

May 12, 2020

DIRECTOR PUBLIC HEARING
ITEM 3

REQUEST

PUBLIC HEARING TO CONSIDER AN APPLICATION FOR THE CONSTRUCTION OF A 34,532 SQUARE FOOT TWO-STORY OFFICE BUILDING ON A 3.36 ACRE SITE WITHIN THE CORDES RANCH SPECIFIC PLAN AREA, AND ITS RELATED PARKING, LANDSCAPE AND SITE IMPROVEMENTS. APPLICANT AND OWNER IS PROLOGIS. APPLICATION NUMBER D20-0007.

Project Description

The Cordes Ranch Specific Plan area was approved and annexed into the City of Tracy in 2013, for the construction of a 1,780 acre industrial park, with supporting office and retail. Since then, numerous industrial buildings have been built and occupied within the Specific Plan area, all within the Business Park Industrial (BPI) land use designation. This proposed office building would be the first building within the Plan's General Office (GO) land use designation.

According to the applicant, this office would initially house Prologis' staff who work on the construction, leasing and maintenance of the existing and planned buildings within the specific plan area. There will also be additional square footage that can be leased to other office users, as well as typical office accessory spaces such as a gym and break room, as well as exterior recreational space. The building architecture is designed to reflect the colors, materials and some design shapes and features of the nearby industrial buildings, helping it to be compatible with the overall design theme of the business park. The design also incorporates several design elements that ensure it is appropriate for a Class A office building including balconies, a significant use of glass, and textured materials that keep the scale more appropriate for office, rather than industrial use (Attachment A).

The site's parking and circulation is designed in a manner that anticipates the development of future office buildings adjacent to and north of the site, appropriately aligning future drive aisles and driveways for efficient circulation, and fewer curb cuts along International Parkway. Engineering analyses were conducted to size utilities and storm drainage connections, the conditions for which are included in the project conditions of approval. Additionally, a traffic analysis was completed, which indicated the project consistency with previous thresholds for traffic congestion.

Environmental Document

The proposed project is consistent with the Cordes Ranch Specific Plan Environmental Impact Report (EIR), approved by the City Council on September 3, 2013, and the General Plan EIR approved by the City Council on February 1, 2011. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required.

RECOMMENDATION

Staff recommends that the Development Services Director approve the 34,532 square foot office building, and its related parking landscaping and site improvements, on a 3.36-acre site, located at 615 International Parkway, a portion of Assessor's Parcel Number 209-090-36, based on the findings contained in the Director's Determination dated May 12, 2020 (Attachment B).

Prepared by Victoria Lombardo, Senior Planner

Approved by Bill Dean, Assistant Development Services Director

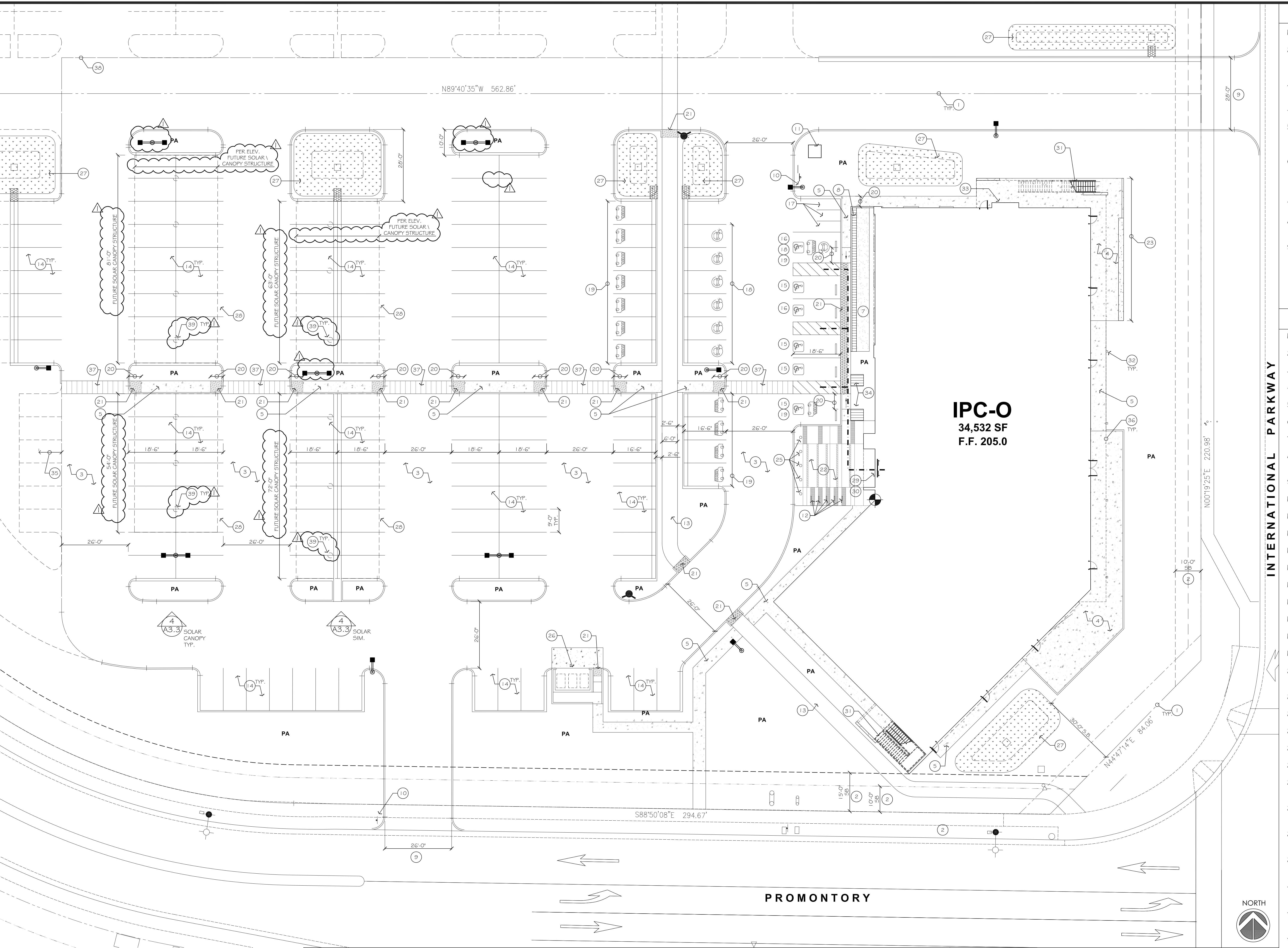
ATTACHMENTS

- A: Site Plan, Elevations, Landscape Plans
- B: Development Services Director Determination
 - Exhibit 1 – Conditions of Approval

ATTACHMENT A

PROLOGIS IPC SALES OFFICE INTERNATIONAL PARKWAY & PROMONTORY PARKWAY TRACY, CA

<input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION)	<input checked="" type="checkbox"/> PLANNING DEPARTMENT (NOT FOR CONSTRUCTION)	<input type="checkbox"/> HEALTH DEPARTMENT	<input type="checkbox"/> BUILDING DEPARTMENT	<input type="checkbox"/> PRICING PLANS						
CONTACT INFORMATION		PROJECT DATA		SCOPE OF WORK						
OWNER OAKMONT Contact: Keith Lundquist (Owner's Representative) CBRE 225 W. Santa Clara St. 12/F San Jose, CA 95113 P: 408.437.3170 E: keith.lundquist@cbre.com		A.P.N.: 209-090-360 LOT SIZE: 3.3602 ACRES (146,372 SF) LAND USE DESIGNATION: CRSP - CORDES RANCH SPECIFIC PLAN ZONING DISTRICT: GO (GENERAL OFFICE) OCCUPANCY: B NUMBER OF STOREYS: 2 BUILDING CONSTRUCTION: TYPE III-B PROPOSED FAR: 23.6% (45% MAX.) BLDG. HEIGHT: 36'-0" / 39'-0" EQ. SCREEN (MAX. ALLOWED: 80 FT) FIRE SPRINKLERED: FULLY SPRINKLERED		THIS PROJECT PROPOSES NEW CONSTRUCTION OF A 2-STORY CLASS-A OFFICE BUILDING, AND ON-SITE AND OFF-SITE SITE DEVELOPMENT AS REQUIRED.						
GENERAL CONTRACTOR OPI BUILDERS Contact: Jon Persing 1202 Lincoln Avenue, Suite 10 San Jose, CA 95125 P: 408.377.4800 E: jpersing@opibuilders.com		LANDSCAPE GREEN DESIGN LANDSCAPE ARCHITECTS, INC. Contact: Barbara M. Hatch 1464 Popinjay Drive Reno, NV 89509 P: 775.829.1364 E: bhatch00@charter.net		ARCHITECTURAL G0.0 COVER SHEET A51.0 ARCHITECTURAL SITE PLAN A52.0 SITE SECTION A1.0 FLOOR PLANS A2.0 ROOF PLAN A3.1 BUILDING ELEVATIONS A3.2 BUILDING ELEVATIONS A3.3 BUILDING ELEVATIONS A10.0 PERSPECTIVE IMAGES A10.1 COLORED BUILDING ELEVATIONS A11.0 MATERIAL BOARD						
ARCHITECT STUDIO G ARCHITECTS INC. Contact: Kelly Simcox 299 Bassett St, Suite 250 San Jose, CA 95110 P: 408.283.0100 X10 E: kelly@studiotogarchitectsinc.com		STRUCTURAL ENGINEER STRUCTURAL ENGINEERS, INC. Contact: Paul Slattery 2901 Tasman Drive, Suite 100 Santa Clara, CA 95054 P: 650.938.2200 E: pslattery@structuralengineersinc.com		BUILDING AREA 1/F: 17,461 SF 2/F: 17,214 SF TOTAL: 34,675 SF						
APPLICABLE CODES: 2019 CALIFORNIA BUILDING CODE (C.B.C.) 2019 CALIFORNIA ELECTRICAL CODE (C.E.C.) 2019 CALIFORNIA MECHANICAL CODE (C.M.C.) 2019 CALIFORNIA PLUMBING CODE (C.P.C.) 2019 CALIFORNIA ENERGY CODE (C.E.C.) 2019 CALIFORNIA FIRE CODE (C.F.C.) 2019 CALGREEN CODE <small>* ALL APPLICABLE LOCAL, STATE & FEDERAL CODES, ORDINANCES, LAWS, & REGULATIONS AS AMENDED BY THE CITY OF TRACY.</small>										
VICINITY MAP										
STAMP ALL DESIGNS, DRAWINGS AND WRITTEN MATERIALS INDICATED HEREIN ARE THE WORK AND PROPERTY OF STUDIO G ARCHITECTS INC. THIS DOCUMENT MAY NOT BE DUPLICATED, REUSED OR DISCLOSED BY ANY METHOD WITHOUT THE WRITTEN CONSENT OF STUDIO G ARCHITECTS. ALL RIGHTS RESERVED.										
REVISIONS <table border="1"> <thead> <tr> <th>DATE</th><th>DESCRIPTION</th></tr> </thead> <tbody> <tr> <td>2.6.2020</td><td>ISSUE FOR DEVELOPMENT APPLICATION</td></tr> <tr> <td>4.XX.2020</td><td>REV PER PLANCHECK COMMENT ROUND 1</td></tr> </tbody> </table>					DATE	DESCRIPTION	2.6.2020	ISSUE FOR DEVELOPMENT APPLICATION	4.XX.2020	REV PER PLANCHECK COMMENT ROUND 1
DATE	DESCRIPTION									
2.6.2020	ISSUE FOR DEVELOPMENT APPLICATION									
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DATE DATE SCALE PROJECT ID 2018.121 DRAWN BY										
COVER SHEET										
SHEET TITLE PROJECT LOCATION SHEET NO. G0.0										



1. SITE PLAN

SCALE: 1/16" = 1'-0"

PARKING ANALYSIS

Min. Parking Spaces (according to Tracy, CA - Code of Ordinance)

Offices: business, professional (not including medical or dental), banks

1 space per 250 gsf

Cafes, Restaurants and other establishments for the sale and consumption of food and beverages

1 space/ 45 sf of dining area + 1 space/ 250 sf of other area of gross floor area

$$*[(34,675 - 569) GSF / 250] + [569 GSF / 45] = 136 + 13 = 149 \text{ parking spaces}$$

Bicycle Parking (according to Tracy, CA - Code of Ordinance)

Total # of Parking Spaces Req'd	Required Bicycle Spaces
0 through 19	0
20 through 40	2
Over 40	5% of # of required auto spaces

PARKING PROVIDED:
STANDARD PARKING: 144
ACCESSIBLE PARKING STALL: 5
VAN ACCESSIBLE PARKING STALL: 1
THEREFORE, TOTAL PARKING PROVIDED: 150 (> 149 REQUIRED)

DESIGNATED EV CHARGING PARKING STALL: 7
DESIGNATED CLEAN AIR VEHICLE PARKING STALL: 13

SHORT TERM BICYCLE PARKING = 150 x 5% = 8
LONG TERM BICYCLE PARKING = WITHIN BUILDING, WILL BE PROVIDED DURING T.I. PERMIT.
MOTORBIKE PARKING = 3

LEGEND

— PROPERTY LINE
— LIMIT OF CONSTRUCTION
- - - - - ACCESSIBLE PATH OF TRAVEL (8.33% MAXIMUM SLOPE FOR RAMP, 2% MAXIMUM CROSS-SLOPE)

● OR +○+ FIRE HYDRANT, SEE CIVIL DWG

PA PLANTING AREA, SEE LANDSCAPE DWG

ALIGN

— STREET LIGHT POLE, SEE CIVIL DWG

— LIGHT POLE, 20H

— ACCESSIBLE PARKING STALL

— DESIGNATED EV CHARGING STATION

— DESIGNATED CLEAN AIR VEHICLES

DATE

DATE

SCALE

SCALE

PROJECT ID

2018.121

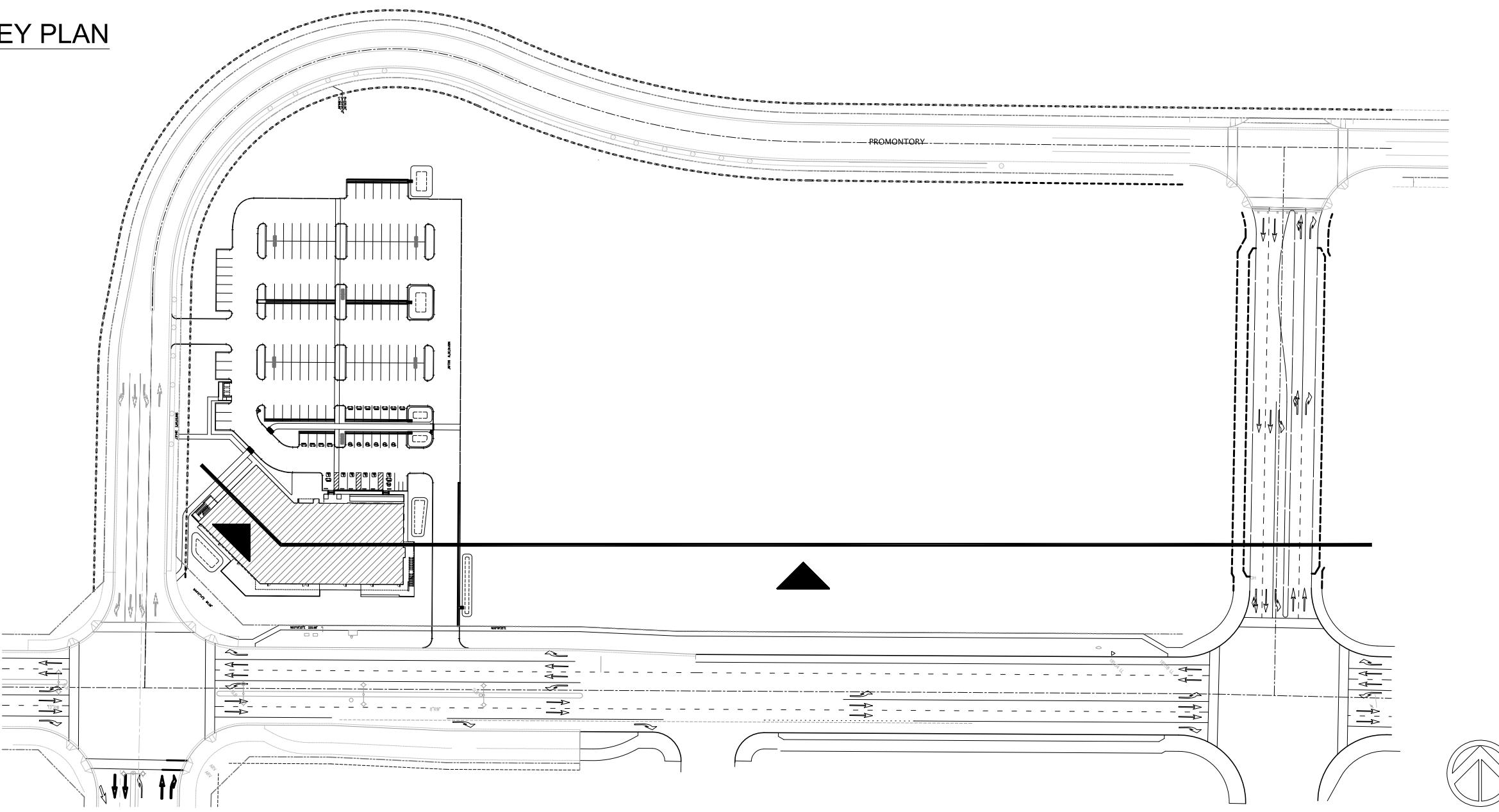
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ARCHITECTURAL SITE PLAN

SHEET TITLE

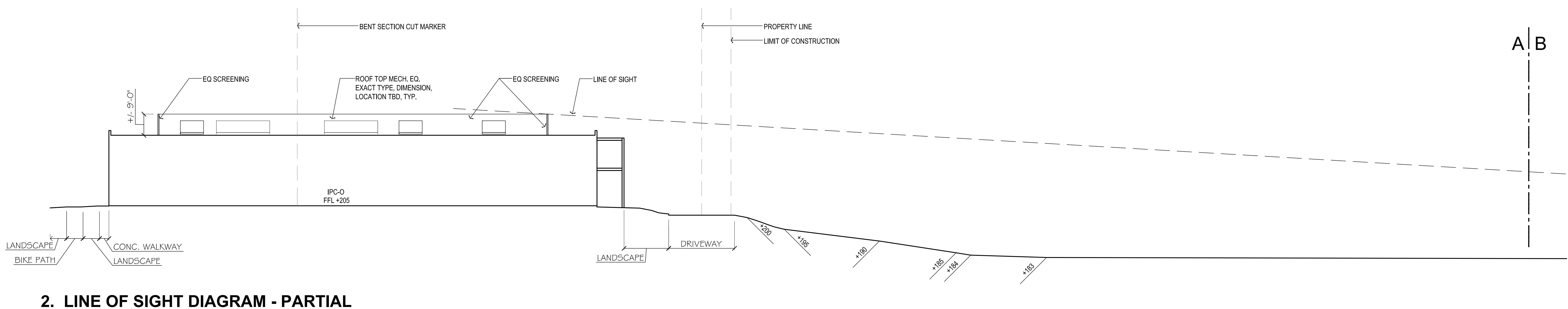
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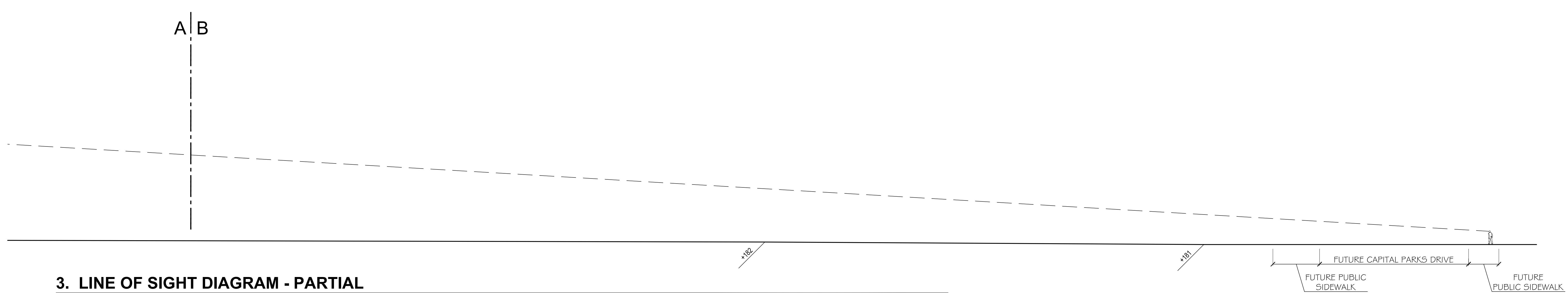
1. LINE OF SIGHT DIAGRAM - OVERALL

SCALE: 1" = 20'



2. LINE OF SIGHT DIAGRAM - PARTIAL

SCALE 1" = 20'



3. LINE OF SIGHT DIAGRAM - PARTIAL

SCALE: 1" = 20'

PROJECT ID 2018.121
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SITE SECTION

SITE SECTION

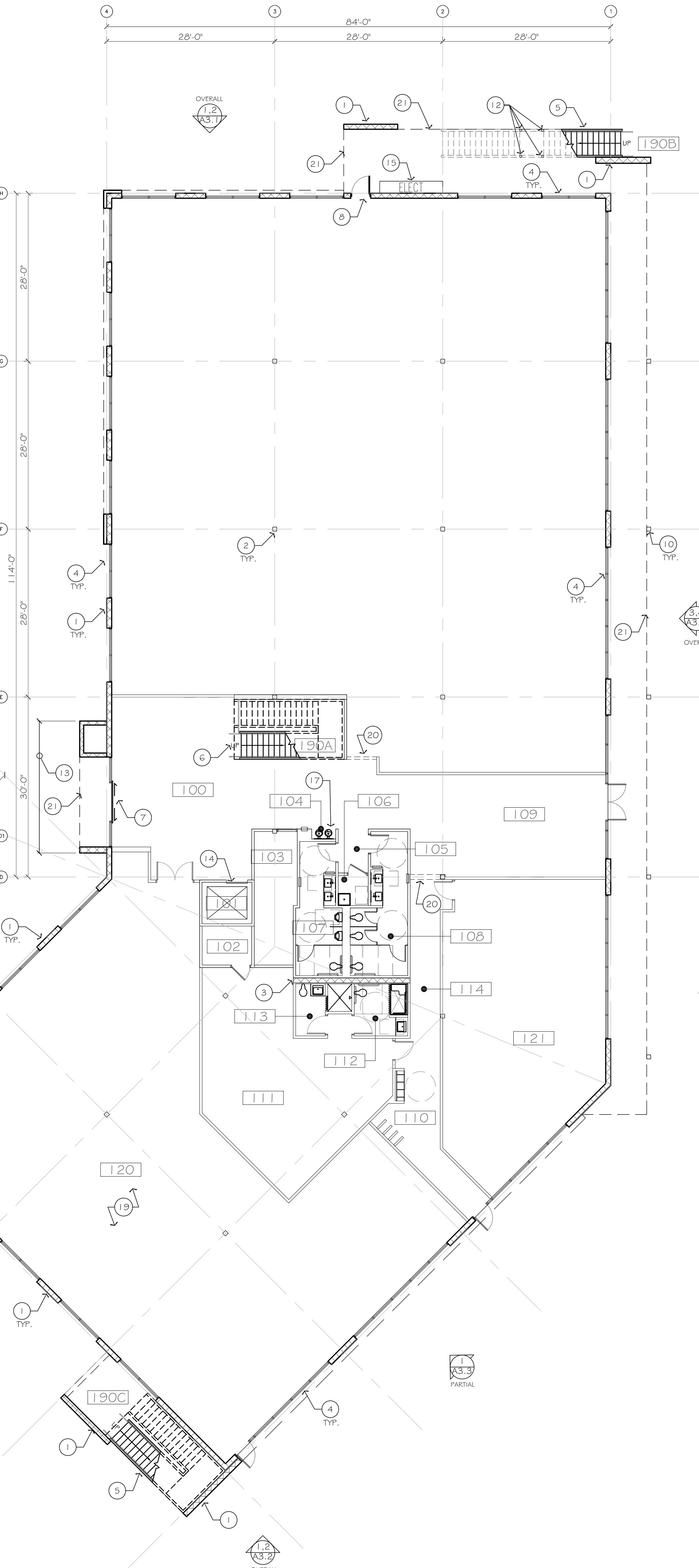
SHEET TITLE

ANSWER

AS20

AS2.0

ROOM IDENTIFICATION	
Room #	Name
100	Lobby
101	Elevator
102	Equipment
103	Elect Room
104	Drinking Fountain
105	Vestibule
106	Janitor
107	Men
108	Women
109	Break/Coffee
110	Bike
111	Fitness
112	Toilet/Shower (ADA)
113	Toilet/Shower
114	Corridor
120	Suite - Prologis
121	Suite - TBD
190A	Stair#1
190B	Stair#2
190C	Stair#3



ROOM IDENTIFICATION	
Room #	Name
200	Lobby
201	Elevator
202	Floor Opening
203	Elect Room
204	Drinking Fountain
205	Vestibule
206	Janitor
207	Men
209	Women
209	Storage
210	Corridor
213	Shaft
214	Shaft
220	Suite - Prologis
290A	Stair#1
290B	Stair#2
290C	Stair#3
291	Deck
292	Deck
293	Balcony

2. FLOOR PLAN - OVERALL, 2/F

SCALE: 3/32" = 1'-0"



GENERAL NOTES

- SEE GENERAL NOTES ON SHEET G.I.O.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE, TYP. U.O.N.
- PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
- SEE CIVIL DWG FOR ALL CONCRETE CURBS, GUTTER AND SWALES, AND GRADING PLANS.
- SEE CIVIL DWGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. GC TO VERIFY EXACT UTILITY LOCATIONS.
- GC TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.

PROJECT ADDRESS
PROLOGIS IPC SALES OFFICE (IPC-O)
TRACY, CA

KEYNOTES

- CONCRETE TILT-UP PANEL.
- STRUCTURAL STEEL COLUMN.
- CONC. SHEAR WALL, FULL HEIGHT TO DECK ABOVE.
- TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE BUILDING ELEVATIONS FOR DETAILS.
- EXTERIOR STAIR (OPEN), CONC. FILLED METAL PAN DECK SYSTEM.
- INTERIOR STAIR, CONC. FILLED METAL PAN DECK SYSTEM.
- AUTOMATIC SLIDING DOORS AT BUILDING MAIN ENTRY.
- HOLLOW METAL EXTERIOR MAN DOOR.
- DECK STRUCTURE, STRUCTURAL STEEL AND METAL STUD FRAMED ROOF, METAL GRATING PLATFORM.
- DECK STRUCTURE STEEL COLUMN SUPPORT.
- STEEL POSTS AND FLAT BAR RAILING/ GUARDRAIL SYSTEM, PAINTED.
- EXTERIOR STAIR STEEL COLUMN SUPPORT.
- ENTRY "PORTAL", MTL STUD FRAMING W/ METAL CLADDED FINISH.
- ELEVATOR CORE, AND ELEVATOR CAB.
- ELECTRICAL EQ/ MAIN METER SECTION.
- ROOF ACCESS LADDER.
- DRINKING FOUNTAIN, HI-LO.
- FLOOR OPENING, OPEN TO BELOW, GUARDRAIL SYSTEM AROUND FLOOR OPENING.
- FUTURE PROLOGIS SALES & MARKETING OFFICE. UNDER SEPARATE T.I. PERMIT.
- CASED OPENING.
- LINE OF STRUCTURE ABOVE.
- METAL GATE.

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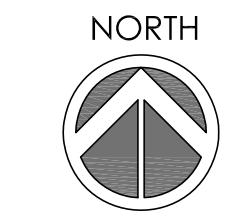
FLOOR PLANS - OVERALL

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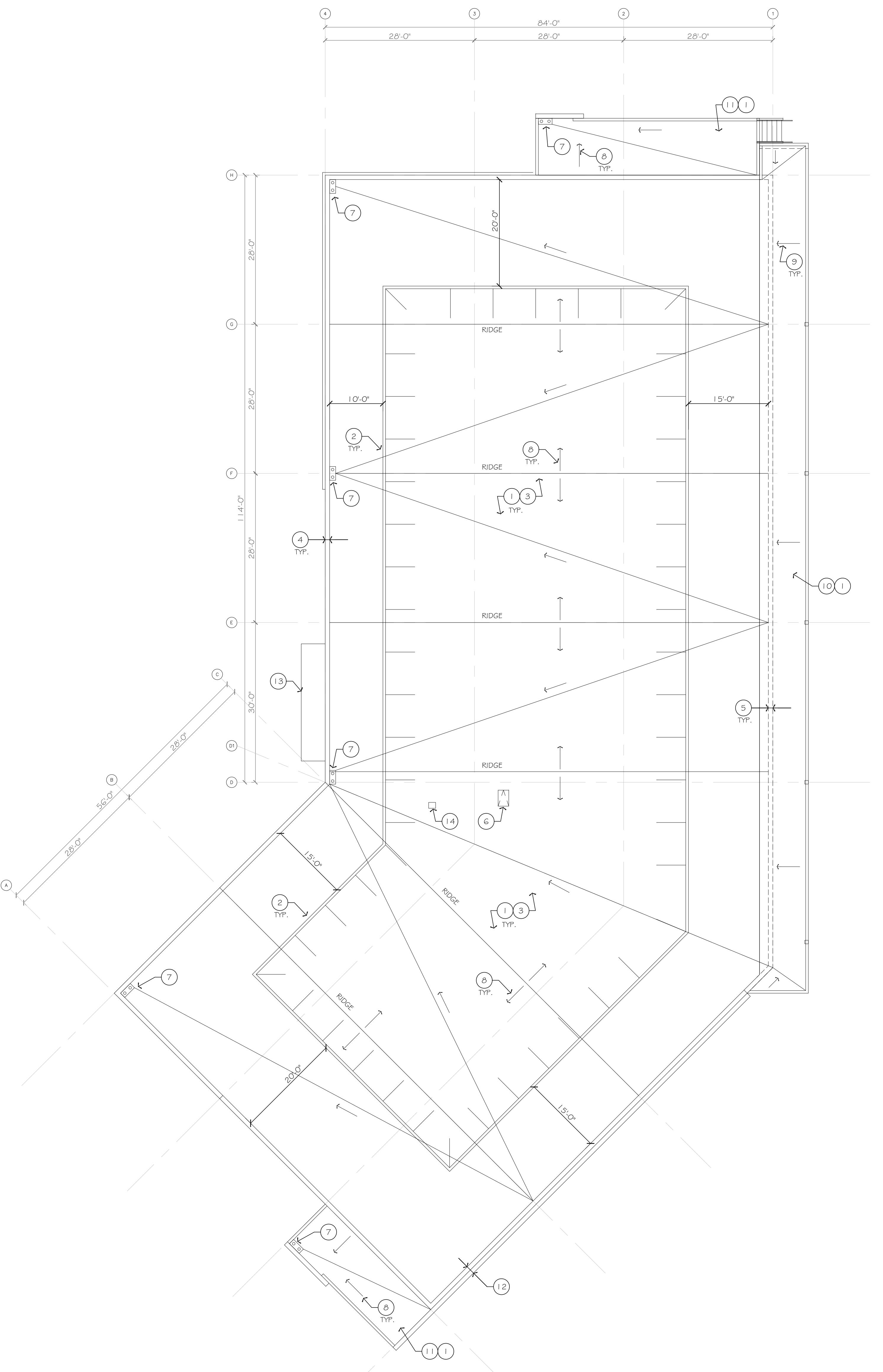
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1. FLOOR PLAN - OVERALL, 1/F

SCALE: 3/32" = 1'-0"



SHEET NO.



1. ROOF PLAN

SCALE: 3/32" = 1'-0"

GENERAL NOTES

1. SEE GENERAL NOTES ON SHEET A1.I.O.

ROOF PLAN KEYNOTES

1. TPO MEMBRANE ROOFING SYSTEM
2. ENGINEERED ROOF OF EQUIPMENT ROOF SCREENS, METAL PANEL, & H1. SEE ELEVATIONS FOR COLOR, CANTILEVERED THREE MEMBER FRAME WITH POST OR BASE SUPPORT, MFR. ROOFSCREEN, OR EQUAL.
3. ROOFTOP EQUIPMENT NOT SHOWN ON THIS DRAWING; EXACT EQUIPMENT TYPE, DIMENSIONS, LOCATION AND QTY TO BE DETERMINED.
4. PARAPET WITH CAP COPING, PAINT TO MATCH BLDG COLOR.
5. PARAPET BELOW, UNDERNEATH ROOF AT DECK STRUCTURE.
6. ROOF HATCH
7. ROOF DRAIN & OVERFLOW DRAIN LOCATION; GC TO COORDINATE W/ PLUMBING SUB. FOR SPEC. AND DETAILS.
8. ROOF SLOPE @ 1/4" = 1'-0" MIN. FOR POSITIVE DRAINAGE. ARROW INDICATES DIRECTION OF SLOPE.
9. ROOF SLOPE @ 1/4" = 1'-0" MIN. TO SHEET FLOW RAIN WATER FROM DECK ROOF TO BUILDING MAIN ROOF.
10. ROOF @ DECK STRUCTURE.
11. ROOF @ OPEN STAIR STRUCTURE.
12. "FEATURE WALL" PARAPET, NO COPING, WALL FINISH: PRECAST BOARD FORM CONCRETE.
13. ROOF @ BUILDING MAIN ENTRY "PORTAL" ELEMENT BELOW, METAL PANEL FINISH.
14. ELEVATOR SHAFT VENT.

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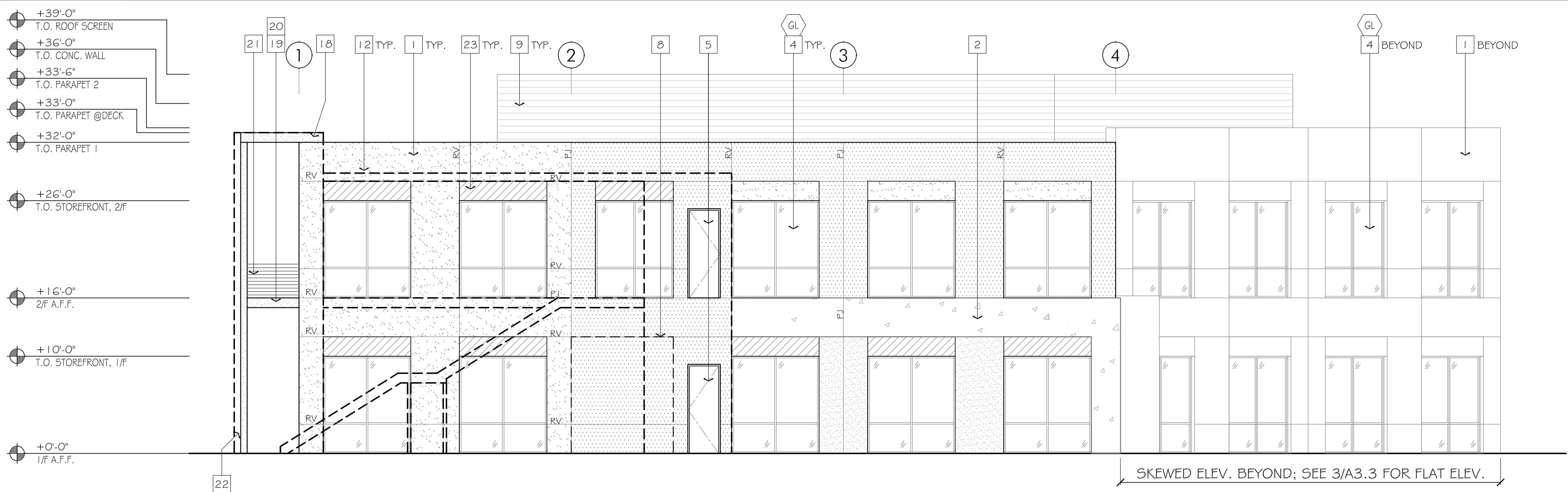
ROOF PLAN

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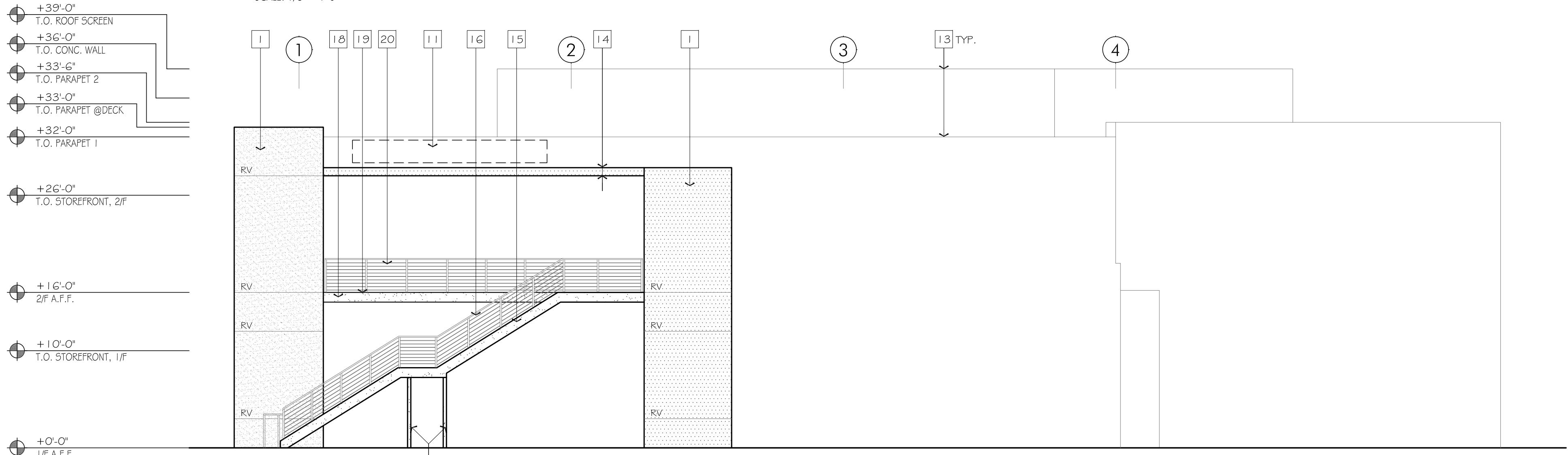


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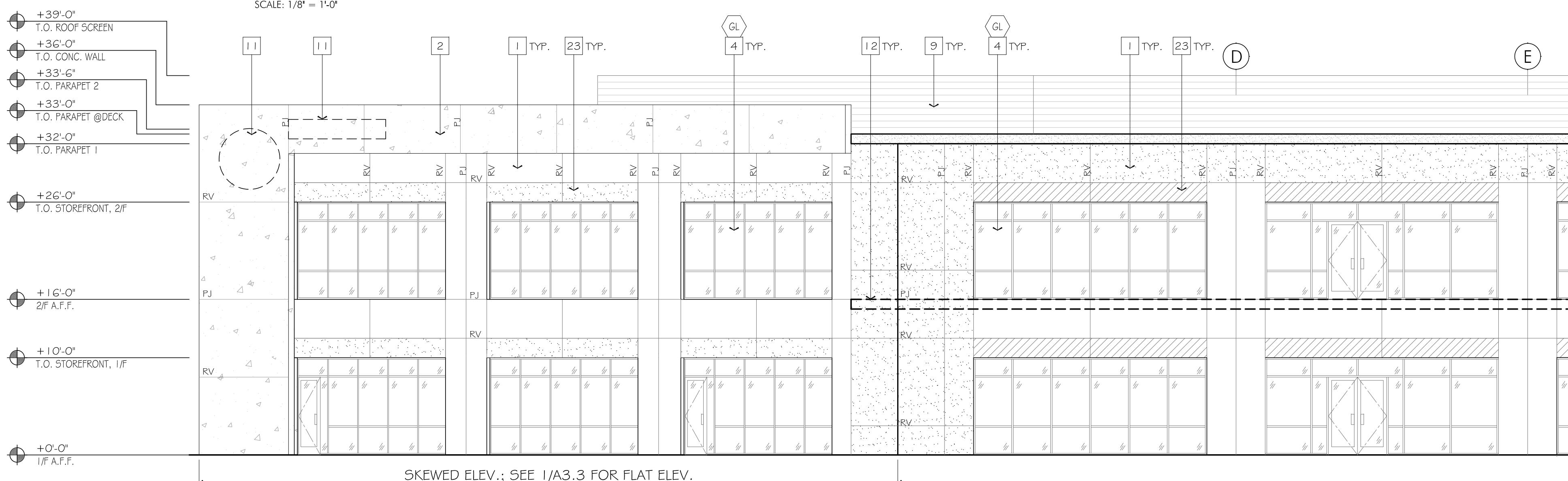
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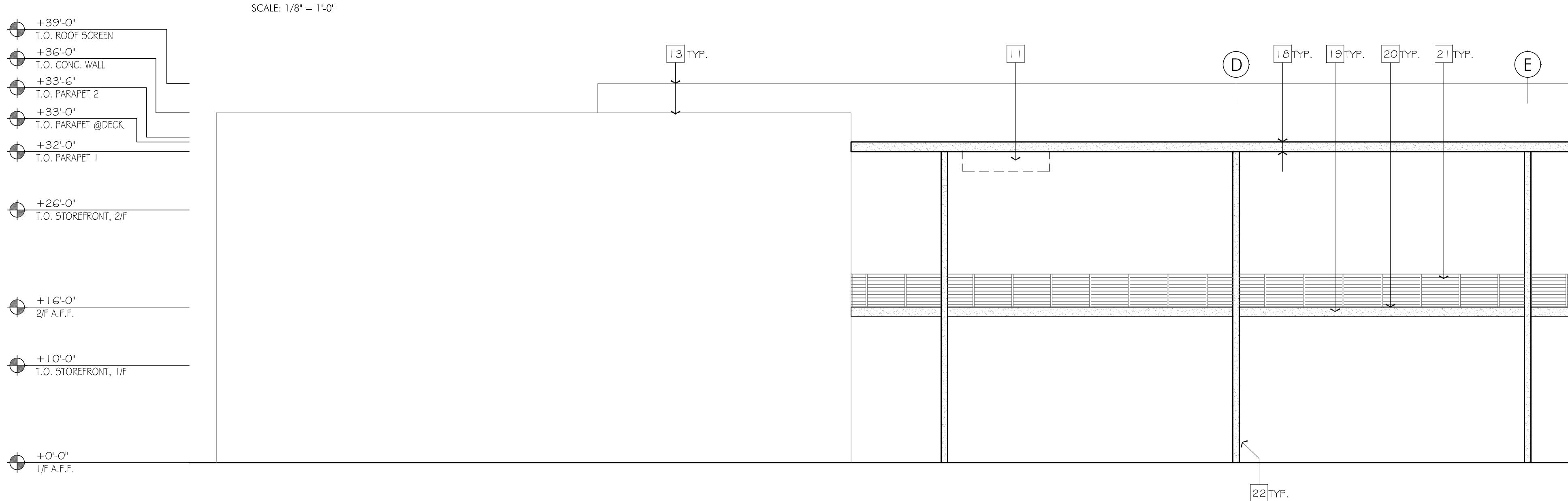
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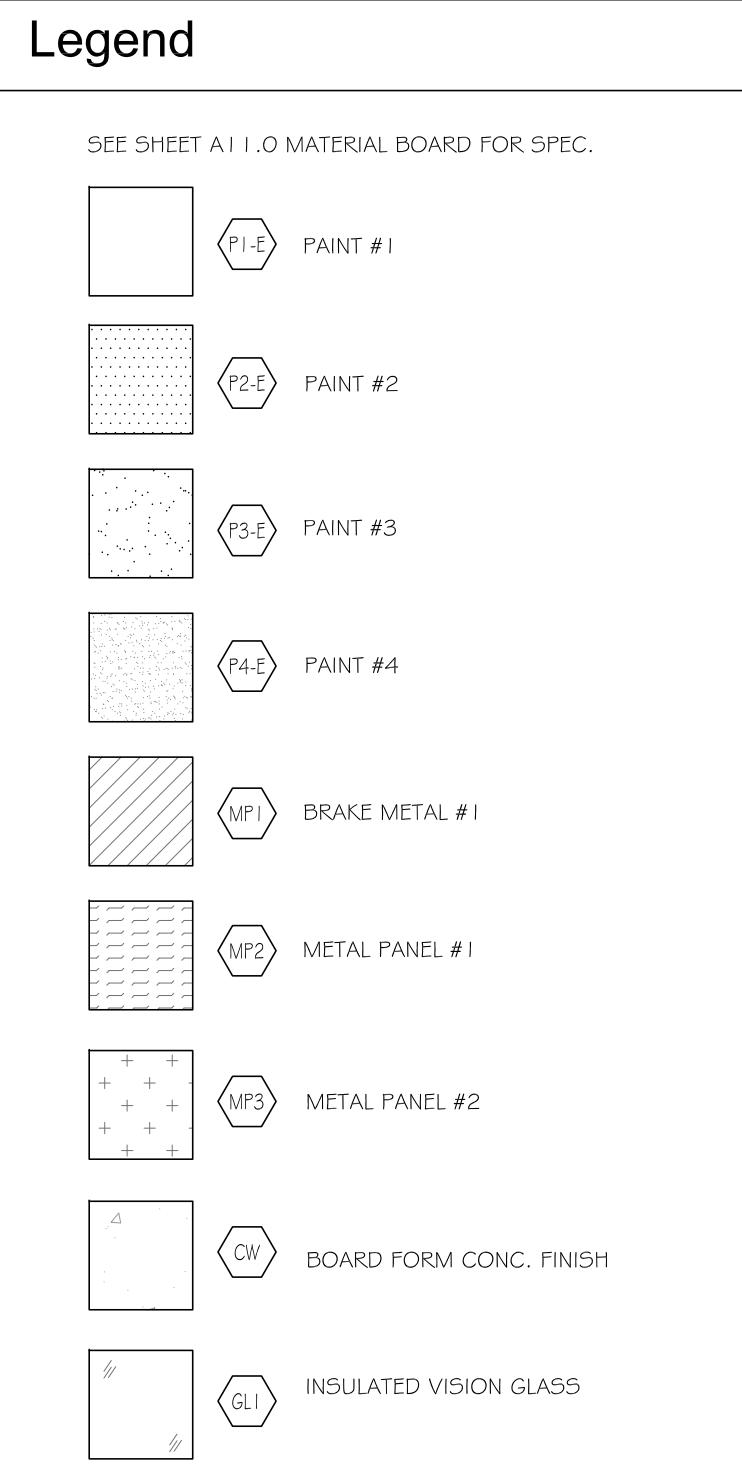
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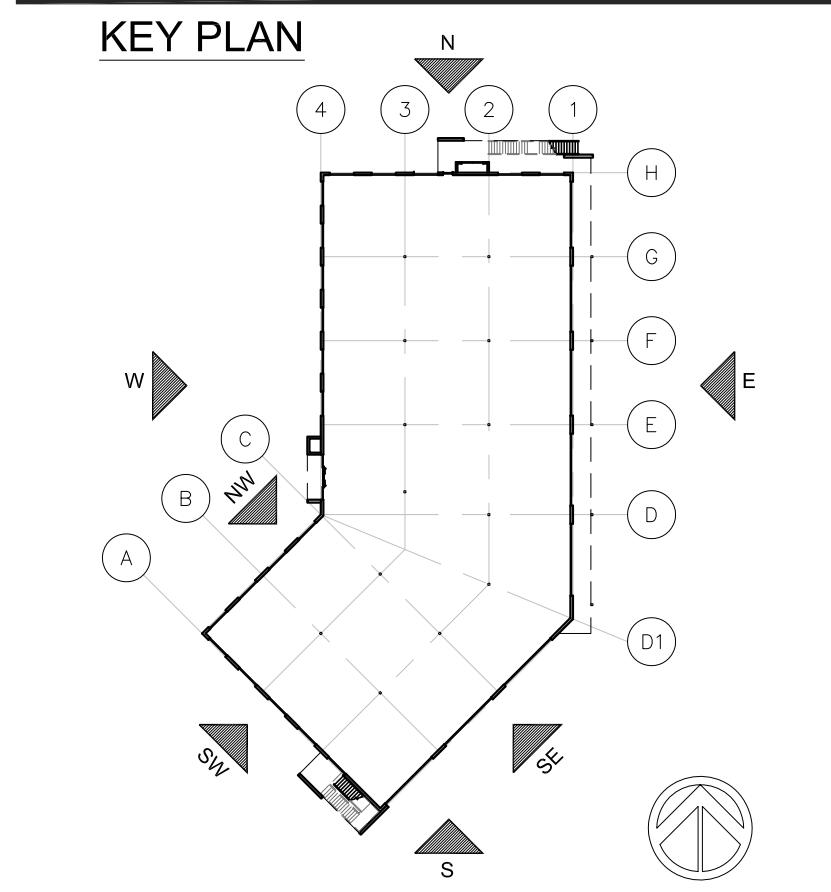
3. BUILDING ELEVATION - EAST (DECK NOT SHOWN FOR CLARITY)



4. BUILDING ELEVATION - EAST, DECK ONLY



PJ = PANEL JOINT
RV = PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJ. CONC. PANEL COLOR, TYP. U.O.N.



Key Notes

1. CONCRETE TILT-UP PANEL, TYP. U.O.N.
2. CONCRETE PANEL WITH BOARD FORM CONC. FINISH.
3. AUTOMATIC SLIDING DOORS AT BUILDING MAIN ENTRY.
4. ALUMINUM STOREFRONT FRAMING AND INSULATED GLASS (TEMP.) SYSTEM, TYP.
5. HOLLOW METAL EXTERIOR MAN DOOR.
6. FRAMED METAL GATE SYSTEM, POWDER COATED.
7. ENTRY "PORTAL", MTL STUD FRAMING, CLADDED W/ METAL PANEL FINISH.
8. ELECTRICAL EQ/ MAIN METER SECTION.
9. ROOFTOP EQUIPMENT ROOF SCREENS, SEE ROOF PLAN FOR DETAILS.
10. LANDSCAPE LOW WALL WITH BOARD FORM CONC. FINISH. SEE LANDSCAPE DWG.
11. APPROXIMATE SIGNAGE LOCATION, FOR REFERENCE (SIGNAGE TO BE UNDER SEPARATE PERMIT)
12. ARCHITECTURAL ELEMENT IN FOREGROUND, DASHED FOR CLARIFY. SEE ADDITIONAL ELEVATION FOR DETAILS.
13. BUILDING AND EQ. SCREEN OUTLINE (BEYOND) FOR REFERENCE.
14. @EXTERIOR STAIR: STRUCTURAL STEEL AND METAL STUD FRAMED ROOF, PAINTED ACRYLIC STUCCO FINISH @ FASCIA AND UNDERSIDE AND ALL EXPOSED EDGES.
15. @EXTERIOR STAIR: CONC. FILLED METAL PAN DECK SYSTEM BETWEEN STEEL STAIR STRINGERS.
16. @EXTERIOR STAIR: STEEL POSTS AND FLAT BAR RAILING/ GUARDRAIL SYSTEM, PAINTED.
17. @EXTERIOR STAIR: STRUCTURAL COL. SUPPORT.
18. @DECK STRUCTURE: STRUCTURAL STEEL AND METAL STUD FRAMED ROOF, PAINTED ACRYLIC STUCCO FINISH @ FASCIA AND UNDERSIDE AND ALL EXPOSED EDGES WHERE OCCURS.
19. @DECK STRUCTURE: STEEL SECTION FASCIA, PAINTED.
20. @DECK STRUCTURE: METAL GRATING PLATFORM.
21. @DECK STRUCTURE: STEEL POSTS AND FLAT BAR RAILING/ GUARDRAIL SYSTEM, PAINTED.
22. @DECK STRUCTURE: STRUCTURAL STEEL COL., 8X8 (FORMED W/ (2) C-CHANNELS), PAINTED.
23. CONCRETE TILT-UP PANEL RECESSED BANDING FOR ACCENT PAINT OR FINISH, SEE LEGEND.

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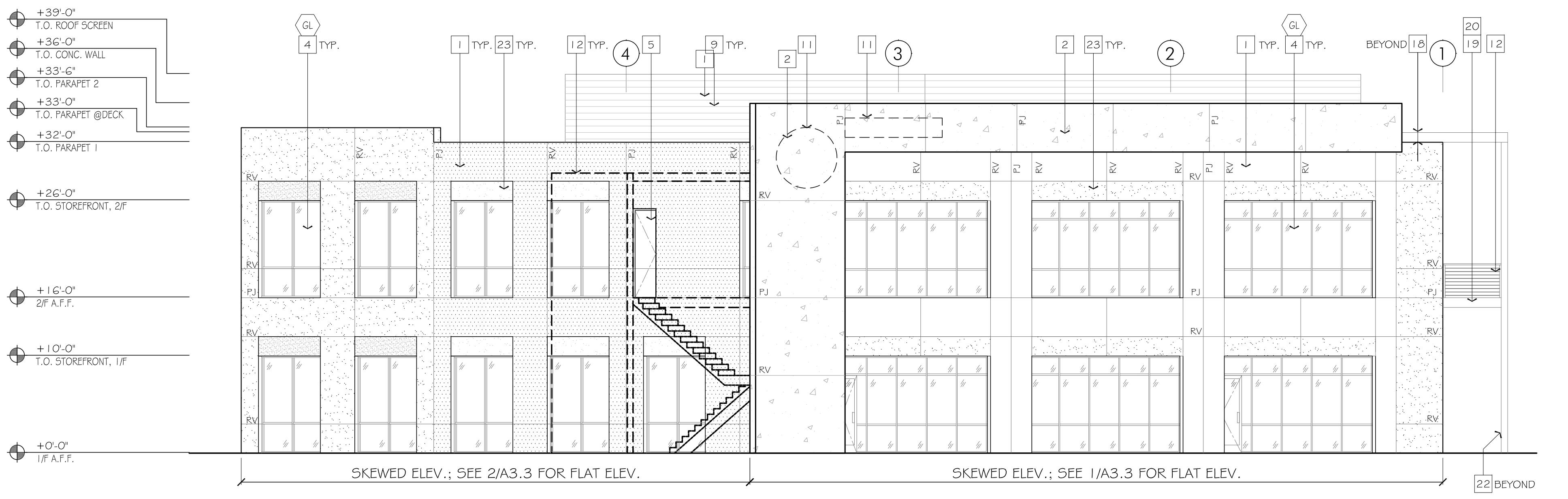
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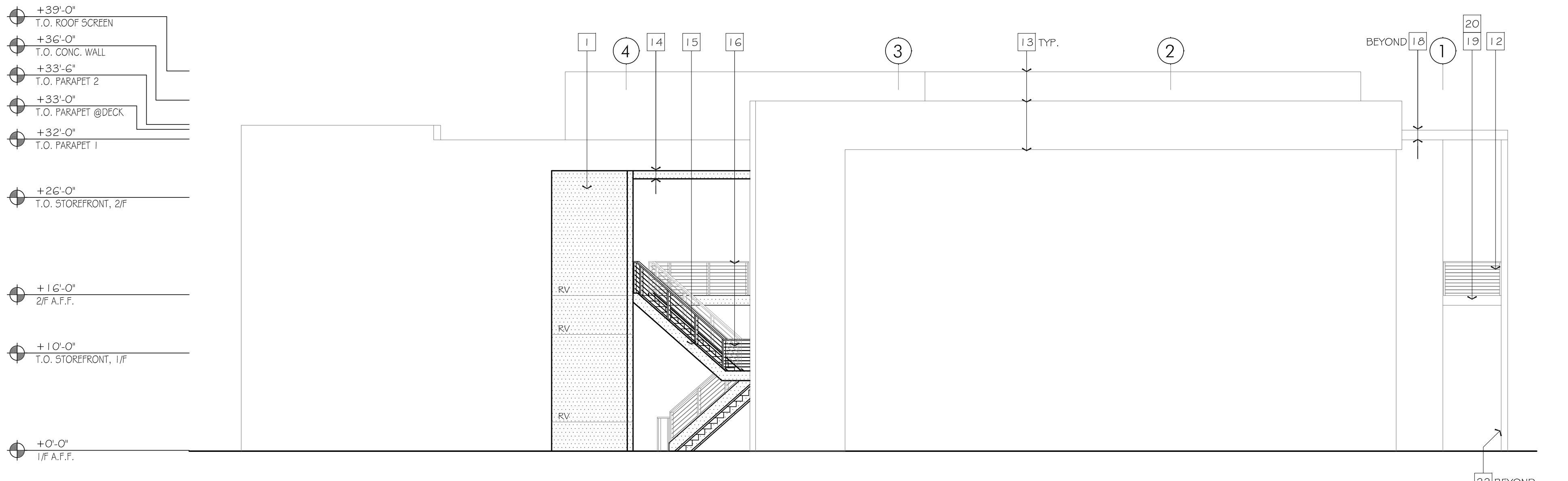
BUILDING ELEVATIONS

SHEET TITLE

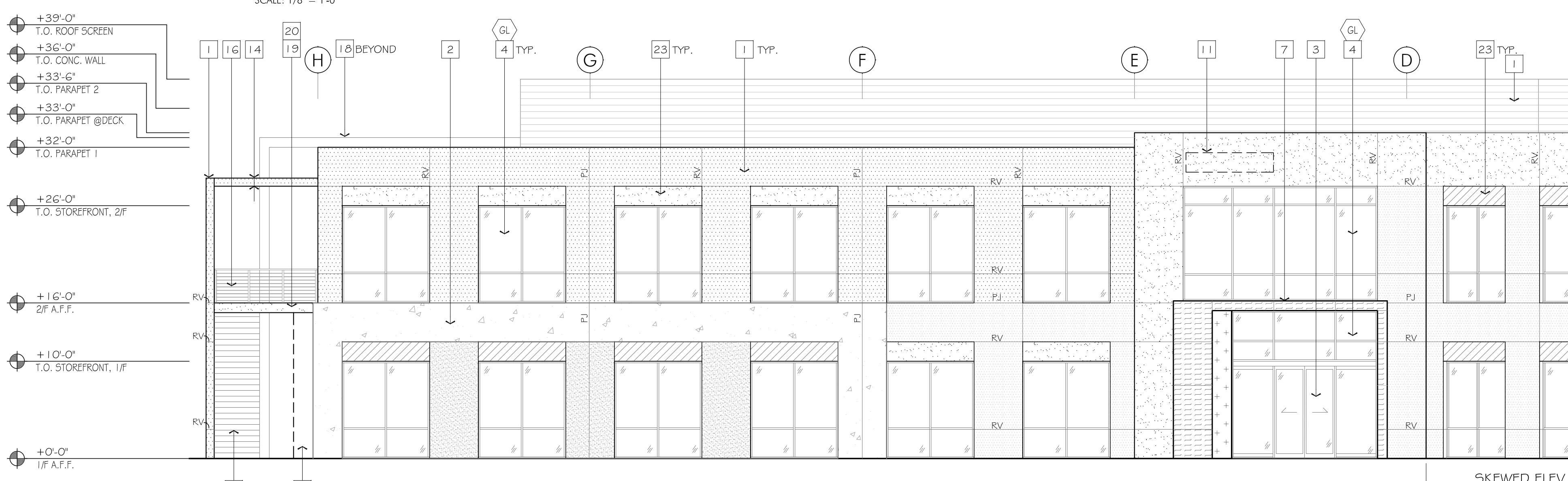
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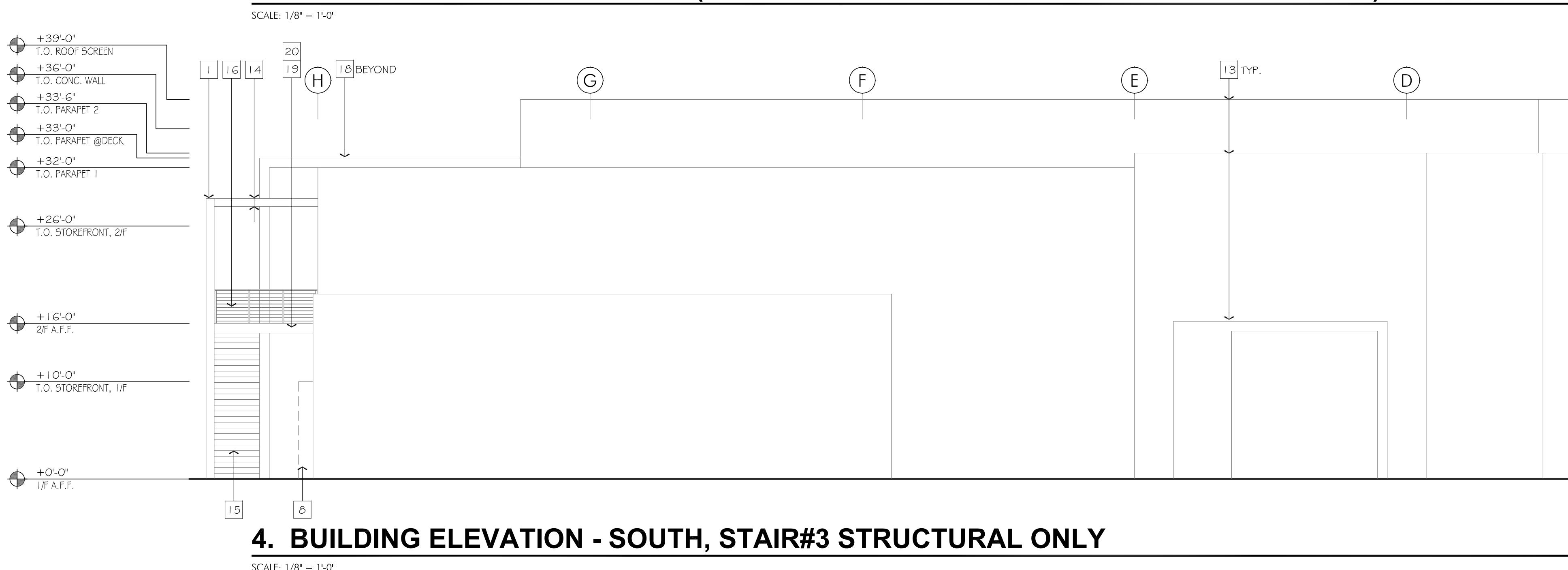
1. BUILDING ELEVATION - SOUTH (STAIR# 3 DASHED IN FOREGROUND FOR CLARITY)



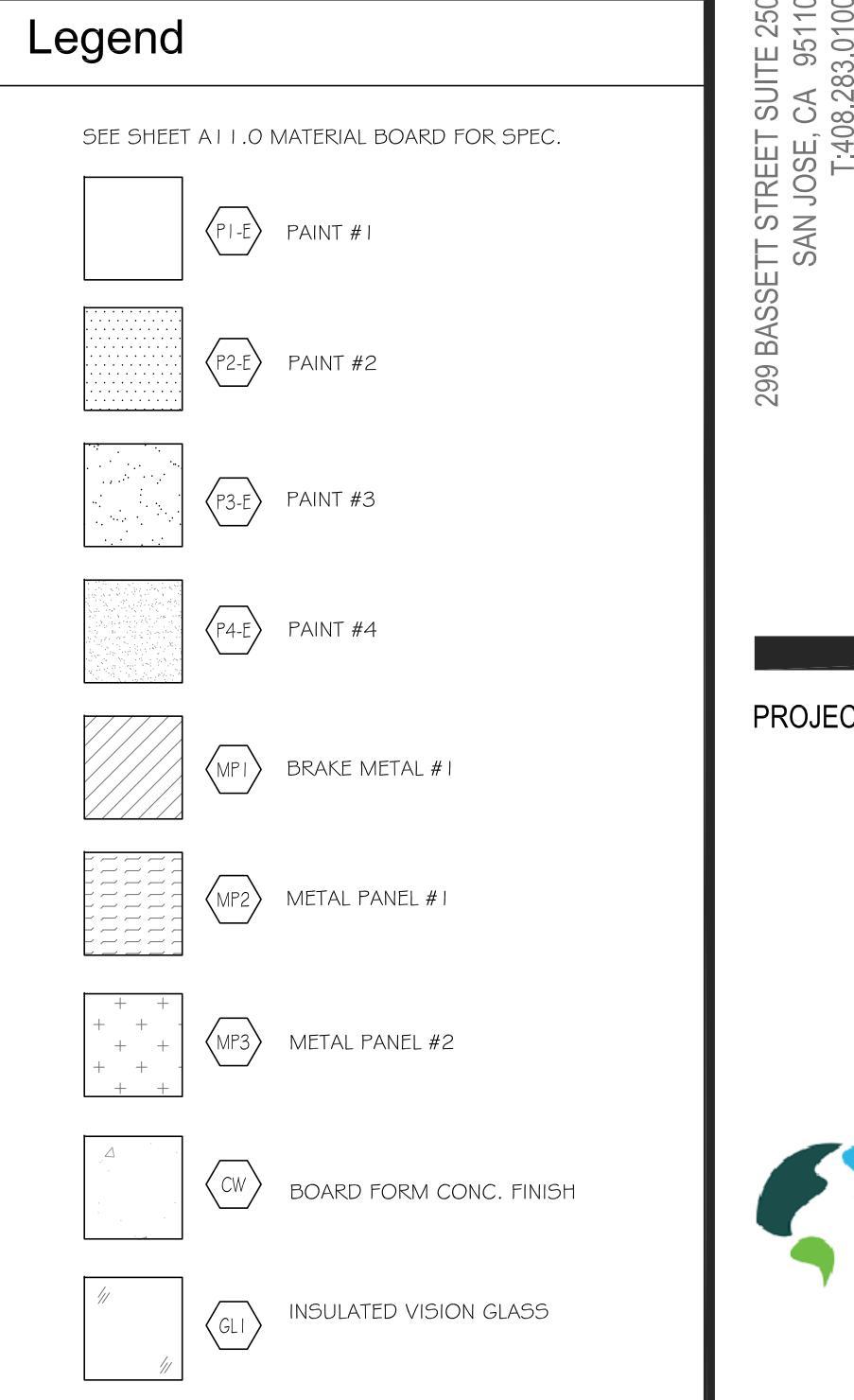
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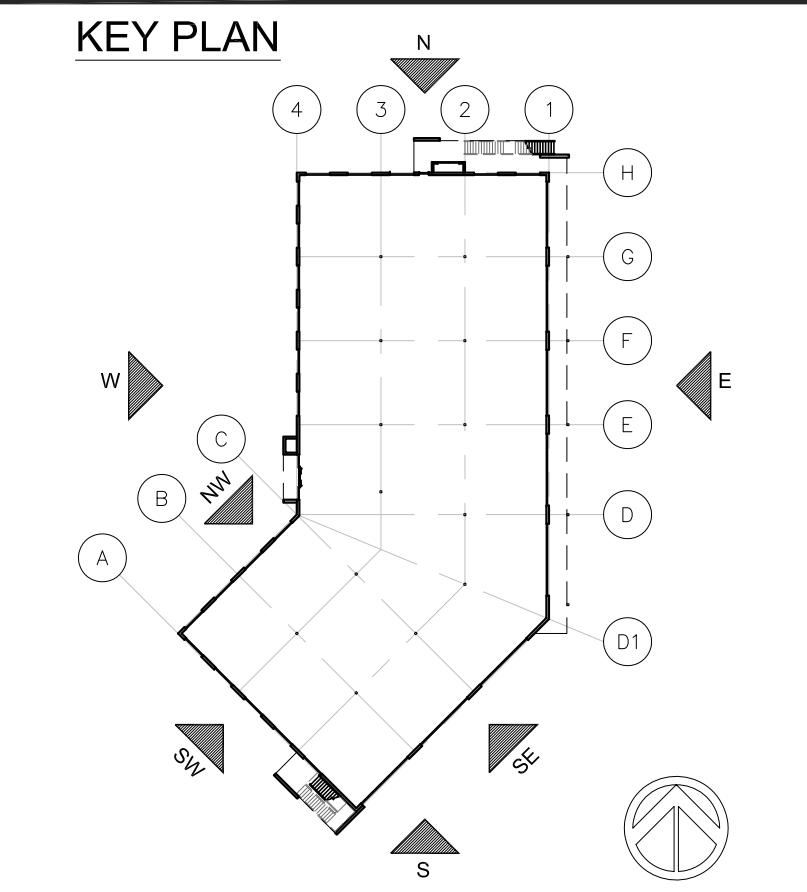
3. BUILDING ELEVATION - WEST (STAIR# 3 DASHED IN FOREGROUND FOR CLARITY)



4. BUILDING ELEVATION - SOUTH, STAIR#3 STRUCTURAL ONLY



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Key Notes

- 1. CONCRETE TILT-UP PANEL, TYP. U.O.N.
- 2. CONCRETE PANEL WITH BOARD FORM CONC. FINISH.

- 3. AUTOMATIC SLIDING DOORS AT BUILDING MAIN ENTRY.
- 4. ALUMINUM STOREFRONT FRAMING AND INSULATED GLASS (TEMP.) SYSTEM, TYP.

- 5. HOLLOW METAL EXTERIOR MAN DOOR.
- 6. FRAMED METAL GATE SYSTEM, POWDERED COATED.

- 7. ENTRY "PORTAL", MTL STUD FRAMING, CLADDED W/ METAL PANEL FINISH.
- 8. ELECTRICAL EQ/ MAIN METER SECTION.

- 9. ROOFTOP EQUIPMENT ROOF SCREENS, SEE ROOF PLAN FOR DETAILS.

- 10. LANDSCAPE LOW WALL WITH BOARD FORM CONC. FINISH. SEE LANDSCAPE DWG.

- 11. APPROXIMATE SIGNAGE LOCATION, FOR REFERENCE (SIGNAGE TO BE UNDER SEPARATE PERMIT)

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- 13. BUILDING AND EQ. SCREEN OUTLINE (BEYOND) FOR REFERENCE.

- 14. @EXTERIOR STAIR: STRUCTURAL STEEL AND METAL STUD FRAMED ROOF, PAINTED ACRYLIC STUCCO FINISH @ FASCIA AND UNDERSIDE AND ALL EXPOSED EDGES.

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- 20. @DECK STRUCTURE: METAL GRATING PLATFORM.

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REVISIONS

DATE	DESCRIPTION
2/6/2020	ISSUE FOR DEVELOPMENT APPLICATION

DATE
SCALE
PROJECT ID
DRAWN BY

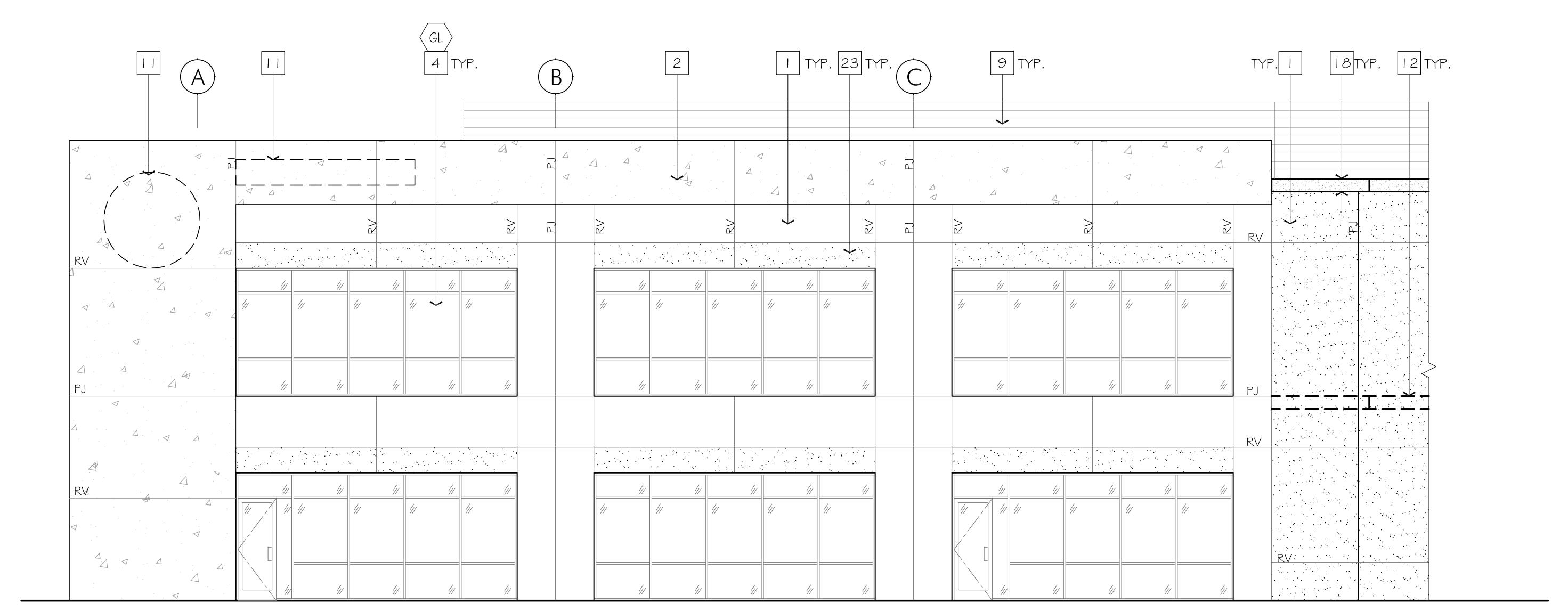
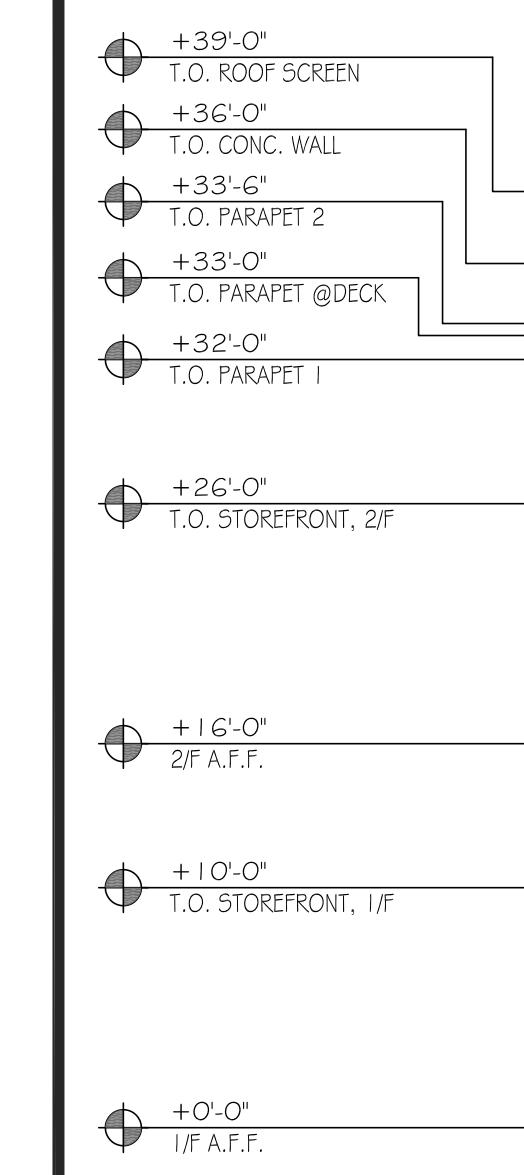
AS SHOWN
2018.121
SGA

DATE
SCALE
PROJECT ID
DRAWN BY

AS SHOWN
2018.121
SGA

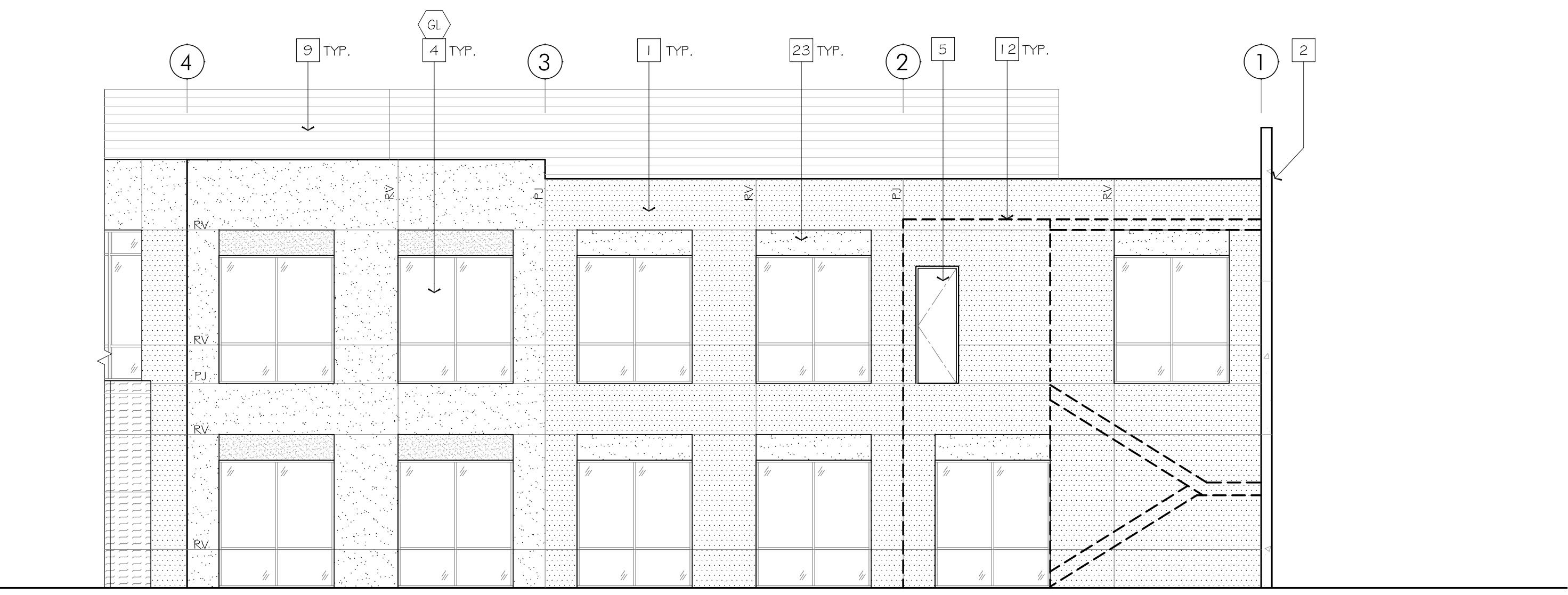
BUILDING ELEVATIONS

SHEET TITLE
SHEET NO.



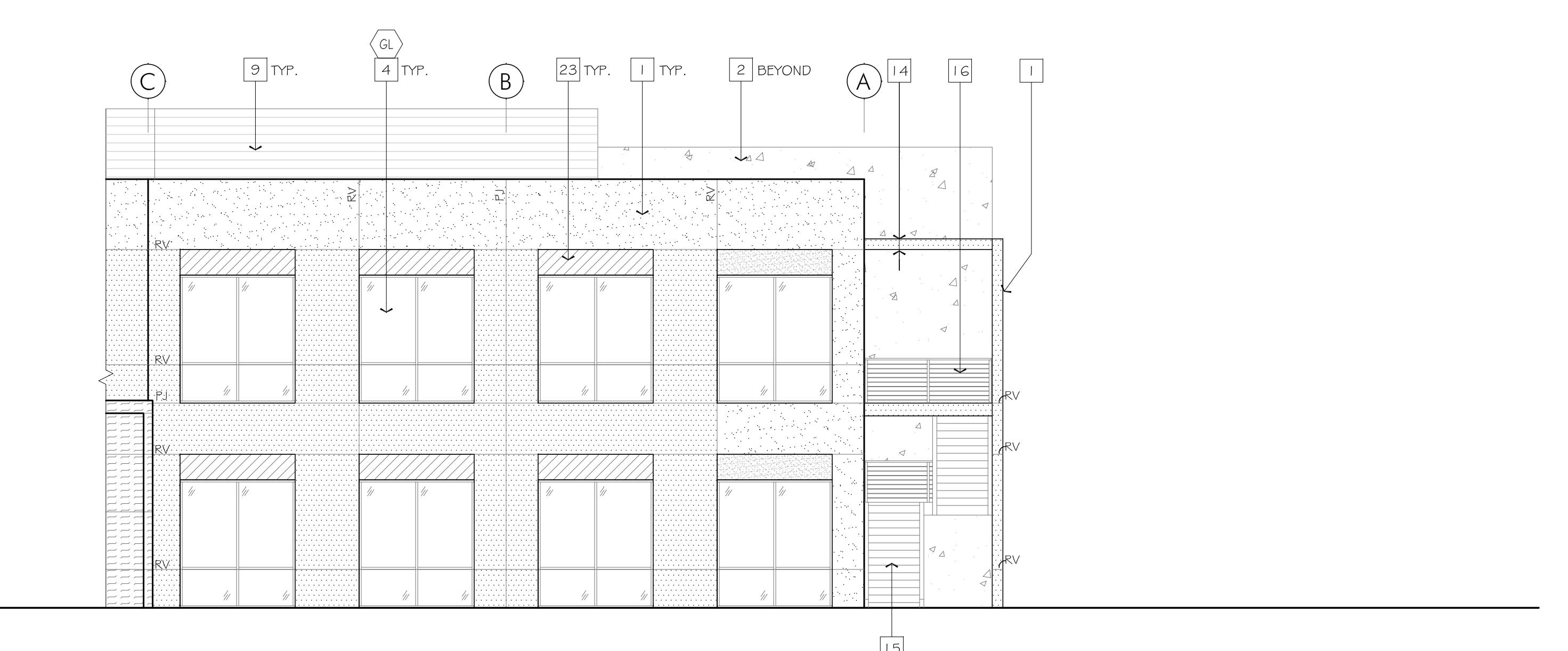
1. BUILDING ELEVATION - SOUTHEAST (DECK NOT SHOWN FOR CLARITY)

SCALE: 1/8" = 1'-0"



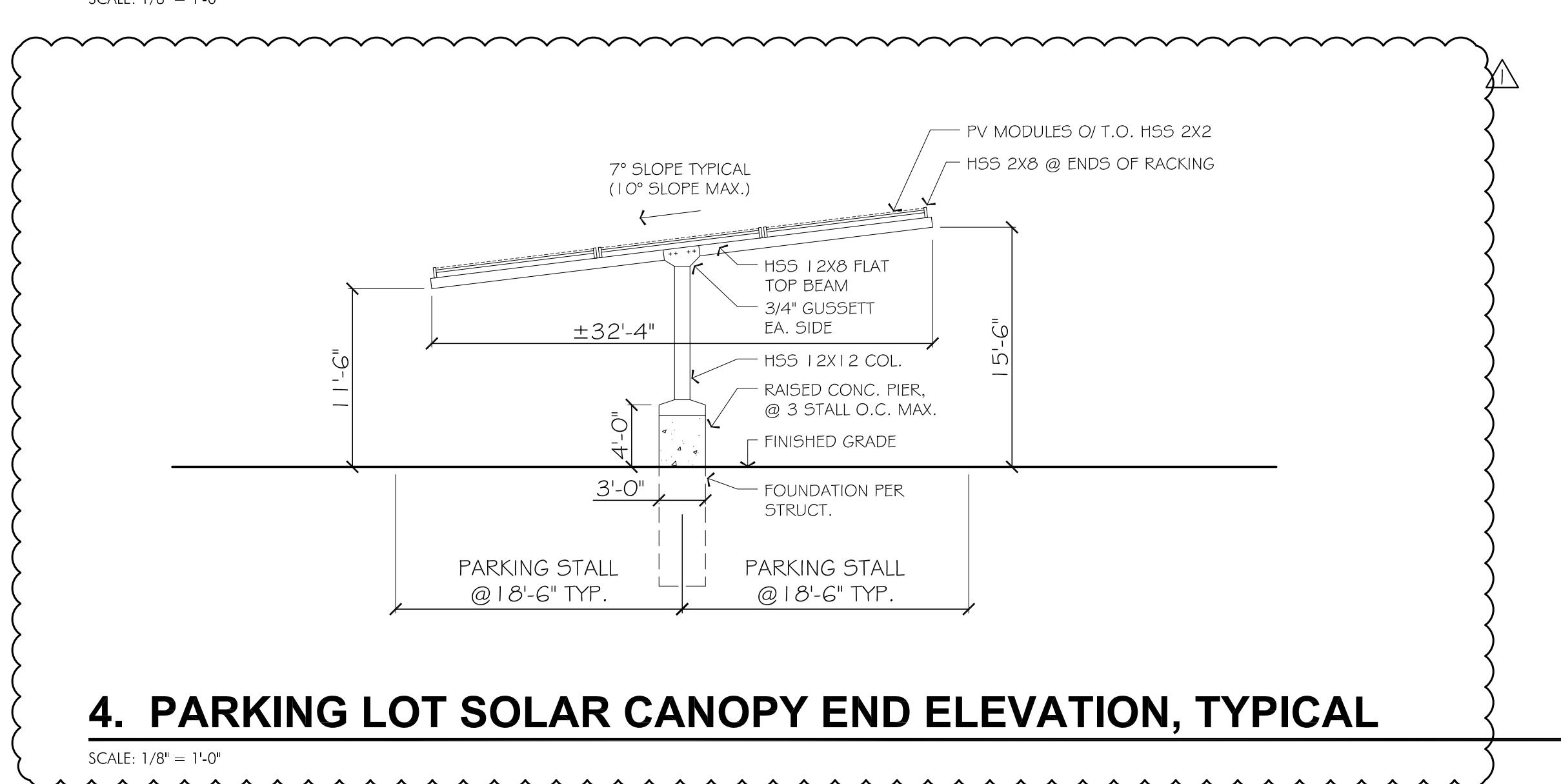
2. BUILDING ELEVATION - SOUTHWEST (STAIR# 3 DASHED IN FOREGROUND FOR CLARITY)

SCALE: 1/8" = 1'-0"



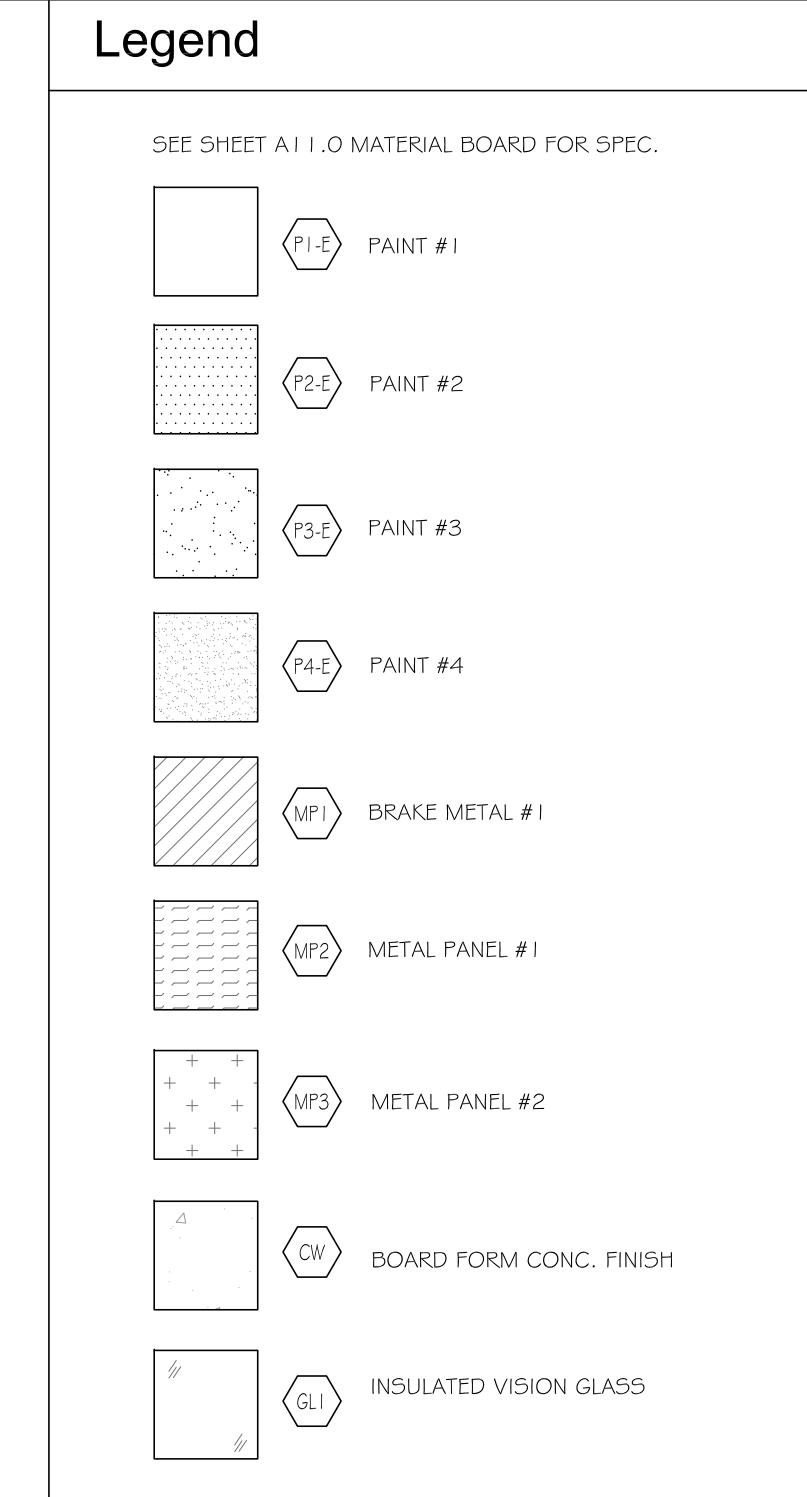
3. BUILDING ELEVATION - NORTHWEST

SCALE: 1/8" = 1'-0"



4. PARKING LOT SOLAR CANOPY END ELEVATION, TYPICAL

SCALE: 1/8" = 1'-0"



Key Notes

Indicated on plan by #

1. CONCRETE TILT-UP PANEL, TYP. U.O.N.
2. CONCRETE PANEL WITH BOARD FORM CONC. FINISH.
3. AUTOMATIC SLIDING DOORS AT BUILDING MAIN ENTRY.
4. ALUMINUM STOREFRONT FRAMING AND INSULATED GLASS (TEMP.) SYSTEM, TYP.
5. HOLLOW METAL EXTERIOR MAN DOOR.
6. FRAMED METAL GATE SYSTEM, POWDERED COATED.
7. ENTRY "PORTAL", MTL STUD FRAMING, CLADDED W/ METAL PANEL FINISH.
8. ELECTRICAL EQ/ MAIN METER SECTION.
9. ROOFTOP EQUIPMENT ROOF SCREENS, SEE ROOF PLAN FOR DETAILS.
10. LANDSCAPE LOW WALL WITH BOARD FORM CONC. FINISH. SEE LANDSCAPE DWG.
11. APPROXIMATE SIGNAGE LOCATION, FOR REFERENCE (SIGNAGE TO BE UNDER SEPARATE PERMIT)
12. ARCHITECTURAL ELEMENT IN FOREGROUND, DASHED FOR CLARIFY. SEE ADDITIONAL ELEVATION FOR DETAILS.
13. BUILDING AND EQ. SCREEN OUTLINE (BEYOND) FOR REFERENCE.
14. @EXTERIOR STAIR: STRUCTURAL STEEL AND METAL STUD FRAMED ROOF, PAINTED ACRYLIC STUCCO FINISH @ FASCIA AND UNDERSIDE AND ALL EXPOSED EDGES.
15. @EXTERIOR STAIR: CONC. FILLED METAL PAN DECK SYSTEM BETWEEN STEEL STAIR STRINGERS.
16. @EXTERIOR STAIR: STEEL POSTS AND FLAT BAR RAILING/ GUARDRAIL SYSTEM, PAINTED.
17. @EXTERIOR STAIR: STRUCTURAL COL. SUPPORT.
18. @DECK STRUCTURE: STRUCTURAL STEEL AND METAL STUD FRAMED ROOF, PAINTED ACRYLIC STUCCO FINISH @ FASCIA AND UNDERSIDE AND ALL EXPOSED EDGES WHERE OCCURS.
19. @DECK STRUCTURE: STEEL SECTION FASCIA, PAINTED.
20. @DECK STRUCTURE: METAL GRATING PLATFORM.
21. @DECK STRUCTURE: STEEL POSTS AND FLAT BAR RAILING/ GUARDRAIL SYSTEM, PAINTED.
22. @DECK STRUCTURE: STRUCTURAL STEEL COL., 8X8 (FORMED W/ (2) C-CHANNELS), PAINTED.
23. CONCRETE TILT-UP PANEL RECESSED BANDING FOR ACCENT PAINT OR FINISH, SEE LEGEND.

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REVISIONS

DATE	DESCRIPTION
2.6.2020	ISSUE FOR DEVELOPMENT APPLICATION
4.16.2020	REV PER PLANCHECK COMMENT ROUND 1

DATE	DATE
SCALE	AS SHOWN
PROJECT ID	2018.121

BUILDING ELEVATIONS

SHEET TITLE

A3.3

SHEET NO.



RNDERED IMAGE, VIEW FROM SOUTHEAST (REFERENCE)



VIEW FROM EAST



VIEW FROM SOUTH



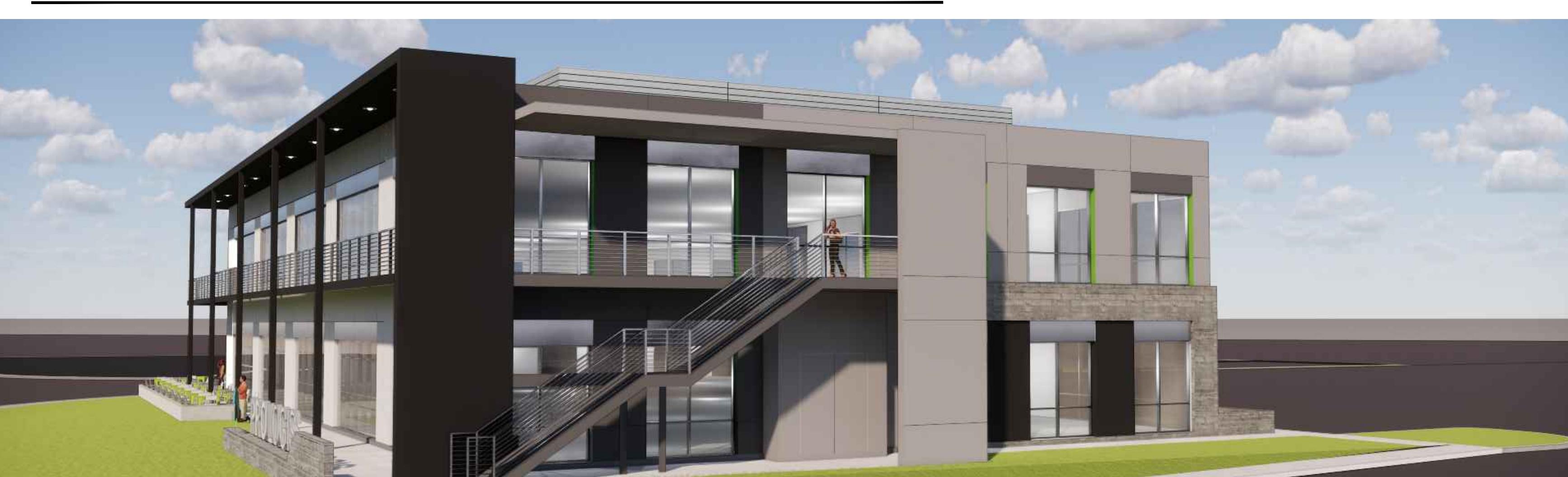
VIEW FROM NORTHWEST



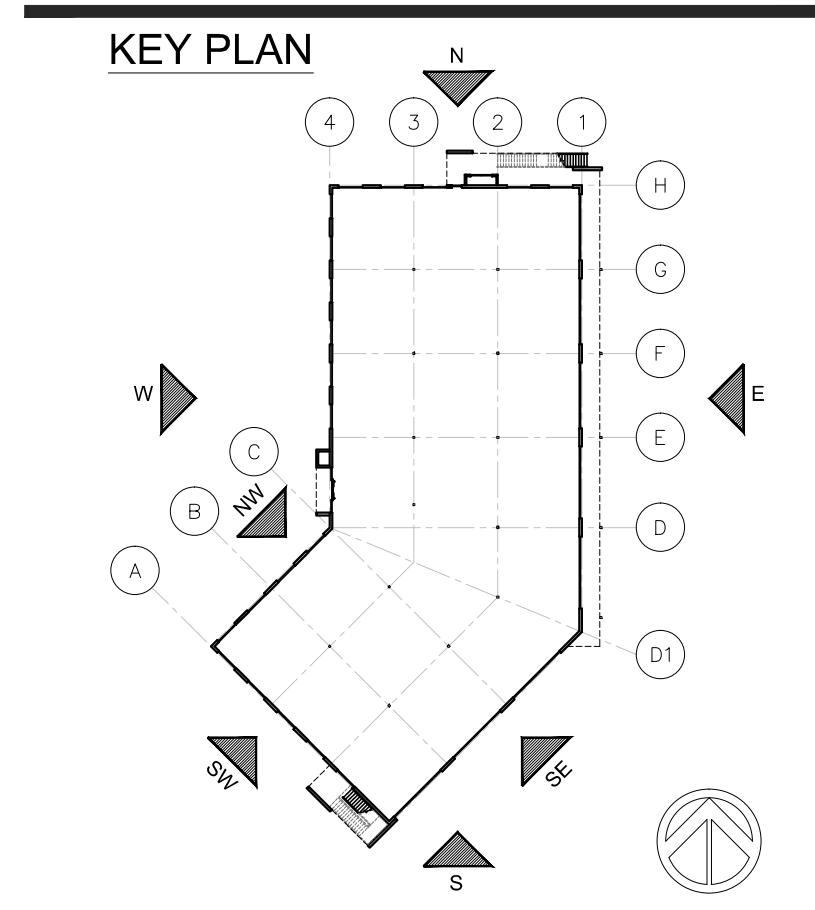
VIEW FROM SOUTHEAST



VIEW FROM WEST



VIEW FROM NORTH



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DATE	DATE
SCALE	
PROJECT ID	2018.121
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PERSPECTIVE IMAGES

SHEET TITLE

A10.0

SHEET NO.



EAST ELEVATION, OVERALL



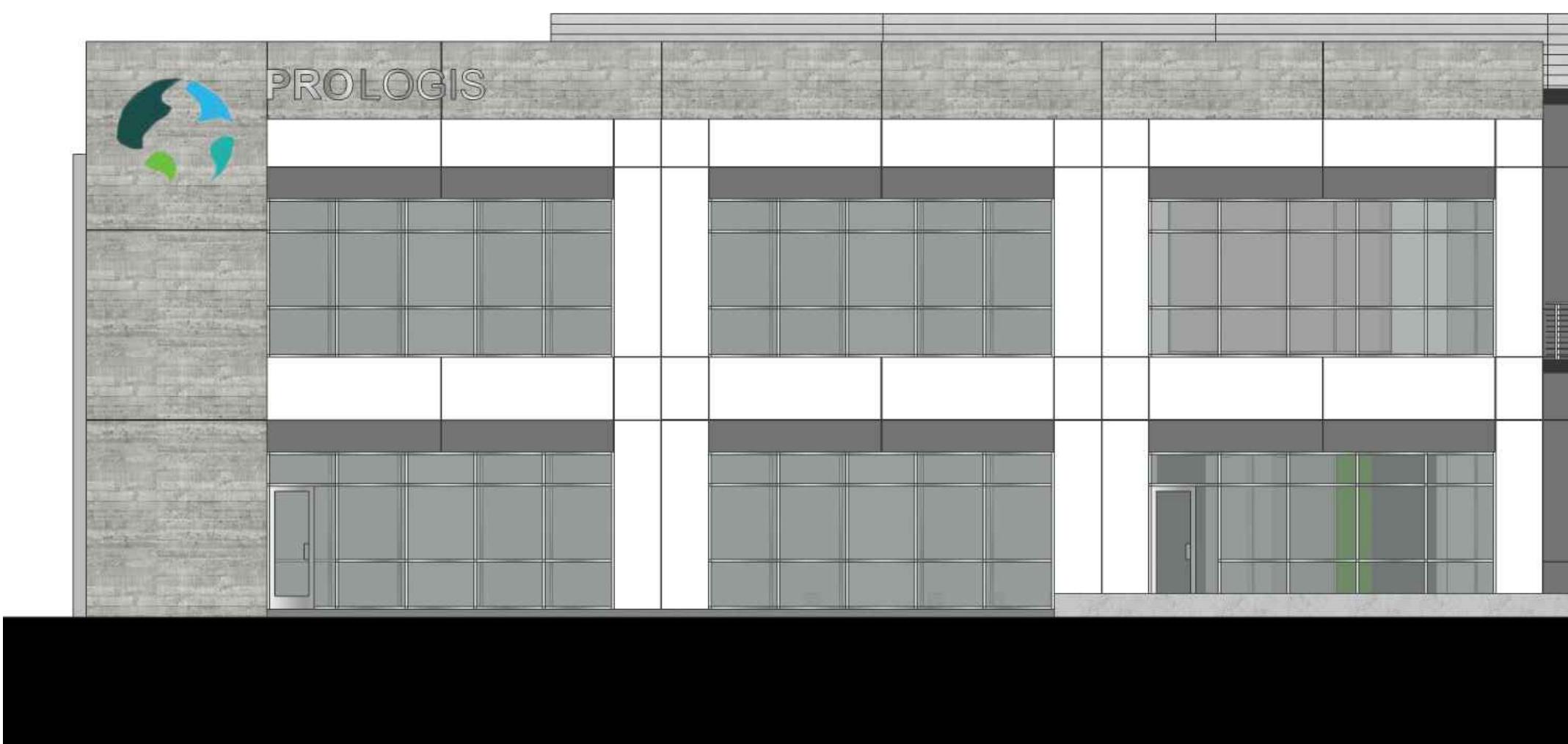
WEST ELEVATION, OVERALL



SOUTH ELEVATION, OVERALL



NORTH ELEVATION, OVERALL



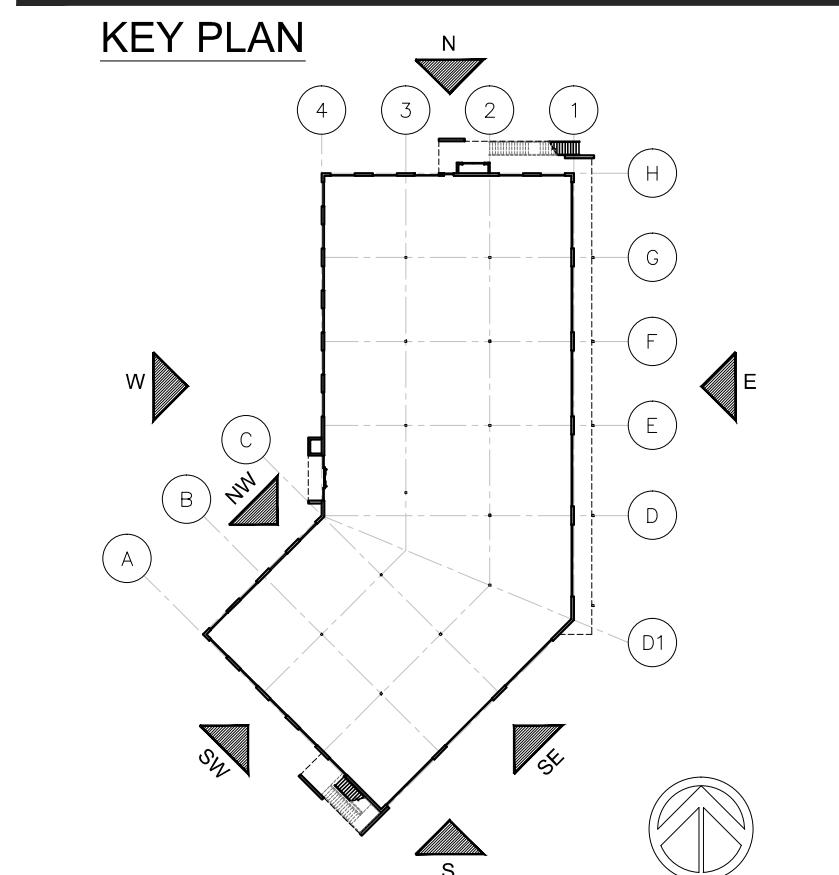
SOUTHEAST ELEVATION, PARTIAL



SOUTHWEST ELEVATION, PARTIAL



NORTHWEST ELEVATION, PARTIAL



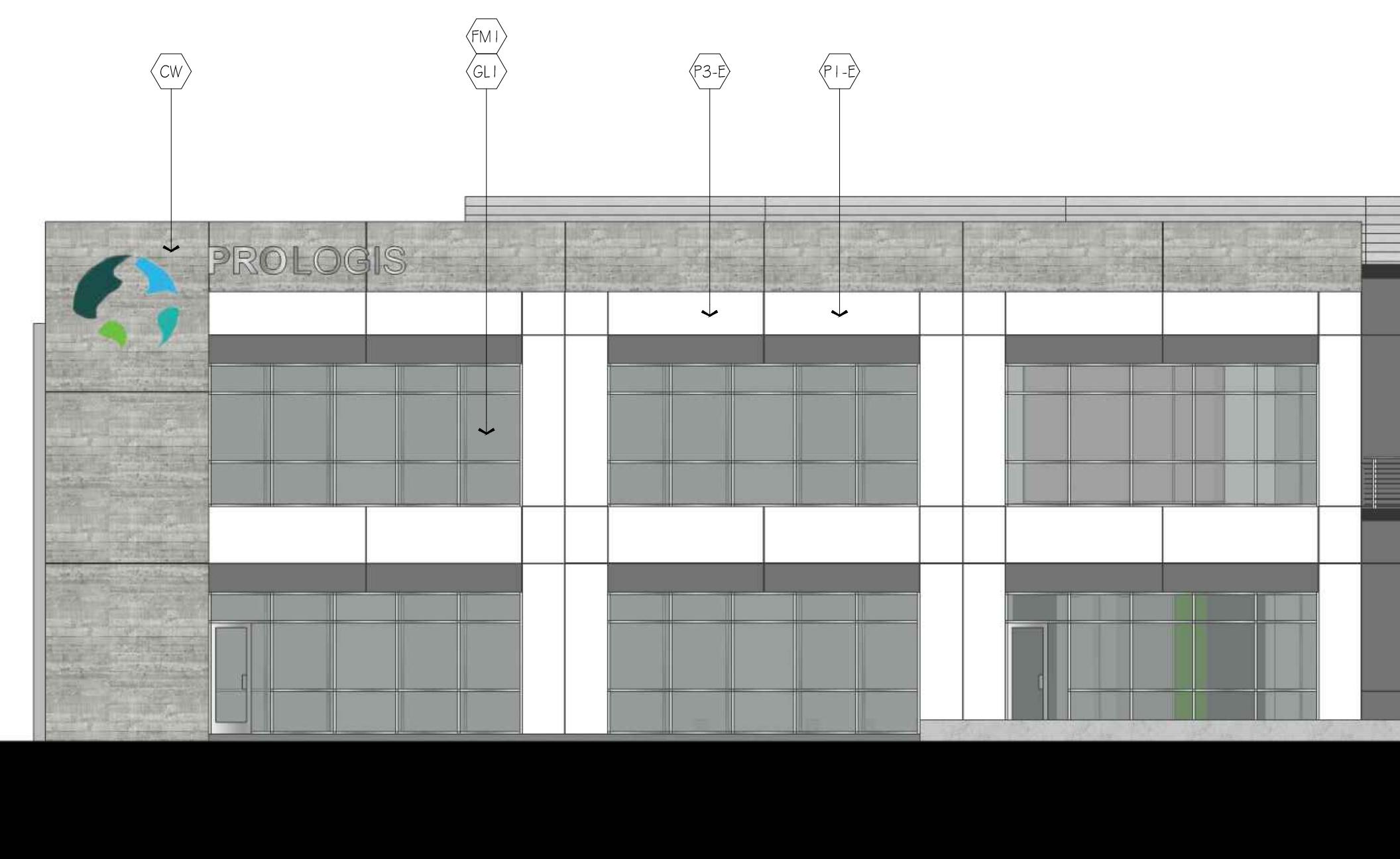
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REVISIONS
DATE 2.6.2020
DESCRIPTION ISSUE FOR DEVELOPMENT APPLICATION

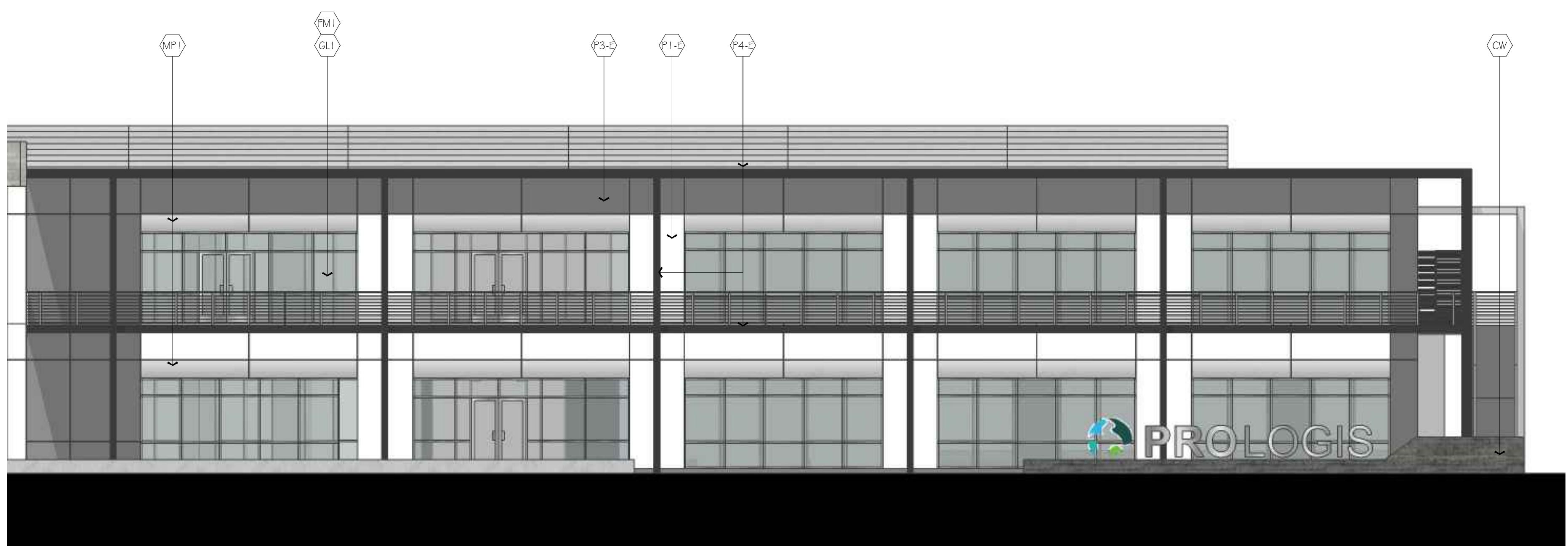
DATE
SCALE
PROJECT ID 2018.121
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COLORED BUILDING ELEVATIONS
SHEET TITLE

A10.1
SHEET NO.



SOUTHEAST ELEVATION, PARTIAL



EAST ELEVATION, PARTIAL



WEST ELEVATION, PARTIAL



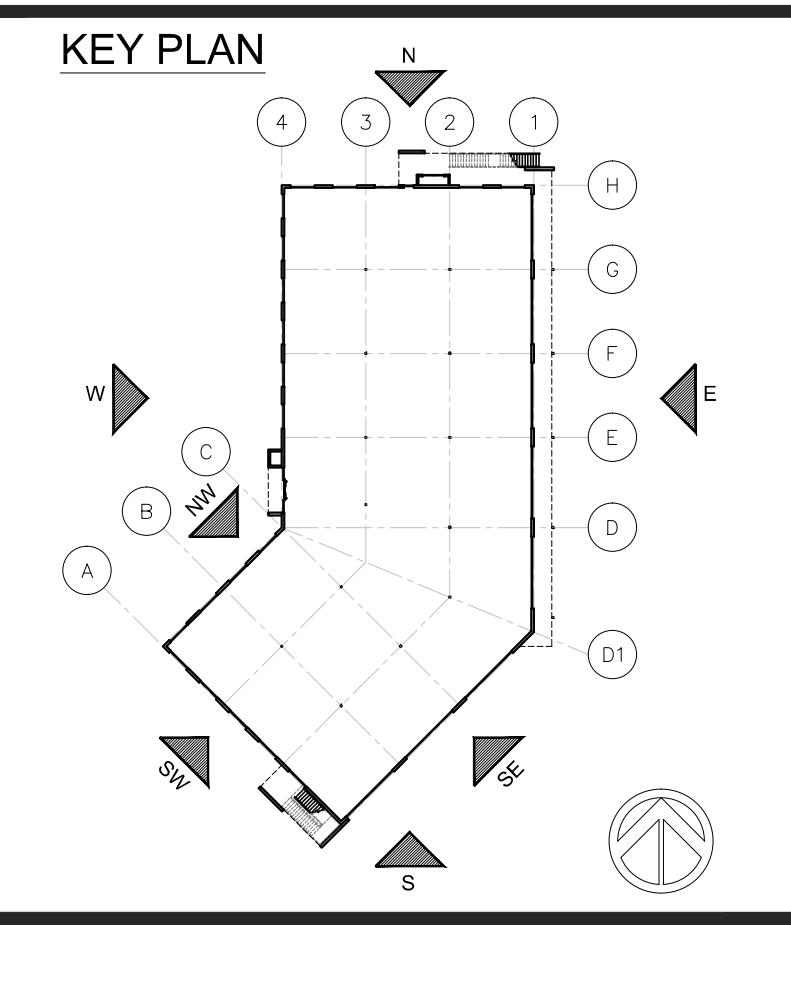
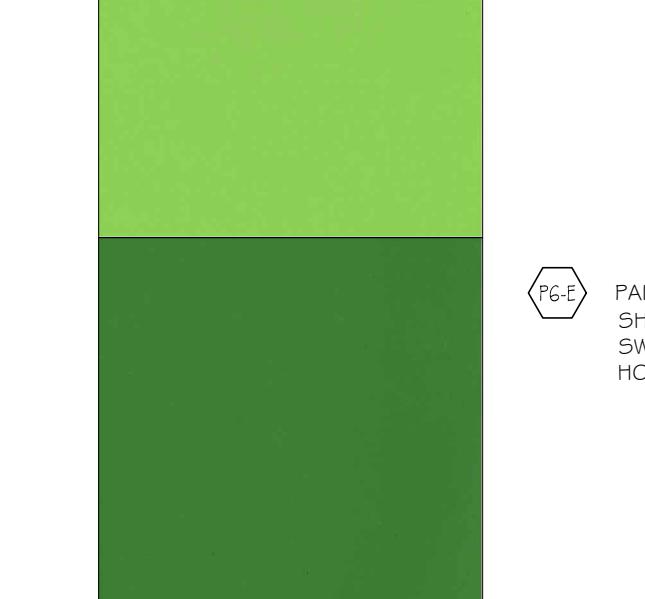
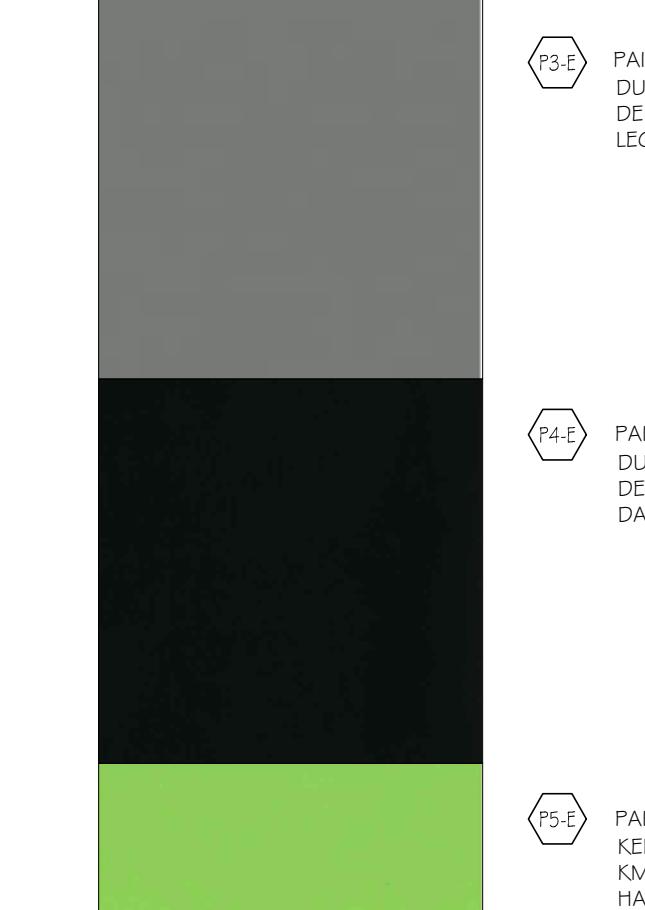
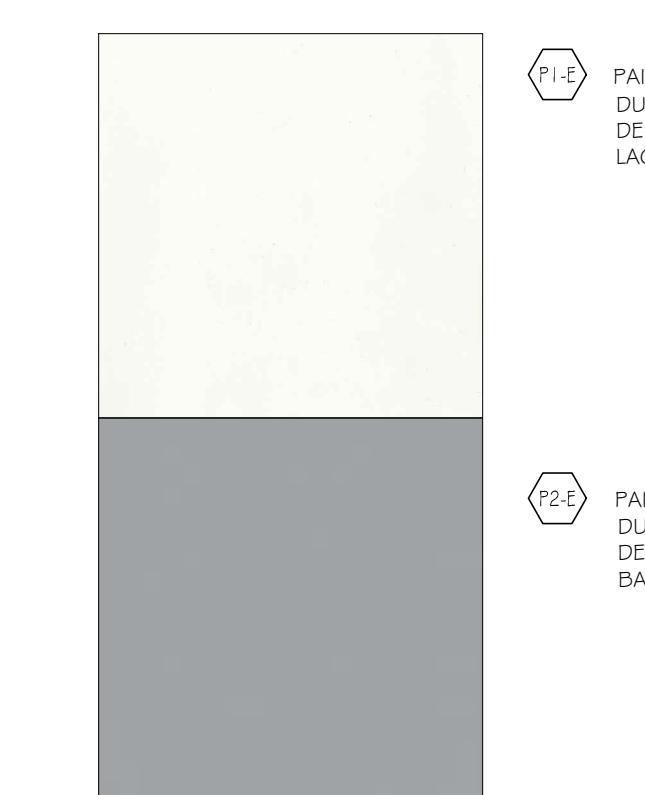
NORTHWEST ELEVATION, PARTIAL



SOUTHWEST ELEVATION, PARTIAL



NORTH ELEVATION, OVERALL



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SCALE

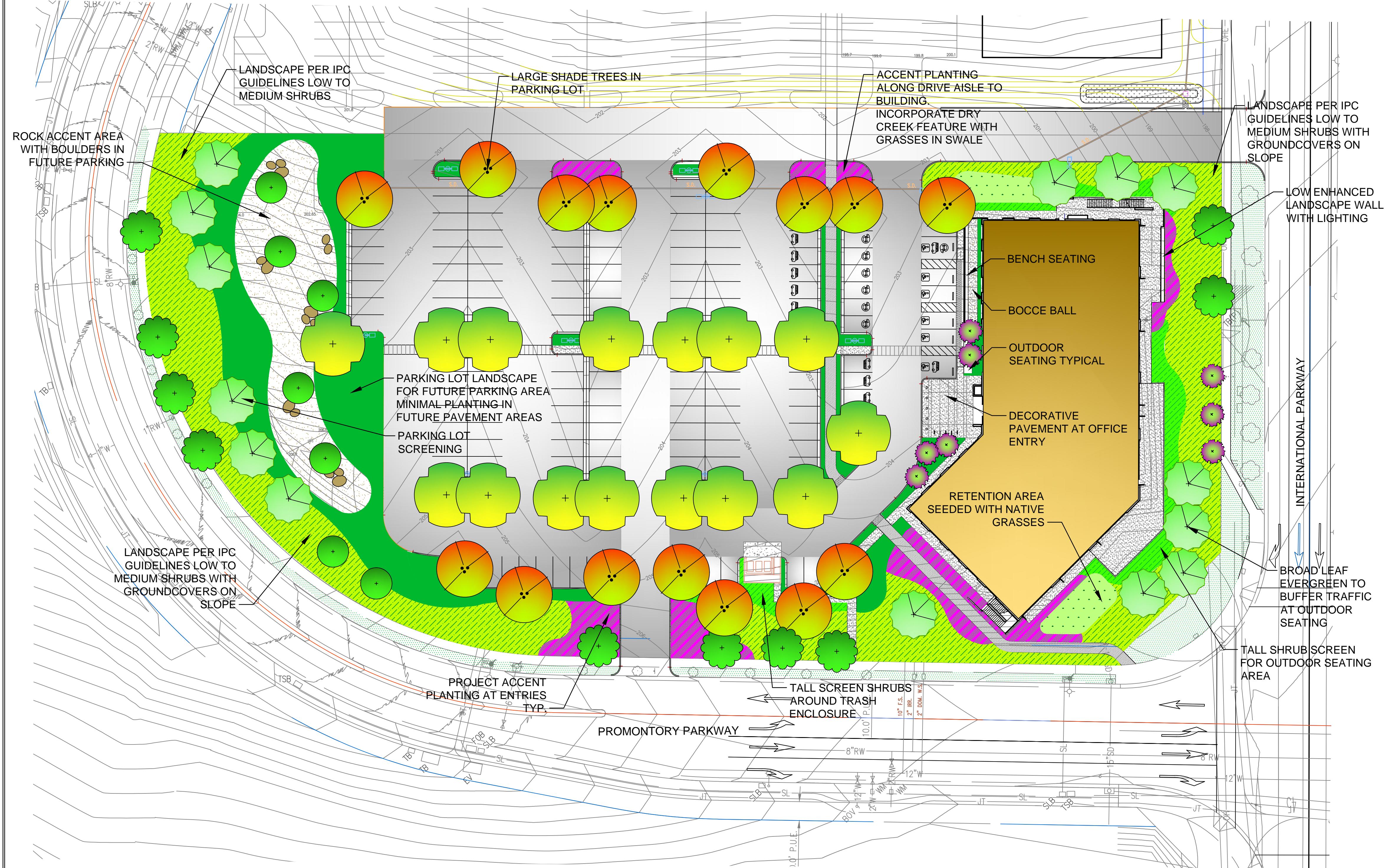
PROJECT ID

DRAWN BY

2018.121

MATERIAL BOARD
SHEET TITLE

A11.0
SHEET NO.



PRELIMINARY PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	WATER REGIME /ZONE	MATURE HABIT
TREES				
LAURUS N. 'SARATOGA'	SWEET BAY	24" BOX	L	25' X 20' STANDARD FORM
PISTACIA C. 'KEITH DAVEY'	CHINESE PISTACHE	24" BOX	L	50' X 30'
LAGERSTROEMIA 'DYNAMITE RED'	GRAPE MYRTLE	24" BOX	L	15' X 15'
ULMUS PARVIFLORA 'TRUE GREEN'	EVERGREEN ELM	24" BOX	M	50' X 30'
EVERGREEN SCREENING SHRUBS				
RHUS OVATA	SUGAR BUSH	5 GAL	VL	8' X 12' PLANT 8'-0" OC
CEANOTHUS 'RAY HARTMAN'	CEANOTHUS	5 GAL	L	6' X 8' PLANT 7'-0" OC
ARCTOSTAPHYLOS	MANZANITA	5 GAL	L	8' X 8' PLANT 9'-0" OC
HOWARD MCMINN'				
ARBTUS	DWARF STRAWBERRY	5 GAL	L	10' X 10' PLANT 8'-0" OC
DODONEA VISCOSA	HOP BUSH	5 GAL	L	8' X 10' PLANT 8'-0" OC
OLEA 'LITTLE OLLIE'	DW OLIVE	5 GAL	L	6' X 5' PLANT 6'-0" OC
GRASSES				
FESTUCA MAIREI	ATLAS FESCUE	1 GAL	L	2' X 3' PLANT 2'-6" OC
PENNISETUM ORIENTALE	FOUNTAIN GRASS	1 GAL	L	3' X 3' PLANT 3' OC
MUHLENBERGIA 'AUTUMN GLOW'	MUHLY GRASS	1 GAL	L	4' X 4' PLANT 3' OC
LOMANDRA LONGIFOLIA 'BREEZE'	BREEZE MAT RUSH	1 GAL	L	3' X 3' PLANT 2'-6" OC
PENNISETUM S. 'KARLEY ROSE'	FOUNTAIN GRASS	1 GAL	L	3' X 3' PLANT 3' OC
DROUGHT TOLERANT SHRUBS				
CEANOTHUS 'YANKEE POINT'	YANKEE POINT CEANOTHUS	5 GAL	L	4' X 6'
LANTANA M. 'DW. YELLOW'	DW. LANTANA	5 GAL	L	2' X 4' PLANT 3' OC
BACCHARIS P. 'CONSANGUINEA'	COYOTE BRUSH	5 GAL	L	2' X 6'
RHAMNUS C. 'MOUND SAN BRUNO'	COFFEEBERRY	5 GAL	L	5' X 6' PLANT 7' OC
NERIUM OLEANDER 'PETITE SALMON'	PETITE OLEANDER	5 GAL	L	5' X 5' PLANT 5'-0" OC
PHORMIUM 'MONROVIA RED'	NZ FLAX	5 GAL	L	4' X 4' PLANT 4' OC
ROSMARINUS O. 'TUSCAN BLUE'	UPRIGHT ROSEMARY	5 GAL	L	4' X 4' PLANT 4'-0" OC
CISTUS X 'SKANBERGII'	SKANBERG ROCKROSE	5 GAL	L	3' X 3' PLANT 2'-6" OC
SALVIA C. 'WINNEFRED GILMAN'	TEXAS RANGER	5 GAL	L	3' X 4'
ROSMARINUS O. 'COLLINGHAM'	ROSEMARY	1 GAL	L	2' X 6' PLANT 5' OC
COTONEASTER 'LOWFAST'	COTONEASTER	5 GAL	L	1' X 6' PLANT 6' OC
EREMOPHILA GLABRA CARNOSA	WINTER BLAZE	5 GAL	L	3' X 4'
ROSA 'MEIGALPIO'	RED DRIFT ROSE	5 GAL	L	3' X 3'
AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL	L	2' X 3' PLANT 3' OC
PERENNIALS				
DIETES V. 'VARIEGATA'	FORT NIGHT LILY	1 GAL	L	3' X 3'
HEMEROCALLIS - HYBRIDS	EVERGREEN DAYLILY	1 GAL	M	1' X 1.5'
TULBAGHIA V. 'TRICOLOR'	SOCIETY GARLIC	1 GAL	L	1.5' X 1.5'
ACHILLEA 'MOONSHINE'	YARROW	1 GAL	L	3' X 3'

Revision Record

Revision Number	Revision Description	Revision Date
DESIGN		12/02/2019
DEVELOPMENT		12/23/2019
0	ISSUE FOR PERMIT	

COMBINATION OF MULCHES TO BE UTILIZED IN FINAL DESIGN
 4" MINIMUM DEPTH OF DECOMPOSED GRANITE AS AVAILABLE FROM A LOCAL SOURCE.
 4" MINIMUM DEPTH OF 4'-8" HIDDEN CANYON FRACTURED TAN ROCK
 2'-4" DIA. FRACTURED ROCK BOULDERS ACCENTS. 5'-6" DIA. SPECIMEN BOULDERS
 BOULDER COLOR AND TEXTURE TO BLEND WITH GRAY ROCK MULCH.
 BROWN BARK MULCH-ALL PLANTERS NOT DESIGNED FOR ROCK, D.G.

WATER EFFICIENT LANDSCAPE REQUIREMENTS
 AUTOMATIC CONTROLLER W/ ET DATA, REPEAT CYCLING
 IRRIGATION ZONES PER PLANT WATER REQUIREMENTS
 HUNTER MINI-CLICK RAIN SENSOR/ SOIL MOISTURE SENSOR TO BE SPECIFIED
 SOIL AMENDMENTS TO BE INCORPORATED
 PLANTER SURFACE AREAS TO BE MULCHED
 WATER USAGE TO MEET STATE WATER EFFICIENT LANDSCAPE STANDARD (MWELO)

LANDSCAPE CALCULATIONS :

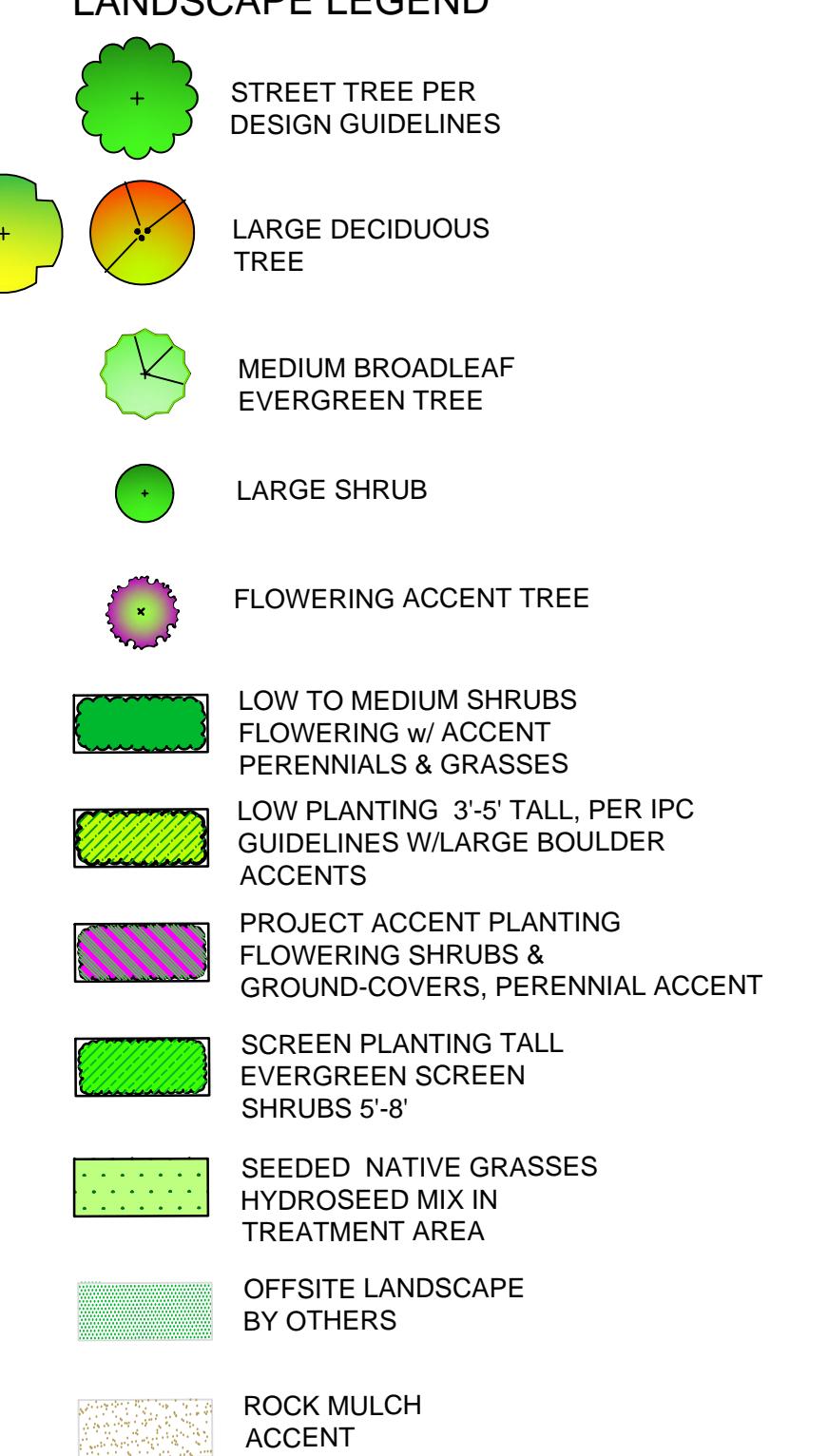
TOTAL PARKING AREA = 73,230 S.F.
 PARKING AREA INCLUDES THE FOLLOWING:
 1. PAVEMENT INCLUDING ISLANDS, STALLS, AISLES
 2. ADJACENT BUILDING FRONTAGE LANDSCAPE AREA INC. WALKS AND PERIMETER LANDSCAPE
 PARKING AREA LANDSCAPE REQUIRED = 14,648 S.F. (20% OF PARKING AREA)
 PARKING AREA LANDSCAPE PROVIDED = 14,710 S.F. (20%)
 NO. OF STANDING PLANTERS = 150
 TREES REQUIRED = 30 (1/3 SPACES)
 TREES PROVIDED = 31
 REQUIRED PARKING AREA SHADE = 29,296 S.F. (MIN. 40% OF PARKING AREA)
 PARKING AREA SHADE PROVIDED AT Maturity = 33,912 (46%)
 22 LARGE SHADE TREES @ 100" X 40" DIAMETER (1,256 S.F.) = 27,632 SF
 4 LARGE SHADE TREES @ 75" X 40" DIAMETER (942 S.F.) = 3,768 SF
 4 LARGE SHADE TREES @ 50" X 40" DIAMETER (428 S.F.) = 2,512 SF
 MINIMUM STREETSCAPE LANDSCAPE REQUIRED
 INTERNATIONAL PARKWAY - 30' LANDSCAPE SETBACK
 PROMONTORY PARKWAY - 25' LANDSCAPE SETBACK

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 30'-0"



LANDSCAPE LEGEND

PROLOGIS
OFFICE
BUILDING

IPC, TRACY, CA.

PROLOGIS

3353 GATEWAY BLVD
FREMONT, CA 94538
510.656.1900

https://www.prologis.com/

Date Project No.
2/5/20 Sheet Title

Sheet No. LC1.1

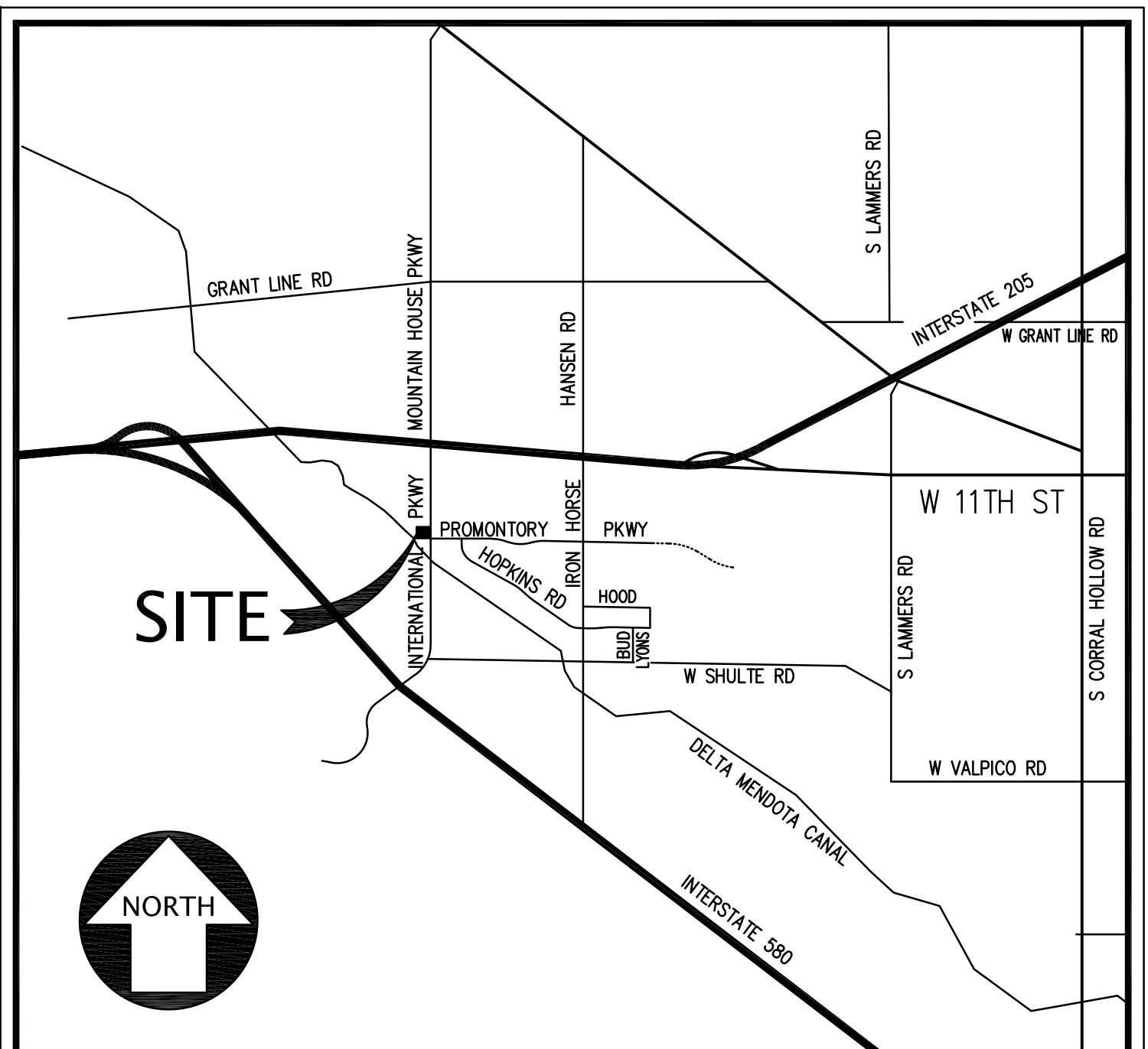
Released for Construction
Not Released for Construction

INTERNATIONAL PARK OF COMMERCE OFFICE BUILDING

PROLOGIS
INTERNATIONAL PARKWAY & PROMONTORY INTERSECTION
TRACY, CALIFORNIA

WDID # _____

EARTHWORK SUMMARY	
CUT:	58,000± CY (RAW)
FILL:	58,000± CY (RAW)
NOTE:	
THE EARTHWORK QUANTITIES LISTED ON THESE PLANS ARE STATED ONLY FOR CALCULATION OF CUT AND FILL AND BUILDING PERMIT FEES. THESE QUANTITIES DO NOT INCLUDE TRENCH OR FOOTING SPOILS, SHRINK OR SWELL FROM COMPACTING EFFORTS OR OTHER VARIABLES. THE ENGINEER MAKES NO REPRESENTATION THIS SITE WILL BALANCE. THE CONTRACTOR SHALL DETERMINE HIS OWN EARTHWORK QUANTITIES AND BASE HIS BID ACCORDINGLY.	



VICINITY MAP

N.T.S.

REQUIRED GEOTECHNICAL TESTING & OBSERVATIONS

- OBSERVATION AND TESTING DURING SOIL STABILIZATION ACTIVITIES OF PARKING AREAS.
- OBSERVATION AND TESTING DURING SOIL STABILIZATION ACTIVITIES OF BUILDING PAD AREAS.
- COMPACTATION TESTING AND OBSERVATION DURING EARTHWORK FILL OPERATIONS.
- FOOTING EXCAVATION OBSERVATION.
- COMPACTATION TESTING AND BACKFILL OBSERVATION OF NEW PROJECT SERVICING UNDERGROUND UTILITIES.
- COMPACTATION TESTING AND OBSERVATION DURING SUBGRADE PREPARATION AND AGGREGATE BASE PLACEMENT FOR AREAS OF EXTERIOR CONCRETE FLATWORK.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT AND POTHOLING ANY EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER THE NEW CONSTRUCTION PLANS AND EXISTING UTILITIES ARE IN CONFLICT. THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT KIER + WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



BEFORE EXCAVATING
CALL U.S.A.
48-HOURS BEFORE ALL
PLANNED WORK OPERATIONS



3353 Gateway Boulevard
Fremont, CA 94538
Phone: 510.661.4013
Fax: 510.661.4033

LEGEND

PROPOSED	EXISTING	PROPOSED	EXISTING
AD	BUILDING LINE	EAS	END ASPHALT SWALE
APP	CENTER LINE	ED	ELECTRIC BOX
ARV	CONCRETE CURB & GUTTER	EC	EDGE OF CONCRETE
ASR	CONTUR LINE	ECO	EDGE OF CONCRETE DOCK
BAS	DRIVEWAY	EDR	EDGE OF DRIVEWAY
BL	EDGE OF PAVEMENT	EP	EDGE OF PAVEMENT
BFD	EDGES OF PAVEMENT	EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
BL	EDGES OF PAVEMENT	EW	EMERGENCY WORK
BM	EDGES OF PAVEMENT	FB	FACE OF ASPHALT BERM
BOV	EDGES OF PAVEMENT	FC	FACE OF CURB
BW	EDGES OF PAVEMENT	FD	FOUNDATION CONNECTION
B/W	EDGES OF PAVEMENT	FD MON	FOUND MONUMENT
CB	EDGES OF PAVEMENT	FES	FLARED END SECTION
CL	EDGES OF PAVEMENT	FF	FLARE FLOR
CO	EDGES OF PAVEMENT	FI	FIRE HYDRANT
COTG	EDGES OF PAVEMENT	FL	FLOW LINE
CTB	EDGES OF PAVEMENT	FNC	FLAME
DL	EDGES OF PAVEMENT	FW	FLAME
DWY	EDGES OF PAVEMENT	GA	GUY ANCHOR
EAR	EDGES OF PAVEMENT	GD	GROUND DRAKE
AD	FAUCET	GLM	GAS LINE MARKER
APP	FAUCET	GM	GAS MARKER/METER
ARV	FAUCET	GRN	GROUND
ASR	FAUCET	GV	GAS VALVE
BAS	FAUCET	HDR	HEADER BOARD
BL	FAUCET	HOML	HOMEL
BFD	FAUCET	IB	IRRIGATION BOX
BL	FAUCET	IE	INGRESS/EGRESS
BM	FAUCET	IR	IRRIGATION
BOV	FAUCET	IRR	IRRIGATION LINE
BW	FAUCET	JAE	JOINT ACCESS EASEMENT
B/W	FAUCET	JP	JOINT PASS POLE
CB	FAUCET	LE	LANDSCAPE EASEMENT
CL	FAUCET	LT	LIGHT
CO	FAUCET	LP	LAW GUTTER
COTG	FAUCET	M-M	MONUMENT TO MONUMENT
CTB	FAUCET	O.R.	OFFICIAL RECORD
DL	FAUCET	PA	PARKING AREA
DWY	FAUCET	PGB	PRIVATE GAS & ELECTRIC BOX
EAR	FAUCET	PIE	PRIVATE INGRESS/EGRESS EASEMENT
AD	BLOWOFF VALVE	PIV	POST INDICATOR VALVE
APP	BLOWOFF VALVE	PL	POWER LINE
ARV	BLOWOFF VALVE	PP	POWER POLE
ASR	BLOWOFF VALVE	PSDE	PRIVATE STORM DRAIN EASEMENT
BAS	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
BL	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
BFD	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
BL	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
BM	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
BOV	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
BW	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
B/W	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
CB	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
CL	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
CO	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
COTG	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
CTB	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
DL	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
DWY	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
EAR	BLOWOFF VALVE	PSSE	PRIVATE SANITARY SEWER EASEMENT
AD	BACK OF ASPHALT PERM	SDCO	STORM DRAIN CLEAN OUT TO GRADE
APP	BACK OF ASPHALT PERM	SDG	STORM DRAIN JUNCTION BOX
ARV	BACK OF ASPHALT PERM	SDH	STORM DRAIN MANHOLE
ASR	BACK OF ASPHALT PERM	SO	SIDE OPENING
BAS	BACK OF ASPHALT PERM	SS	SANITARY SEWER
BL	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
BFD	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
BL	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
BM	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
BOV	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
BW	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
B/W	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
CB	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
CL	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
CO	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
COTG	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
CTB	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
DL	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
DWY	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
EAR	BACK OF ASPHALT PERM	SSM	SANITARY SEWER MANHOLE
AD	BACK OF WALL	SDC	STORM DRAIN
APP	BACK OF WALL	SDG	STORM DRAIN CLEAN OUT TO GRADE
ARV	BACK OF WALL	SDH	STORM DRAIN JUNCTION BOX
ASR	BACK OF WALL	SDM	STORM DRAIN MANHOLE
BAS	BACK OF WALL	SDM	STORM DRAIN MANHOLE
BL	BACK OF WALL	SDM	STORM DRAIN MANHOLE
BFD	BACK OF WALL	SDM	STORM DRAIN MANHOLE
BL	BACK OF WALL	SDM	STORM DRAIN MANHOLE
BM	BACK OF WALL	SDM	STORM DRAIN MANHOLE
BOV	BACK OF WALL	SDM	STORM DRAIN MANHOLE
BW	BACK OF WALL	SDM	STORM DRAIN MANHOLE
B/W	BACK OF WALL	SDM	STORM DRAIN MANHOLE
CB	BACK OF WALL	SDM	STORM DRAIN MANHOLE
CL	BACK OF WALL	SDM	STORM DRAIN MANHOLE
CO	BACK OF WALL	SDM	STORM DRAIN MANHOLE
COTG	BACK OF WALL	SDM	STORM DRAIN MANHOLE
CTB	BACK OF WALL	SDM	STORM DRAIN MANHOLE
DL	BACK OF WALL	SDM	STORM DRAIN MANHOLE
DWY	BACK OF WALL	SDM	STORM DRAIN MANHOLE
EAR	BACK OF WALL	SDM	STORM DRAIN MANHOLE
AD	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
APP	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
ARV	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
ASR	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
BAS	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
BL	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
BFD	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
BL	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
BM	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
BOV	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
BW	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
B/W	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
CB	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
CL	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
CO	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
COTG	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
CTB	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
DL	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
DWY	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
EAR	CABLE TENSION BOX	SDO	STORM DRAIN OPENING
AD	CATCH BASKET	SDO	STORM DRAIN OPENING
APP	CATCH BASKET	SDO	STORM DRAIN OPENING
ARV	CATCH BASKET	SDO	STORM DRAIN OPENING
ASR	CATCH BASKET	SDO	STORM DRAIN OPENING
BAS	CATCH BASKET	SDO	STORM DRAIN OPENING
BL	CATCH BASKET	SDO	STORM DRAIN OPENING
BFD	CATCH BASKET	SDO	STORM DRAIN OPENING
BL	CATCH BASKET	SDO	STORM DRAIN OPENING
BM	CATCH BASKET	SDO	STORM DRAIN OPENING
BOV	CATCH BASKET	SDO	STORM DRAIN OPENING
BW	CATCH BASKET	SDO	STORM DRAIN OPENING
B/W	CATCH BASKET	SDO	STORM DRAIN OPENING
CB	CATCH BASKET	SDO	STORM DRAIN OPENING
CL	CATCH BASKET	SDO	STORM DRAIN OPENING
CO	CATCH BASKET	SDO	STORM DRAIN OPENING
COTG	CATCH BASKET	SDO	STORM DRAIN OPENING
CTB	CATCH BASKET	SDO	STORM DRAIN OPENING
DL	CATCH BASKET	SDO	STORM DRAIN OPENING
DWY	CATCH BASKET	SDO	STORM DRAIN OPENING
EAR	CATCH BASKET	SDO	STORM DRAIN OPENING
AD	CLEAN OUT	SDO	STORM DRAIN OPENING
APP	CLEAN OUT	SDO	STORM DRAIN OPENING
ARV	CLEAN OUT	SDO	STORM DRAIN OPENING
ASR	CLEAN OUT	SDO	STORM DRAIN OPENING
BAS	CLEAN OUT	SDO	STORM DRAIN OPENING
BL	CLEAN OUT	SDO	STORM DRAIN OPENING
BFD	CLEAN OUT	SDO	STORM DRAIN OPENING
BL	CLEAN OUT	SDO	STORM DRAIN OPENING
BM	CLEAN OUT	SDO	STORM DRAIN OPENING
BOV	CLEAN OUT	SDO	STORM DRAIN OPENING
BW	CLEAN OUT	SDO	STORM DRAIN OPENING
B/W	CLEAN OUT	SDO	STORM DRAIN OPENING
CB	CLEAN OUT	SDO	STORM DRAIN OPENING
CL	CLEAN OUT	SDO	STORM DRAIN OPENING
CO	CLEAN OUT	SDO	STORM DRAIN OPENING
COTG	CLEAN OUT	SDO	STORM DRAIN OPENING
CTB	CLEAN OUT	SDO	STORM DRAIN OPENING
DL	CLEAN OUT	SDO</	

CITY OF TRACY STANDARD NOTES:

- ALL WORK SHALL CONFORM TO THE CITY OF TRACY SPECIFICATIONS AND STANDARD PLANS. THE WORK IS SUBJECT TO THE INSPECTION AND APPROVAL OF THE CITY ENGINEER, AND THE ENGINEERING DIVISION INSPECTORS. CONTACT ENGINEERING DIVISION CONSTRUCTION MANAGEMENT AT (209) 831-4600, TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF ANY WORK TO ARRANGE FOR INSPECTION.
- THESE PLANS HAVE BEEN CHECKED BY THE CITY OF TRACY FOR CONFORMANCE WITH THE CITY'S MINIMUM STANDARDS, BUT SUCH CHECKING BY THE CITY DOES NOT RELIEVE THE DEVELOPER FROM ITS RESPONSIBILITY TO FIND AND CORRECT ERRORS, OMISSIONS OR MAKE CHANGES REQUIRED BY CONDITIONS DISCOVERED IN THE FIELD DURING THE COURSE OF CONSTRUCTION. ANY REQUEST BY THE DEVELOPER TO CHANGE THESE PLANS SHALL BE SUBMITTED IN WRITING TO THE CITY ENGINEER.
- REFER TO THE FINAL MAP OF THIS TRACT FOR PROPERTY LINE DATA.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND SIGNED BY THE CITY ENGINEER PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
- ALL CONSTRUCTION STAKING FOR CURB, GUTTER, SIDEWALK, SANITARY SEWERS, STORM DRAINS, WATER LINES, FIRE HYDRANTS, AND ELECTROLYTIC, ETC., SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
- THE EXISTING UTILITIES ARE PLOTTED FROM AVAILABLE RECORDS. THE DEVELOPER SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THESE UTILITIES. THE DEVELOPER SHALL PERFORM NO EXCAVATION UNTIL ALL UTILITY AGENCIES AND THE CITY OF TRACY HAVE BEEN NOTIFIED AND HAVE BEEN GIVEN THE OPPORTUNITY TO MARK THEIR FACILITIES IN THE FIELD. NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
- HOUSE SERVICES, FIRE HYDRANT LATERALS, GAS AND POWER LINES, AND ALL OTHER UNDERGROUND UTILITIES SHALL BE INSTALLED PRIOR TO CURB, GUTTER, AND SIDEWALK CONSTRUCTION AND STREET PAVING.
- SURVEY MONUMENTS SHALL BE FURNISHED AND INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN. SUBMIT A LETTER OF CERTIFICATION FROM THE LICENSED LAND SURVEYOR CERTIFYING THAT ALL MONUMENTS ARE CENTERLINE MONUMENTS AND ARE INSTALLED AND TAGGED IN ACCORDANCE WITH THE APPROVED FINAL MAP PRIOR TO TRACT ACCEPTANCE.
- ALL LINES ABANDONED DURING CONSTRUCTION SHALL BE REMOVED.
- ALL SANITARY SEWER MAINS SHALL BE TELEVISION INSPECTED (TAPES SHALL BE GIVEN TO THE CITY OF TRACY), FLUSHED WITH AN APPROVED SEWER BALL AND PASS A LEAKAGE TEST IN CONFORMANCE WITH CITY OF TRACY STANDARD SPECIFICATIONS PRIOR TO ACCEPTANCE BY THE CITY. ALL TESTING SHALL BE PERFORMED AFTER THE COMPACTION OF STREET BASE ROCK AND PRIOR TO PAVING.
- ALL WATER LINES SHALL BE PRESSURE-TESTED, DISINFECTED, FLUSHED, AND TESTED FOR BACTERIA IN CONFORMANCE WITH THE CITY OF TRACY DESIGN STANDARDS AND STANDARD SPECIFICATIONS PRIOR TO FINAL ACCEPTANCE BY THE CITY.
- TESTING
 - ALL INDEPENDENT LABORATORY INSPECTION CALLED FOR BY THE CITY ENGINEER WILL BE PAID FOR BY THE DEVELOPER.
 - ROADWAY SUB-BASE, BASE AND TRENCH BACKFILL COMPACTION TESTING SHALL BE PERFORMED BY A SOILS LAB CONTRACTING WITH THE CITY OF TRACY.
 - TESTS FOR R-VALUES ARE REQUIRED PRIOR TO THE INSTALLATION OF BASE ROCK.
 - A MINIMUM OF 48 HOURS NOTICE IS REQUIRED TO SCHEDULE ALL SOILS TESTING SERVICES.
- STREET SIGNS SHALL BE INSTALLED AT ALL INTERSECTIONS PER CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS.
- TRAFFIC SIGNS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND MUTCD CALIFORNIA SUPPLEMENTAL AT LOCATIONS SPECIFIED BY CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS.
- STREET STRIPING SHALL INCLUDE STOP BARS, CENTERLINE STRIPING OR MARKERS, CROSSWALKS AND ALL OTHER MARKINGS REQUIRED BY THE CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS. STRIPING SHALL BE DONE WITH THERMOPLASTIC AND REFLECTIVE MARKERS. STRIPING ON MAJOR ROADS SHALL BE CAT-TRACKED AND APPROVED PRIOR TO FINAL INSTALLATION.
- ALL TRENCHES SHALL BE BACK-FILLED IN ACCORDANCE WITH CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS. COMPACTION SHALL BE ACHIEVED BY MECHANICAL MEANS. NO FLOODING, PONDING OR JETTING SHALL BE PERMITTED.
- WHEN WIDENING THE PAVEMENT ON AN EXISTING ROAD, THE EXISTING PAVEMENT SHALL BE CUT TO A NEAT LINE AND REMOVED BACK TO AN EXISTING ADEQUATE STRUCTURAL SECTION, OR TO THE ORIGINAL ROAD SECTION. AN EXPLORATORY TRENCH, OR POT HOLE, MAY BE REQUIRED TO DETERMINE THE LIMITS OF PAVEMENT REMOVAL.
- EXISTING CURB AND SIDEWALK WITHIN THE PROJECT LIMITS THAT ARE DAMAGED OR DISPLACED, EVEN THOUGH THEY WERE NOT TO BE REMOVED, SHALL BE REPAIRED OR REPLACED PER CITY STANDARD PLANS EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED BY THE DEVELOPER.
- AT THE INTERSECTION OF TWO STREETS, THE FULL STRUCTURAL SECTION OF THE MOST PROMINENT STREET SHALL BE CONTINUED THROUGH THE INTERSECTION.
- THE THICKNESS OF SUB-BASE, BASE AND SURFACING SHALL BE DETERMINED BY THE CITY ENGINEER BASED ON TRAFFIC INDEX AND SOIL TEST FOR "R" VALUE TAKEN AFTER ROUGH GRADING AT THE LEVEL OF THE STREET SUB-GRADE.
- ASBESTOS CEMENT PIPE (ACP) OR FITTINGS SHALL NOT BE USED WITHIN THE CITY OF TRACY.
- ALL STREET MONUMENTS, LOT CORNER, AND OTHER PERMANENT PIPE OR MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BEFORE ACCEPTANCE OF IMPROVEMENTS BY THE CITY OF TRACY.
- THE DEVELOPER SHALL CONTROL DUST AT ALL TIMES DURING CONSTRUCTION AS REQUIRED BY THE CITY OF TRACY.
- PRIOR TO TRENCHING FOR ANY SEWER, WATER, OR STORM DRAIN PIPE, THE DEVELOPER SHALL VERIFY, IN THE FIELD, THE SIZE AND LOCATION OF THE EXISTING PIPE AT THE POINT OF CONNECTION. ANY DEVIATION FROM THE PLANS SHALL BE RESOLVED BY THE DESIGN ENGINEER PRIOR TO TRENCHING.
- MANHOLES, VALVES, CLEANOUTS, ETC., SHALL BE BROUGHT TO FINISH GRADE BY THE DEVELOPER AFTER THE FINAL PAVING COURSE IS PLACED.
- THE INSTALLATION OF EROSION CONTROL FACILITIES SHALL BE COMPLETED PRIOR TO OCTOBER 15 AND SHALL BE MAINTAINED UNTIL APRIL 15. THESE FACILITIES SHALL CONTROL AND CONTAIN EROSION-CAUSED SILT DEPOSITS AND PROVIDE FOR SAFE DISCHARGE OF SILT-FREE STORM WATER INTO EXISTING STORM DRAIN FACILITIES. DESIGN OF THESE FACILITIES MUST BE UPDATED EACH YEAR PRIOR TO SEPTEMBER 30 AND SHALL BE APPROVED BY THE CITY ENGINEER.
- IF, DURING CONSTRUCTION, ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED, CONSTRUCTION IN THE VICINITY SHALL BE HALTED, AN ARCHAEOLOGIST CONSULTED, AND THE CITY COMMUNITY DEVELOPMENT DEPARTMENT NOTIFIED. IF, IN THE OPINION OF THE ARCHAEOLOGIST, THE REMAINS ARE SIGNIFICANT, MEASURES AS MAY BE REQUIRED BY THE COMMUNITY DEVELOPMENT DIRECTORS, SHALL BE TAKEN TO PROTECT THEM.
- WORK SHALL BE RESTRICTED TO WEEKDAYS BETWEEN 7:30AM AND 7:00PM AND WEEKENDS BETWEEN 9:00AM AND 5:00PM, WHICH REQUIRES ANY TRAFFIC LANE CLOSURES OR RESTRICTION OF THE TRAVELED WAY SHALL BE LIMITED TO 9:00AM TO 3:30PM IN THE COMMUTE DIRECTION AND 8:00 AM TO 4:30 PM IN THE NON-COMMUTE DIRECTION. COMMUTE DIRECTIONS SHALL BE AS DETERMINED BY THE CITY ENGINEER.
- THE OVERTIME COST FOR INSPECTING WORK REQUIRING CITY INSPECTION, PERFORMED BEFORE 8:00AM AND 5:00PM, SHALL BE PAID BY THE DEVELOPER BEFORE THE WORK IS AUTHORIZED.
- CONSTRUCTIONS EQUIPMENT WHICH OPERATES AT A NOISE LEVEL IN EXCESS OF 85 DECIBELS (MEASURED ON THE A-WEIGHTED SCALE DEFINED IN ANSI S-1.4) AT A DISTANCE OF 100 FEET FROM THE EQUIPMENT IS PROHIBITED.
- THE DEVELOPER SHALL KEEP EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 2 FEET BELOW BOTTOM OF EXCAVATIONS TO MAINTAIN UNDISTURBED STATE OF NATURAL SOILS AND ALLOW PLACEMENT OF ANY FILL TO SPECIFIED DENSITY. DISPOSAL OF WATER SHALL NOT DAMAGE PROPERTY OR CREATE A PUBLIC NUISANCE.
- DISPOSAL OF WATER INTO THE CITY SANITARY SEWER SYSTEM IS STRICTLY PROHIBITED. DISPOSAL OF WATER INTO EXISTING STORM DRAIN SYSTEM MUST BE APPROVED IN WRITING BY THE CITY ENGINEER.
- DEVELOPER SHALL MAINTAIN ALL STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION THROUGHOUT THE COURSE OF CONSTRUCTION. ALL SPILLS OF SOIL, ROCK, CONSTRUCTION DEBRIS, ETC., SHALL BE REMOVED IMMEDIATELY FROM PUBLICLY OWNED PROPERTY. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION. THE DEVELOPER SHALL PROVIDE FOR SAFE, UNOBSTRUCTED ACCESS TO PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.

GENERAL NOTES:

- ALL GRADING SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION PREPARED FOR THIS SITE BY KLEINFELDER, DATED OCTOBER 11, 2019, PROJECT NO. 20201076.001A.
- BENCHMARK: TOP OF A STEEL PIN IN A MONUMENT WELL AT THE INTERSECTION OF SCHULTE ROAD AND HANSEN ROAD, ELEVATION = 180.32 FEET (CITY OF TRACY NAVD 1988 DATUM).
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE CITY'S PUBLIC WORKS DEPARTMENT AT (209) 831-4600 AND REQUEST A PRE CONSTRUCTION CONFERENCE.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE DEVELOPMENT AND ENGINEERING SERVICE DEPT. PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS SIGNED BY THE CITY ENGINEER.
- ALL STREET IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORGANIC CODE, STATE STANDARD SPECIFICATIONS, AND CITY OR COUNTY STANDARD PLANS. THE IMPROVEMENTS ARE SUBJECT TO INSPECTION AND APPROVAL OF THE DEVELOPMENT AND ENGINEERING SERVICE DEPARTMENT.
- CONTACT PUBLIC WORKS CONSTRUCTION INSPECTION AT 209-831-4600 AT LEAST TWO WORKING DAYS PRIOR TO THE START OF ANY WORK TO ARRANGE FOR INSPECTION.
- NOTIFY UNDERGROUND SERVICE ALERT 800-227-2600 AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
- THE CONTRACTOR IS REQUIRED BY STATE LAW TO ACTIVELY RESEARCH WORK AREA PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REFERENCE MONUMENTS AND REPLACE THOSE DAMAGED OR REMOVED DURING CONSTRUCTION.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- NO TREES SHALL BE REMOVED UNLESS THEY ARE SHOWN AND NOTED TO BE REMOVED ON THE IMPROVEMENT PLANS. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED AND PROPERLY GRADED AND SEALED. THE DRIP LINE OF TREES TO BE SAVED WILL BE FENCED, AND NO GRADING SHALL TAKE PLACE WITHIN THIS FENCED AREA.
- THE THICKNESS OF SUBBASE, BASE, AND SURFACING SHALL BE BASED ON TRAFFIC INDEX AND SOIL TEST FOR "R" VALUE = 5.
- ALL LINES ABANDONED DURING CONSTRUCTION SHALL BE REMOVED (UNLESS OTHERWISE NOTED AND APPROVED BY CITY OF TRACY INSPECTOR).
- CONTRACTOR SHALL CONTROL DUST AT ALL TIMES DURING CONSTRUCTION AS REQUIRED BY CITY OF TRACY.
- MANHOLES, VALVES, CLEANOUTS ETC., SHALL BE BROUGHT TO FINISH GRADE PER TRACY STD. 114 AFTER THE FINAL PAVING COURSE IS PLACED. PER TRACY STD. 301 MANHOLES SHALL HAVE GRADE RINGS OF 18" MIN TO 24" MAXIMUM.
- RECORDING EXISTING CONDITIONS - EXISTING CONDITIONS THROUGHOUT THE PROJECT SITE THAT ARE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY OR CITY MAINTAINED EASMENTS SHALL BE PHOTOGRAPHED AND VIDEOTAPED BY THE CONTRACTOR BEFORE STARTING CONSTRUCTION. RECORDING SHALL INCLUDE AND SHOW EVERY DETAIL OF EXISTING IMPROVEMENTS, INCLUDING THE CURRENT CONDITION OF THE CURB, GUTTER, SIDEWALK, SIGNS, LANDSCAPING, STREETLIGHTS, STRUCTURES NEAR THE PROJECT INCLUDING THE FACE OF BUILDINGS, CANOPIES, SHADES, FENCES, AND ANY OTHER FEATURES WITHIN THE LIMITS OF WORK. PHOTOS AND VIDEOTAPE SHALL BE DELIVERED TO THE ENGINEER.
- PRIOR TO CONSTRUCTION ACTIVITY AND WITHIN 30 DAYS OF PROJECT AWARD, ALL SURVEY MONUMENTS THAT MAY POTENTIALLY BE DISTURBED DURING CONSTRUCTION MUST BE LOCATED AND REFERENCED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD OR RECORD OF SURVEY MUST BE FILED WITH THE COUNTY SURVEYOR. ANY SURVEY MONUMENTS DISTURBED DURING THE COURSE OF CONSTRUCTION MUST BE REESTABLISHED BY A LICENSED LAND SURVEYOR, A NEW MONUMENT SET, AND ANOTHER CORNER RECORD OR RECORD OF SURVEY FILED WITH THE COUNTY SURVEYOR (SURVEYORS' ACT SECTION 8771). CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT AND RECORDING OF SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH CITY OF TRACY OR SAN JUAN COUNTY STANDARD PLANS AND SPECIFICATIONS, WHICHEVER IS APPLICABLE.
- RECORDING EXISTING CONDITIONS - EXISTING CONDITIONS THROUGHOUT THE PROJECT SITE THAT ARE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY OR CITY MAINTAINED EASMENTS SHALL BE PHOTOGRAPHED AND VIDEOTAPED BY THE CONTRACTOR BEFORE STARTING CONSTRUCTION. RECORDING SHALL INCLUDE AND SHOW EVERY DETAIL OF EXISTING IMPROVEMENTS, INCLUDING THE CURRENT CONDITION OF THE CURB, GUTTER, SIDEWALK, SIGNS, LANDSCAPING, STREETLIGHTS, STRUCTURES NEAR THE PROJECT INCLUDING THE FACE OF BUILDINGS, CANOPIES, SHADES, FENCES, AND ANY OTHER FEATURES WITHIN THE LIMITS OF WORK. PHOTOS AND VIDEOTAPE SHALL BE DELIVERED TO THE ENGINEER.
- WHEN WIDENING THE PAVEMENT ON AN EXISTING ROAD, THE EXISTING PAVEMENT SHALL BE CUT TO A NEAT LINE AND REMOVED BACK TO AN EXISTING ADEQUATE STRUCTURAL SECTION, OR TO THE ORIGINAL ROAD SECTION. AN EXPLORATORY TRENCH, OR POT HOLE, MAY BE REQUIRED TO DETERMINE THE LIMITS OF PAVEMENT REMOVAL.
- EXISTING CURB AND SIDEWALK WITHIN THE PROJECT LIMITS THAT ARE DAMAGED OR DISPLACED, EVEN THOUGH THEY WERE NOT TO BE REMOVED, SHALL BE REPAIRED OR REPLACED PER CITY STANDARD PLANS EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED BY THE DEVELOPER.
- AT THE INTERSECTION OF TWO STREETS, THE FULL STRUCTURAL SECTION OF THE MOST PROMINENT STREET SHALL BE CONTINUED THROUGH THE INTERSECTION.
- THE THICKNESS OF SUB-BASE, BASE AND SURFACING SHALL BE DETERMINED BY THE CITY ENGINEER BASED ON TRAFFIC INDEX AND SOIL TEST FOR "R" VALUE TAKEN AFTER ROUGH GRADING AT THE LEVEL OF THE STREET SUB-GRADE.
- ASBESTOS CEMENT PIPE (ACP) OR FITTINGS SHALL NOT BE USED WITHIN THE CITY OF TRACY.
- ALL STREET MONUMENTS, LOT CORNER, AND OTHER PERMANENT PIPE OR MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BEFORE ACCEPTANCE OF IMPROVEMENTS BY THE CITY OF TRACY.
- THE DEVELOPER SHALL CONTROL DUST AT ALL TIMES DURING CONSTRUCTION AS REQUIRED BY THE CITY OF TRACY.
- PRIOR TO TRENCHING FOR ANY SEWER, WATER, OR STORM DRAIN PIPE, THE DEVELOPER SHALL VERIFY, IN THE FIELD, THE SIZE AND LOCATION OF THE EXISTING PIPE AT THE POINT OF CONNECTION. ANY DEVIATION FROM THE PLANS SHALL BE RESOLVED BY THE DESIGN ENGINEER PRIOR TO TRENCHING.
- MANHOLES, VALVES, CLEANOUTS, ETC., SHALL BE BROUGHT TO FINISH GRADE BY THE DEVELOPER AFTER THE FINAL PAVING COURSE IS PLACED.
- THE INSTALLATION OF EROSION CONTROL FACILITIES SHALL BE COMPLETED PRIOR TO OCTOBER 15 AND SHALL BE MAINTAINED UNTIL APRIL 15. THESE FACILITIES SHALL CONTROL AND CONTAIN EROSION-CAUSED SILT DEPOSITS AND PROVIDE FOR SAFE DISCHARGE OF SILT-FREE STORM WATER INTO EXISTING STORM DRAIN FACILITIES. DESIGN OF THESE FACILITIES MUST BE UPDATED EACH YEAR PRIOR TO SEPTEMBER 30 AND SHALL BE APPROVED BY THE CITY ENGINEER.
- IF, DURING CONSTRUCTION, ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED, CONSTRUCTION IN THE VICINITY SHALL BE HALTED, AN ARCHAEOLOGIST CONSULTED, AND THE CITY COMMUNITY DEVELOPMENT DEPARTMENT NOTIFIED. IF, IN THE OPINION OF THE ARCHAEOLOGIST, THE REMAINS ARE SIGNIFICANT, MEASURES AS MAY BE REQUIRED BY THE COMMUNITY DEVELOPMENT DIRECTORS, SHALL BE TAKEN TO PROTECT THEM.
- WORK SHALL BE RESTRICTED TO WEEKDAYS BETWEEN 7:30AM AND 7:00PM AND WEEKENDS BETWEEN 9:00AM AND 5:00PM, WHICH REQUIRES ANY TRAFFIC LANE CLOSURES OR RESTRICTION OF THE TRAVELED WAY SHALL BE LIMITED TO 9:00AM TO 3:30PM IN THE COMMUTE DIRECTION AND 8:00 AM TO 4:30 PM IN THE NON-COMMUTE DIRECTION. COMMUTE DIRECTIONS SHALL BE AS DETERMINED BY THE CITY ENGINEER.
- THE OVERTIME COST FOR INSPECTING WORK REQUIRING CITY INSPECTION, PERFORMED BEFORE 8:00AM AND 5:00PM, SHALL BE PAID BY THE DEVELOPER BEFORE THE WORK IS AUTHORIZED.
- CONSTRUCTIONS EQUIPMENT WHICH OPERATES AT A NOISE LEVEL IN EXCESS OF 85 DECIBELS (MEASURED ON THE A-WEIGHTED SCALE DEFINED IN ANSI S-1.4) AT A DISTANCE OF 100 FEET FROM THE EQUIPMENT IS PROHIBITED.
- THE DEVELOPER SHALL KEEP EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 2 FEET BELOW BOTTOM OF EXCAVATIONS TO MAINTAIN UNDISTURBED STATE OF NATURAL SOILS AND ALLOW PLACEMENT OF ANY FILL TO SPECIFIED DENSITY. DISPOSAL OF WATER SHALL NOT DAMAGE PROPERTY OR CREATE A PUBLIC NUISANCE.
- DISPOSAL OF WATER INTO THE CITY SANITARY SEWER SYSTEM IS STRICTLY PROHIBITED. DISPOSAL OF WATER INTO EXISTING STORM DRAIN SYSTEM MUST BE APPROVED IN WRITING BY THE CITY ENGINEER.
- DEVELOPER SHALL MAINTAIN ALL STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION THROUGHOUT THE COURSE OF CONSTRUCTION. ALL SPILLS OF SOIL, ROCK, CONSTRUCTION DEBRIS, ETC., SHALL BE REMOVED IMMEDIATELY FROM PUBLICLY OWNED PROPERTY. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION. THE DEVELOPER SHALL PROVIDE FOR SAFE, UNOBSTRUCTED ACCESS TO PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.

GRADING NOTES

- ALL GRADING SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION PREPARED FOR THIS SITE BY KLEINFELDER, DATED OCTOBER 11, 2019, PROJECT NO. 20201076.001A.
- CONTRACTOR SHALL DETERMINE HIS OWN EARTH QUANTITIES AND BASE HIS BID ACCORDINGLY.
- TOP OF CURB ELEVATION IS 0.5' ABOVE THE A.C. PAVING AND SPOT ELEVATIONS ARE TO FINISHED SURFACE (UNLESS OTHERWISE NOTED).
- COMPACTION TO BE DETERMINED USING ASTM D1557, LATEST EDITION LABORATORY TEST PROCEDURE
- ALL STORM DRAIN PIPE 12" OR SMALLER IN DIAMETER SHALL BE SDR 35 PVC, CLASS III RCP OR BLUE SEAL HDPE AS MANUFACTURED BY HANCOR WITH WATERTIGHT JOINTS MEETING ASTM F477 AND ASTM D3212. (UNLESS OTHERWISE NOTED)
- ALL STORM DRAIN PIPE 15"-24" SHALL BE CLASS III RCP OR BLUE SEAL HDPE AS MANUFACTURED BY HANCOR WITH WATERTIGHT JOINTS MEETING ASTM F477 AND ASTM D3212. (UNLESS OTHERWISE NOTED)
- ALL STORM DRAIN PIPE GREATER THAN 24" IN DIAMETER SHALL BE CLASS III RCP OR APPROVED EQUAL. (UNLESS OTHERWISE NOTED) IF CONTRACTOR WISHES TO SUBSTITUTE ANY OF THE ABOVE PIPE MATERIALS THEY MUST PROVIDE THE ENGINEER WITH CALCULATIONS SHOWING THE SUBSTITUTED MATERIAL WILL MEET OR EXCEED THE PERFORMANCE OF SPECIFIED MATERIAL. CALCULATIONS SHALL BE STAMPED AND SIGNED BY A REGISTERED ENGINEER, NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE (DIP).
- ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO, MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC VAULTS, AND PULL BOXES, THAT LIE WITHIN THE PUBLIC RIGHT-OF-WAY EASEMENTS OR AREAS AFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY FOR WHICH THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES AND DEPTHS OF SUCH UNDERGROUND UTILITIES. HOWEVER, THE CONTRACTOR HAS NOT ASSUMED RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THEIR DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT ARE NOT SHOWN ON THESE DRAWINGS.
- CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW, BY THE NEAREST FACILITY BEING EXCAVATED. THE CONTRACTOR SHALL NOT CROSSED ANY EXISTING UTILITY LINES UNLESS THEY ARE TO BE REMOVED. CONTRACTOR SHALL NOT STRIKE NOR TRENCH OR COMMENCE UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
- THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY GRADE, IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR THE TRENCHING OR PLACEMENT OF CONCRETE.
- ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- ALL WORK, ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO THE CITY OF TRACY STANDARDS AND REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN LATEST CITY STANDARD DETAILS AND SPECIFICATIONS FROM THE CITY OF TRACY.
- KLEINFELDER SHALL BE RETAINED FOR REVIEW OF PLANS, SPECIFICATIONS, FIELD OBSERVATIONS, AND TESTING AS OUTLINED BY THE GEOTECHNICAL REPORT.

EROSION & SEDIMENT CONTROL MEASURES

- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVE FOR THE DURATION OF CONSTRUCTION.
- AFTER THE UNDERGROUND STORM DRAIN SYSTEM IS INSTALLED, THE CATCH BASINS WILL BE INSTALLED (AS SOON AS PRACTICAL) AND ROCK BARRIER BAGS WILL BE PLACED AROUND THOSE CATCH BASINS AS SHOWN ON THIS PLAN UNTIL THIS SITE IS PAVED.
- SHOULD THE ON-SITE STORM DRAINS NOT BE INSTALLED COMPLETELY BY OCTOBER 15, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS AT THE EXISTING STORM PIPES STUBBED TO THE SITE.
- PERSON RESPONSIBLE FOR IMPLEMENTATION OF EROSION AND SEDIMENTATION PLAN.
- THE CONTRACTOR SHALL PLACE 3"-6" COARSE AGGREGATE AS A GRAVEL ROADWAY (12" MIN. THICK FOR THE FULL WIDTH AND 50 FEET LONG) AT EACH D/W ENTRANCE TO SITE, ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THAT SAME DAY AND AS REQUIRED BY THE CITY OF TRACY.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE QSP.
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUN-OFF TO ANY STORM DRAINAGE SYSTEM.
- THE PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO THE SEPTEMBER FIRST OF EACH SUBSEQUENT YEAR UNTIL THE SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
- ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
- SEDIMENT BASINS SHALL BE CLEANED OUT WHENEVER SEDIMENT REACHES THE SEDIMENT CLEANOUT LEVEL INDICATED ON THE PLANS.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE QSP.
- ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVERTANK FLOW.
- INLETS WHICH ARE NOT USED IN CONJUNCTION WITH ROCK BARRIER BAGS OR SEDIMENT BASINS SHOULD BE COVERED, OR OTHERWISE ADJUSTED TO PREVENT INFLOW, UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO ANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF THE ENGINEER.
- DETAILS FOR THE CONSTRUCTION OF FACILITIES ARE SHOWN ON THESE PLANS.
- MASS GRADED AREAS SHALL HAVE A SOIL BINDER APPLIED UPON COMPLETION OF GRADING AS SPECIFIED IN THE SWPPP.
- A SWPPP HAS BEEN PREPARED SPECIFICALLY FOR THIS PROJECT. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING SWPPP INCLUDING QSP SERVICES.
- CONTRACTOR SHALL HYDROSEED ALL DISTURBED AREAS NOT RECEIVING FINAL LANDSCAPING WITH A NATIVE NON-IRRIGATED MIX. USE VALLEY HABITAT - TRACY MIX BY PACIFIC COAST SEED.

UTILITY NOTES

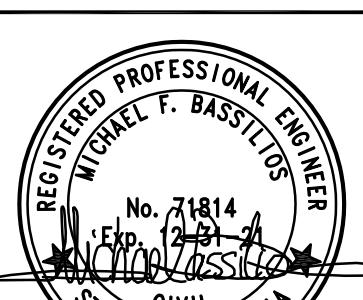
- BACKFILLING AND COMPACTION FOR ALL TRENCHES SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
- CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO ANY SITE WORK. ALL WORK FOR STORM DRAIN AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
- ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO THE CITY OF TRACY STANDARDS AND REQUIREMENTS.
- GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND UTILITIES, PROVIDE 6" MINIMUM CLEARANCE BETWEEN PIPES CROSSING ELECTRICAL LINES VERTICALLY AND 12" MINIMUM CLEARANCE BETWEEN PIPES RUNNING PARALLEL TO ELECTRICAL LINES HORIZONTALLY.
- CONTRACTOR SHALL COORDINATE WITH MPP PLANS FOR EXACT LOCATION OF ROOF DRAINS AND RAIN WATER LEADERS
- FOR UTILITY MATERIALS AND TYPES, SEE THE PROJECT SPECIFICATIONS.
- WATER LINES SHALL BE 12" MINIMUM ABOVE SANITARY SEWER LINE AT ALL CROSSINGS.
- MINIMUM COVER FOR WATER LINES IS 3.0 FEET.
- MINIMUM COVER FOR FIRE SERVICE LINES IS 4.0 FEET.
- GRAVITY SANITARY SEWER SHALL BE PVC SDR

GRADING AND DRAINAGE PLAN I.P.C. - OFFICE BUILDING PROLOGS

KIER+WRIGHT
Phone (925) 245-8788
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2850 Collier Canyon Road
Livermore, California 94551

NO.	REVISION	BY NO.
1	CITY SUBMITTAL	02/10/2020
2	PLANNING RE-SUBMITTAL	04/16/2020



CALIFORNIA

PAVEMENT LEGEND

	LIGHT PAVEMENT (T.I.=5.0)
	HEAVY PAVEMENT (T.I.=7.0)
	4" AC OVER 15.5" CLASS II A.B.
	4" AC OVER 4" CLASS II AB OVER 12" LIME TREATED SOIL
	CONCRETE TRUCK PAVEMENT: 6" CONCRETE (4,000 PSI) WITH #3 BARS 18" ON CENTER EACH WAY, 3" CLEAR FROM EDGES, OVER 4" CLASS II AB OVER 12" LIME TREATED SUBGRADE. PROVIDE JOINTS PER DETAIL 6 ON SHEET C.9.2
	CONCRETE SIDEWALK: 4" PCC WITH #3 BARS 18" ON CENTER EACH WAY OVER 4" CLASS II AB OVER 12" LIME TREATED SOIL. SEE ARCHITECTURAL PLANS FOR SCORING AND FINISHING DETAILS
	STORMWATER TREATMENT BIO-RETENTION PLANTER

FUTURE BUILDING

F.F. 198.0

S.D.J.B. #07
CONNECT TO 15" S.D.
PER PHASE 16 PLANS
IE 186.00 12" IN
IE 184.20 15" OUT

(N.I.C.)
S=0.0115
CURB INLET (N.I.C.)
PER PHASE 10 PLANS
IE 183.84 15" IN

SECTION

15" 15"

S.D.C.B. #06

RE 197.7

IE 194.30 6" PERF.

IE 194.76 12"

SECTION

15" 15"

S.D.C.B. #04

RE 201.5

IE 195.95 6" PERF.

IE 195.95 12"

SECTION

15" 15"

S.D.C.B. #03

RE 201.0

IE 196.10 6" PERF.

IE 196.10 12"

SECTION

15" 15"

S.D.C.B. #05

RE 203.3

IE 203.10 6" PERF.

IE 195.50 12"

SECTION

15" 15"

S.D.C.B. #08

RE 199.20

IE 198.20 6" PERF.

IE 198.20 12"

SECTION

15" 15"

S.D.J.B. #10

RE 197.30

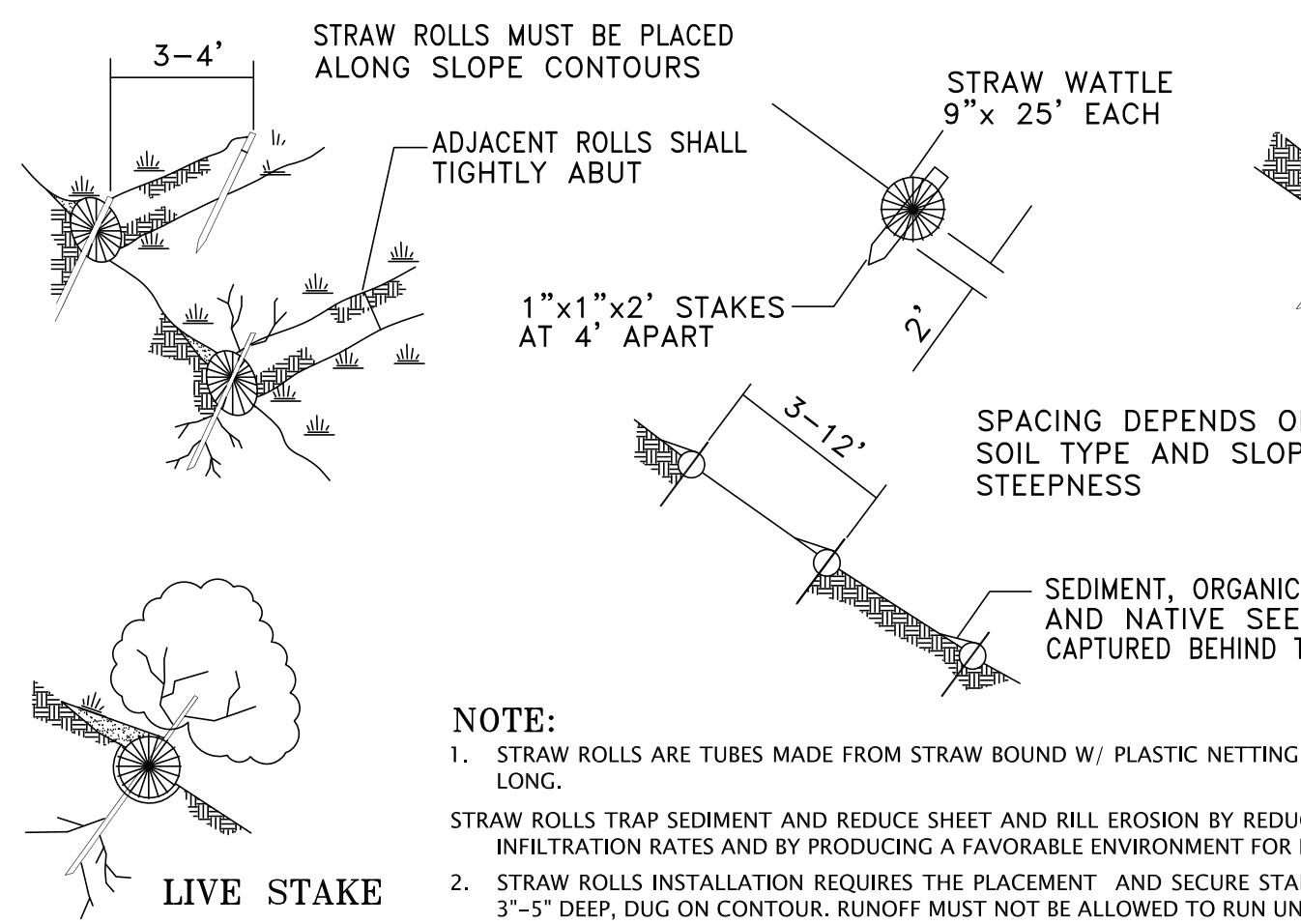
IE 197.30 12"

SECTION

15" 15"

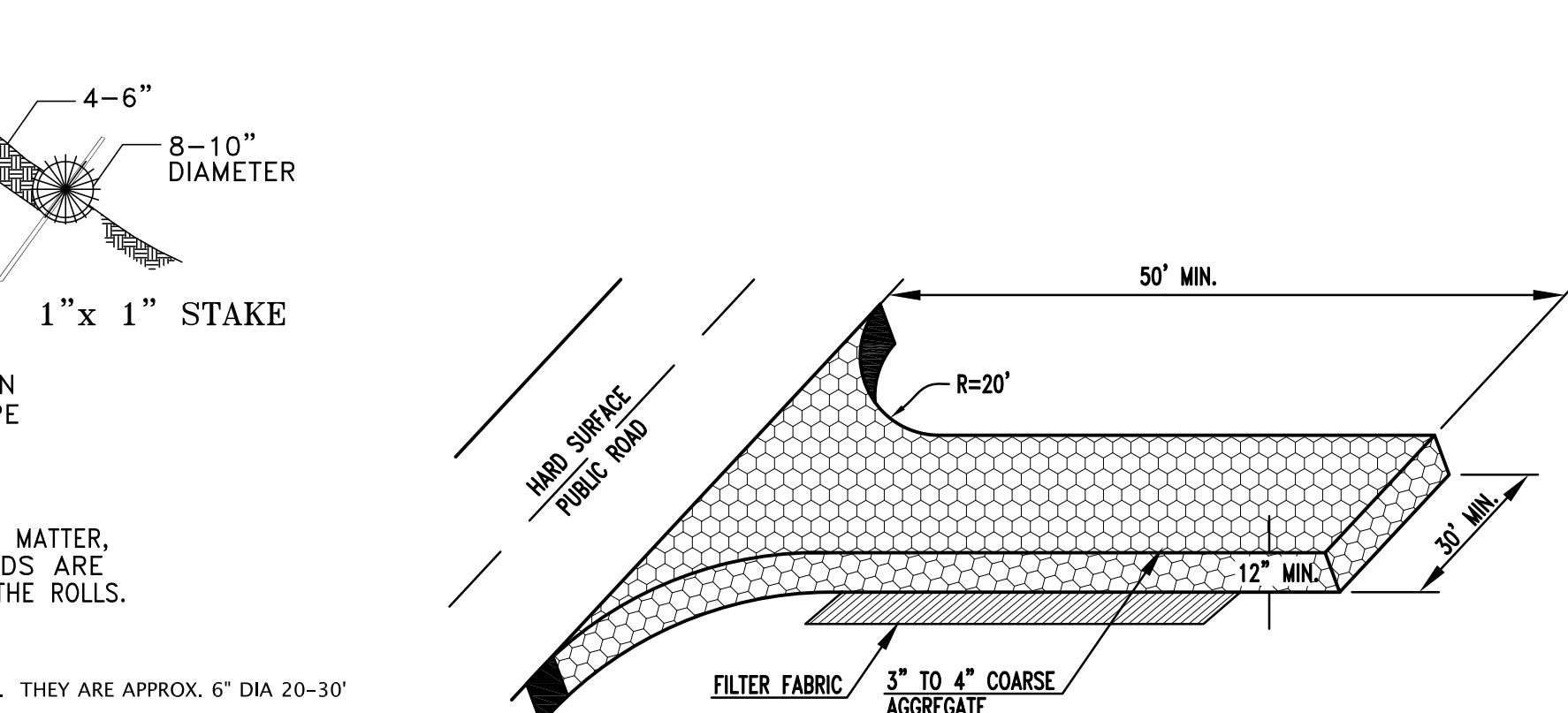
SECTION

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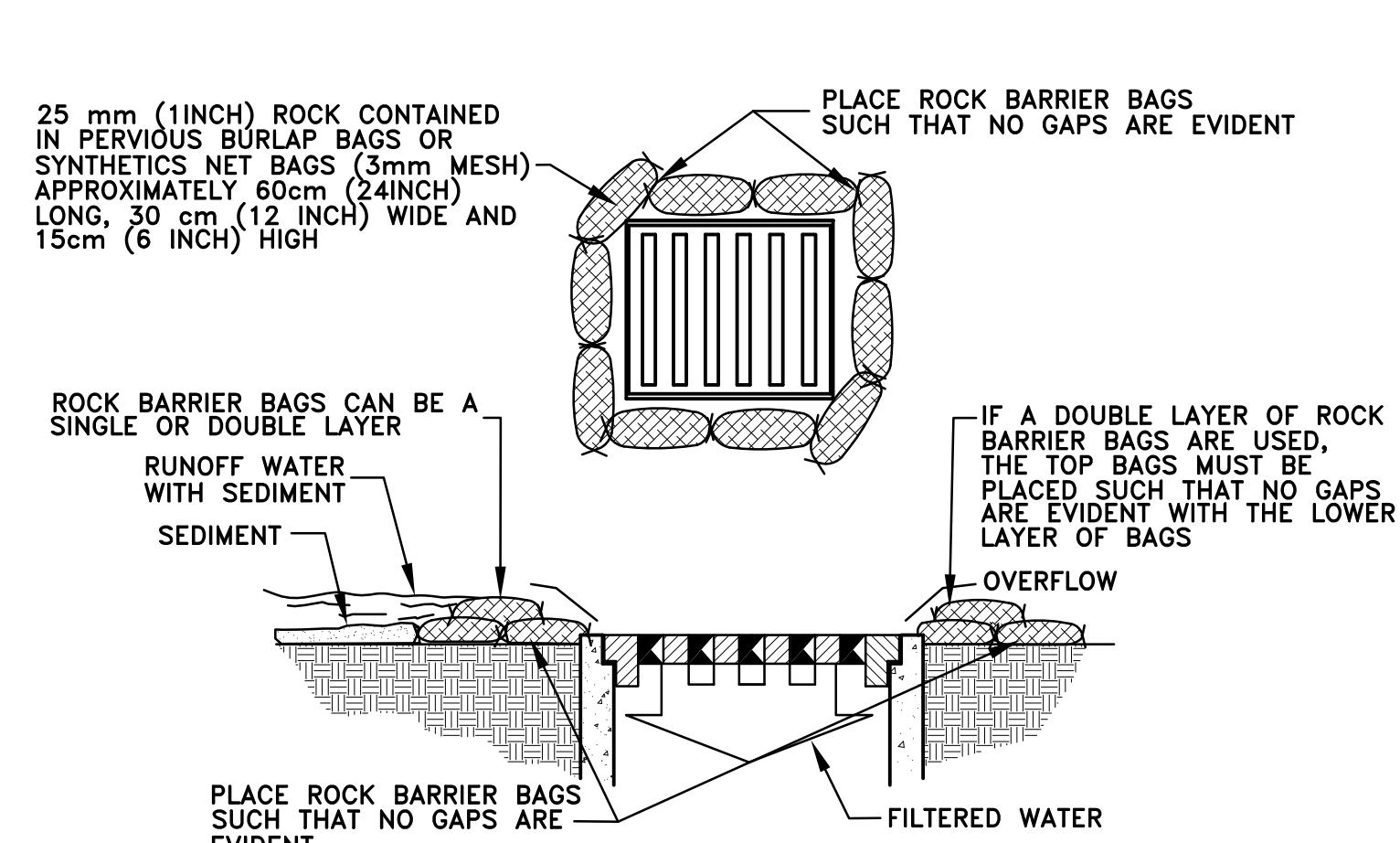
STRAW WATTLE INSTALLATION DETAIL

N. T. S.



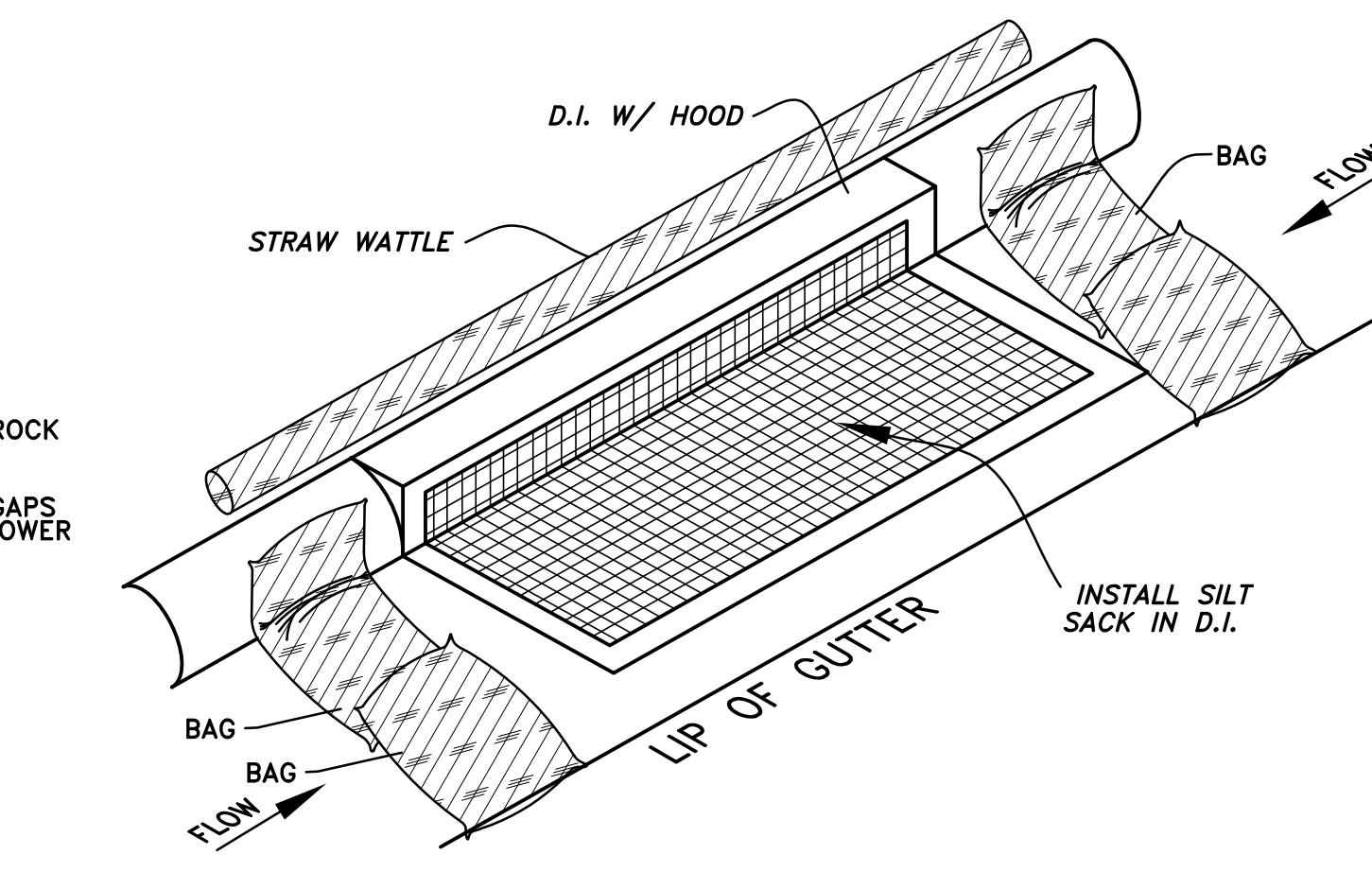
STABILIZED CONSTRUCTION ENTRANCE DETAIL

N. T. S.



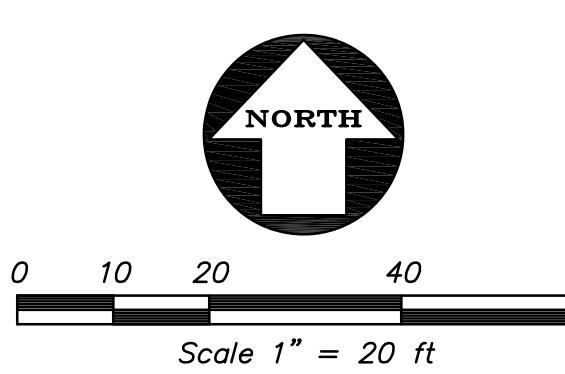
DROP INLET SEDIMENT FILTER UTILIZING ROCK BARRIER BAGS

N. T. S.



EXISTING CURB INLET FILTER DETAIL

N. T. S.



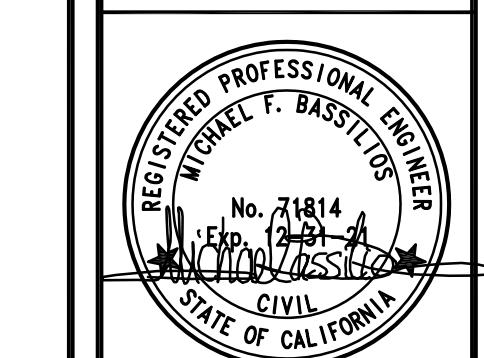
Scale 1" = 20 ft

NORTH

NO.	REVISION	BY
1	CITY SUBMITTAL	02/10/2020
2	PLANNING RE-SUBMITTAL	04/16/2020
3		
4		

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REGISTERED PROFESSIONAL ENGINEERS
WILLIAM F. BASTILLE, S.E.
No. 71814
Fin. 12/20/2014
CIVIL
STATE OF CALIFORNIA

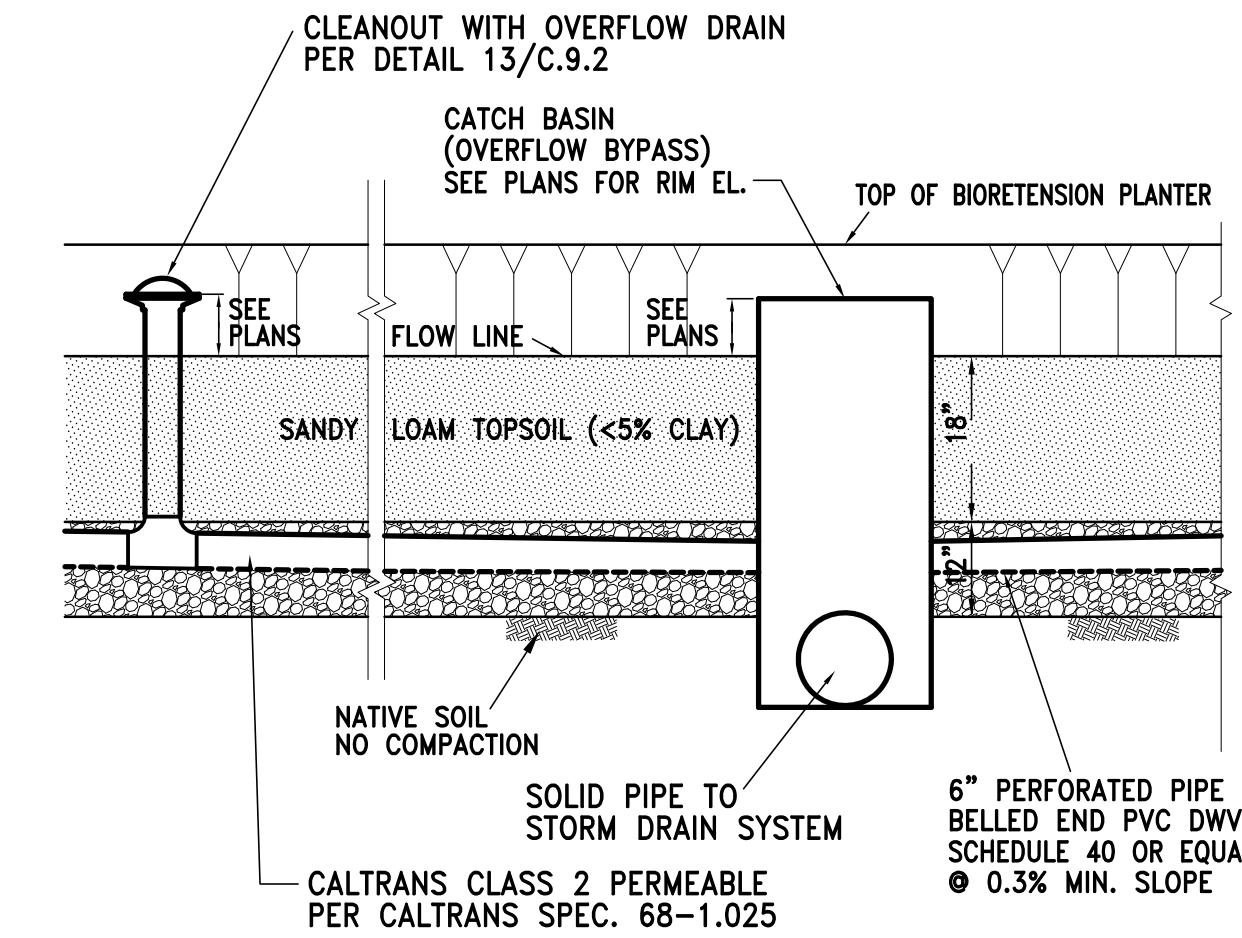
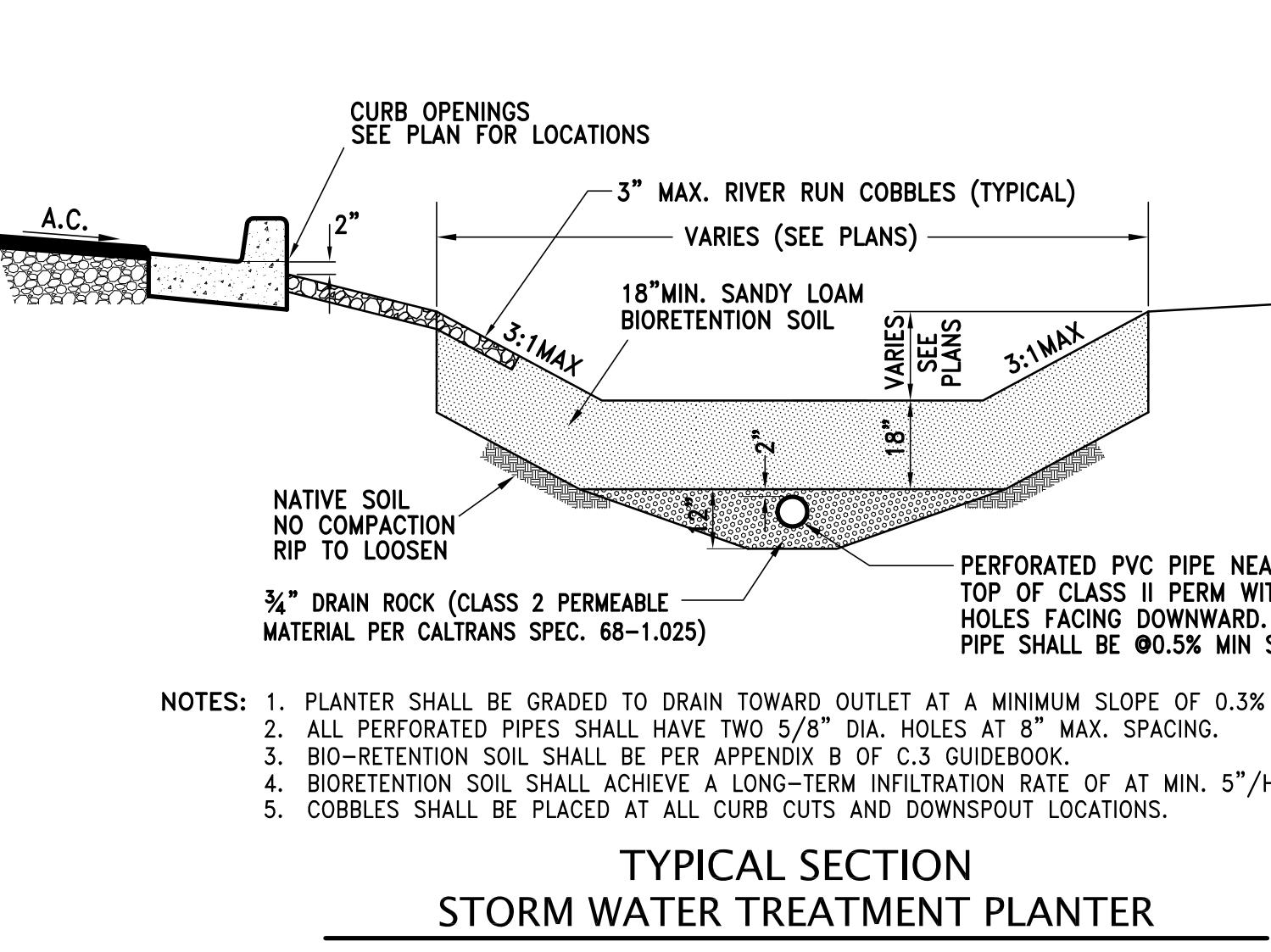


CALIFORNIA

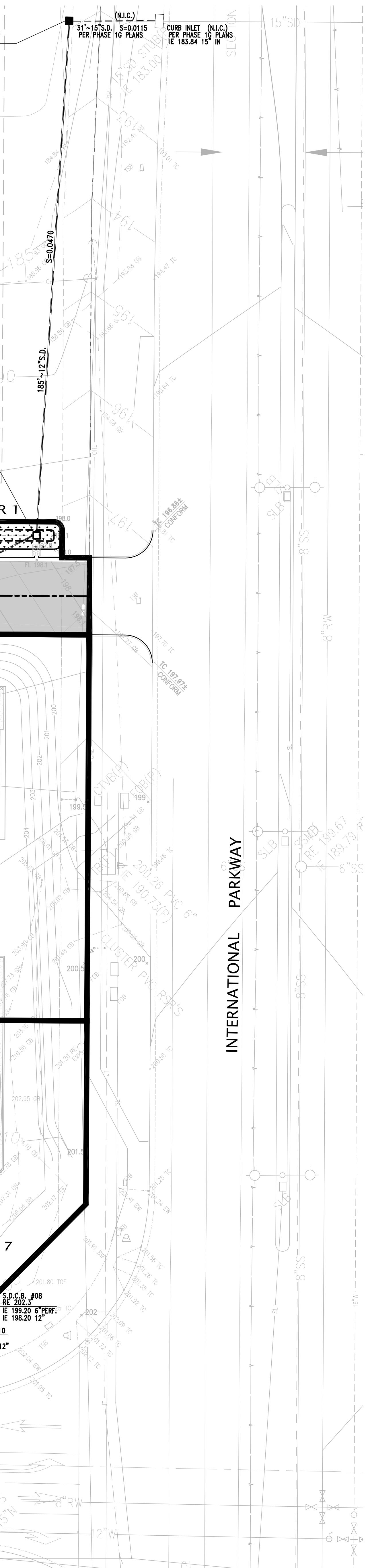
EROSION CONTROL PLAN I.P.C. - OFFICE BUILDING PROLOGS

DATE 04/16/2020
SCALE 1" = 20'
ENGINEER M.F.B.
DRAFTER M.G.
JOB NO. A09500-169
SHEET C.6.1
OF 13 SHEETS

Z:\2009\A09500-169\DWG\IPC OFFICE - CDs.dwg 4-16-20 06:57:41 PM rsalib



DRAINAGE AREA	TOTAL TRIBUTARY AREA (AC)	IMPERVIOUS AREA		PERVIOUS AREA		IMPERVIOUSNESS RATIO "i"	STORMWATER RUNOFF COEF. "C"	UNIT STORMWATER VOL. "P ₀ "	SQDV (CF) REQUIRED	SQDV (CF) PROVIDED
		ROOF (AC)	AC/CONC (AC)	LANDSCAPE (AC)	PLANTER (AC)					
1	0.44	0.00	0.32	0.10	0.02	0.73	0.52	0.34	538	580
2	0.71	0.00	0.40	0.29	0.02	0.56	0.38	0.25	638	650
3	0.76	0.00	0.55	0.17	0.02	0.72	0.52	0.33	924	950
4	0.39	0.00	0.29	0.09	0.01	0.74	0.54	0.35	492	500
5	0.25	0.00	0.21	0.03	0.01	0.84	0.64	0.42	378	400
6	0.48	0.31	0.00	0.16	0.02	0.64	0.44	0.28	493	550
7	0.50	0.28	0.00	0.20	0.02	0.57	0.38	0.25	451	550
TOTAL	2.30	0.00	1.56	0.65	0.07				2,502	2,600

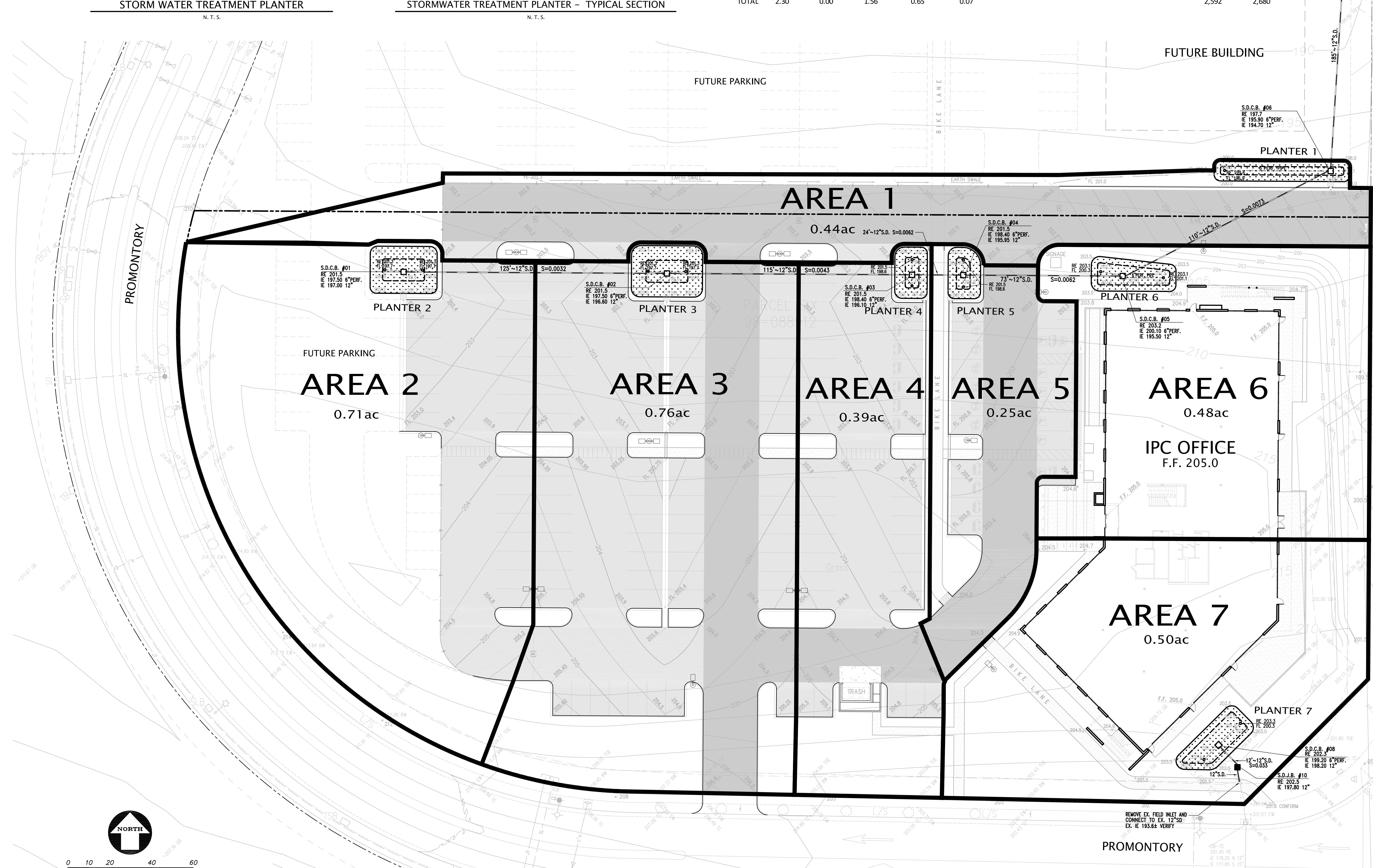


STORMWATER QUALITY CONTROL PLAN I.P.C. - OFFICE BUILDING

KIER+WRIGHT


KIER+WRIGHT


11 of 11



DATE	04
SCALE	
ENGINEER	
DRAFTER	

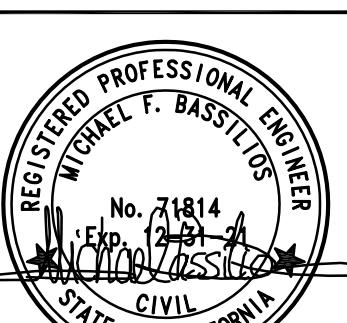
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SHEET C 7





I.P.C. - OFFICE BUILDING PROLOGS

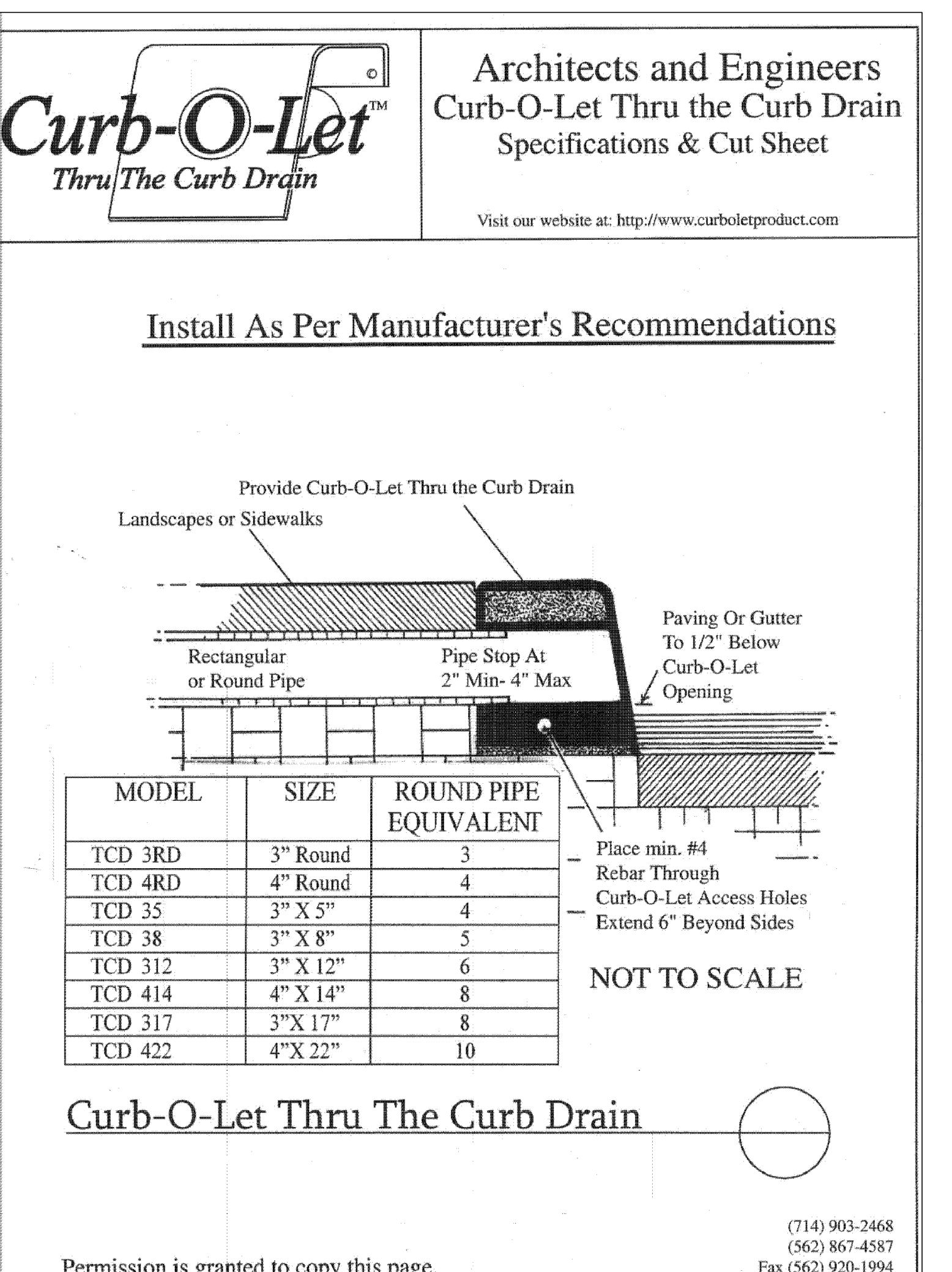
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CALIFORNIA

DATE 04/16/2020
SCALE N.T.S.
ENGINEER M.F.B.
DRAFTER M.G.
JOB NO. A09500-169
SHEET C.9.1
OF 13 SHEETS

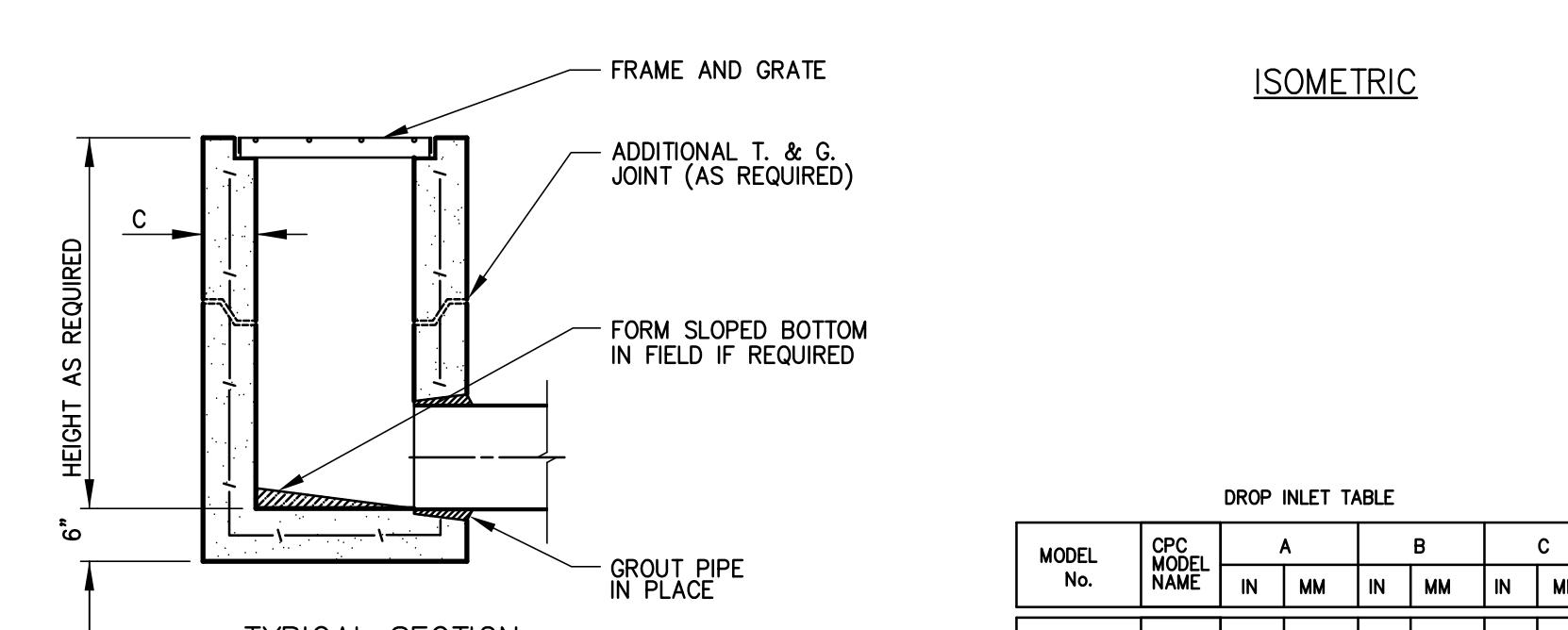
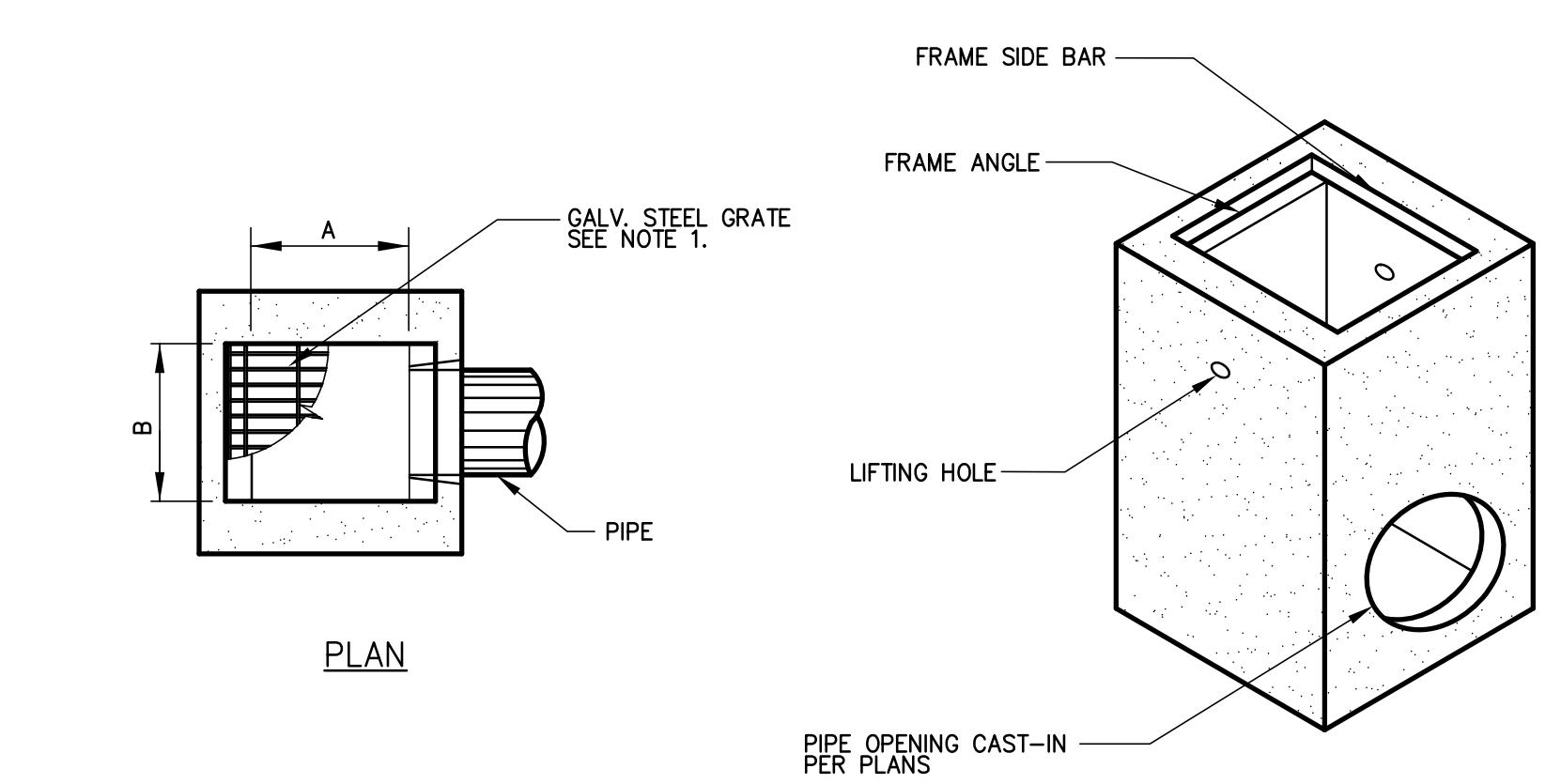
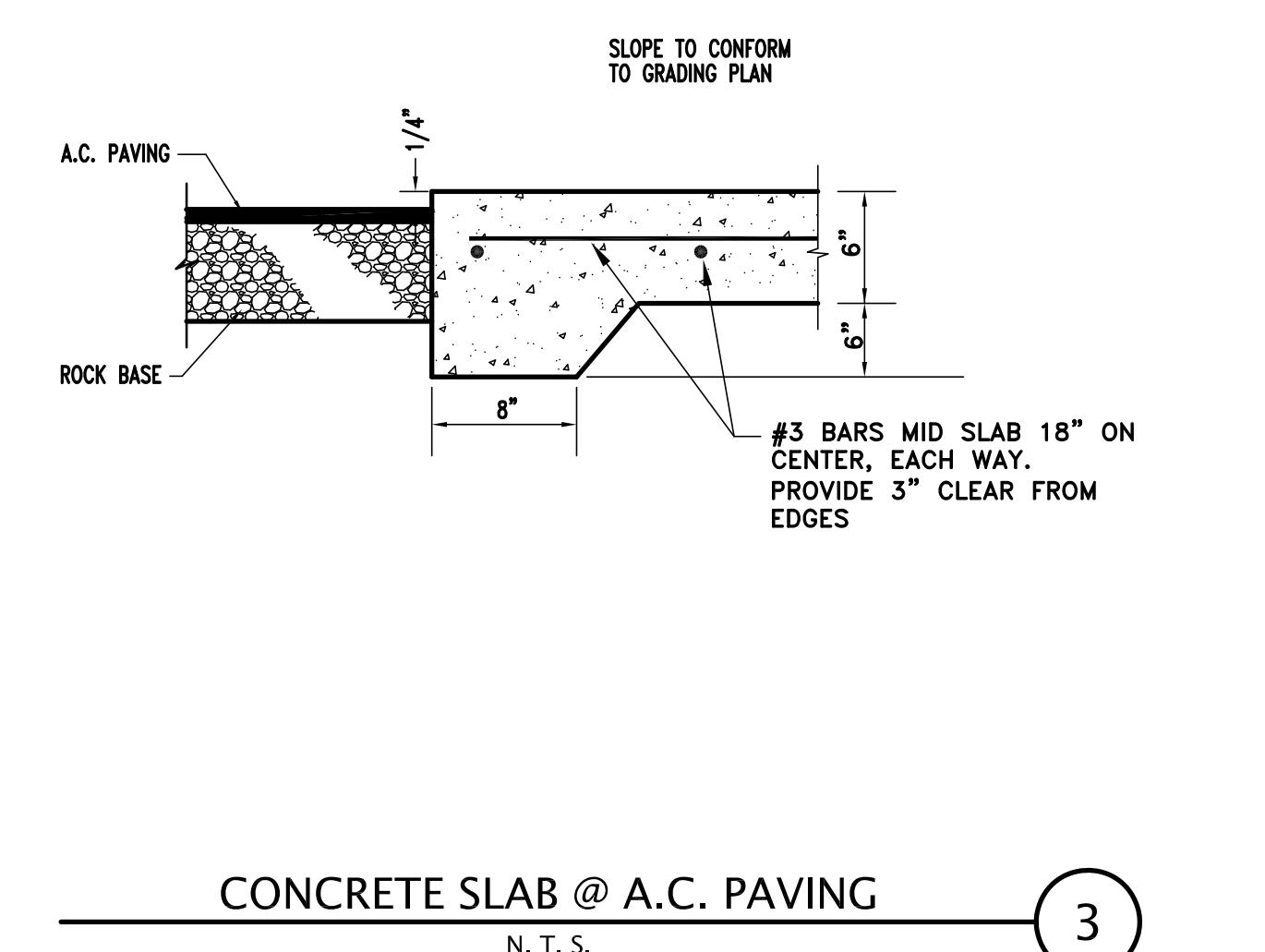
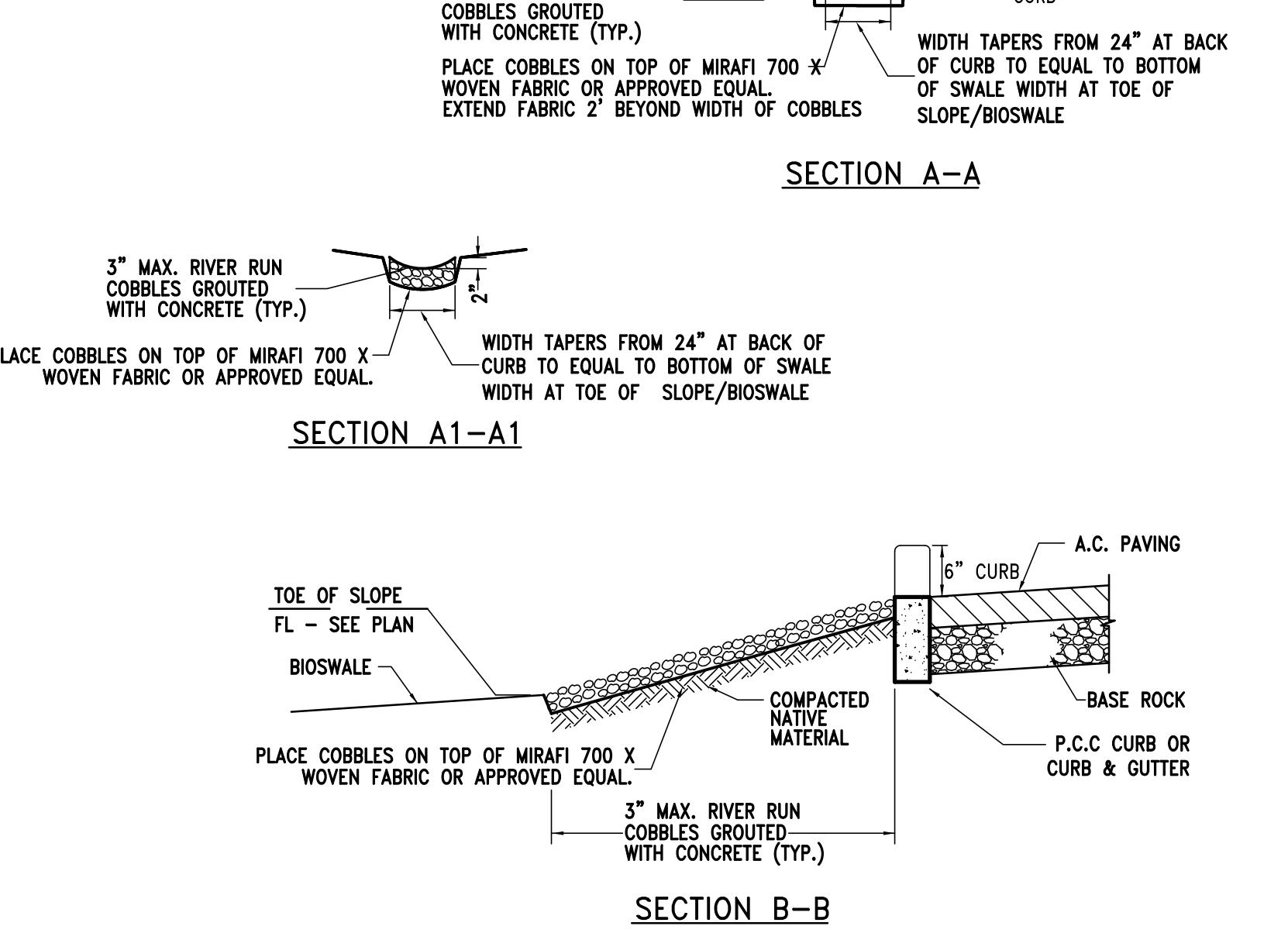
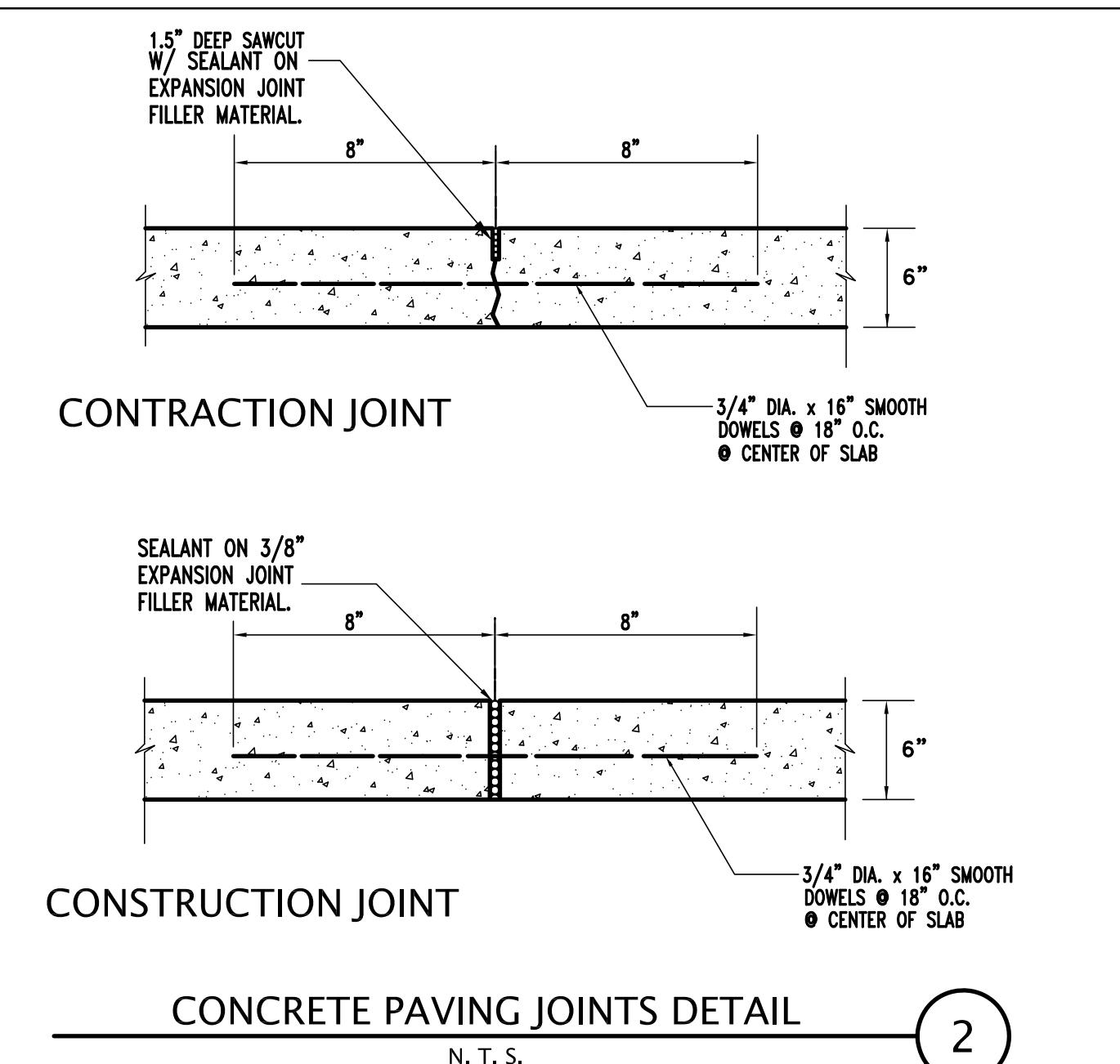
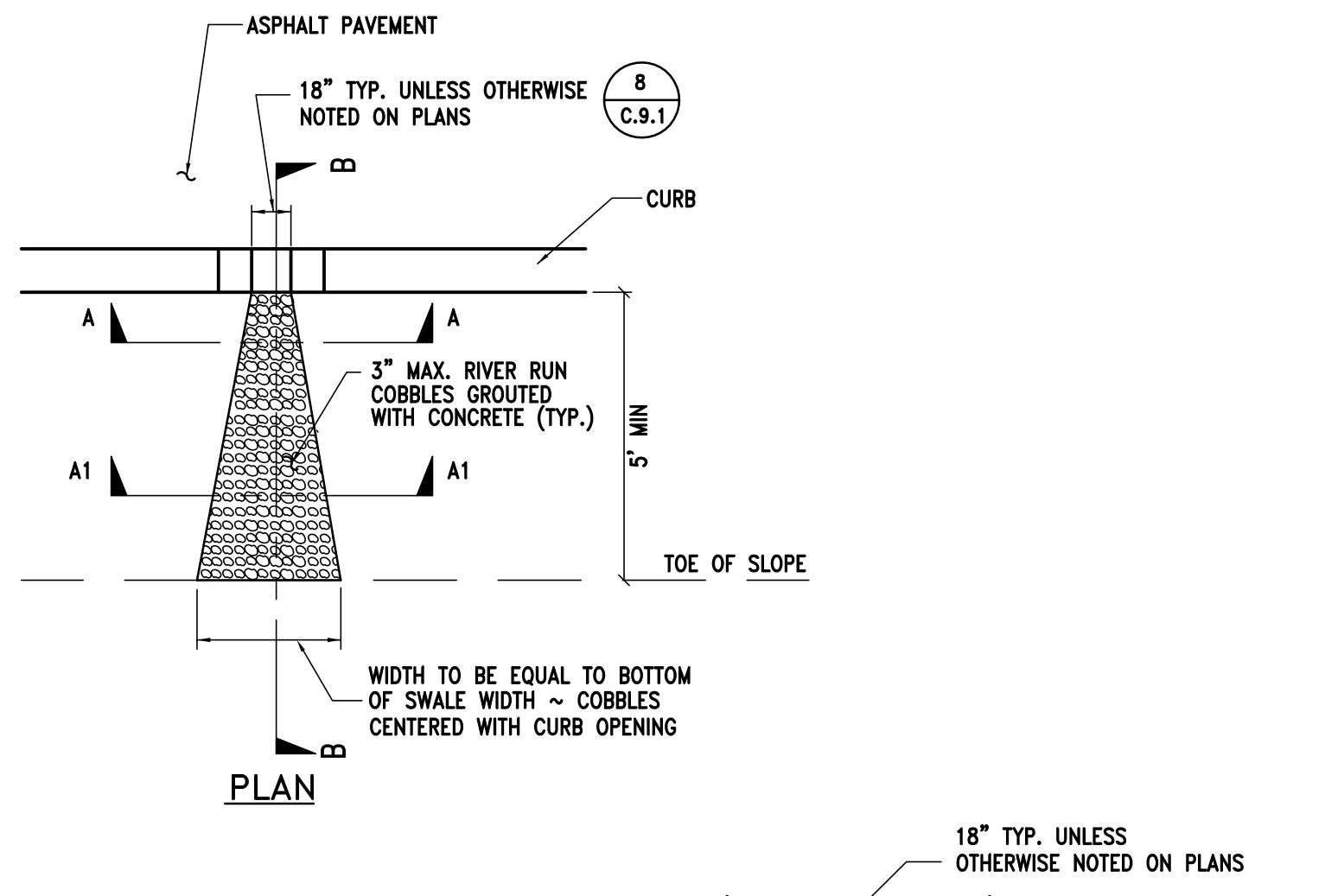
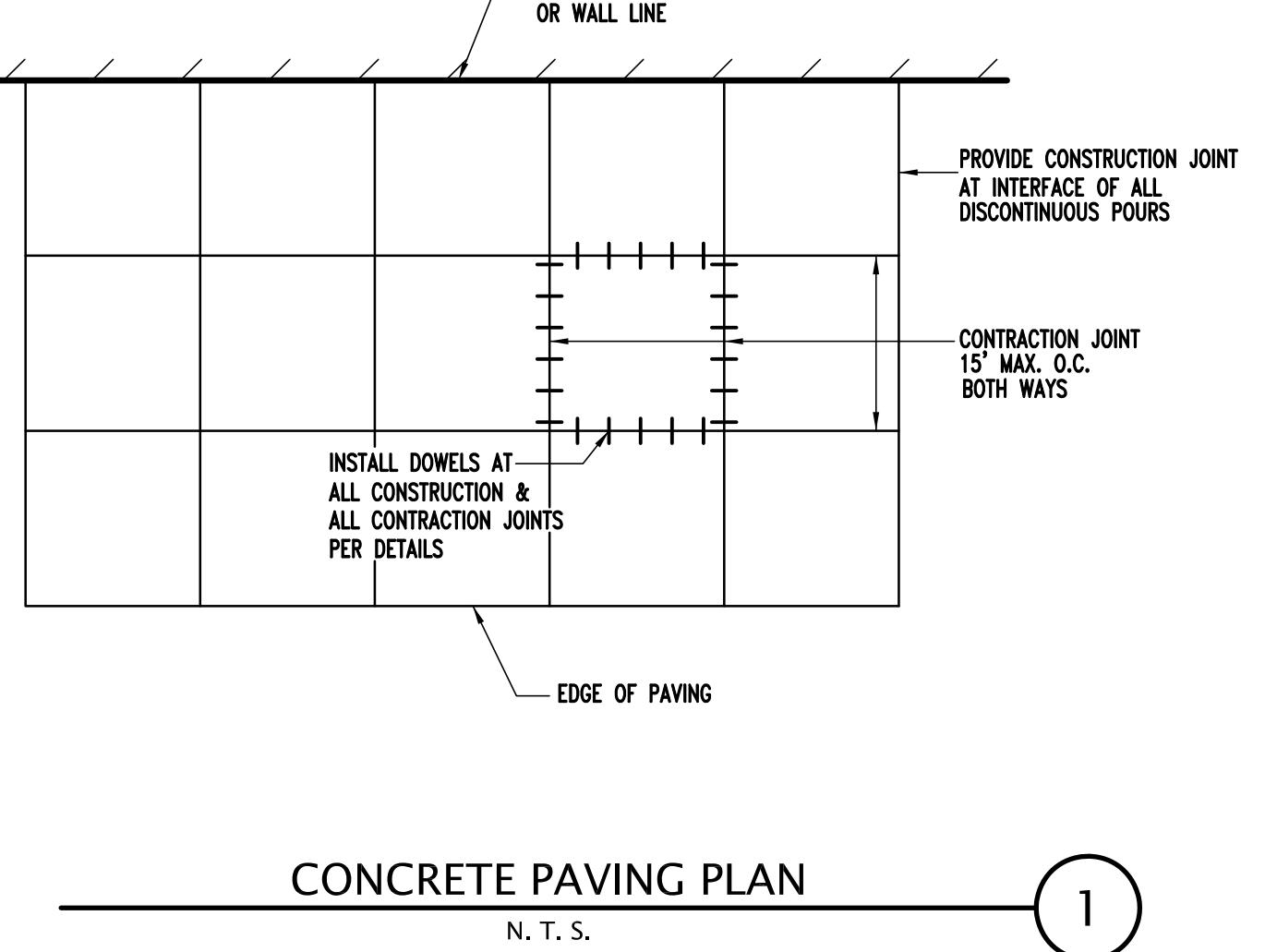
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CURB-O-LET THRU THE CURB DRAIN

N.T.S.

13



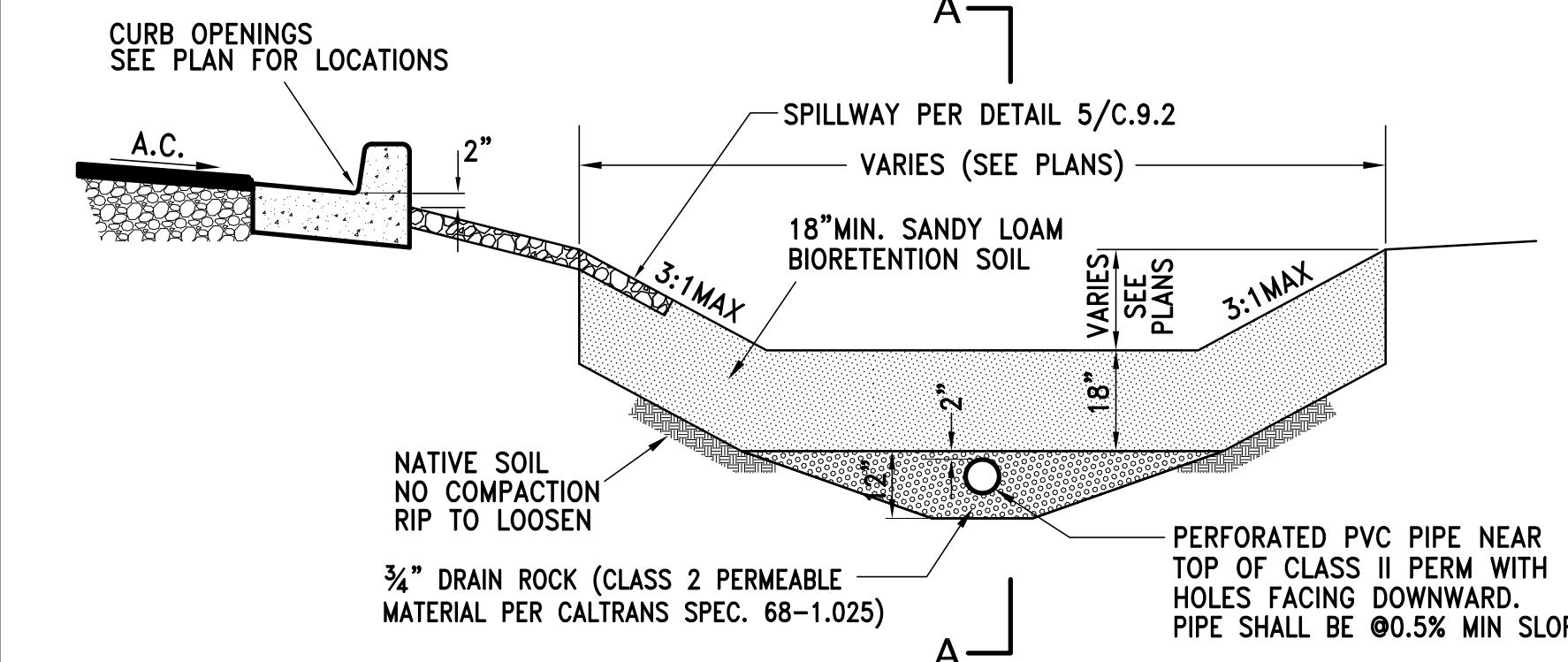
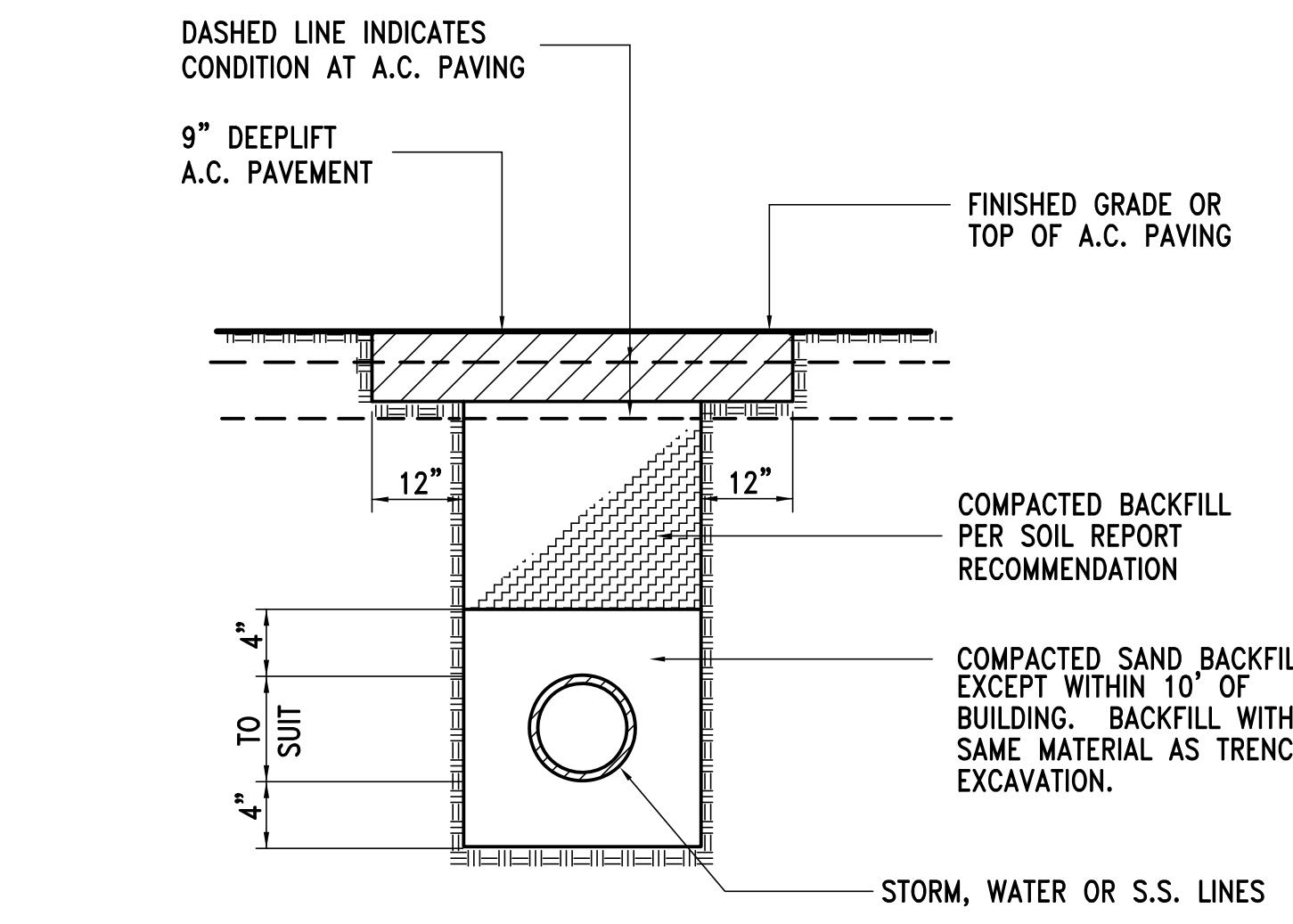
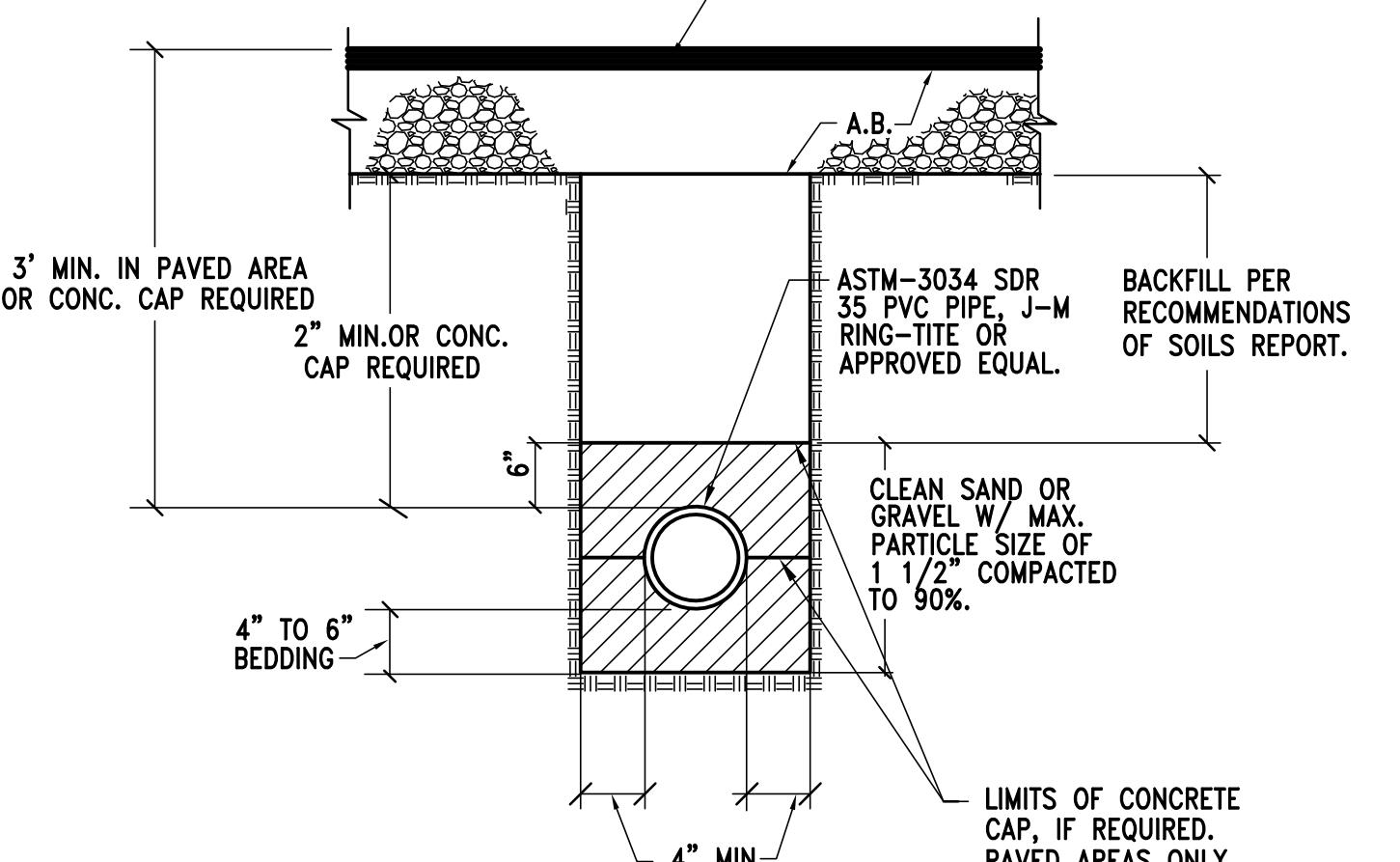
NOTES:

- FRAMES AND GRATES MAY BE SPECIFIED FOR PEDESTRIAN OR H20 TRAFFIC LOADING. ALL GRATES ARE BIKE PROOF. OPTIONAL GRATE LOCKING DEVICE AVAILABLE ON REQUEST. SEE DRAWING "LOCK" ON PAGE 1-7 OF THE CENTRAL PRECAST CATALOG. CLOSED-MESH GRATES OR CAST IRON FRAME AND GRATES ARE AVAILABLE ON REQUEST.
- FOR SURFACE AND DISCHARGE OPTIONS AVAILABLE SEE DRAWING NO. "DI-SO" PAGE 1-6 AND DI-DO PAGE 1-5 OF THE CENTRAL PRECAST CATALOG.
- FRAMES AND GRATES DETAILS SEE PAGES 1-8, 1-9, AND 1-10 OF THE CENTRAL PRECAST CATALOG.
- WALL THICKNESSES ON ALL D.I.S. CAN BE CHANGED UPON REQUEST. 5' 18" WIDE D.I.S. REPLACE THE OLD 16' WIDE BOX BK & 1K.

NOTE: JUNCTION BOXES ARE SAME STRUCTURE AS CATCH BASINS BUT WITH A SOLID RIM GRATE

CATCH BASIN & JUNCTION BOXES SHALL BE CP2436 (24"X36") UNLESS OTHERWISE NOTED ON THE PLANS.

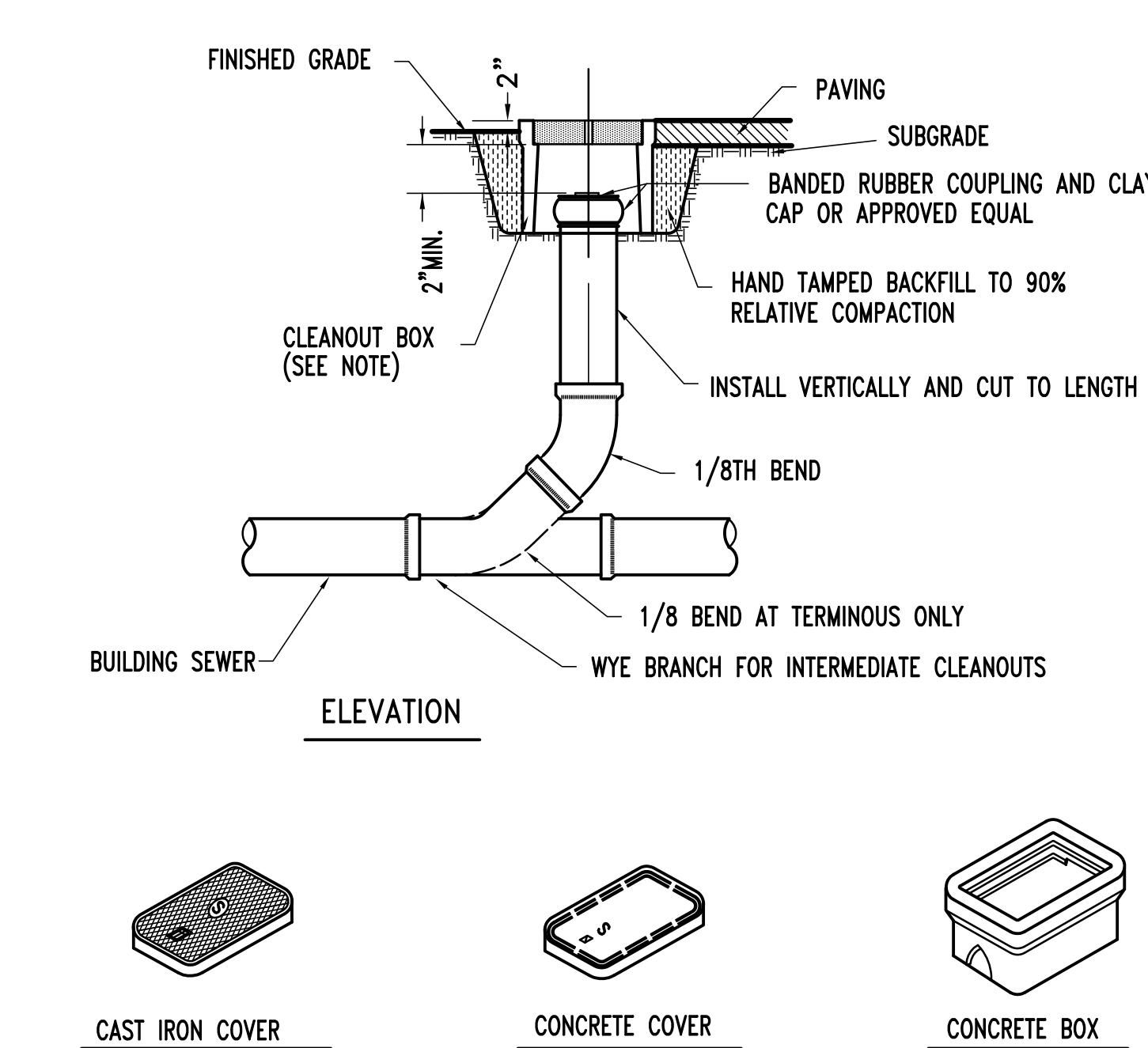
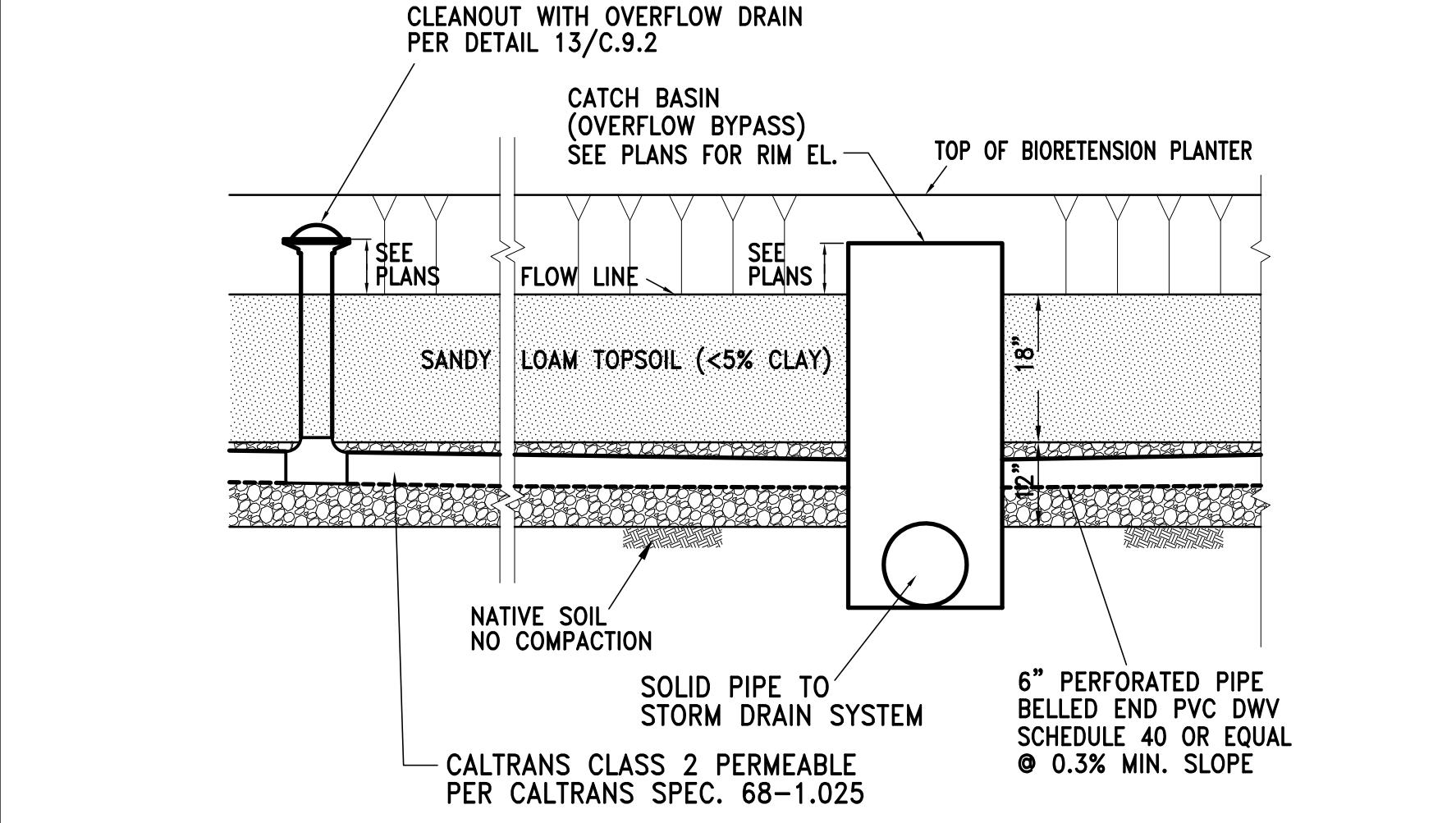
US CONCRETE PRECAST GROUP (OR EQUAL)
STORM DRAIN DROP INLET/JUNCTION BOX (6)



NOTES:

- PLANTER SHALL BE GRADED TO DRAIN TOWARD OUTLET AT A MINIMUM SLOPE OF 0.3%.
- ALL PERFORATED PIPES SHALL HAVE TWO 5/8" DIA. HOLES AT 8" MAX. SPACING.
- BIORETENTION SOIL BE PER APPENDIX B OF C.3 GUIDEBOOK.
- BIORETENTION SOIL SHALL ACHIEVE A LONG-TERM INFILTRATION RATE OF AT MIN. 5" /HR
- COBBLES SHALL BE PLACED AT ALL CURB CUTS AND DOWNSPOUT LOCATIONS.

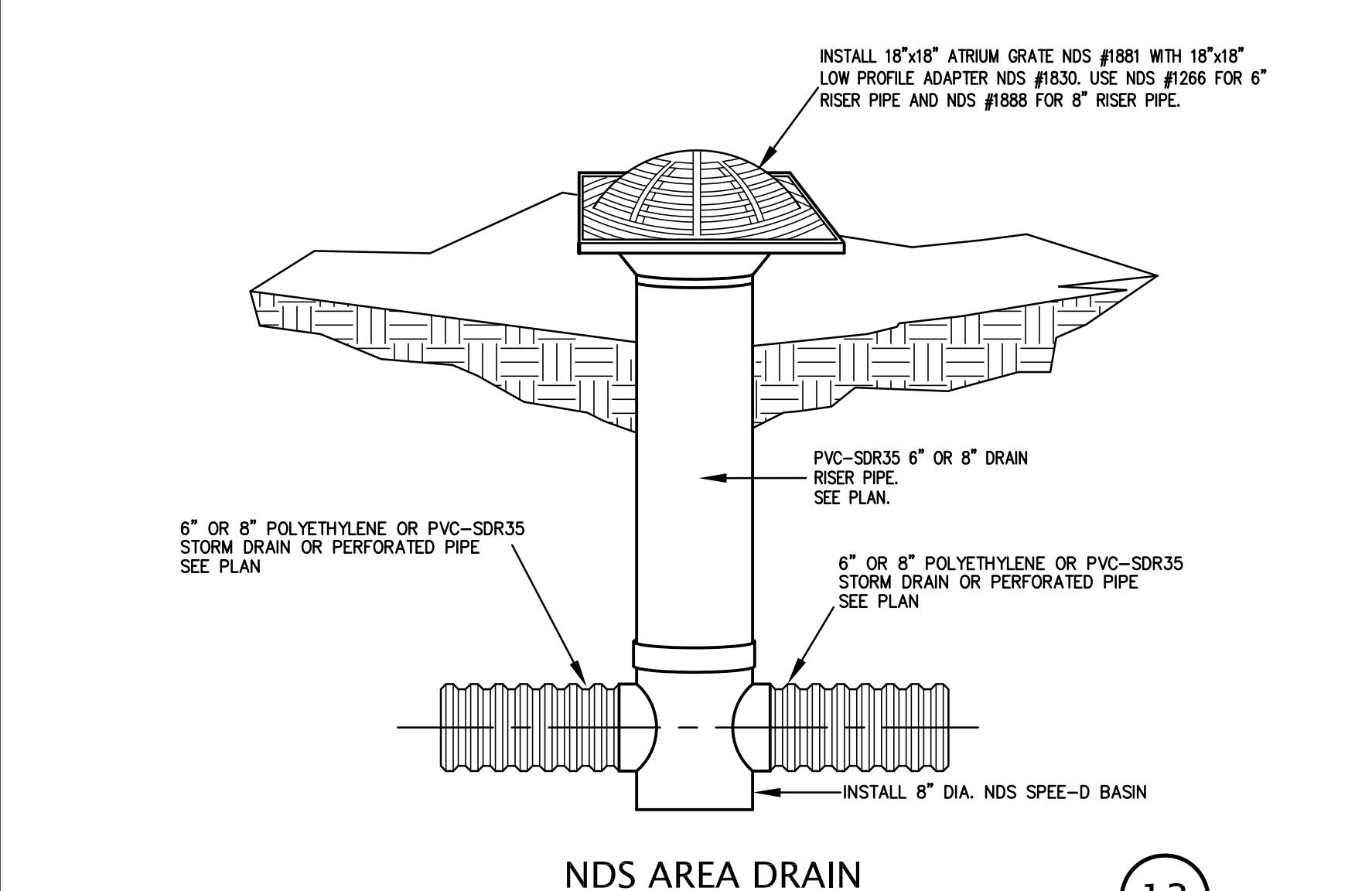
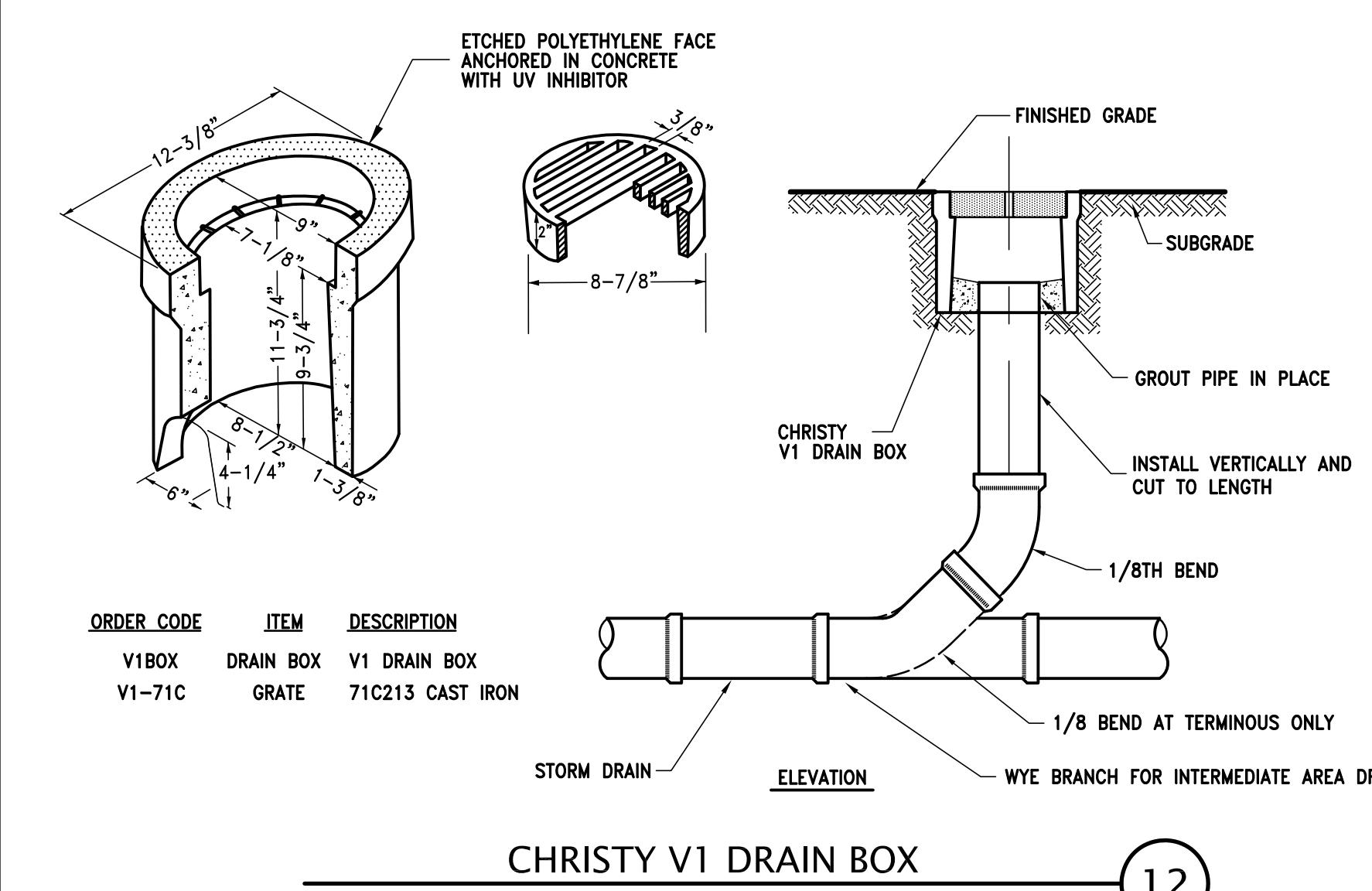
TYPICAL SECTION STORM WATER TREATMENT PLANTER (10) N.T.S.

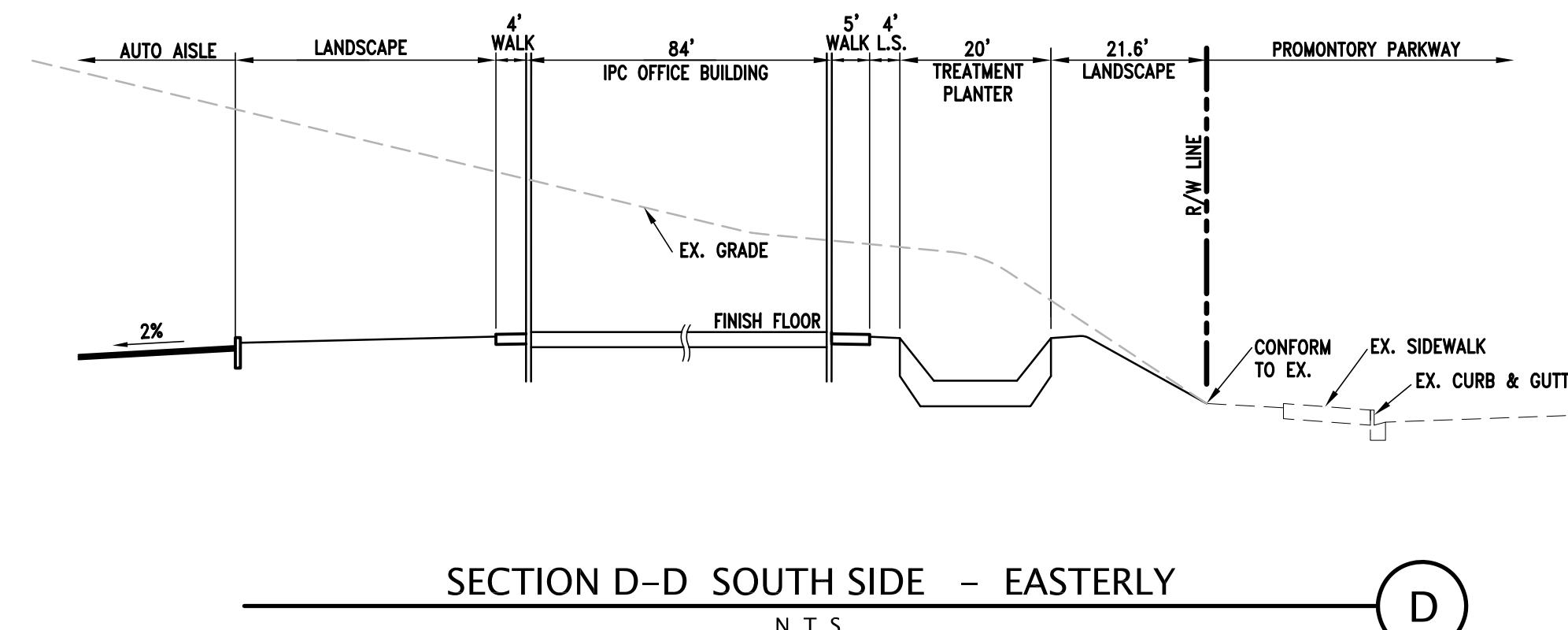
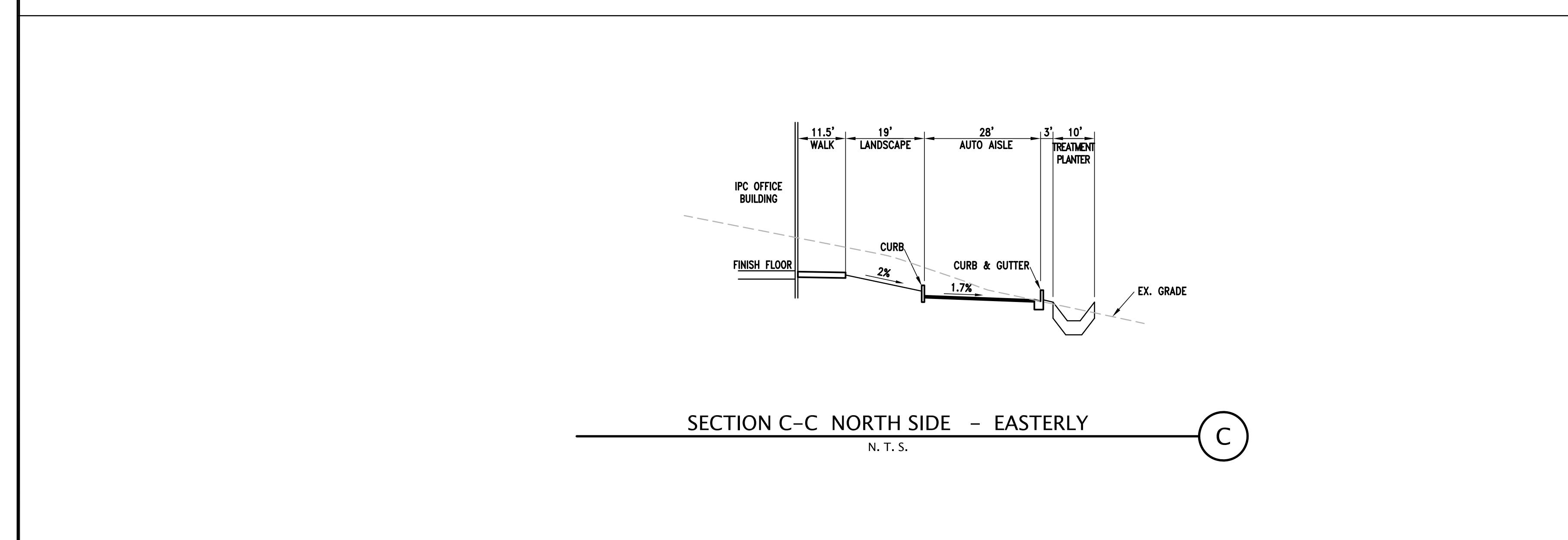
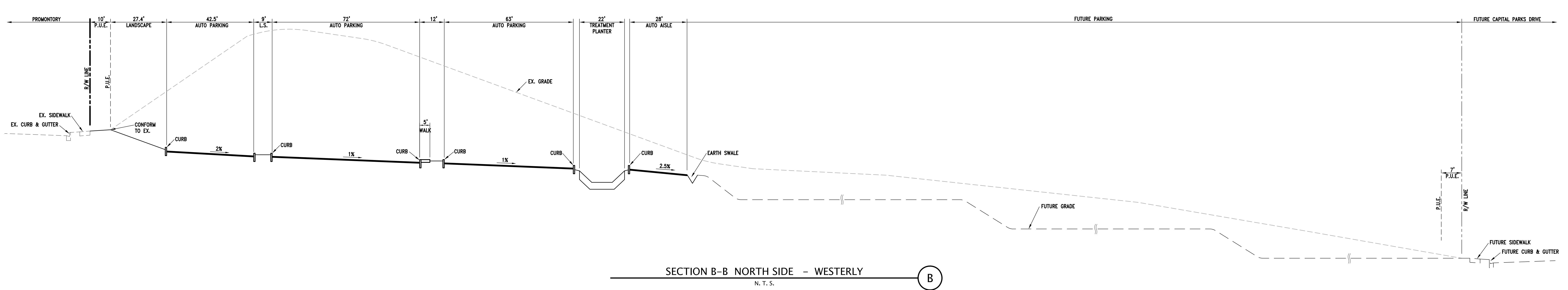
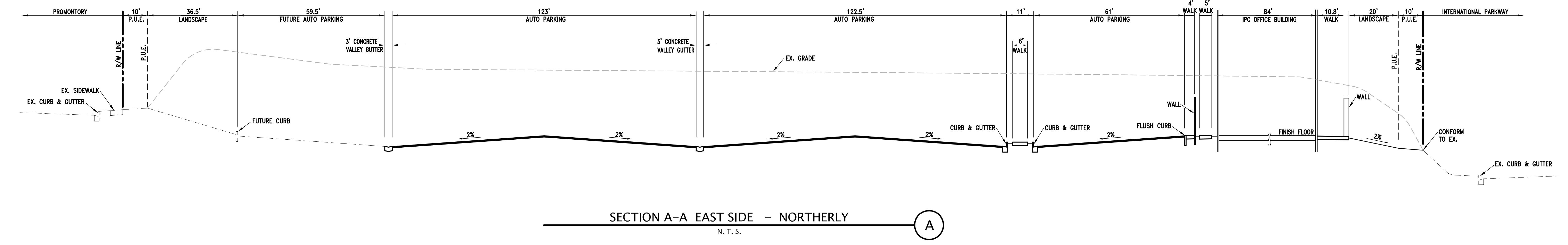


NOTES

- TERMINATE CLEANOUT AT CLOSEST JOINT TO SURFACE WITH TEMPORARY PLUG. AFTER ALL BACKFILL IS COMPLETE AND SUB-GRADE MADE IN AREAS TO BE PAVED THE FINAL RISER PIPE AND BOX SHALL BE INSTALLED AS SHOWN.
- A RECTANGULAR BOX AS SHOWN ABOVE SHALL BE USED FOR CLEANOUTS THAT ARE CAPPED USING A BANDED RUBBER COUPLING.
- CIRCULAR BOXES ARE PERMITTED FOR CLEANOUTS THAT ARE CAPPED WITH A SCREW TYPE CAP OR OTHER APPROVED TOP OPENING CAPS. TYPE AND MANUFACTURE SUBJECT TO APPROVAL BY ENGINEER.
- CIRCULAR BOXES INSTALLED IN SIDEWALK AREAS SHALL HAVE A SOLID COVER WITHOUT HOLES.
- APPROVED RECTANGULAR BOXES ARE:
 - CHRISTY CONCRETE PRODUCT B3 BOX WITH A B3D CONCRETE LID OR A B3C METAL LID, OR
 - BROOKS PRODUCTS, INC. NO.3 METER BOX WITH A NO.3 HEAVY DUTY CONCRETE LID OR A NO.3 CAST IRON TRAFFIC LID, OR AN APPROVED EQUAL.
- CONCRETE LIDS ARE ACCEPTABLE FOR USE IN NON VEHICULAR TRAFFIC AREAS, WHILE METAL LIDS MUST BE ELSEWHERE.
- ALL CLEANOUT BOX LIDS SHALL BE MARKED WITH A LETTER "S" OR THE WORD "SEWER" FOR SEWER PIPE OR LETTER "SD" OR THE WORDS "STORM DRAIN" STORM DRAIN PIPES.

CLEANOUT TO GRADE (9) N.T.S.





GRADING SECTIONS AND DETAILS
I.P.C. - OFFICE BUILDING
PROLOGS

C.9.3

DATE 04/16/2020
SCALE N.T.S.
ENGINEER M.F.B.
DRAFTER M.G.
JOB NO. A09500-169

OF 13 SHEETS

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Fin. 1202-A
REGISTERED PROFESSIONAL ENGINEERS
WILLIAM F. BASTILLE, P.E.
CIVIL
STATE OF CALIFORNIA
2850 Collier Canyon Road
Livermore, California 94551

NO.	REVISION	REVISION	REVISION
1	CITY SUBMITTAL	02/10/2020	
2	PLANNING RE-SUBMITTAL	04/16/2020	

**CITY OF TRACY
DETERMINATION OF THE
DEVELOPMENT SERVICES DIRECTOR**

Application Number D20-0007

A determination of the Development Services Director approving a Development Review application for the construction of a 34,532 square foot two-story office building, and associated landscape, parking and site improvements located at 615 International Parkway (Assessor's Parcel Number 209-090-36). The applicant and owner is Prologis.

The following considerations were relevant in evaluating this application: Existing and planned infrastructure improvements, such as adjacent roadways, existing site improvements, storm drain systems, the project's visual impact on International Parkway as well as other adjacent properties and on-site circulation.

Staff has reviewed the application and determined that the following City regulations apply:

TMC Sec 10.08.3920 et seq.: Development Review
TMC Sec 10.08.3440 et seq.: Off-Street Parking Requirements
Cordes Ranch Specific Plan
City of Tracy Design Goals and Standards

The Development Services Director has determined that the proposed project is consistent with the Cordes Ranch Specific Plan Environmental Impact Report (EIR), approved by the City Council on September 3, 2013, and the General Plan EIR approved by the City Council on February 1, 2011. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required. An analysis of the project shows that there will be no significant on or off-site impacts as a result of this particular project which were not already discussed in the Cordes Ranch and General Plan EIRs. There is also no evidence of any significant impacts to occur off-site as a result of the project, as traffic, air quality, land use and other potential cumulative impacts have already been considered within the original environmental documentation. No new evidence of potentially significant effects has been identified as a result of this project.

**THE DEVELOPMENT SERVICES DIRECTOR, AFTER CONSIDERING ALL OF THE
EVIDENCE PRESENTED, HEREBY APPROVES THE DEVELOPMENT REVIEW APPLICATION
AS DESCRIBED IN THE PLANS RECEIVED BY THE DEVELOPMENT SERVICES
DEPARTMENT ON APRIL 17, 2020, SUBJECT TO THE ATTACHED CONDITIONS OF
APPROVAL (EXHIBIT "1") AND BASED ON THE FOLLOWING FINDINGS:**

Development Review Findings:

1. The design and location of the proposed office building is a quality addition to the project site that enhances the property with a well-designed building that contains a variety of materials and colors reflective of the industrial buildings within the specific plan area.
2. The establishment and operation of the proposed new building and site improvements will conform to the requirements and the intent of the City of Tracy General Plan, Municipal

Development Services Determination

IPC Office

May12, 2020

Page 2

Code, and Cordes Ranch Specific Plan. The proposal for the new office building is consistent with the land use regulations of the General Office designation of the Cordes Ranch Specific Plan, and compatible with the nearby industrial buildings within the Specific Plan.

Andrew Malik, Development Services Director

Date of Action

**DEVELOPMENT SERVICES DEPARTMENT
CONDITIONS OF APPROVAL**
**34,532 Square foot two-story office building with associated landscape,
Parking and Site Improvements
Application Number D20-007**

A. General Provisions and Definitions

1. These Conditions of Approval shall apply to the real property described as 615 International Parkway, Assessor's Parcel Number 209-090-36, Application Number D20-0007, the construction of a 34,532 square foot two-story office building, and associated landscape, parking and site improvements (hereinafter "Project").
2. The following definitions shall apply to these Conditions of Approval:
 - a. "Applicant" means any person, or other legal entity, defined as a "Developer".
 - b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed engineer designated by the City Manager, or the Development Services Director, or the City Engineer to perform the duties set forth herein.
 - c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, Cordes Ranch Specific Plan, ordinances, resolutions, policies, procedures, and the City's Design Documents (including the Standard Plans, Standard Specifications, Design Standards, and relevant Public Facility Master Plans).
 - d. "Development Services Director" means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
 - e. "Conditions of Approval" shall mean the conditions of approval applicable to the construction of a 34,532 square foot two-story office building, and associated landscape, parking and site improvements, Application Number D20-0007. The Conditions of Approval shall specifically include all Development Services Department conditions set forth herein, including all Planning and Engineering Division conditions set forth herein.
 - f. "Project" means the real property described as 615 International Parkway, Assessor's Parcel Number 209-090-36, Application Number D20-0007, the construction of a 34,532 square foot two-story office building, and associated landscape, parking and site improvements.
 - g. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.

3. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to: the Planning and Zoning Law (Government Code sections 65000, et seq.), the Subdivision Map Act (Government Code sections 66410, et seq.), the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and the Guidelines for California Environmental Quality Act (California Administrative Code, Title 14, Sections 1500, et seq., "CEQA Guidelines").
4. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City Regulations.
5. Pursuant to Government Code section 66020, including section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

B. Planning Division Conditions of Approval

1. Except as otherwise modified herein, the project shall be developed in accordance with the plans received by the Development Services Department on April 17, 2020. Prior to the issuance of any building permits, any deviations from the approved site plan or elevations shall be evaluated for substantial compliance with the approved plans, to the satisfaction of the Development Services Director. Should any deviations be determined not to be in substantial compliance with the approved plans, they shall be reviewed in a new Development Review application process.
2. Prior to issuance of a building permit, a detailed landscape and irrigation plan showing the landscaping shall be submitted for approval by the Development Services Director. All landscape and irrigation improvements shall be designed and installed per the requirements of the City of Tracy Off-Street Parking Requirements, the Water Efficient Landscape Guidelines, and all other applicable City standards.
3. No signs are approved as part of this application. All signs for the project shall be reviewed under a separate sign permit application in accordance with Tracy Municipal Code (TMC) and Cordes Ranch Specific Plan (CRSP) Standards.
4. No roof mounted equipment, including, but not limited to, HVAC units, vents, fans, antennas, sky lights and dishes whether proposed as part of this application, potential future equipment, or any portion thereof, shall be visible from any public right-of-way, including I-205 and International Parkway. Prior to the issuance of a building permit, the parapet walls shall be raised to a height adequate to screen equipment, or a screening system, integrated with the design of the overall building to the satisfaction of the Development Services Director shall be approved.

5. All exterior lighting shall be directed downward, onto the parking and maneuvering surface and away from the public rights-of-way.
6. All PG&E transformers, phone company boxes, trash enclosures or compactors, Fire Department connections, backflow preventers, irrigation controllers, and other on-site utilities, shall be vaulted or screened from view from any public right-of-way, behind structures or landscaping, to the satisfaction of the Development Services Director.
7. The applicant shall pay all applicable fees for the project, including, but not limited to, development impact fees, building permit fees, plan check fees, grading permit fees, encroachment permit fees, inspection fees, school fees, or any other City or other agency fees or deposits that may be applicable to the project.
8. All improvements shall be consistent with the Tracy Municipal Code, Cordes Ranch Specific Plan, Standard Plans, and other applicable City Regulations.
9. Where landscape planters are parallel and adjacent to the side of vehicular parking spaces, a 12" wide concrete curb shall be placed adjacent to the parking space to allow for pedestrian access to vehicles without damage to the landscape areas.
10. Prior to issuance of a building permit, bicycle parking spaces shall be provided in accordance with Tracy Municipal Code Section 10.08.3510 to the satisfaction of the Development Services Director.
11. Prior to final inspection or certificate of occupancy, carpooling/ridesharing and electric vehicle parking spaces shall be clearly marked, per the requirements of the Natural Resources and Sustainability section of the CRSP.
12. Prior to final inspection of certificate of occupancy, on-site circulation signs shall be installed to the satisfaction of the Development Services Director.
13. All vents, gutters, downspouts, flashing, electrical conduit, etc. shall be internal to the buildings when feasible, and otherwise shall be painted to match the color of the adjacent surface or otherwise designed in harmony with the building exterior to the satisfaction of the Development Services Director.
14. Prior to issuance of a building permit, an Agreement for Maintenance of Landscape and Irrigation Improvements shall be executed and financial security submitted to the Development Services Department. The Agreement shall ensure maintenance of the on-site landscape and irrigation improvements for a period of two years. Said security shall be equal to the actual material and labor costs for installation of the on-site landscape and irrigation improvements, or \$2.50 per square foot of on-site landscape area.
15. Prior to issuance of a building permit, the developer shall provide documentation of compliance with the San Joaquin Valley Air Pollution Control District Rule 9510, Indirect Source Review to the Development Services Department.

16. The Developer shall comply with all applicable provisions of the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan, including Incidental Take Minimization Measures applicable at the time of permit, a pre-construction survey prior to ground disturbance, and payment of all applicable fees, to the satisfaction of San Joaquin Council of Governments.
17. Prior to final inspection or certificate of occupancy, a permanent vehicular barrier, such as a full-formed concrete curb or fence shall be installed at all the joint drive aisles that will be shared with the future building on the sites to the north and west of the project site to prevent vehicular access to the undeveloped adjacent parcels.

C. Fire Authority Conditions of Approval

1. Prior to construction, applicant shall submit construction plans to the South San Joaquin County Fire Authority for review and approval. Applications for construction can be found on our website, www.southcountyfa.org.
 - a. Construction documents shall meet and/or exceed the current edition of the California Code of regulations, Title 24 as amended by the Tracy Municipal Code.
 - b. Deferred submittals shall be listed on the cover sheet of the construction documents and submitted to the South San Joaquin County Fire Authority for review and approval prior to installation.
 - c. Underground fire service shall be submitted to the South San Joaquin County Fire Authority for review and approval prior to installation. Approval of on-site, off-site and/or grading plans does not constitute an approval of the underground fire service.
 - d. Location of the fire department connection shall be located on the plans and approved by the Fire Authority prior to installation.
 - e. Access easements are required to be deeded.
2. Prior to construction, a fire flow report shall be requested by our offices. Fire flow requirements shall be in accordance with California Fire Code Appendix B.
3. Prior to construction, fire apparatus access roads shall be in place capable of supporting the imposed load of a fire apparatus weighting at least 75,000 lbs.
4. Prior to building construction, hydrants shall be installed, inspected and operational.
5. After construction, but prior to opening for business, tenant(s) must contact the South San Joaquin County Fire Authority at 209-831-6707 to schedule a new business inspection.

D. Building Division Conditions of Approval

1. Prior to building permit issuance and construction of the proposed facility, applicant shall submit construction documents, plans, specifications and/or calculations to the Building Safety Division, which meet all requirements of Title 24 California Code of Regulations and City of Tracy Municipal Codes, as applicable. The below items were noted during

the development review, additional comments may be forthcoming upon full building plan review:

- Accessible path of travel is shown between accessible parking stalls and building entrance. An accessible path of travel shall also connect to the public way.
- Per CBC 11B-213.2, where bathing rooms are provided, each bathing room shall comply with 11B-603. One of the bathing rooms shown in the fitness area does not appear compliant as currently proposed.
- Where 5-25 EVCS are provided at least 1 van accessible and 1 standard accessible shall be provided per 11B-228.3.2.1.

E. Public Works/Utilities Conditions of Approval

1. Landscape Maintenance for Public Landscaping. Proceeds from property taxes are not generally sufficient to pay for the level of general City services generated by the development. The cost of long-term landscape maintenance of public landscaping is particularly burdensome. Therefore, before approval of the first Final Map, an Offsite Improvement Agreement, or an encroachment permit (whichever occurs first), the Developer shall assure that there will be sufficient funding for the ongoing costs related to public landscaping maintenance costs. Developer must prepare its improvement plans and fund a landscaping budget analysis (to be performed by a consultant to the City) to establish the scope and cost estimates of the public landscaping maintenance costs.

As used here:

“Public landscaping maintenance costs” includes but is not limited to maintenance, operation, repair and replacement of public landscaping included in the Project. “Public landscaping” includes but is not limited to public walls, special public amenities, ground cover, turf, shrubs, trees, irrigation systems, drainage and electrical systems, masonry walls or other fencing, entryway monuments or other ornamental structures, furniture, recreation equipment, hardscape and any associated appurtenances within medians, parkways, dedicated easements, channel-ways, parks or open space area.

Prior to issuance of a Building Permit, the Developer shall do one of the following, subject to the approval of the Finance Director:

- a. Annexation. The Developer shall, at its cost, annex the entire Project area into the existing Tracy Consolidated Landscape Maintenance District (TCLMD). It is understood that when property annexes into the TCLMD, the property owners will be assessed for their pro rata share of assessment district maintenance costs of public landscaping as described in the TCLMD for the Project area. Before issuance of a building permit, the developer shall deposit a first year's assessment equivalent to the Maintenance District's first 12 months of estimated costs, based on the approved landscaping budget analysis;

Or

- b. CFD or other funding mechanism. The Developer shall, at its expense, form or annex into a Community Facilities District (CFD), or establish another lawful funding mechanism that is reasonably acceptable to the City for the entire Project area for

funding or performing the on-going maintenance costs of public landscaping included in the Project. Formation of the CFD shall include, but not be limited to, affirmative votes at the CFD election and the recordation of a Notice of Special Tax Lien. Upon a successful election, the parcels will be subject to the maximum special tax rates as outlined in the Rate and Method of Apportionment;

Or

- c. POA. The Developer shall, at its expense, form a Property Owner's Association (POA) with CC&Rs reasonably acceptable to the City for the entire Project area for funding or performing the on-going maintenance costs of public landscaping included in the Project. If the POA is the chosen funding mechanism, the Developer must also annex to the TCLMD or form or annex into a CFD in a "dormant" capacity, to be triggered if the POA is not created after the Final Map or fails to perform the required public landscape maintenance. (Even in a dormant status, the tax or assessment must be disclosed to homebuyers and non-residential property owners.) Before issuance of a building permit, the developer shall deposit a first year's assessment equivalent to the first 12 months of estimated costs, based on the approved landscaping budget analysis;

Or

- d. Direct funding. The Developer shall deposit with the City an amount necessary to fund the full maintenance costs in perpetuity as identified by the approved landscaping budget analysis.
2. Prior to issuance of a grading permit, the Developer shall provide proof of compliance with the Construction General Permit through a Waste Discharge ID number or Notice of Intent submittal; and provide proof of compliance with the City of Tracy Manual of Stormwater Quality Control Standards for New Development and Redevelopment (Manual), which includes the requirements for Site Design, Source and Treatment Control Measures, in a project Stormwater Quality Control Plan (SWQCP), to the satisfaction of the Public Works Director or his/her designee. Prior to issuance of a building permit, the Developer shall provide proof of compliance with CalGreen Building Standards for Residential Properties, to the satisfaction of the Public Works Director or his/her designee.
3. Prior to the issuance of a building permit, the Developer shall prepare a detailed landscape and irrigation plan for all landscape areas (e.g. back yards, front yards, and public right of way) consistent with City standards and shall show compliance with adopted Water Efficient Landscape Ordinance and mandatory CalGreen Building Standards for Residential Properties through submittal and approval of the required Landscape Package, which includes project information, a water efficient landscape worksheet, a soil management report and Landscape, Irrigation, Drainage and Grading Plans, to the satisfaction of the Public Works Director or his/her designee.
4. Prior to occupancy, the applicant must electronically submit a complete landscape document package for final approval and acceptance by the Utilities Director.

F. Engineering Division Conditions of Approval

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