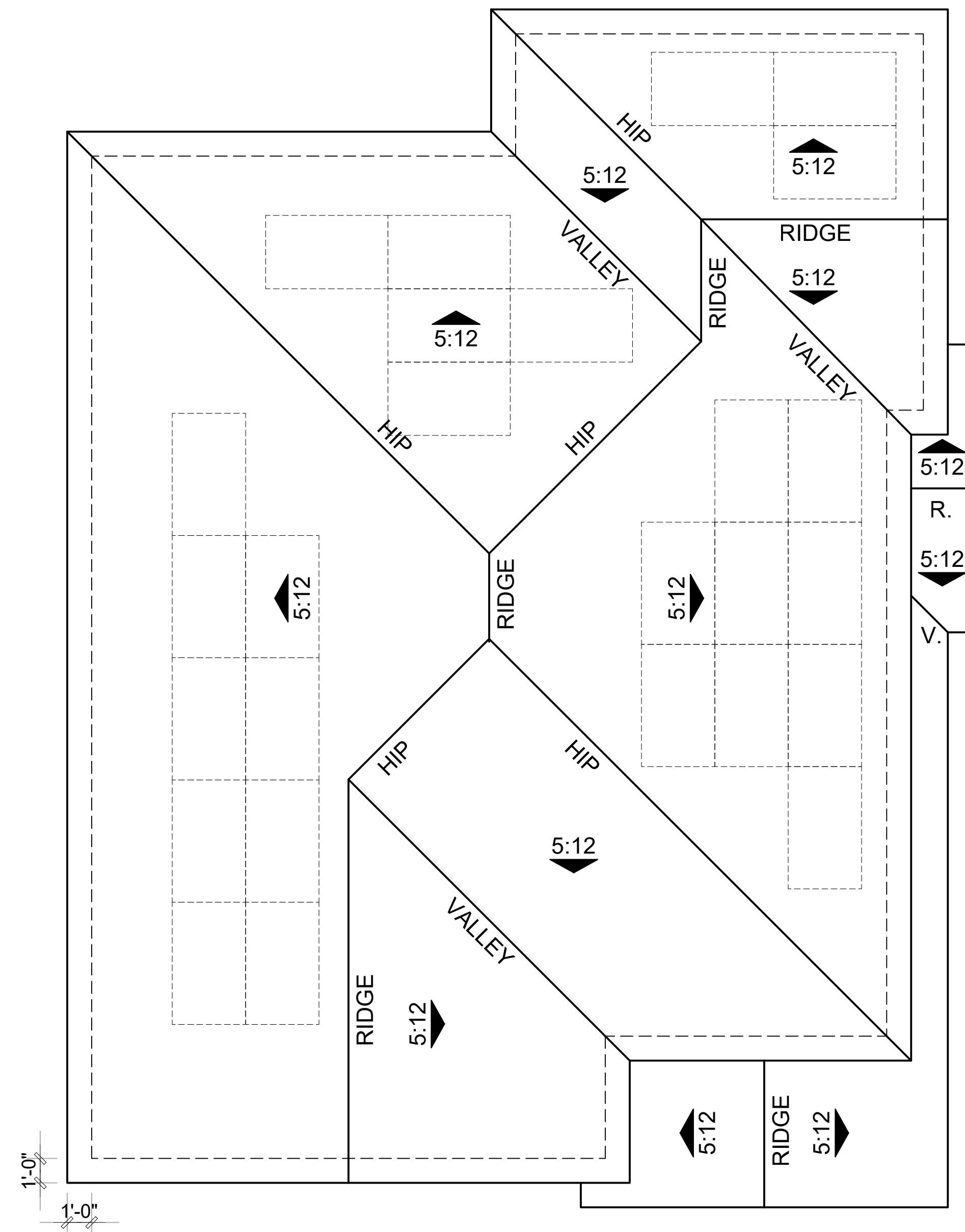


ROOF PLAN 3B
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O



ROOF PLAN 3A
OVERHANG: 6"
RAKE: 6"
ROOF PITCH: 6:12 U.N.O

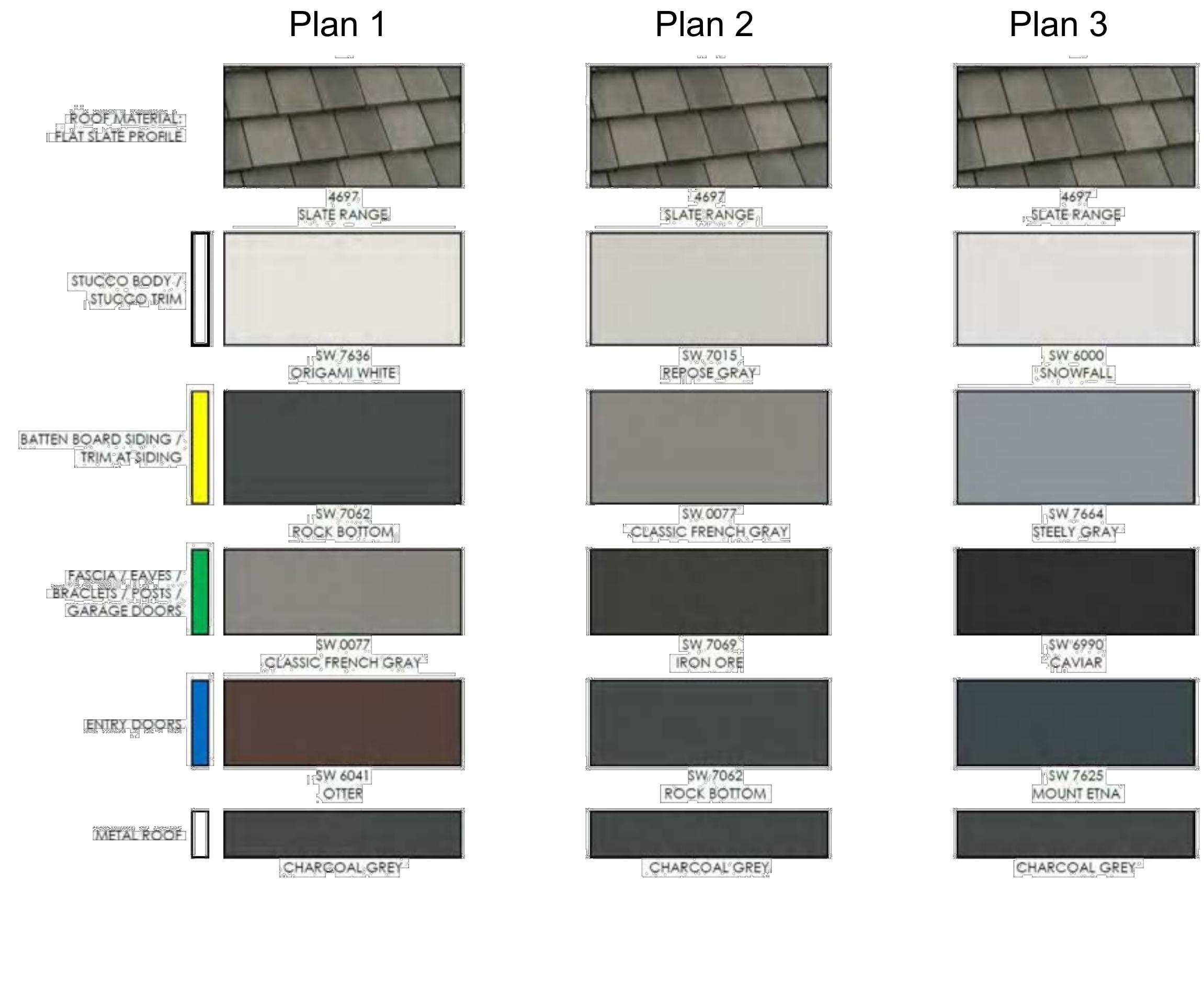
Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.



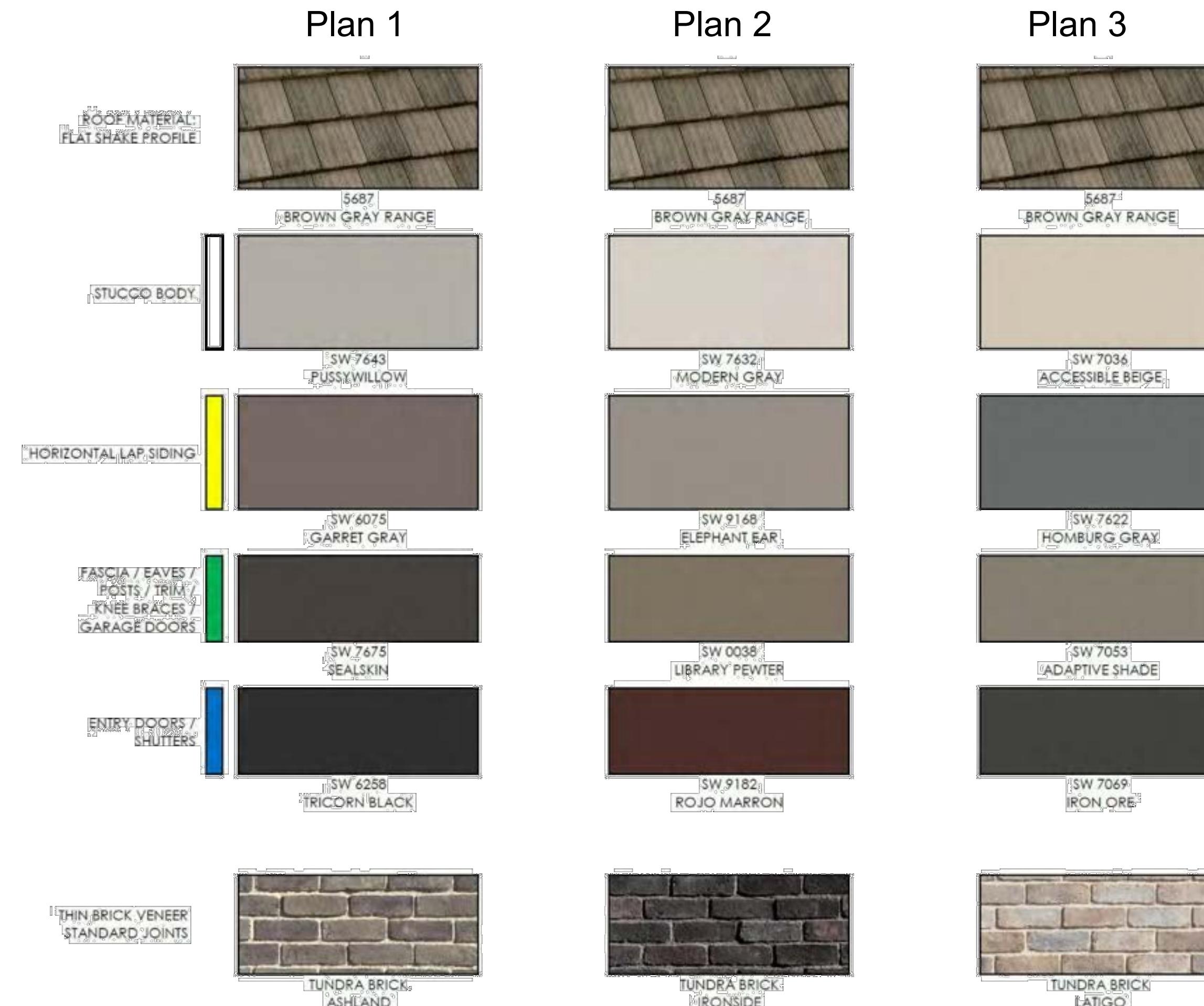
ROOF PLAN 3C
OVERHANG: 1'
RAKE: 1'
ROOF PITCH: 5:12 U.N.O

Note: Solar panels shown are for illustrative purposes. Solar will be confirmed with solar consultant during building submittal process. Location, quantity and orientation may change.

'A' - FARMHOUSE ELEVATIONS - FRONT LOAD



'B' - CRAFTSMAN ELEVATIONS - FRONT LOAD



'C' - COUNTRY EUROPEAN - FRONT LOAD

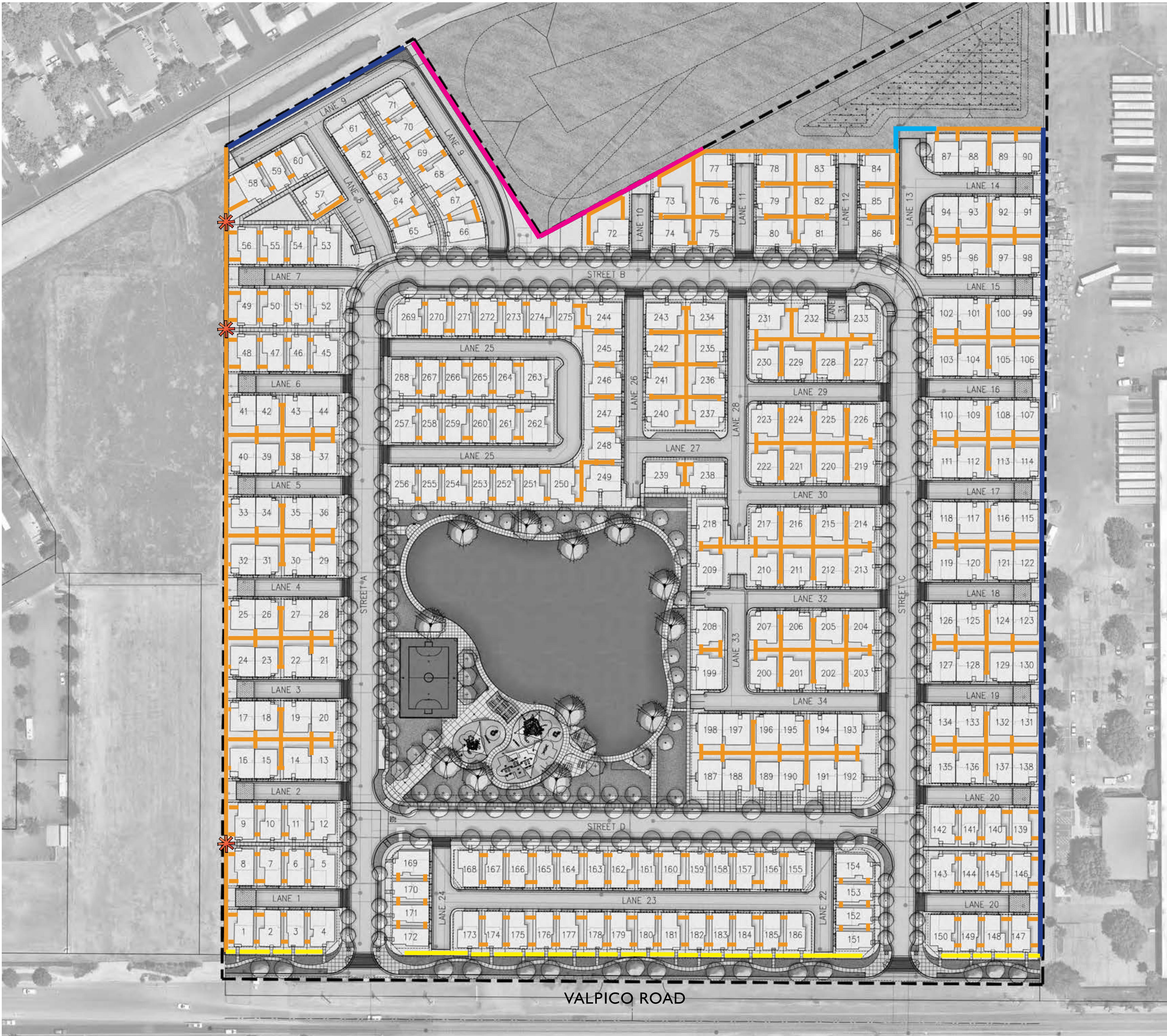




— LOW



0 40' 80' 160'



6'H Good Neighbor Fence



6'H Masonry Wall



42"H Pre-Cast Concrete Split Rail Fence



6'H Maintenance Gate and Fencing

* Potential pedestrian access connecting the park to the adjacent property



TREES



Acer rubrum 'Red Sunset'
Red Maple



Laurus nobilis
Sweet Bay Laurel



Platanus x acerifolia 'Yarwood'
London Plane Tree



Quercus suber
Cork Oak



Tilia cordata
Littleleaf Linden



Ulmus parvifolia
Lacebark Elm



Quercus virginiana
Southern Live Oak



Quercus virginiana

Ulmus parvifolia

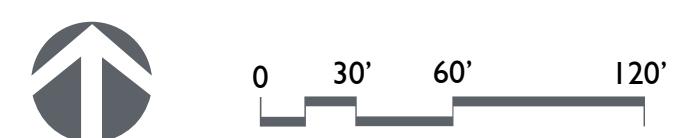
Quercus suber

Laurus nobilis

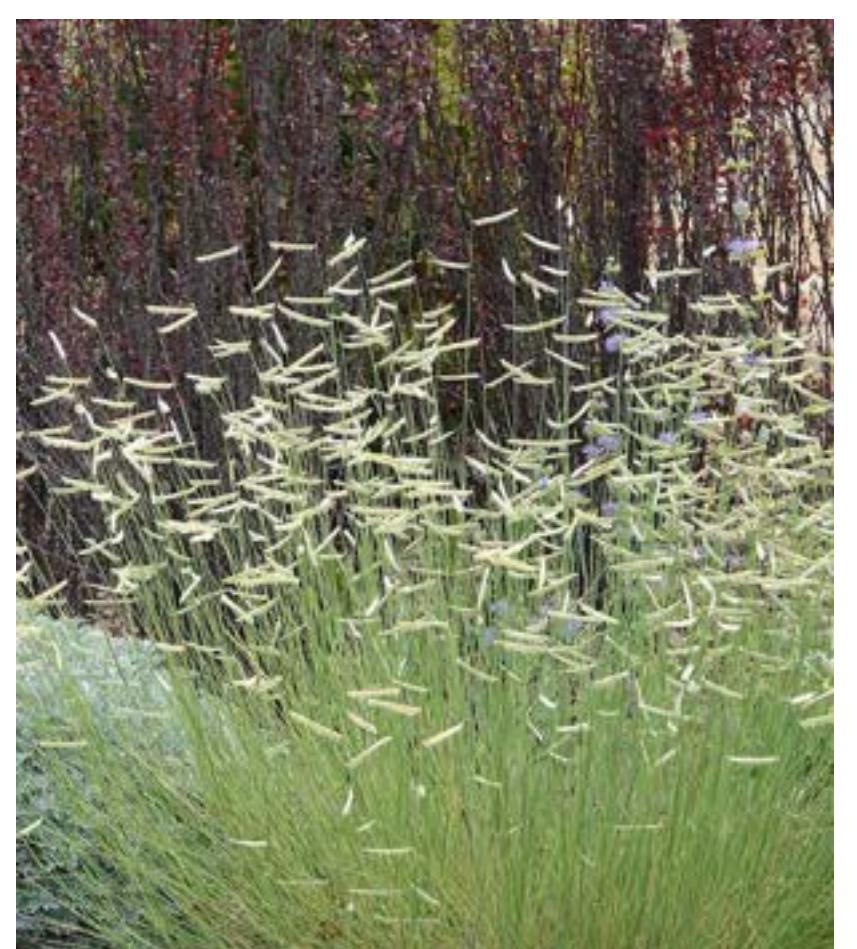
Platanus x acerifolia 'Yarwood'

Tilia cordata

Acer rubrum 'Red Sunset'



SHRUBS



Bouteloua gracilis
Blue Grama



Epilobium canum
California Fuchsia



Eriogonum giganteum
St. Catherine Lace



Nepeta racemosa 'Walker's Low'
Walker's Low Catmint



Rosa californica 'Elsie'
California Rose



Salvia clevelandii 'Pozo Blue'
Salvia Pozo Blue



Salvia longispicata x farinacea
Mystic Spires Blue



Calamagrostis x acutiflora
'Karl Foerster'



Dietes vegata
African Iris



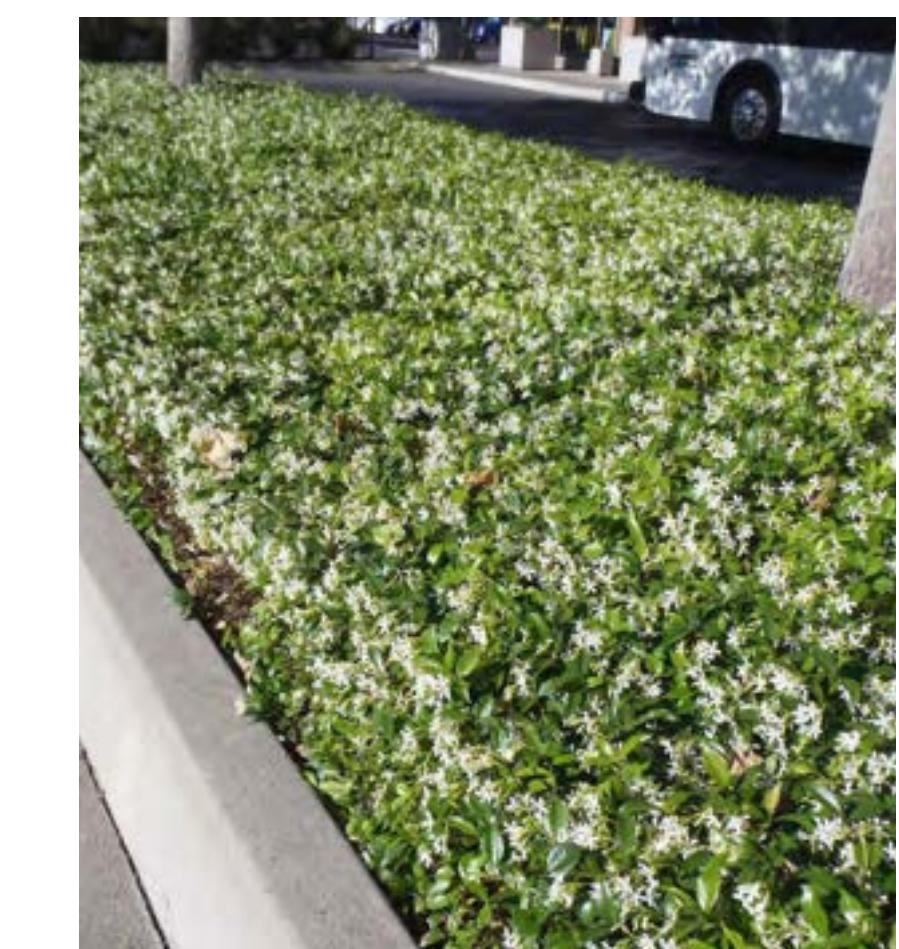
Hesperaloe parvifolia 'Brakelights'
Brakelights Red Yucca



Westringia fruticosa 'Morning Light'
Morning Light Coast Rosemary



Hemerocallis 'Mini Pearl'
Mini Pearl Day Lily



Trachelospermum jasminoides
Star Jasmine

PLANT PALETTE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING	MATURE SIZE	RATE OF GROWTH	SIZE IN 3-5 YEARS	TRUNK CALIPER SIZE
PARK TREES									
ARR	ACER RUBRUM 'RED SUNSET'	RED SKIN RED MAPLE	15 GAL	M (WUCOLS IV)	PER PLAN	40`W X 60`H	FAST	30'H X 30'W	0.5" - 2.0"
LAU	LAURUS NOBILIS	SWEET BAY LAUREL	15 GAL	L (WUCOLS IV)	PER PLAN	30`W X 30`H	MODERATE	8'H X 8'W	0.5" - 2.0"
PAY	PLATANUS X ACERIFOLIA 'YARWOOD'	YARWOOD LONDON PLANE TREE	15 GAL	M (WUCOLS IV)	PER PLAN	60`H X 40`W	MODERATE	25'H X 20'W	0.5" - 3.0"
QUS	QUERCUS SUBER	CORK OAK	15 GAL	L (WUCOLS IV)	PER PLAN	40`W X 40`H	MODERATE	8'H X 8'W	0.5" - 2.0"
QUV	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	15 GAL	M (WUCOLS IV)	PER PLAN	60`H X 40`W	SLOW	8'H X 8'W	0.5" - 2.0"
TIC	TILIA CORDATA	LITTLELEAF LINDEN	15 GAL	M (WUCOLS IV)	PER PLAN	40`W X 60`H	MODERATE	8'H X 8'W	0.5" - 2.0"
PRODUCTION TYPICAL TREES									
CAB	CARPINUS BETULUS	EUROPEAN HORNBEAM	15 GAL	M (WUCOLS IV)	PER PLAN	40`W X 60`H	MODERATE	8'H X 8'W	0.5" - 2.0"
COO	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL	VL (WUCOLS IV)	PER PLAN	20`W X 20`H	MODERATE	8'H X 8'W	0.5" - 2.0"
MAG	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	15 GAL	M (WUCOLS IV)	PER PLAN	60`H X 40`W	MODERATE	8'H X 8'W	0.5" - 2.0"
OLF	OLEA EUROPAEA 'FRUITLESS'	FRUITLESS OLIVE	15 GAL	VL (WUCOLS IV)	PER PLAN	25`W X 30`H	SLOW	8'H X 8'W	0.5" - 2.0"
UPL	ULMUS PARVIFOLIA	LACEBARK ELM	15 GAL	L (WUCOLS IV)	PER PLAN	40`H X 40`W	FAST	10'H X 12"W	0.5" - 3.0"
ZEM	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO JAPANESE ZELKOVA	15 GAL	M (WUCOLS IV)	PER PLAN	30`H X 25`W	MODERATE	8'H X 8'W	0.5" - 2.0"
PARK SHRUBS									
BG	BOUTELOUA GRACILIS	BLUE GRAMA GRASS	1 GAL	L (WUCOLS IV)	24" O.C.	2`W X 1.5`H	SLOW	1'W X 1'H	
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	L (WUCOLS IV)	36" O.C.	3`W X 2`H	FAST	2'W X 3'H	
DV	DIETES VEGETA	AFRICAN IRIS	1 GAL	L (WUCOLS IV)	36" O.C.	3`W X 3.5`H	MODERATE	2'W X 2'H	
EH	EPILOBIUM CANUM	CALIFORNIA FUCHSIA	1 GAL	L (WUCOLS IV)	24" O.C.	2`W X 1.5`H	MODERATE	3'W X 2'H	
EG	ERIOGONUM GIGANTEUM	ST. CATHERINE'S LACE	1 GAL	L (WUCOLS IV)	48" O.C.	4`W X 4`H	SLOW	2'W X 2'H	
HP	HEMEROCALLIS X 'MINI PEARL'	MINI PEARL DAYLILY	1 GAL	M (WUCOLS IV)	18" O.C.	1.5`W X 2`H	MODERATE	1'W X 1'H	
NR	NEPETA RACEMOSA 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL	L (WUCOLS IV)	12" O.C.	1`W X 2`H	MODERATE	1'W X 1'H	
RE	ROSA CALIFORNICA 'ELSIE'	CALIFORNIA WILD ROSE	5 GAL	L (WUCOLS IV)	48" O.C.	4`W X 6`H	MODERATE	3'W x 5'H	
SP	SALVIA CLEVELANDII 'POZO BLUE'	POZO BLUE CLEVELAND SAGE	1 GAL	L (WUCOLS IV)	48" O.C.	4`W X 4`H	MODERATE	3'W x 5'H	
SA	SALVIA LONGISPICATA X FARINACEA	BIG BLUE SALVIA	1 GAL	L (WUCOLS IV)	24" O.C.	1.5`W X 2`H	MODERATE	1'W X 1'H	
SB	STACHYS BYZANTINA	LAMB'S EAR	1 GAL	L (WUCOLS IV)	18" O.C.	1.5`W X 1.5`H	FAST	1'W X 1'H	
WM	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	MORNING LIGHT COAST ROSEMARY	1 GAL	L (WUCOLS IV)	48" O.C.	4`W X 3.5`H	MODERATE	3'W X 2.5'H	
PRODUCTION TYPICAL SHRUBS									
CP	CISTUS X PULVERULENTUS 'SUNSET'	SUNSET ROCKROSE	5 GAL	L (WUCOLS IV)	60" O.C.	4`W X 3`H	FAST	2.5'W X 2'H	
CO	CORREA PULCHELLA 'PINK FLAMINGO'	PINK FLAMINGO AUSTRALIAN FUCHSIA	1 GAL	L (WUCOLS IV)	36" O.C.	3`W X 3`H	MODERATE	2'W X 2'H	
DG	DIETES GRANDIFLORA 'VARIEGATA'	STRIPED FORTNIGHT LILY	1 GAL	L (WUCOLS IV)	24" O.C.	3.5`W X 4`H	MODERATE	2'W X 2'H	
DI	DIETES IRIDIODES	FORTNIGHT LILY	1 GAL	L (WUCOLS IV)	24" O.C.	2`W X 3`H	MODERATE	1.5'H X 1.5'W	
EK	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GAL	L (WUCOLS IV)	48" O.C.	3`W X 3`H	MODERATE	1.5'H X 1.5'W	
HR	HESPERALOE PARVIFLORA	RED YUCCA	1 GAL	L (WUCOLS IV)	36" O.C.	3.5`W X 4`H	MODERATE	2'H X 2'W	
LC	LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE GIANT WILD RYE	1 GAL	L (WUCOLS IV)	48" O.C.	4`W X 6`H	FAST	3'H X 3'W	
LS	LIGUSTRUM SINENSE 'SUNSHINE'	SUNSHINE CHINESE PRIVET	5 GAL	L (WUCOLS IV)	60" O.C.	6`W X 8`H	FAST	5'H X 5'W	
PM	PENSTEMON HETEROPHYLLUS 'MARGARITA BOP'	MARGARITA BOP PENSTEMON	1 GAL	L (WUCOLS IV)	42" O.C.	2`W X 3`H	MODERATE	3'H X 3'W	
PW	PITTOSPORUM TOBIRA 'WHEELER'S DWARF'	WHEELER'S DWARF PITTOSPORUM	5 GAL	M (WUCOLS IV)	72" O.C.	6`W X 8`H	MODERATE	4'H X 4'W	
SH	SALVIA MICROPHYLLA 'HOT LIPS'	HOT LIPS GRAHAM SAGE	1 GAL	M (WUCOLS IV)	48" O.C.	3.5`W X 4`H	MODERATE	3'H X 3'W	
TS	TRACHELOSPERMUM JASMINOIDES 'STAR'	STAR JASMINE	5 GAL	M (WUCOLS IV)	72" O.C.	6`W X 8`H	FAST	5'H X 5'W	



WATER USE ESTIMATION

WATER TYPE	POTABLE
SITE ETO=	46.3

REGULAR LANDSCAPE AREAS

HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	TREES - M	MOD	0.5	BUBBLER	0.81	0.62	1,700	1,049	30,124	0.09	40.27	0%
2	TREES - L	LOW	0.3	BUBBLER	0.81	0.37	760	281	8,080	0.02	10.80	0%
3	MIXED SHRUB/GROUNDCOVER	HIGH	0.8	DRIP	0.81	0.99	73,891	72,979	2,094,928	6.43	2,800.71	21%
4	MIXED SHRUB/GROUNDCOVER	LOW	0.3	DRIP	0.81	0.37	269,337	99,754	2,863,551	8.79	3,828.28	78%
						TOTALS	345,688	174,064	4,996,683	15.33	6,680.06	100%

SPECIAL LANDSCAPE AREAS

HYDROZONE #	HYDROZONE NAME	1	0	0%	0%
3		TOTALS	0		

MAWA	GALLONS/YR	5,457,826
	ACRE FEET/YR	16.75
	HCF/YR	7,296.56

MAWA FORMULA
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR
MAWA = (ETO)(0.62)[(LA x 0.55) + (0.45 x SLA)]

ETWU FORMULA
ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR
ETWU= ((ETO)(.62)(ETAF x LA))

ETo = REFERENCE EVAPOTRANSPIRATION
 0.55= ET ADJUSTMENT FACTOR
 LA=LANDSCAPED AREA (SQUARE FEET)
 0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

ETo = REFERENCE EVAPOTRANSPIRATION
 PF = PLANT FACTOR FOR HYDROZONES
 HA = HYDROZONE AREA (SQ.FT)
 0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP
 IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
81.0%	0.41	YES

ETAF Calculations	
REGULAR LANDSCAPE AREAS	
TOTAL ETAF x AREA	
TOTAL AREA	
AVG. ETAF	



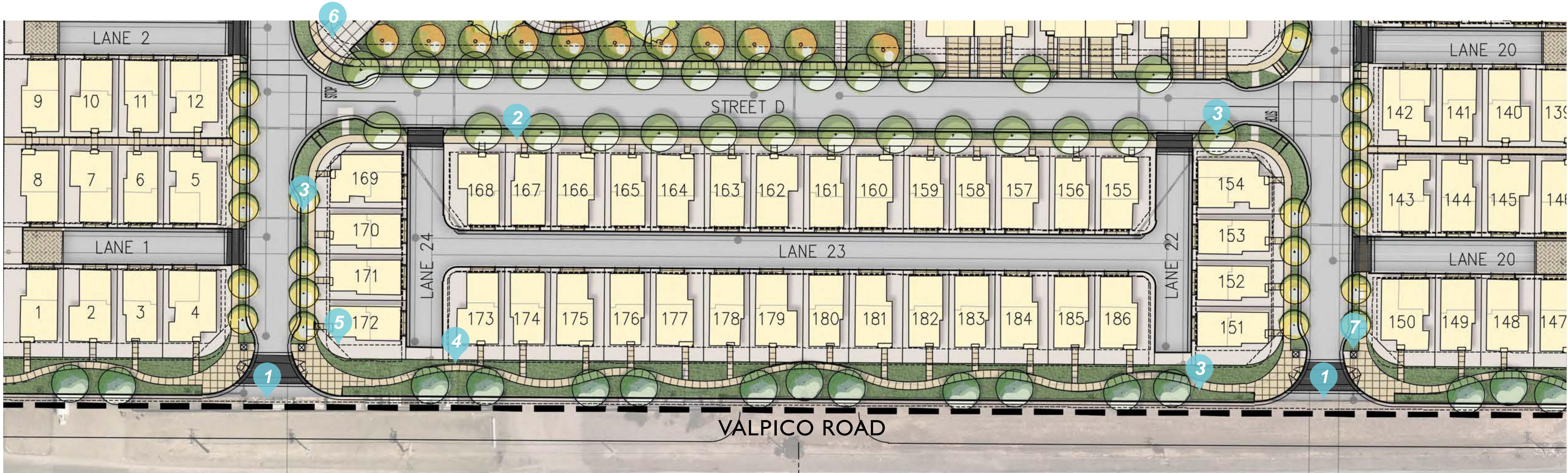
- 1 Arrival Plaza
- 2 Mailbox
- 3 2-5 Play Area (Space Theme)
- 4 5-12 Play Area (Space Theme)
- 5 Picnic Pavilion
- 6 Flex Use Multi Court with Light
- 7 Pedestrian Pathway
- 8 Street Trees
- 9 Open Lawn (1.6 acre)
- 10 Shade Trees
- 11 Shade Canopy
- 12 Bollard Light
- 13 Concrete Bench
- 14 Drinking Fountain
- 15 Trash Receptacle
- 16 Picnic Table
- 17 Bike Rack (6 parking spaces provided)
- 18 Accessible Parking
- 19 Park Sign (consistent with City Standards)
- 20 Post Top Light

— 42''H Decorative Fence

NOTE:
In an effort to reduce water usage and maintenance inputs, 20% minimum of all planting areas within the park will need to consist of non-irrigated landscaping such as mulch, cobble, and decomposed granite.

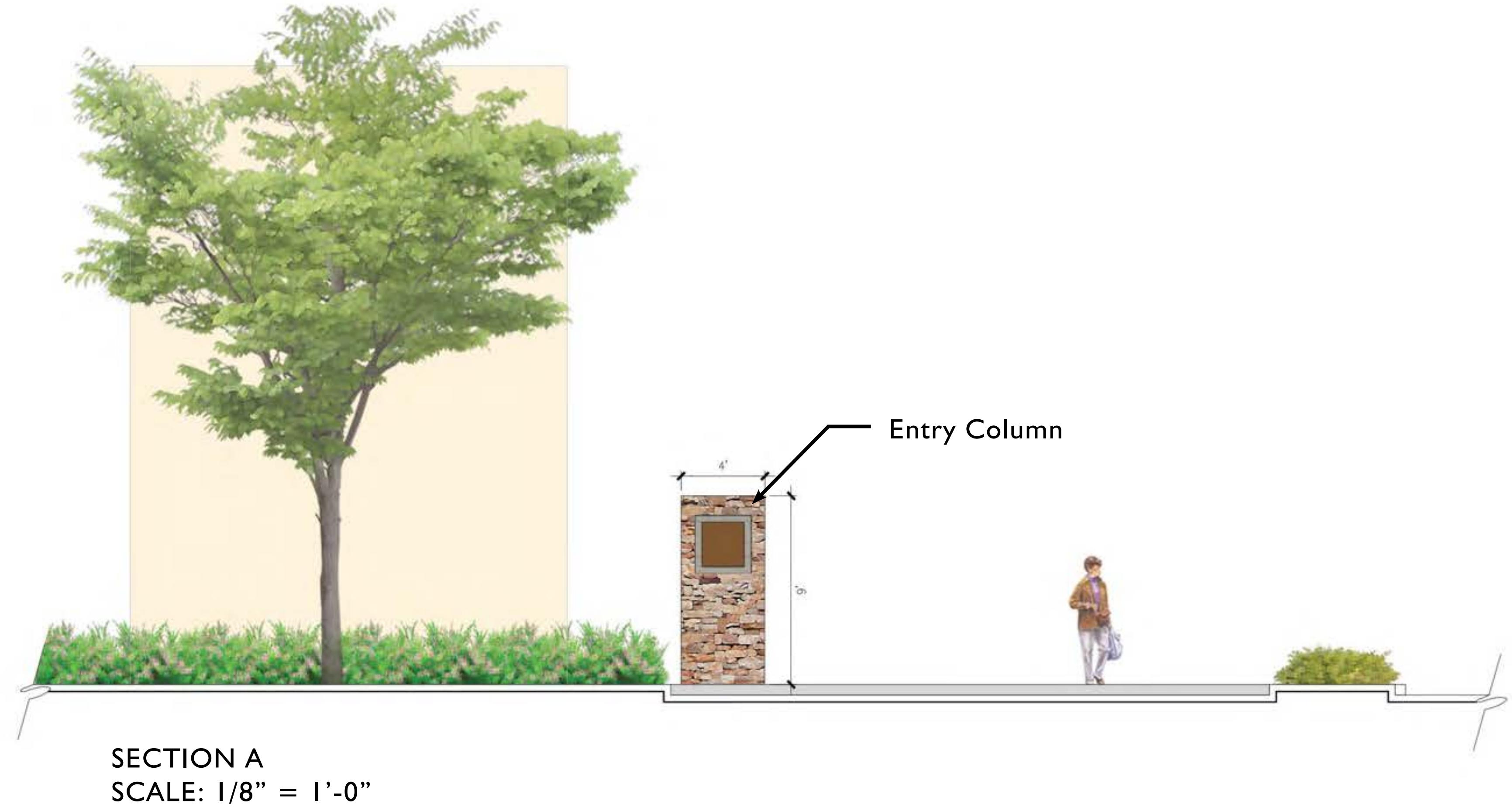


* Images are conceptual, designer proposed site amenities can differ in material and style

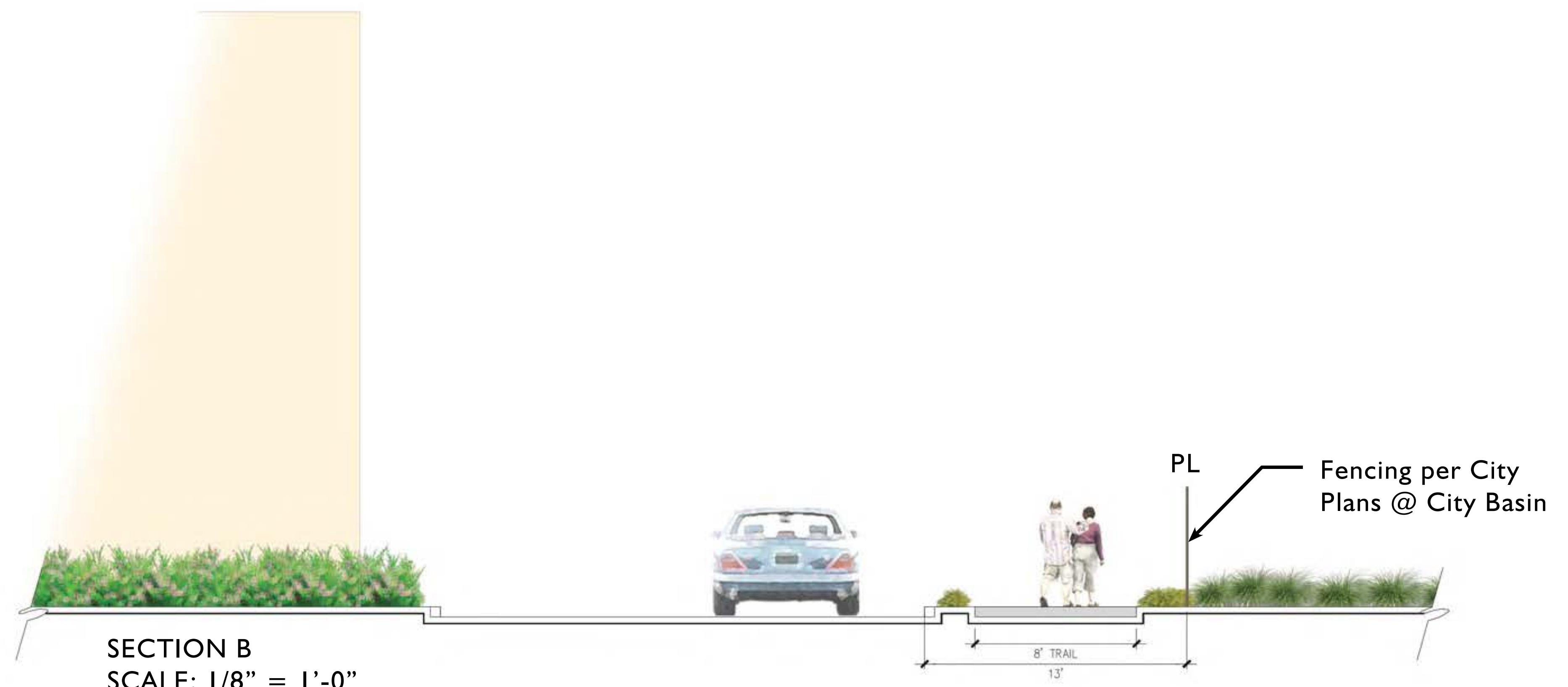


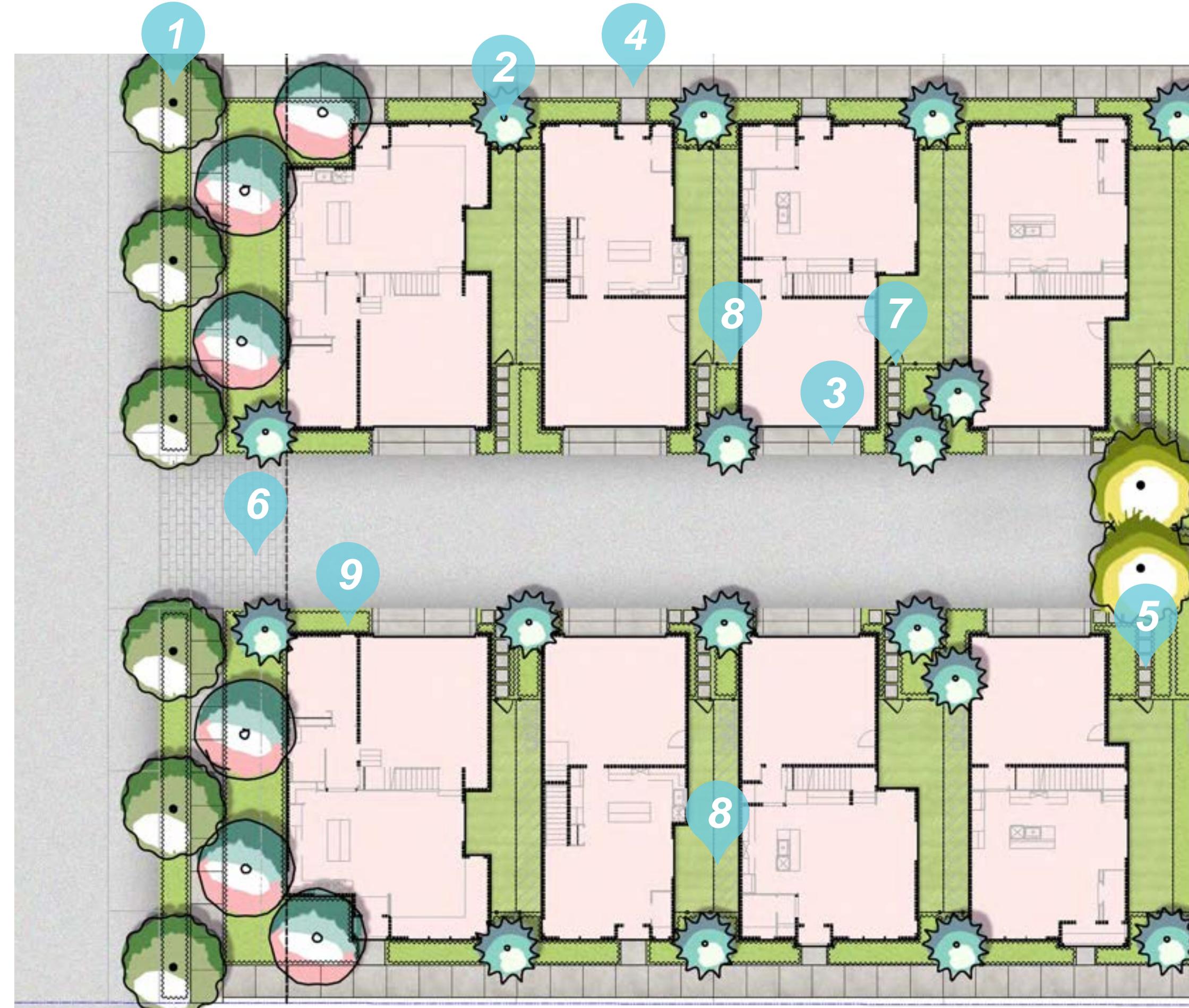
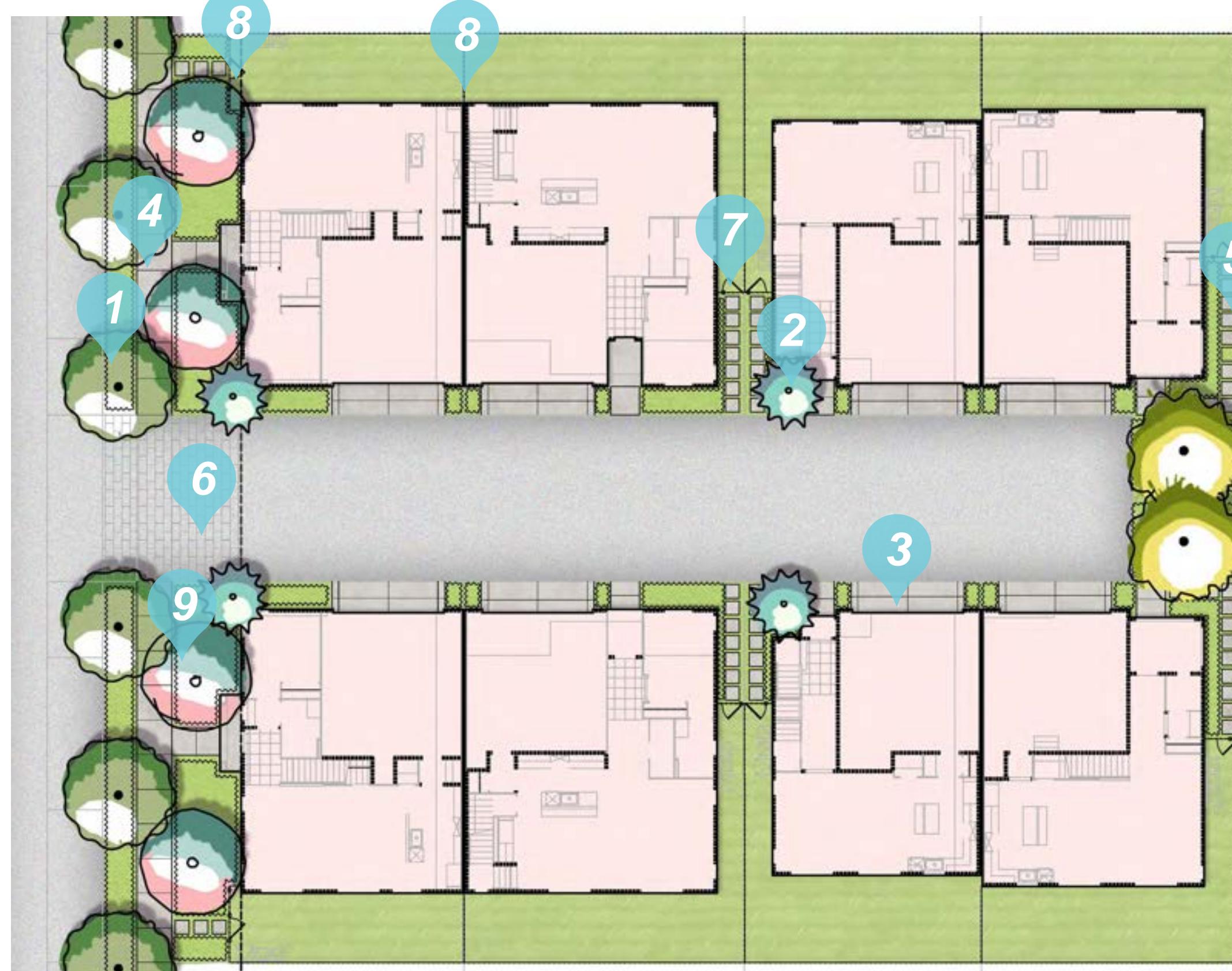
- 1 Main Entry & Exit
- 2 Pedestrian Sidewalk
- 3 Street Trees
- 4 Public ROW Sidewalk
- 5 View Triangles
- 6 Park Main Entry
- 7 Neighborhood Entry Columns



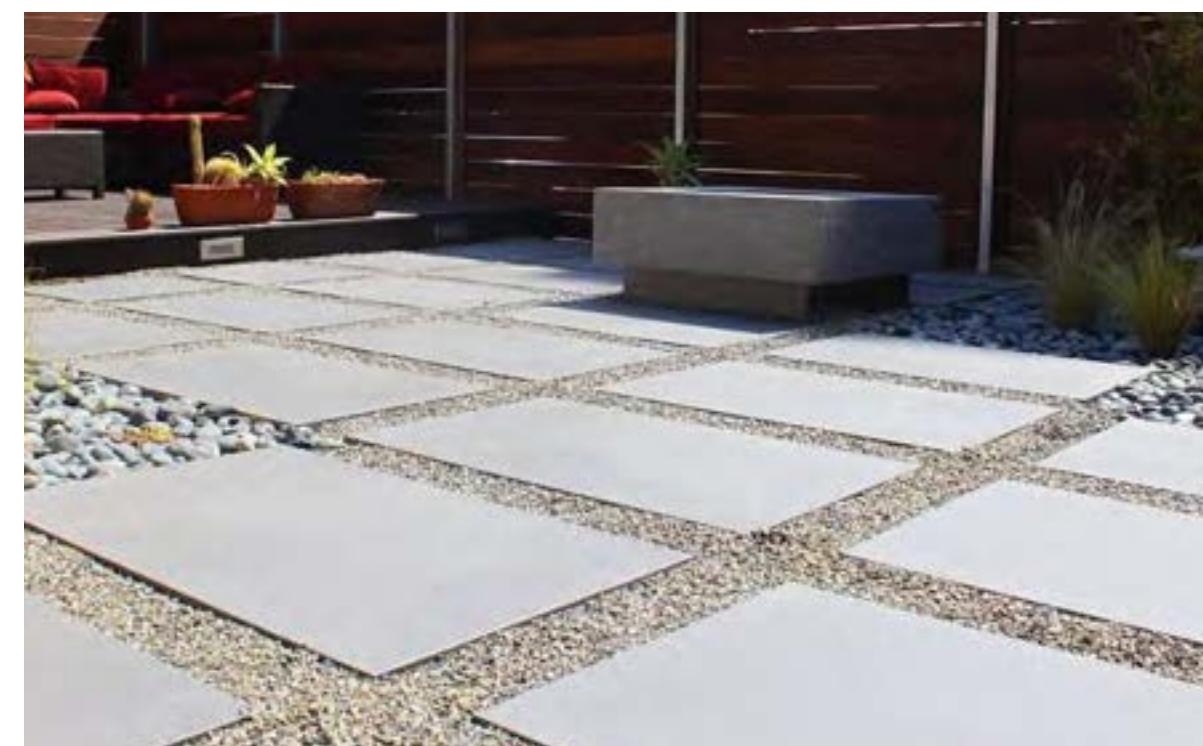


Note: Entry column for design intent and reference only. A sign permit to be obtained through development service department prior to construction and installation.

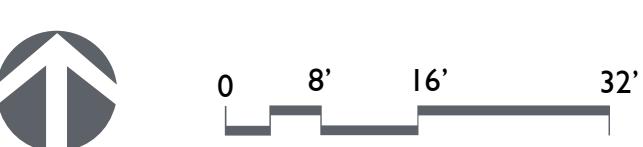




- 1 Street Trees
- 2 Accent Trees
- 3 Vehicular Concrete Paving
- 4 Pedestrian Concrete Paving
- 5 Stepping Stones
- 6 Accent Vehicular Paving
- 7 Pedestrian 3' W Wood Gate
- 8 Good Neighbor Fence
- 9 Planting Area



* Images are conceptual, designer proposed site amenities can differ in material and style



TREES



Acer rubrum 'Red Sunset'
Red Maple



Carpinus betulus 'Fastigiata'
Pyramidal European Hornbeam



Cercis occidentalis
Western Redbud



Magnolia grandiflora
Southern Magnolia



Olea europaea 'Fruitless'
Fruitless Olive

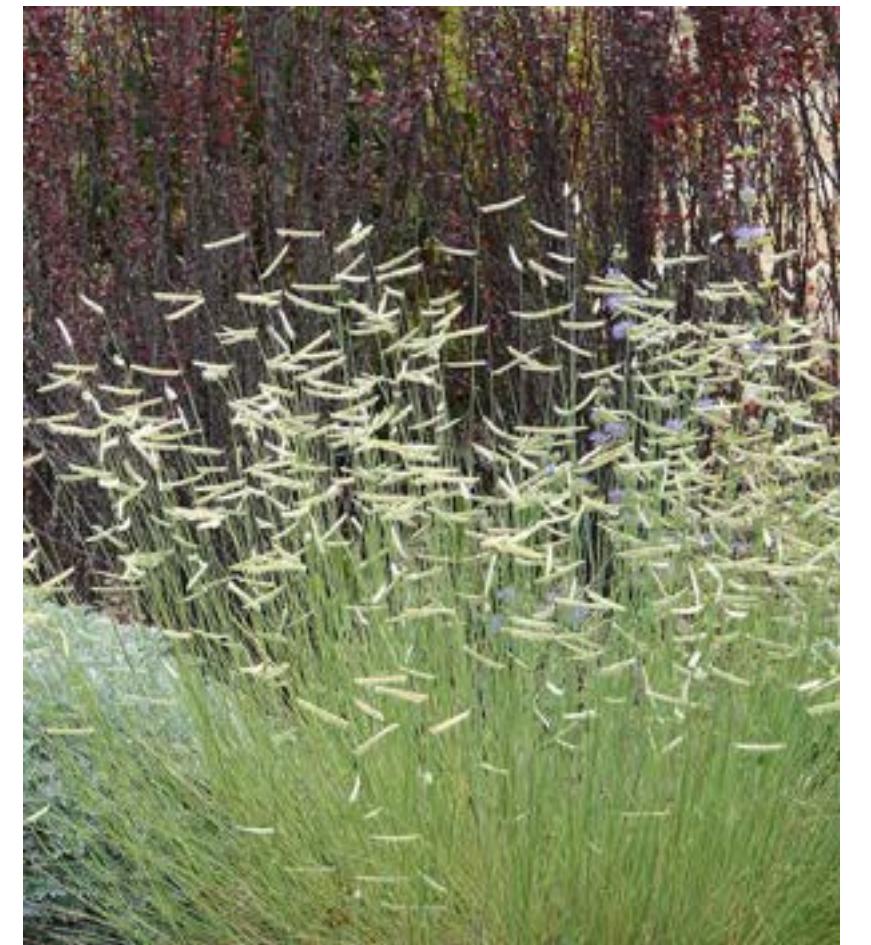


Tilia cordata
Littleleaf Linden



Zelkova serrata 'Musachino'
Japanese Zelkova

SHRUBS



Bouteloua gracilis 'Blue Grama'
Blue Grama



Cistus x pulverulentus 'Brillancy'
Brillancy Rockrose



Calamagrostis 'Karl Foerster'
Feather Reed Grass



Correa pulchella 'Pink Flamingo'
Australian Fuchsia



Dites iridioides
Fortnight Lily



Dites grandiflora 'Variegata'
Striped Fortnight Lily



Erigeron karvinskianus
Santa Barbara Daisy



Hesperaloe parvifolia 'Brakelights'
Brakelights Red Yucca



Leymus condensatus 'Canyon Prince'
Canyon Prince Wild Rye



Ligustrum sinense 'Sunshine'
'Sunshine' Ligustrum



Penstemon heterophyllus 'Margarita'
Margarita BOP



Pittosporum 'Wheeler's Dwarf'
Dwarf Mock Orange



Salvia microphylla 'Hot Lips'
Hot Lips Sage



Trachelospermum jasminoides
Star Jasmine