

DIRECTOR PUBLIC HEARING  
ITEM 3

REQUEST

**PUBLIC HEARING TO CONSIDER AN APPLICATION FOR THE CONSTRUCTION OF A 34,532 SQUARE FOOT TWO-STORY OFFICE BUILDING ON A 3.36 ACRE SITE WITHIN THE CORDES RANCH SPECIFIC PLAN AREA, AND ITS RELATED PARKING, LANDSCAPE AND SITE IMPROVEMENTS. APPLICANT AND OWNER IS PROLOGIS. APPLICATION NUMBER D20-0007.**

Project Description

The Cordes Ranch Specific Plan area was approved and annexed into the City of Tracy in 2013, for the construction of a 1,780 acre industrial park, with supporting office and retail. Since then, numerous industrial buildings have been built and occupied within the Specific Plan area, all within the Business Park Industrial (BPI) land use designation. This proposed office building would be the first building within the Plan's General Office (GO) land use designation.

According to the applicant, this office would initially house Prologis' staff who work on the construction, leasing and maintenance of the existing and planned buildings within the specific plan area. There will also be additional square footage that can be leased to other office users, as well as typical office accessory spaces such as a gym and break room, as well as exterior recreational space. The building architecture is designed to reflect the colors, materials and some design shapes and features of the nearby industrial buildings, helping it to be compatible with the overall design theme of the business park. The design also incorporates several design elements that ensure it is appropriate for a Class A office building including balconies, a significant use of glass, and textured materials that keep the scale more appropriate for office, rather than industrial use (Attachment A).

The site's parking and circulation is designed in a manner that anticipates the development of future office buildings adjacent to and north of the site, appropriately aligning future drive aisles and driveways for efficient circulation, and fewer curb cuts along International Parkway. Engineering analyses were conducted to size utilities and storm drainage connections, the conditions for which are included in the project conditions of approval. Additionally, a traffic analysis was completed, which indicated the project consistency with previous thresholds for traffic congestion.

Environmental Document

The proposed project is consistent with the Cordes Ranch Specific Plan Environmental Impact Report (EIR), approved by the City Council on September 3, 2013, and the General Plan EIR approved by the City Council on February 1, 2011. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required.

RECOMMENDATION

Staff recommends that the Development Services Director approve the 34,532 square foot office building, and its related parking landscaping and site improvements, on a 3.36-acre site, located at 615 International Parkway, a portion of Assessor's Parcel Number 209-090-36, based on the findings contained in the Director's Determination dated May 12, 2020 (Attachment B).

Prepared by Victoria Lombardo, Senior Planner

Approved by Bill Dean, Assistant Development Services Director

ATTACHMENTS

- A: Site Plan, Elevations, Landscape Plans
- B: Development Services Director Determination  
Exhibit 1 – Conditions of Approval

PROLOGIS IPC SALES OFFICE  
INTERNATIONAL PARKWAY & PROMONTORY PARKWAY  
TRACY, CA

☐ PRELIMINARY  
(NOT FOR CONSTRUCTION)

☒ PLANNING DEPARTMENT  
(NOT FOR CONSTRUCTION)

☐ HEALTH DEPARTMENT

☐ BUILDING DEPARTMENT

☐ PRICING PLANS

CONTACT INFORMATION

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PROJECT DATA

A.P.N.: 209-090-360  
LOT SIZE: 3.3602 ACRES (146,372 SF)

LAND USE DESIGNATION: CRSP - CORDES RANCH SPECIFIC PLAN  
ZONING DISTRICT: GO (GENERAL OFFICE)

OCCUPANCY: B  
NUMBER OF STOREYS: 2  
BUILDING CONSTRUCTION: TYPE III-B

PROPOSED FAR: 23.6% (45% MAX.)  
BLDG. HEIGHT: 36'-0" / 39'-0" EQ. SCREEN (MAX. ALLOWED: 80 FT)

FIRE SPRINKLERED: FULLY SPRINKLERED

**BUILDING AREA**  
1/F: 17,461 SF  
2/F: 17,214 SF  
TOTAL: 34,675 SF

APPLICABLE CODES:  
2019 CALIFORNIA BUILDING CODE (C.B.C.)  
2019 CALIFORNIA ELECTRICAL CODE (C.E.C.)  
2019 CALIFORNIA MECHANICAL CODE (C.M.C.)  
2019 CALIFORNIA PLUMBING CODE (C.P.C.)  
2019 CALIFORNIA ENERGY CODE (C.E.C.)  
2019 CALIFORNIA FIRE CODE (C.F.C.)  
2019 CALGREEN CODE  
\* ALL APPLICABLE LOCAL, STATE & FEDERAL CODES, ORDINANCES, LAWS, & REGULATIONS AS AMENDED BY THE CITY OF TRACY.

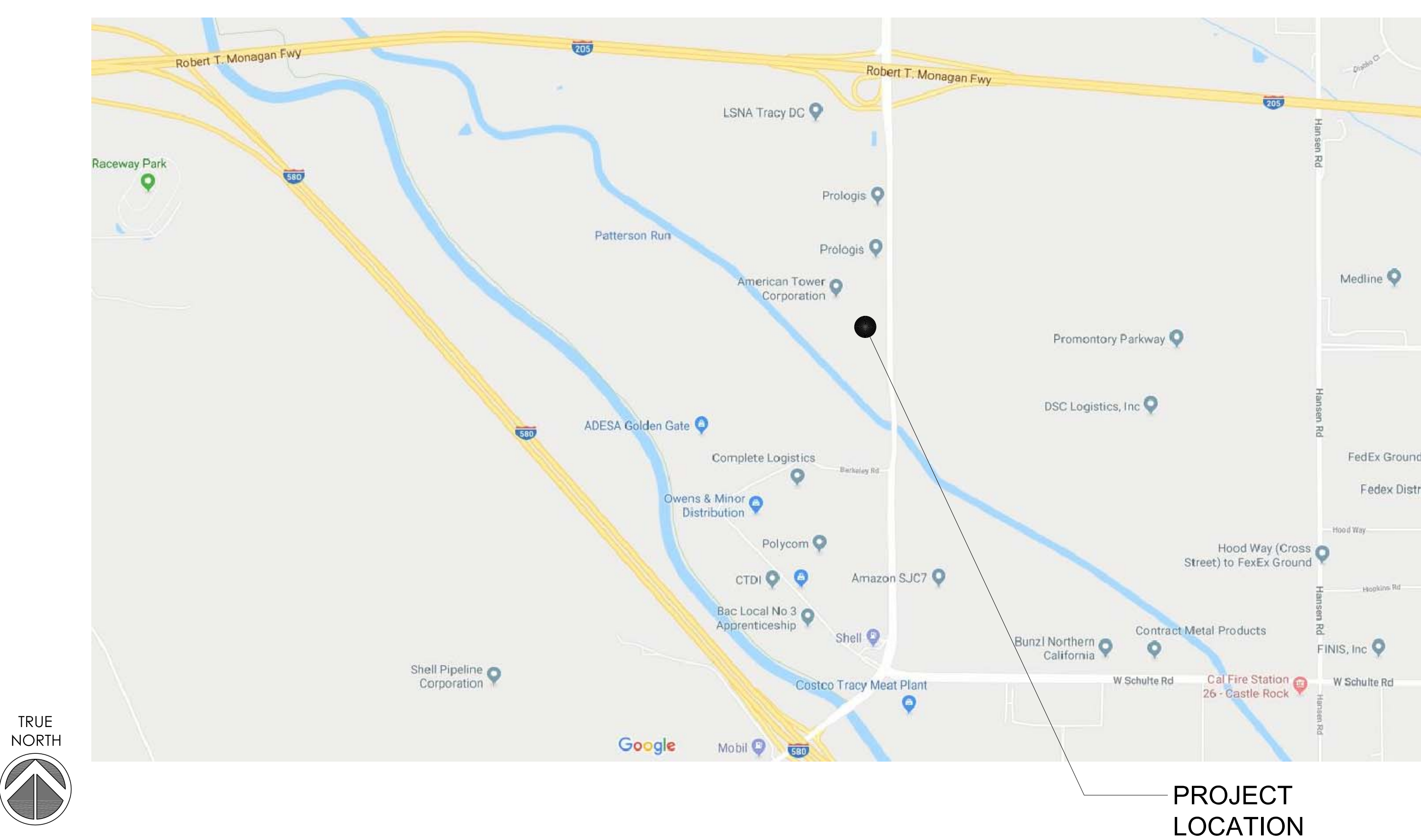
SCOPE OF WORK

THIS PROJECT PROPOSES NEW CONSTRUCTION OF A 2-STORY CLASS-A OFFICE BUILDING, AND ON-SITE AND OFF-SITE SITE DEVELOPMENT AS REQUIRED.

DRAWING INDEX

**ARCHITECTURAL**  
G0.0 COVER SHEET  
AS1.0 ARCHITECTURAL SITE PLAN  
AS2.0 SITE SECTION  
A1.0 FLOOR PLANS  
A2.0 ROOF PLAN  
A3.1 BUILDING ELEVATIONS  
A3.2 BUILDING ELEVATIONS  
A3.3 BUILDING ELEVATIONS  
A10.0 PERSPECTIVE IMAGES  
A10.1 COLORED BUILDING ELEVATIONS  
A11.0 MATERIAL BOARD

VICINITY MAP

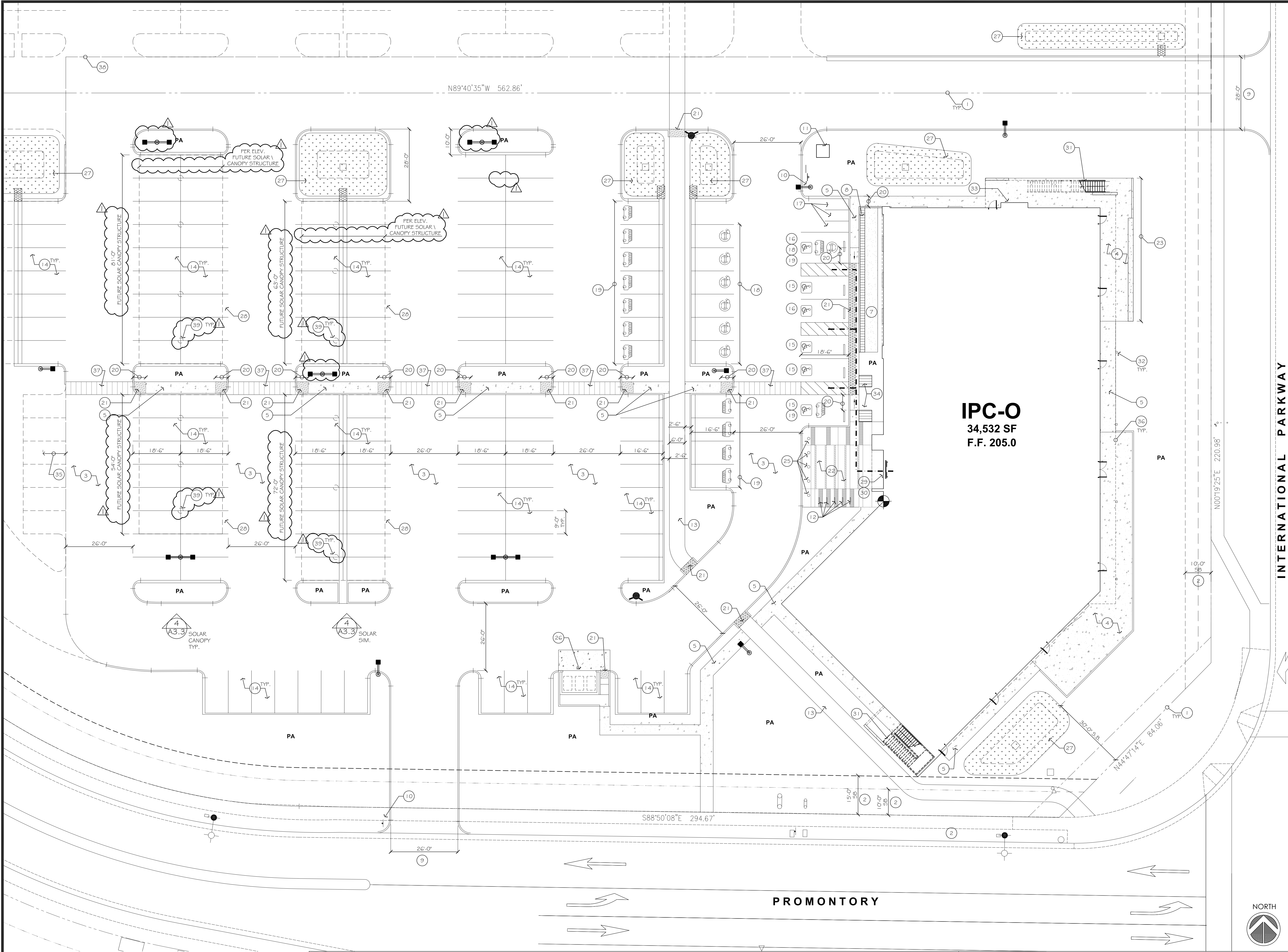


REVISIONS	
DATE	DESCRIPTION
2.6.2020	ISSUE FOR DEVELOPMENT APPLICATION
4.XX.2020	REV PER PLANCHECK COMMENT ROUND 1

DATE	DATE
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COVER SHEET





## 1. SITE PLAN

SCALE: 1/16" = 1'-0"

### PARKING ANALYSIS

#### Min. Parking Spaces (according to Tracy, CA - Code of Ordinance)

Offices: business, professional (not including medical or dental), banks	1 space per 250 gsf
Cafes, Restaurants and other establishments for the sale and consumption of food and beverages	1 space/ 45 sf of dining area + 1 space/ 250 sf of other area of gross floor area

\*[(34,675 - 569) GSF / 250] + [569 GSF / 45] = 136 + 13 = 149 parking spaces

#### Bicycle Parking (according to Tracy, CA - Code of Ordinance)

Total # of Parking Spaces Req'd	Required Bicycle Spaces
0 through 19	0
20 through 40	2
Over 40	5% of # of required auto spaces

PARKING PROVIDED  
STANDARD PARKING: 144  
ACCESSIBLE PARKING STALL: 5  
VAN ACCESSIBLE PARKING STALL: 1  
THEREFORE, TOTAL PARKING PROVIDED: 150 (> 149 REQUIRED)

DESIGNATED EV CHARGING PARKING STALL: 7  
DESIGNATED CLEAN AIR VEHICLE PARKING STALL: 13

SHORT TERM BICYCLE PARKING = 150 X 5% = 8  
LONG TERM BICYCLE PARKING = WITHIN BUILDING, WILL BE PROVIDED DURING T.I. PERMIT.  
MOTORBIKE PARKING = 3

### LEGEND

—	PROPERTY LINE
---	LIMIT OF CONSTRUCTION
- - - -	ACCESSIBLE PATH OF TRAVEL (8.33% MAXIMUM SLOPE FOR RAMP, 2% MAXIMUM CROSS-SLOPE)
● OR +○+	FIRE HYDRANT, SEE CIVIL DWG
PA	PLANTING AREA, SEE LANDSCAPE DWG
↔	ALIGN
●	STREET LIGHT POLE, SEE CIVIL DWG
■	LIGHT POLE, 20'H
♿	ACCESSIBLE PARKING STALL
⚡	DESIGNATED EV CHARGING STATION
🚲	DESIGNATED CLEAN AIR VEHICLES

### GENERAL NOTES

- SEE GENERAL NOTES ON SHEET G1.0.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE, TYP. U.O.N.
- SEE CIVIL DWG FOR ALL CONCRETE CURBS, GUTTER AND SWALES, AND GRADING PLANS.
- SEE CIVIL DWG FOR FINISH GRADE ELEVATIONS.
- SEE LANDSCAPE DWG FOR ALL LANDSCAPE LAYOUT, PLANTING MATERIALS/ LAYOUT, AND IRRIGATION PLANS.
- GC TO REFER TO CIVIL DWG FOR ALL HORIZONTAL CONTROL DIMENSIONS. ARCHITECTURAL SITE PLANS ARE FOR REFERENCE AND STARTING LAYOUT POINTS.
- SEE SOIL REPORT BY KLEINFELDER.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING, SEE CIVIL DWG.
- CONC. SIDEWALKS SHALL BE A MIN. OF 4" THICK W/ TOOLED JOINTS AT 6' O.C.. EXPANSION/ CONSTRUCTION JOINTS SHALL BE A MAX. OF 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSION EXPANSION FILLER MATERIALS OF 1/4". SEE LANDSCAPE DWG. FOR CONC. PAVING FINISH.

### (E) SITE PLAN KEYNOTES

- PROPERTY LINE
- SET BACK.
- ASPHALT CONCRETE PAVING (AC).
- CONC. PAVEMENT, FINISH: SEE LANDSCAPE DWG.
- CONC. WALKWAY, FINISH: SEE LANDSCAPE DWG
- NOT USED.
- "MINI BOCCIE COURT", SEE LANDSCAPE DWG.
- LOW CONC. WALL, W/ WOOD SEAT BENCH BEHIND, SEE CIVIL AND LANDSCAPE DWG.
- DRIVEWAY, DRIVEWAY APRON PER CIVIL DWG.
- TOW-AWAY SIGN.
- MONUMENT SIGNAGE, UNDER SEPARATE PERMIT.
- BIKE RACK (EA. RACK HOLDS 2 BIKES).
- DESIGNATED BIKE LANE, SEE CIVIL DWG.
- STANDARD VEHICULAR PARKING STALL.
- ACCESSIBLE PARKING.
- ACCESSIBLE PARKING, VAN ACCESSIBLE.
- MOTORCYCLE PARKING.
- EV CHARGING STATION.
- DESIGNATED PARKING FOR CLEAN AIR VEHICLES.
- CONC. CURB RAMP, MAX. SLOPE 8.33%, 2% MAX. CROSS SLOPE, SEE CIVIL DWG.
- TRUNCATED DOME (DETECTABLE WARNING).
- SEE LANDSCAPE DWG FOR ENTRY PLAZA DESIGN.
- LANDSCAPE LOW WALL, SEE LANDSCAPE DWG.
- NOT USED.
- BOLLARD LIGHT FIXTURES, SEE LANDSCAPE DWG.
- TRASH & RECYCLING ENCLOSURE, COVERED. EXTERIOR FINISH TO MATCH BUILDING FINISH.
- STORM TREATMENT/ BIO-RETENTION AREA, SEE CIVIL DWG.
- LOCATION FOR FUTURE SOLAR CANOPY STRUCTURE (UNDER SEPARATE PERMIT).
- BUILDING MAIN ENTRY, ACCESSIBLE. PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- PROVIDE KNOX BOX, COORDINATE LOCATION WITH FIRE DEPT.
- EXTERIOR STAIR, SEE ARCH FLOOR PLANS FOR DETAILS.
- STRUCTURAL COL. (FOR DECK STRUCTURE), SEE FLOOR PLAN.
- ELECTRICAL EQ/ MAIN METER SECTION.
- LANDSCAPE SEAT BENCH, SEE LANDSCAPE DWG.
- LANDSCAPE SEAT BENCH, SEE LANDSCAPE DWG.
- OUTLINE OF DECK STRUCTURE ABOVE.
- CROSS WALK OVER PARK LOT STRIPING, COORDINATE W/ CIVIL DWG.
- LIMIT OF CONSTRUCTION, SEE CIVIL DWG.
- APPROX. LOCATION FOR FUTURE SOLAR CANOPY COLUMNS (UNDER SEPARATE PERMIT).

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ARCHITECTURAL SITE PLAN

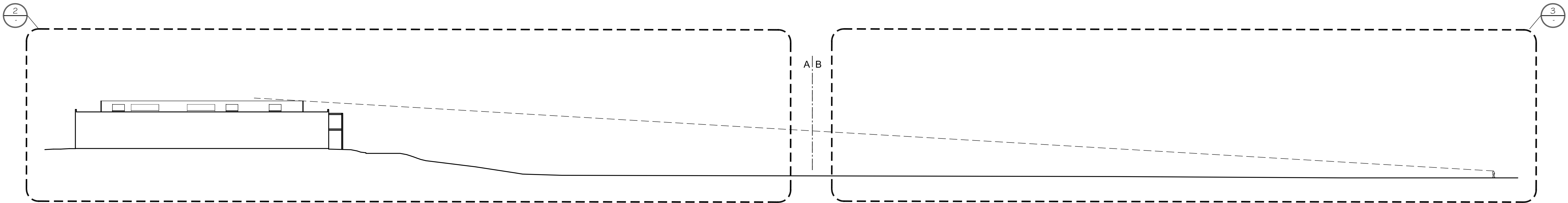
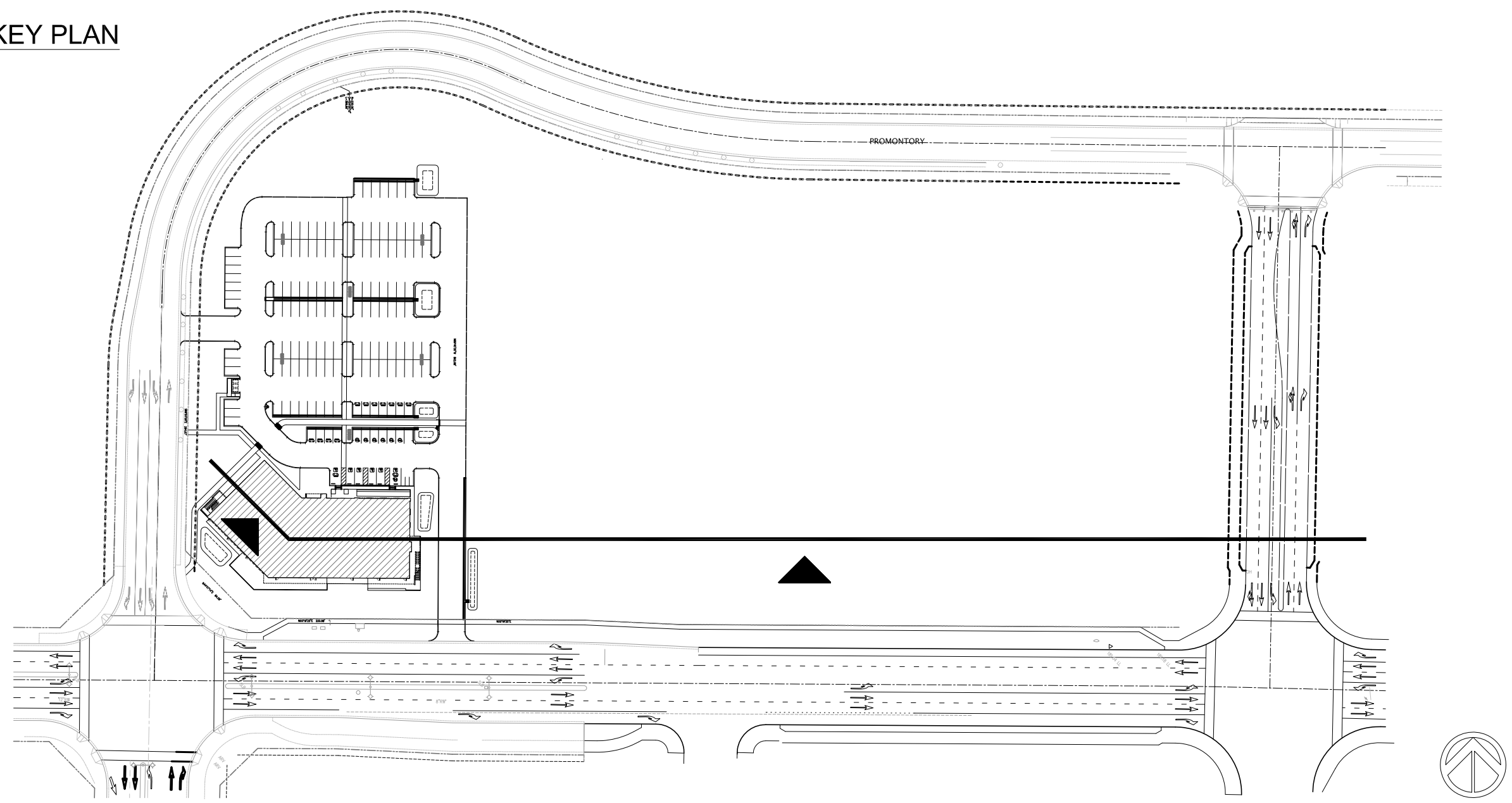
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SHEET NO.

AS1.0

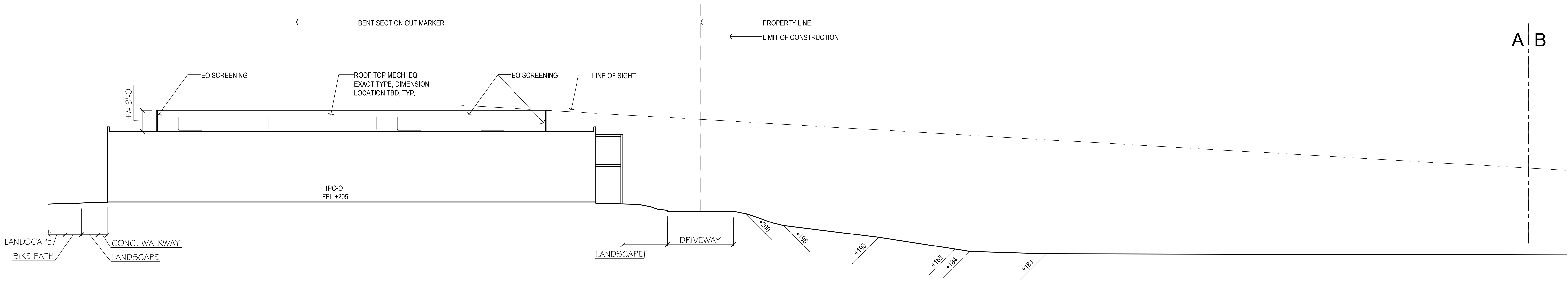


KEY PLAN



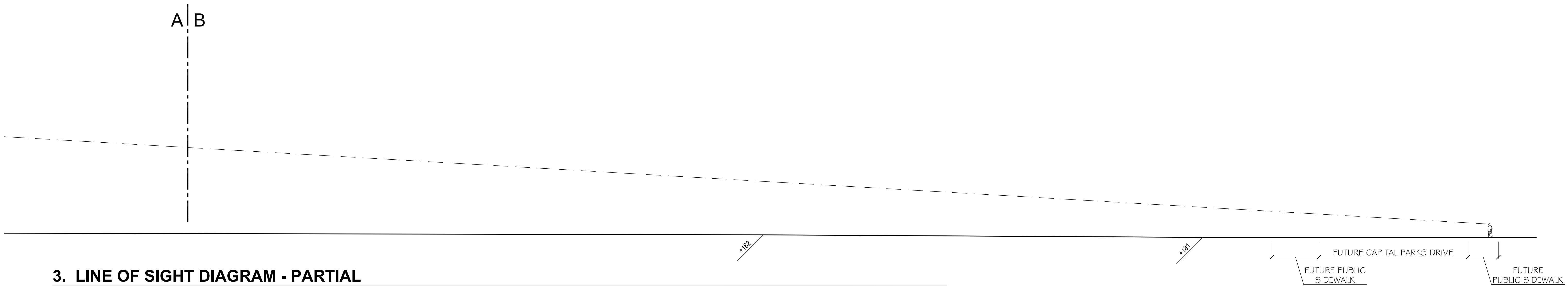
1. LINE OF SIGHT DIAGRAM - OVERALL

SCALE: 1" = 20'



2. LINE OF SIGHT DIAGRAM - PARTIAL

SCALE: 1" = 20'



3. LINE OF SIGHT DIAGRAM - PARTIAL

SCALE: 1" = 20'

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SITE SECTION

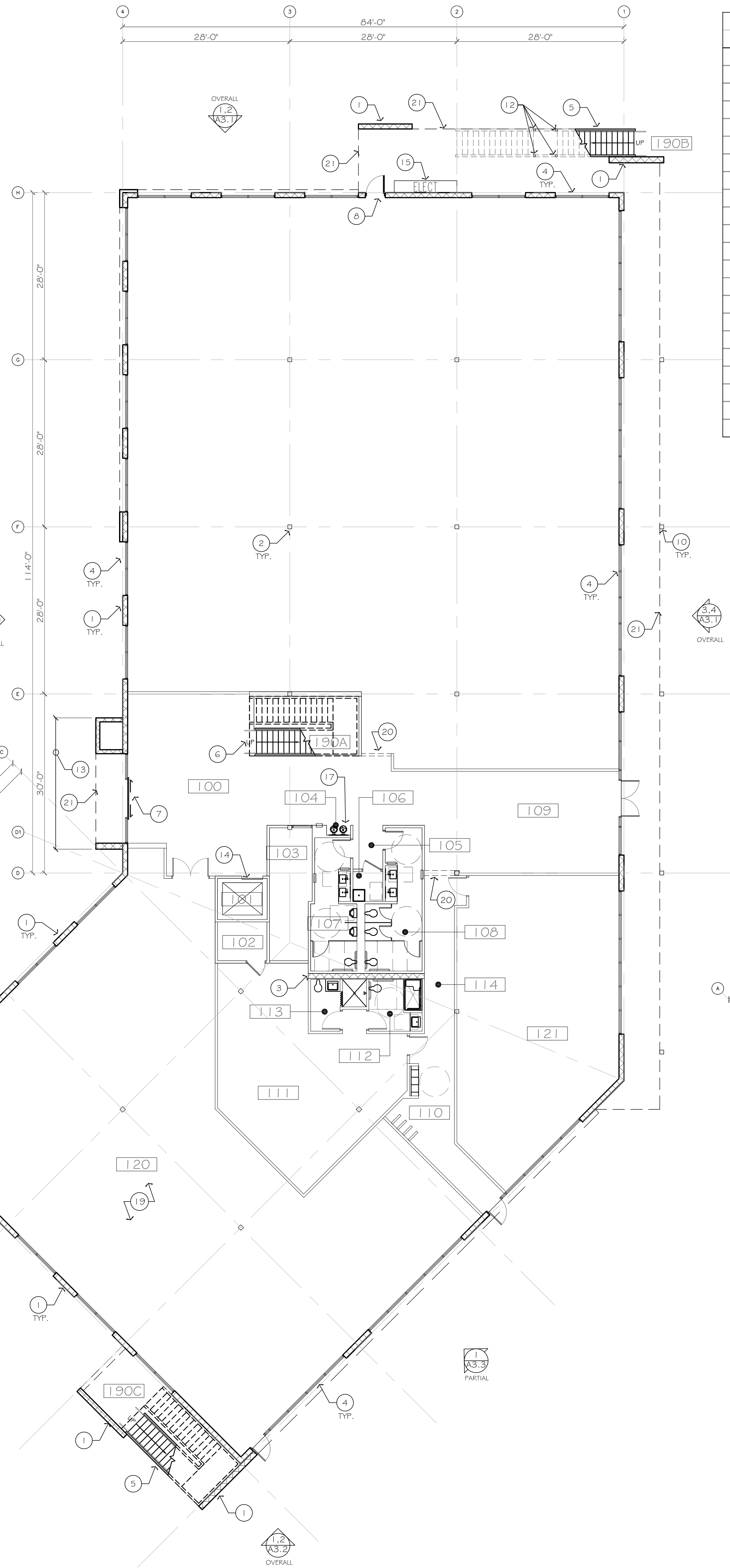
SHEET TITLE

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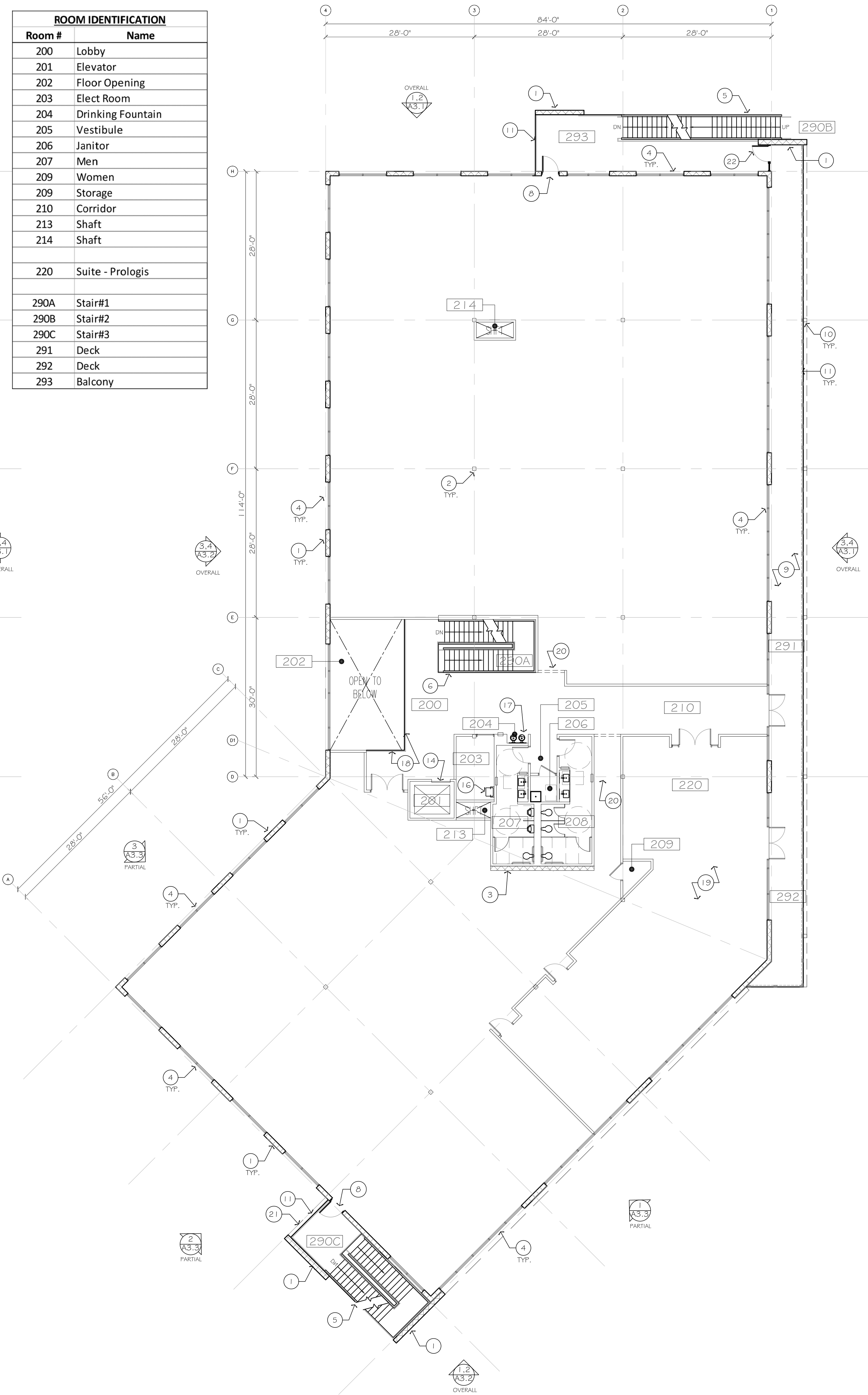
ROOM IDENTIFICATION	
Room #	Name
100	Lobby
101	Elevator
102	Equipment
103	Elect Room
104	Drinking Fountain
105	Vestibule
106	Janitor
107	Men
108	Women
109	Break/ Coffee
110	Bike
111	Fitness
112	Toilet/ Shower (ADA)
113	Toilet/ Shower
114	Corridor
120	Suite - Prologis
121	Suite - TBD
190A	Stair#1
190B	Stair#2
190C	Stair#3



1. FLOOR PLAN - OVERALL, 1/F

SCALE: 3/32" = 1'-0"

ROOM IDENTIFICATION	
Room #	Name
200	Lobby
201	Elevator
202	Floor Opening
203	Elect Room
204	Drinking Fountain
205	Vestibule
206	Janitor
207	Men
209	Women
209	Storage
210	Corridor
213	Shaft
214	Shaft
220	Suite - Prologis
290A	Stair#1
290B	Stair#2
290C	Stair#3
291	Deck
292	Deck
293	Balcony



2. FLOOR PLAN - OVERALL, 2/F

SCALE: 3/32" = 1'-0"

GENERAL NOTES

- SEE GENERAL NOTES ON SHEET G1.0.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE, TYP. U.O.N.
- PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
- SEE CIVIL DWG FOR ALL CONCRETE CURBS, GUTTER AND SWALES, AND GRADING PLANS.
- SEE CIVIL DWGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. GC TO VERIFY EXACT UTILITY LOCATIONS.
- GC TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAFERED INCLUDING CARS AND TRUCKS.

KEYNOTES

- CONCRETE TILT-UP PANEL.
- STRUCTURAL STEEL COLUMN.
- CONC. SHEAR WALL, FULL HEIGHT TO DECK ABOVE.
- TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE BUILDING ELEVATIONS FOR DETAILS.
- EXTERIOR STAIR (OPEN), CONC. FILLED METAL PAN DECK SYSTEM.
- INTERIOR STAIR, CONC. FILLED METAL PAN DECK SYSTEM.
- AUTOMATIC SLIDING DOORS AT BUILDING MAIN ENTRY.
- HOLLOW METAL EXTERIOR MAN DOOR.
- DECK STRUCTURE, STRUCTURAL STEEL AND METAL STUD FRAMED ROOF, METAL GRATING PLATFORM.
- DECK STRUCTURE STEEL COLUMN SUPPORT.
- STEEL POSTS AND FLAT BAR RAILING/ GUARDRAIL SYSTEM, PAINTED.
- EXTERIOR STAIR STEEL COLUMN SUPPORT.
- ENTRY "PORTAL", MTL STUD FRAMING W/ METAL CLADDED FINISH.
- ELEVATOR CORE, AND ELEVATOR CAB.
- ELECTRICAL EQ/ MAIN METER SECTION.
- ROOF ACCESS LADDER.
- DRINKING FOUNTAIN, HI-LO.
- FLOOR OPENING, OPEN TO BELOW. GUARDRAIL SYSTEM AROUND FLOOR OPENING.
- FUTURE PROLOGIS SALES & MARKETING OFFICE. UNDER SEPARATE T.I. PERMIT.
- CASED OPENING.
- LINE OF STRUCTURE ABOVE.
- METAL GATE.

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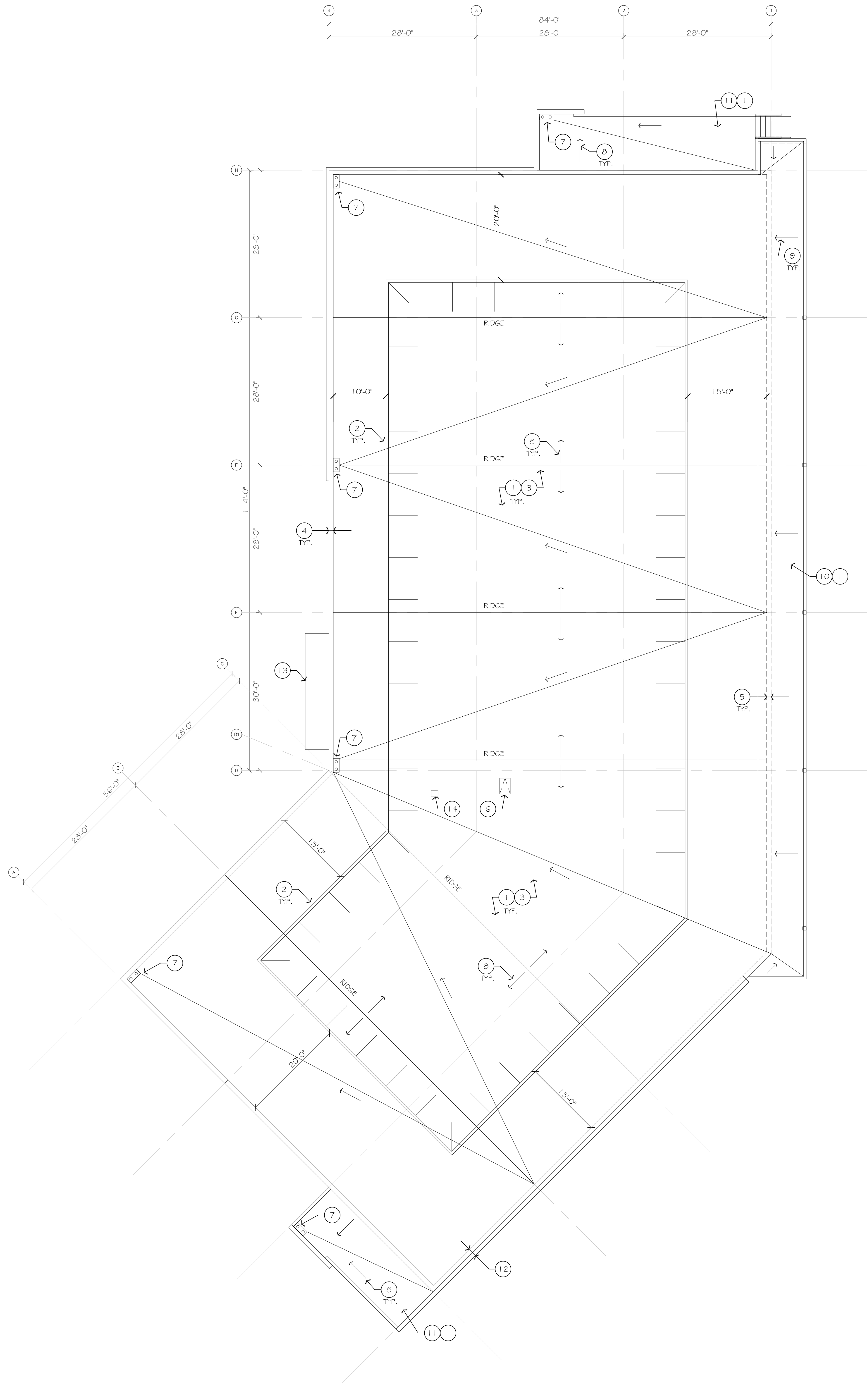
FLOOR PLANS - OVERALL

SHEET TITLE

SHEET NO.

A1.0





1. ROOF PLAN

SCALE: 3/32" = 1'-0"



GENERAL NOTES

1. SEE GENERAL NOTES ON SHEET A1.0.

ROOF PLAN KEYNOTES

1. TPO MEMBRANE ROOFING SYSTEM.
2. ENGINEERED ROOFTOP EQUIPMENT ROOF SCREENS, METAL PANEL, Ø11. SEE ELEVATIONS FOR COLOR. CANTILEVERED THREE MEMBER FRAME WITH POST OR BASE SUPPORT. MFR: ROOFSCREEN, OR EQUAL.
3. ROOFTOP EQUIPMENT NOT SHOWN ON THIS DRAWING; EXACT EQUIPMENT TYPE, DIMENSIONS, LOCATION AND QTY TO BE DETERMINED.
4. PARAPET WITH CAP/ COPING, PAINT TO MATCH BLDG COLOR.
5. PARAPET BELOW, UNDERNEATH ROOF AT DECK STRUCTURE.
6. ROOF HATCH
7. ROOF DRAIN & OVERFLOW DRAIN LOCATION; GC TO COORDINATE W/ PLUMBING SUB. FOR SPEC. AND DETAILS.
8. ROOF SLOPE @ 1/4" = 1'-0" MIN. FOR POSITIVE DRAINAGE, ARROW INDICATES DIRECTION OF SLOPE.
9. ROOF SLOPE @ 1/4" = 1'-0" MIN. TO SHEET FLOW RAIN WATER FROM DECK ROOF TO BUILDING MAIN ROOF.
10. ROOF @ DECK STRUCTURE.
11. ROOF @ OPEN STAIR STRUCTURE.
12. "FEATURE WALL" PARAPET, NO COPING, WALL FINISH: PRECAST BOARD FORM CONCRETE.
13. ROOF @ BUILDING MAIN ENTRY "PORTAL" ELEMENT BELOW, METAL PANEL FINISH.
14. ELEVATOR SHAFT VENT.

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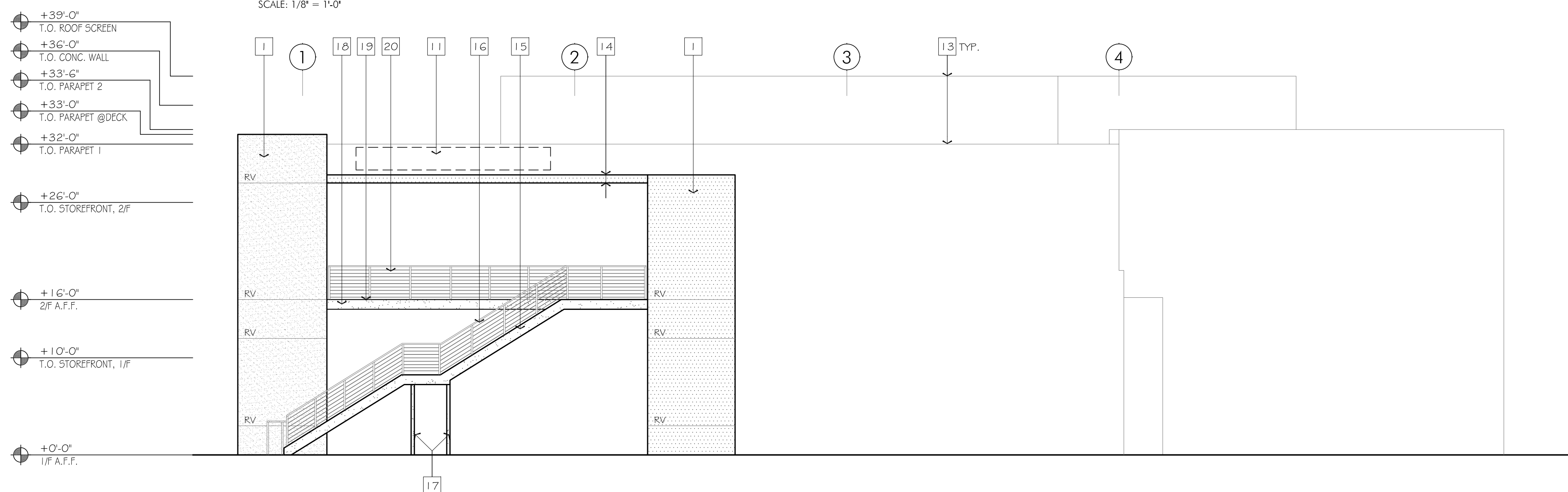
ROOF PLAN

SHEET TITLE

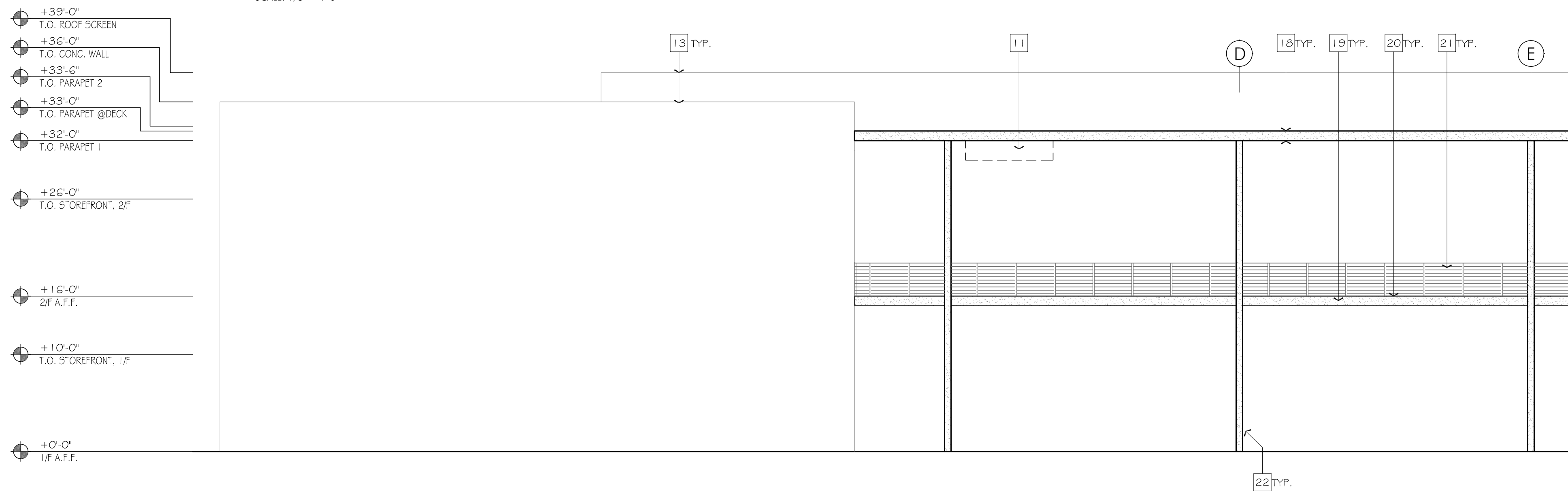
SHEET NO.

A2.0






SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



- | Key Notes |  | Indicated on plan by  |
|-----------|--|--|
| 1.        | CONCRETE TILT-UP PANEL, TYP. U.O.N.  |  |
| 2.        | CONCRETE PANEL WITH BOARD FORM CONC. FINISH.   |  |
| 3.        | AUTOMATIC SLIDING DOORS AT BUILDING MAIN ENTRY.  |  |
| 4.        | ALUMINUM STOREFRONT FRAMING AND INSULATED GLASS (TEMP.) SYSTEM, TYP.                           |  |
| 5.        | HOLLOW METAL EXTERIOR MAN DOOR.  |  |
| 6.        | FRAMED METAL GATE SYSTEM, POWDERED COATED.   |  |
| 7.        | ENTRY "PORTAL", MTL STUD FRAMING, CLADD'D W/ METAL PANEL FINISH.                               |  |
| 8.        | ELECTRICAL EQ/ MAIN METER SECTION.   |  |
| 9.        | ROOFTOP EQUIPMENT ROOF SCREENS, SEE ROOF PLAN FOR DETAILS.                                     |  |
| 10.       | LANDSCAPE LOW WALL WITH BOARD FORM CONC. FINISH. SEE LANDSCAPE DWG.                            |  |
| 11.       | APPROXIMATE SIGNAGE LOCATION, FOR REFERENCE (SIGNAGE TO BE UNDER SEPARATE PERMIT)              |  |
| 12.       | ARCHITECTURAL ELEMENT IN FOREGROUND, DASHED FOR CLARIFY. SEE ADDITIONAL ELEVATION FOR DETAILS. |  |

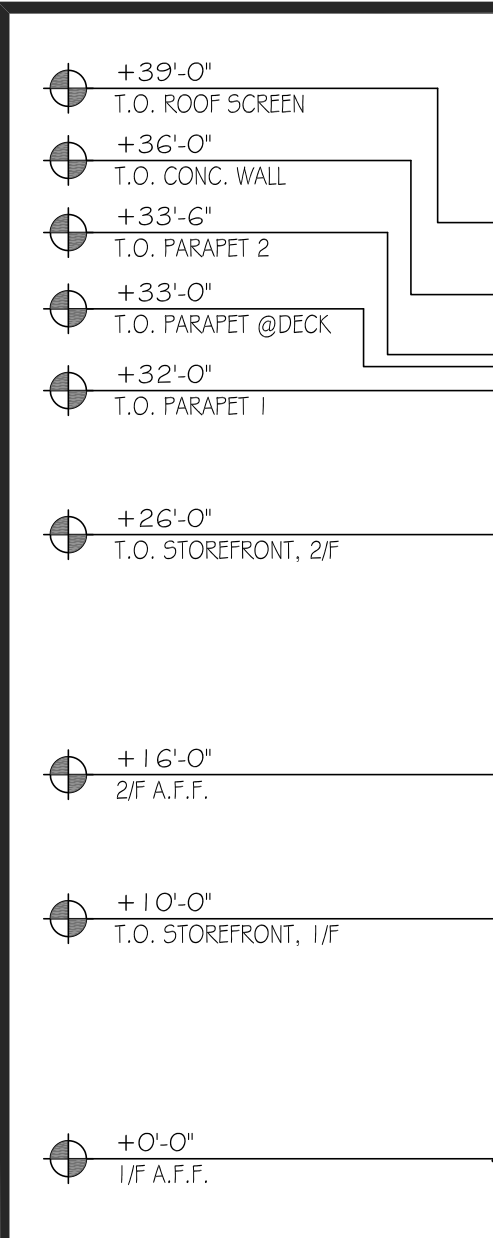
DATE	DATE
SCALE	AS SHOWN
PROJECT ID	2018.121
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SHEET TITLE

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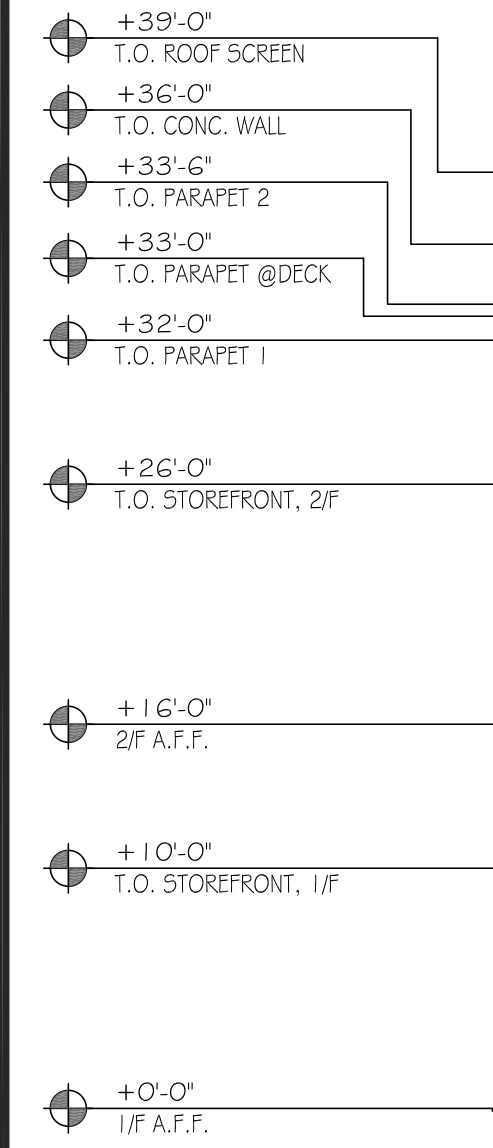
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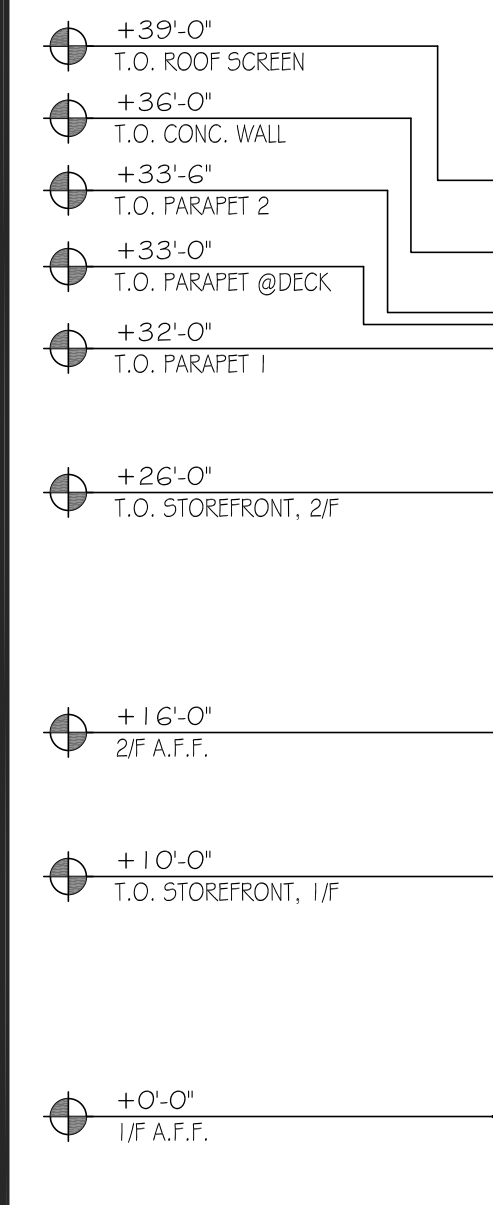
1. BUILDING ELEVATION - SOUTH (STAIR# 3 DASHED IN FOREGROUND FOR CLARITY)

SCALE: 1/8" = 1'-0"



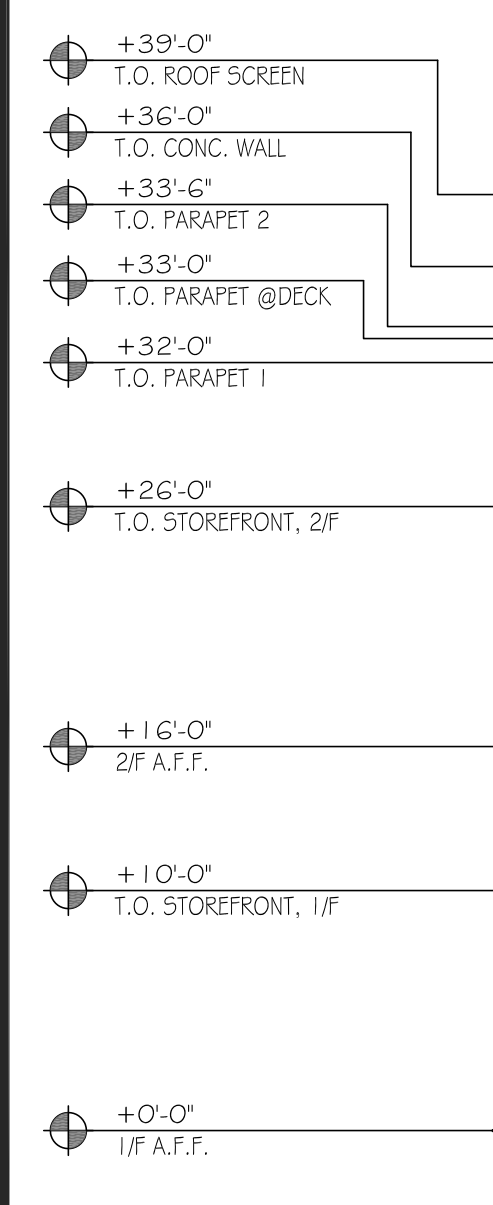
2. BUILDING ELEVATION - SOUTH, STAIR#3 STRUCTURAL ONLY

SCALE: 1/8" = 1'-0"



3. BUILDING ELEVATION - WEST (STAIR# 3 DASHED IN FOREGROUND FOR CLARITY)

SCALE: 1/8" = 1'-0"



4. BUILDING ELEVATION - SOUTH, STAIR#3 STRUCTURAL ONLY

SCALE: 1/8" = 1'-0"

Legend

SEE SHEET A1 I.O. MATERIAL BOARD FOR SPEC.

- PAINT #1
- PAINT #2
- PAINT #3
- PAINT #4
- BRAKE METAL #1
- METAL PANEL #1
- METAL PANEL #2
- BOARD FORM CONC. FINISH
- INSULATED VISION GLASS

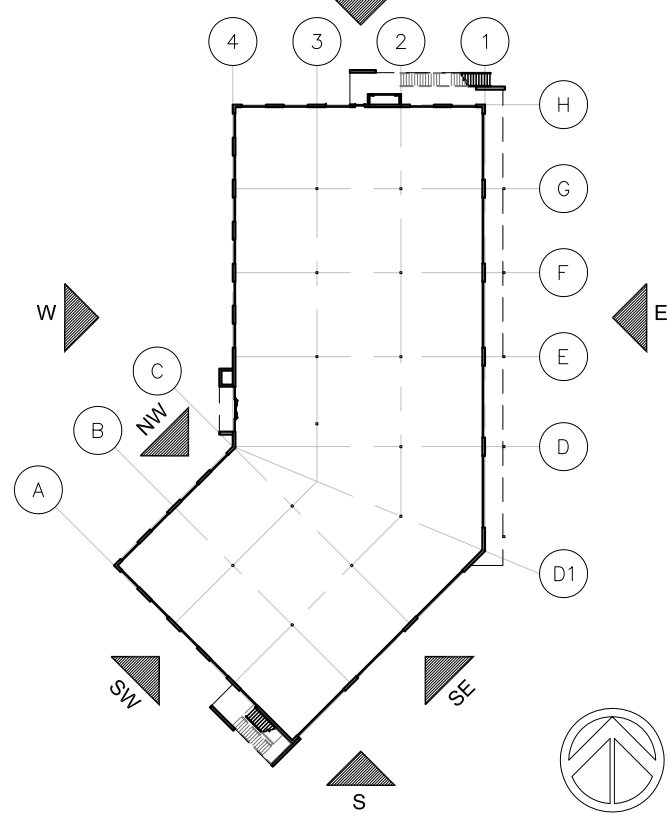
PJ = PANEL JOINT  
RV = PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJ. CONC. PANEL COLOR, TYP. U.O.N.

Key Notes

Indicated on plan by [ ]

- CONCRETE TILT-UP PANEL, TYP. U.O.N.
- CONCRETE PANEL WITH BOARD FORM CONC. FINISH.
- AUTOMATIC SLIDING DOORS AT BUILDING MAIN ENTRY.
- ALUMINUM STOREFRONT FRAMING AND INSULATED GLASS (TEMP.) SYSTEM, TYP.
- HOLLOW METAL EXTERIOR MAN DOOR.
- FRAMED METAL GATE SYSTEM, POWDERED COATED.
- ENTRY "PORTAL", MTL STUD FRAMING, CLADDED W/ METAL PANEL FINISH.
- ELECTRICAL EQ/ MAIN METER SECTION.
- ROOFTOP EQUIPMENT ROOF SCREENS, SEE ROOF PLAN FOR DETAILS.
- LANDSCAPE LOW WALL WITH BOARD FORM CONC. FINISH. SEE LANDSCAPE DWG.
- APPROXIMATE SIGNAGE LOCATION, FOR REFERENCE (SIGNAGE TO BE UNDER SEPARATE PERMIT)
- ARCHITECTURAL ELEMENT IN FOREGROUND, DASHED FOR CLARITY. SEE ADDITIONAL ELEVATION FOR DETAILS.
- BUILDING AND EQ. SCREEN OUTLINE (BEYOND) FOR REFERENCE.
- @EXTERIOR STAIR: STRUCTURAL STEEL AND METAL STUD FRAMED ROOF. PAINTED ACRYLIC STUCCO FINISH @ FASCIA AND UNDERSIDE AND ALL EXPOSED EDGES.
- @EXTERIOR STAIR: CONC. FILLED METAL PAN DECK SYSTEM BETWEEN STEEL STAIR STRINGERS.
- @EXTERIOR STAIR: STEEL POSTS AND FLAT BAR RAILING/ GUARDRAIL SYSTEM, PAINTED.
- @EXTERIOR STAIR: STRUCTURAL COL. SUPPORT.
- @DECK STRUCTURE: STRUCTURAL STEEL AND METAL STUD FRAMED ROOF. PAINTED ACRYLIC STUCCO FINISH @ FASCIA AND UNDERSIDE AND ALL EXPOSED EDGES WHERE OCCURS.
- @DECK STRUCTURE: STEEL SECTION FASCIA, PAINTED.
- @DECK STRUCTURE: METAL GRATING PLATFORM.
- @DECK STRUCTURE: STEEL POSTS AND FLAT BAR RAILING/ GUARDRAIL SYSTEM, PAINTED.
- @DECK STRUCTURE: STRUCTURAL STEEL COL., 8X8 (FORMED W/ (2) C-CHANNELS), PAINTED.
- CONCRETE TILT-UP PANEL RECESSED BANDING FOR ACCENT PAINT OR FINISH, SEE LEGEND.

KEY PLAN



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REVISIONS

DATE	DESCRIPTION
2.6.2020	ISSUE FOR DEVELOPMENT APPLICATION

DATE	DATE
SCALE	AS SHOWN
PROJECT ID	2018.121
DRAWN BY	SGA

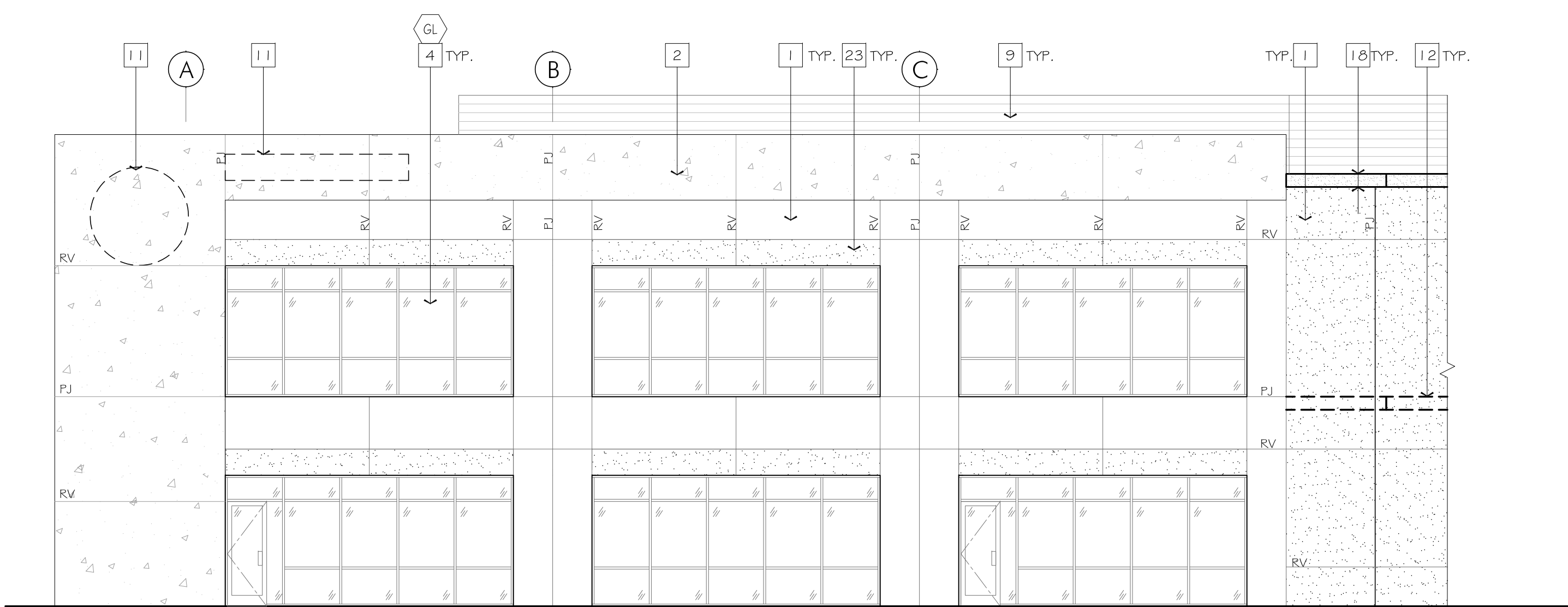
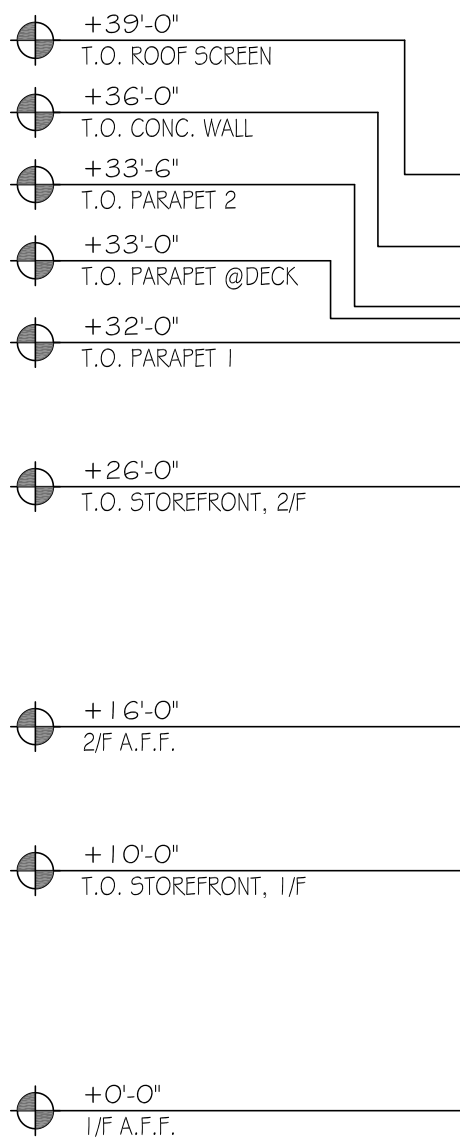
BUILDING ELEVATIONS

SHEET TITLE

SHEET NO.

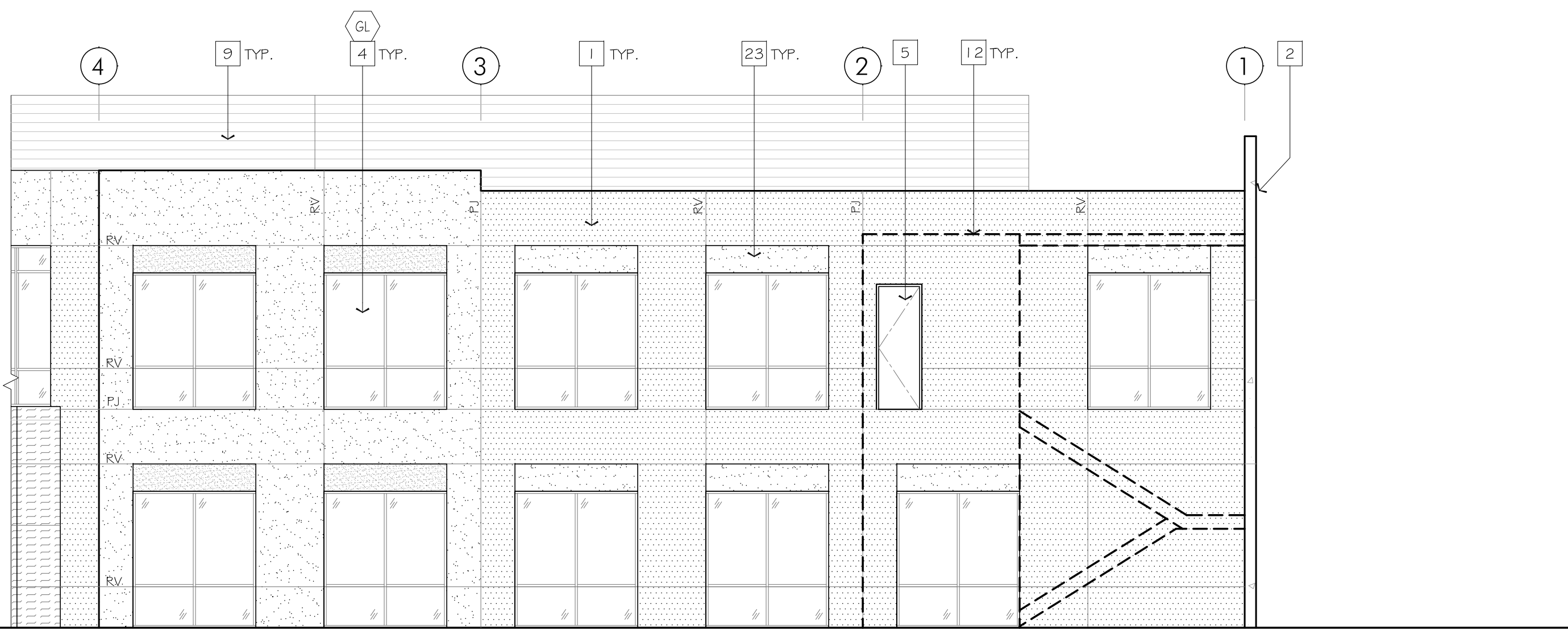
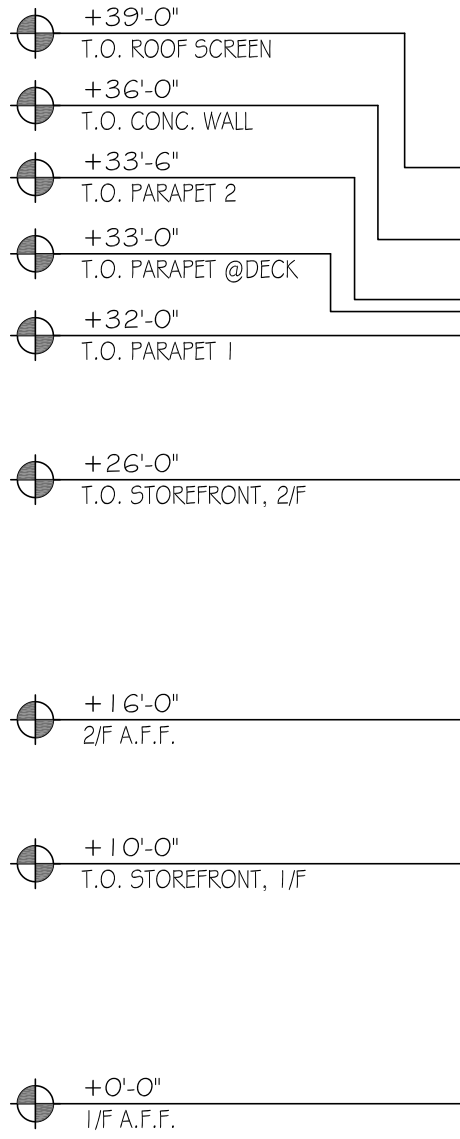
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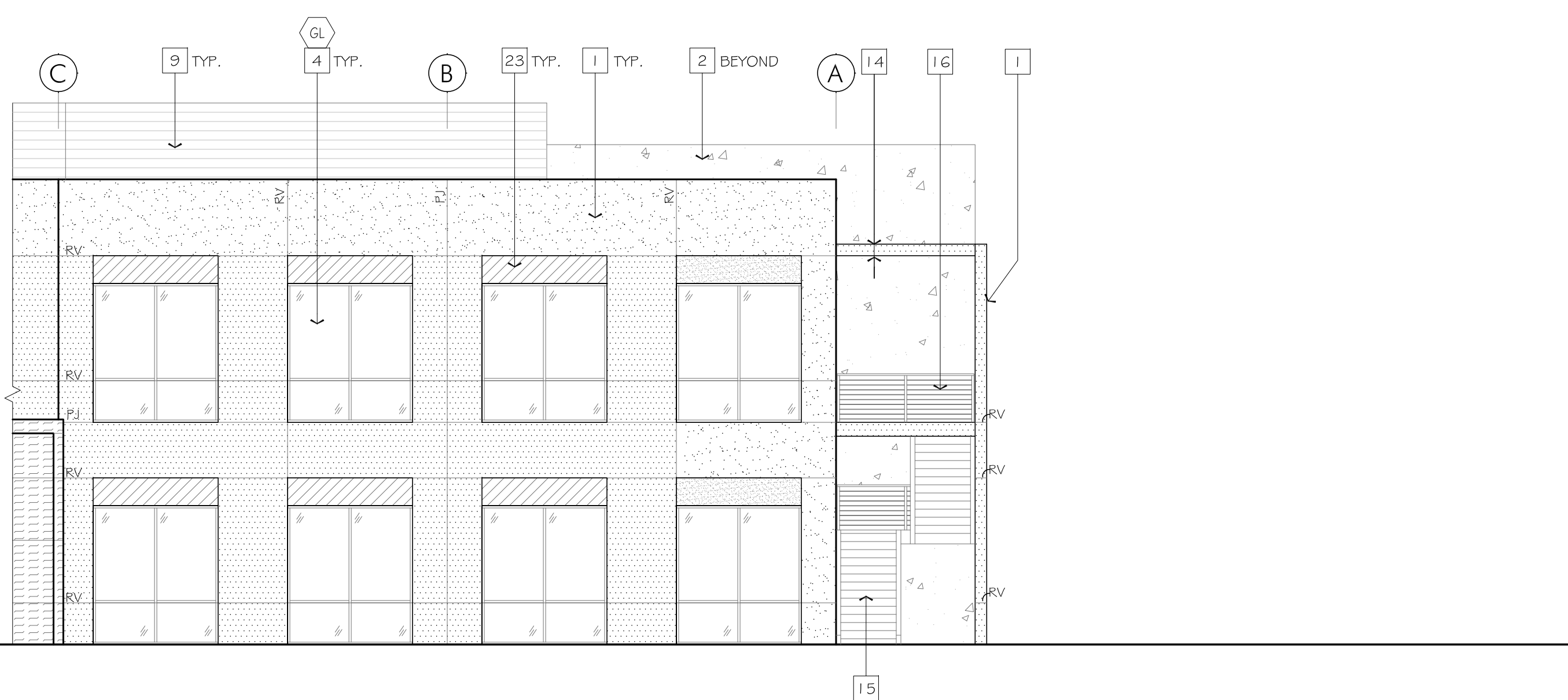
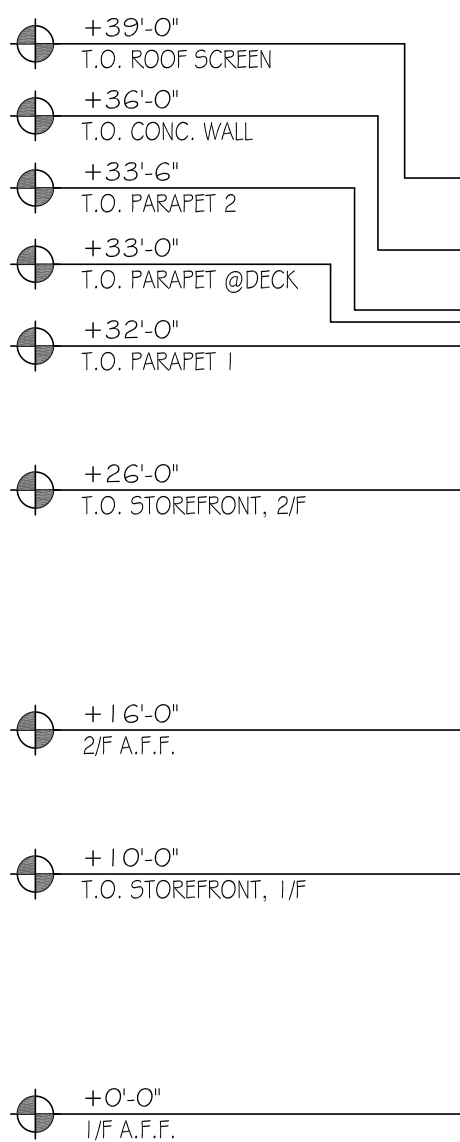
### 1. BUILDING ELEVATION - SOUTHEAST (DECK NOT SHOWN FOR CLARITY)

SCALE: 1/8" = 1'-0"



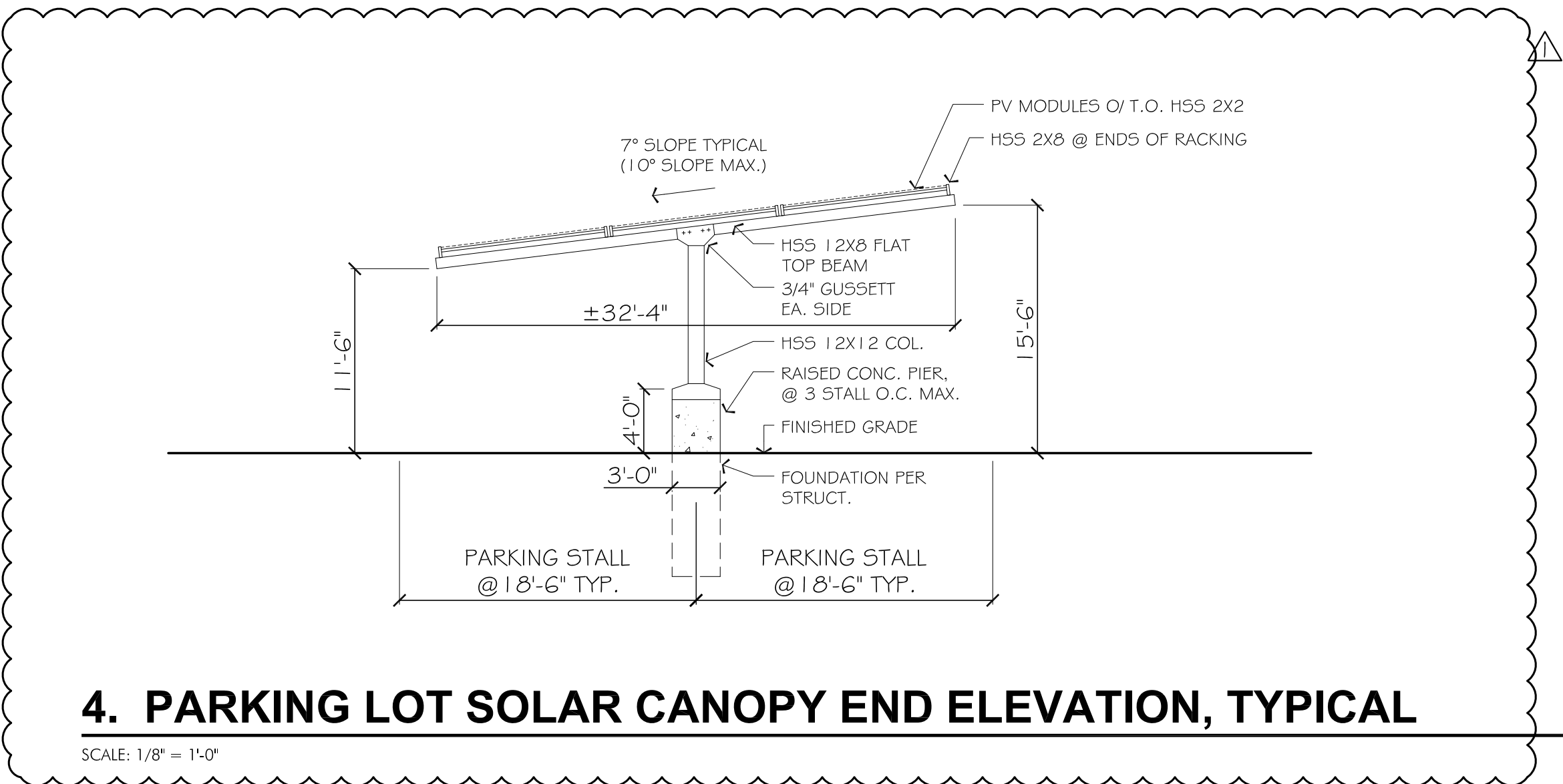
### 2. BUILDING ELEVATION - SOUTHWEST (STAIR# 3 DASHED IN FOREGROUND FOR CLARITY)

SCALE: 1/8" = 1'-0"



### 3. BUILDING ELEVATION - NORTHWEST

SCALE: 1/8" = 1'-0"

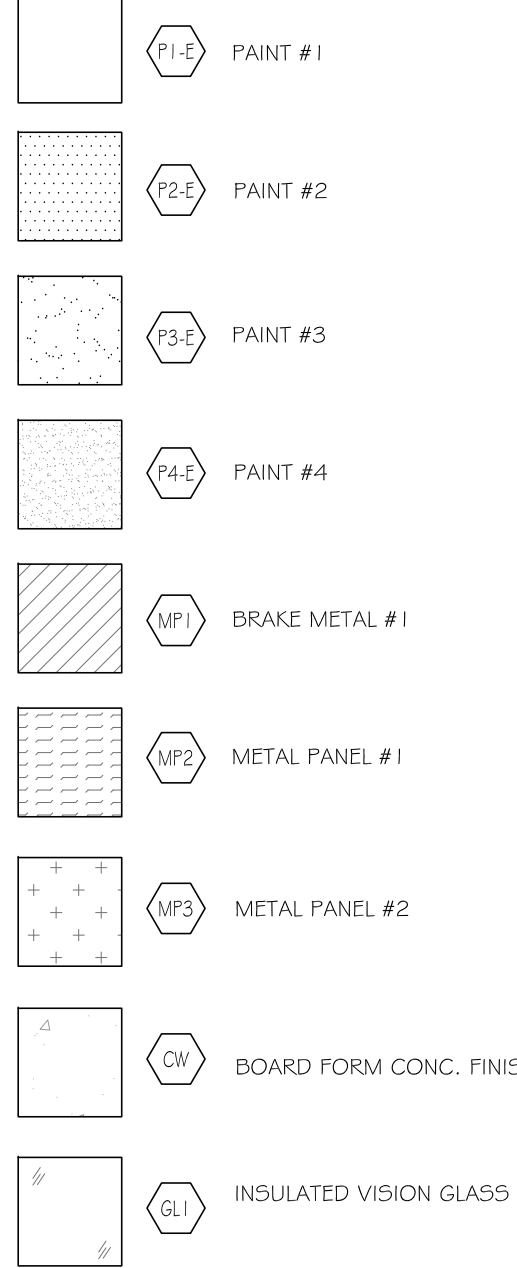


### 4. PARKING LOT SOLAR CANOPY END ELEVATION, TYPICAL

SCALE: 1/8" = 1'-0"

#### Legend

SEE SHEET A1 1.0 MATERIAL BOARD FOR SPEC.



PJ = PANEL JOINT  
RV = PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJ. CONC. PANEL COLOR. TYP. U.O.N.

#### Key Notes

Indicated on plan by [ # ]

- CONCRETE TILT-UP PANEL, TYP. U.O.N.
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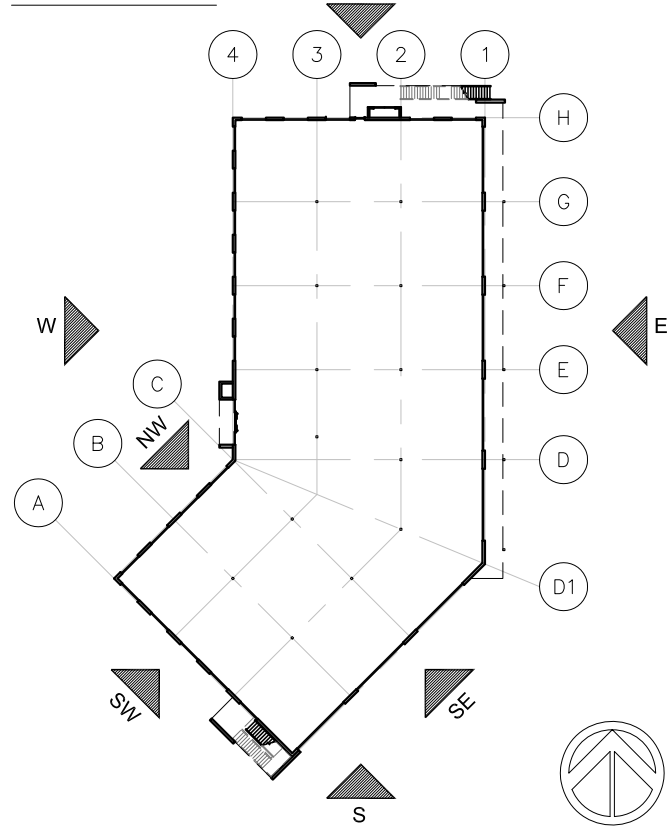
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PROJECT ADDRESS

PROLOGIS IPC SALES OFFICE (IPC-O)  
TRACY, CA

PROLOGIS®

#### KEY PLAN



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#### REVISIONS

DATE	DESCRIPTION
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4.16.2020	REV PER PLANCHECK COMMENT ROUND 1

DATE	DATE
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PROJECT ID	2018.121
DRAWN BY	SGA

BUILDING ELEVATIONS

SHEET TITLE

SHEET NO.

A3.3





RENDERED IMAGE, VIEW FROM SOUTHEAST (REFERENCE)



VIEW FROM EAST



VIEW FROM SOUTHEAST



VIEW FROM SOUTH



VIEW FROM WEST



VIEW FROM NORTHWEST

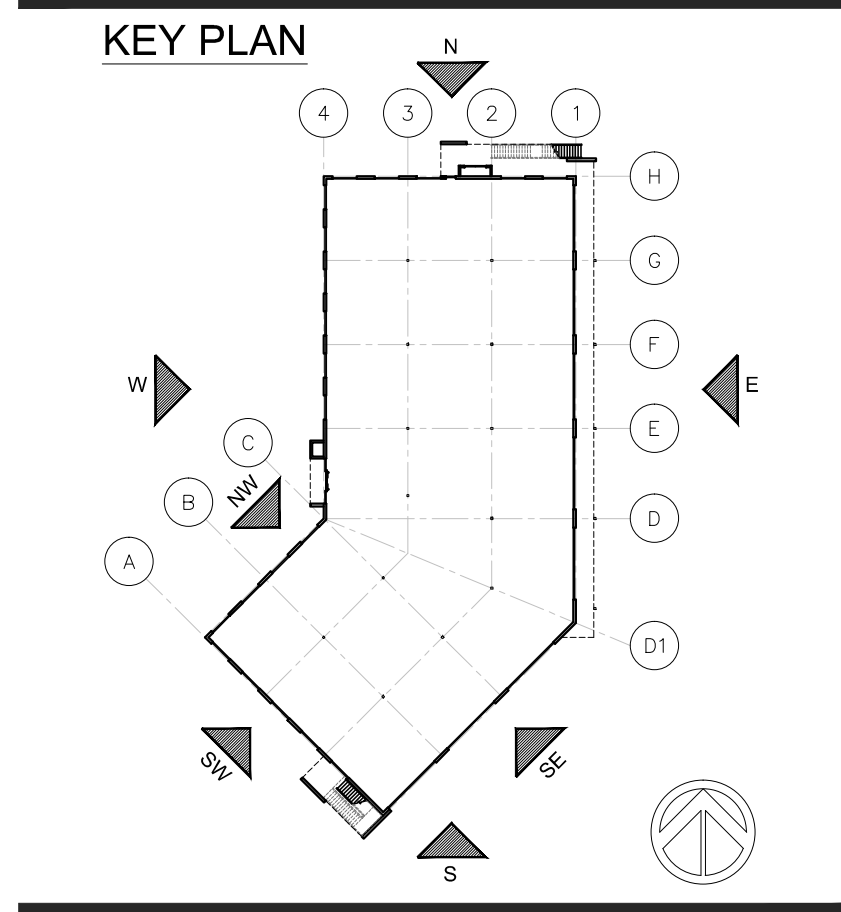


VIEW FROM NORTH

299 BASSETT STREET SUITE 250  
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1.348.283.0100

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REVISIONS	
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DATE  
SCALE  
PROJECT ID  
DRAWN BY

DATE  
2018.121

PERSPECTIVE IMAGES

SHEET TITLE

SHEET NO. A10.0

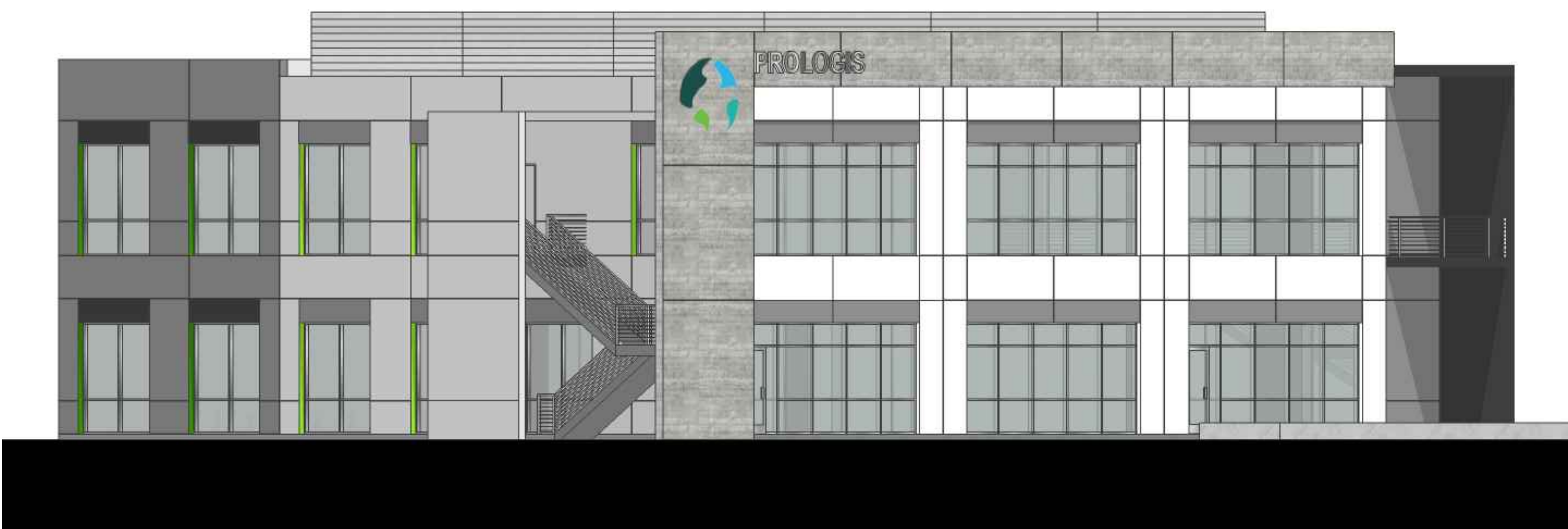




EAST ELEVATION, OVERALL



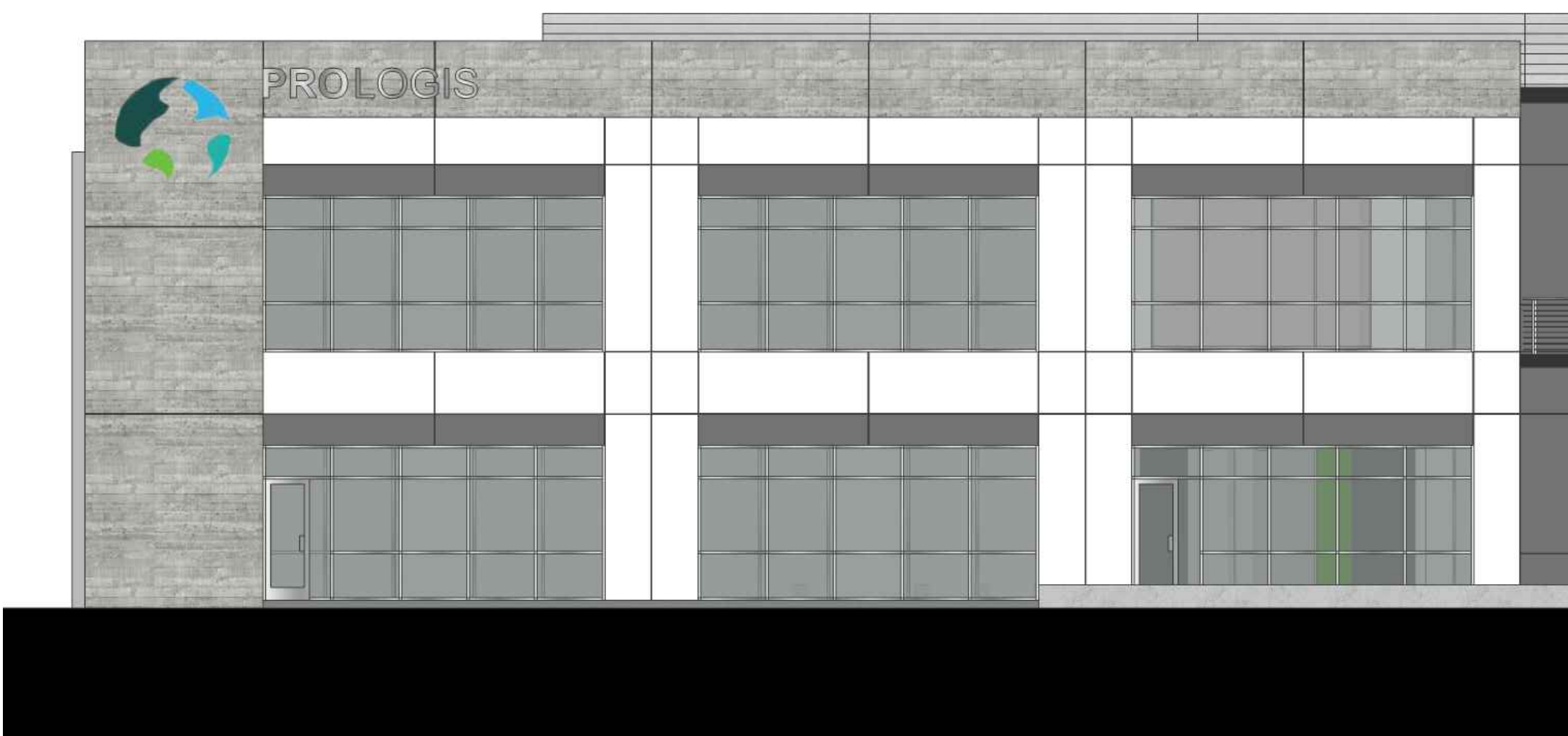
WEST ELEVATION, OVERALL



SOUTH ELEVATION, OVERALL



NORTH ELEVATION, OVERALL



SOUTHEAST ELEVATION, PARTIAL



SOUTHWEST ELEVATION, PARTIAL

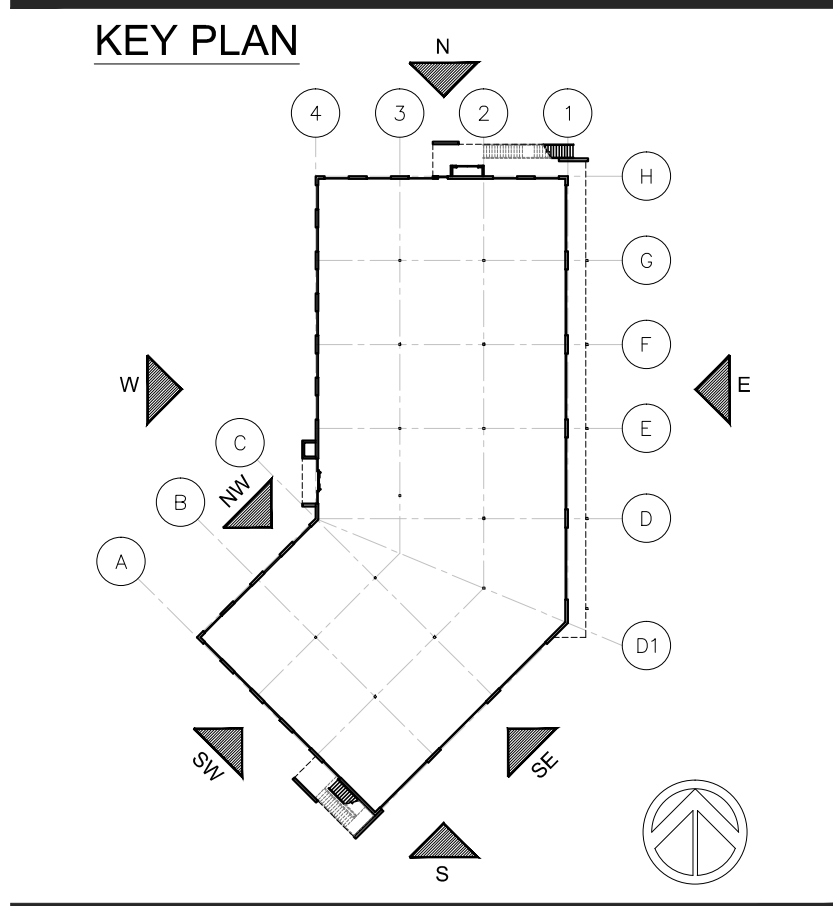


NORTHWEST ELEVATION, PARTIAL

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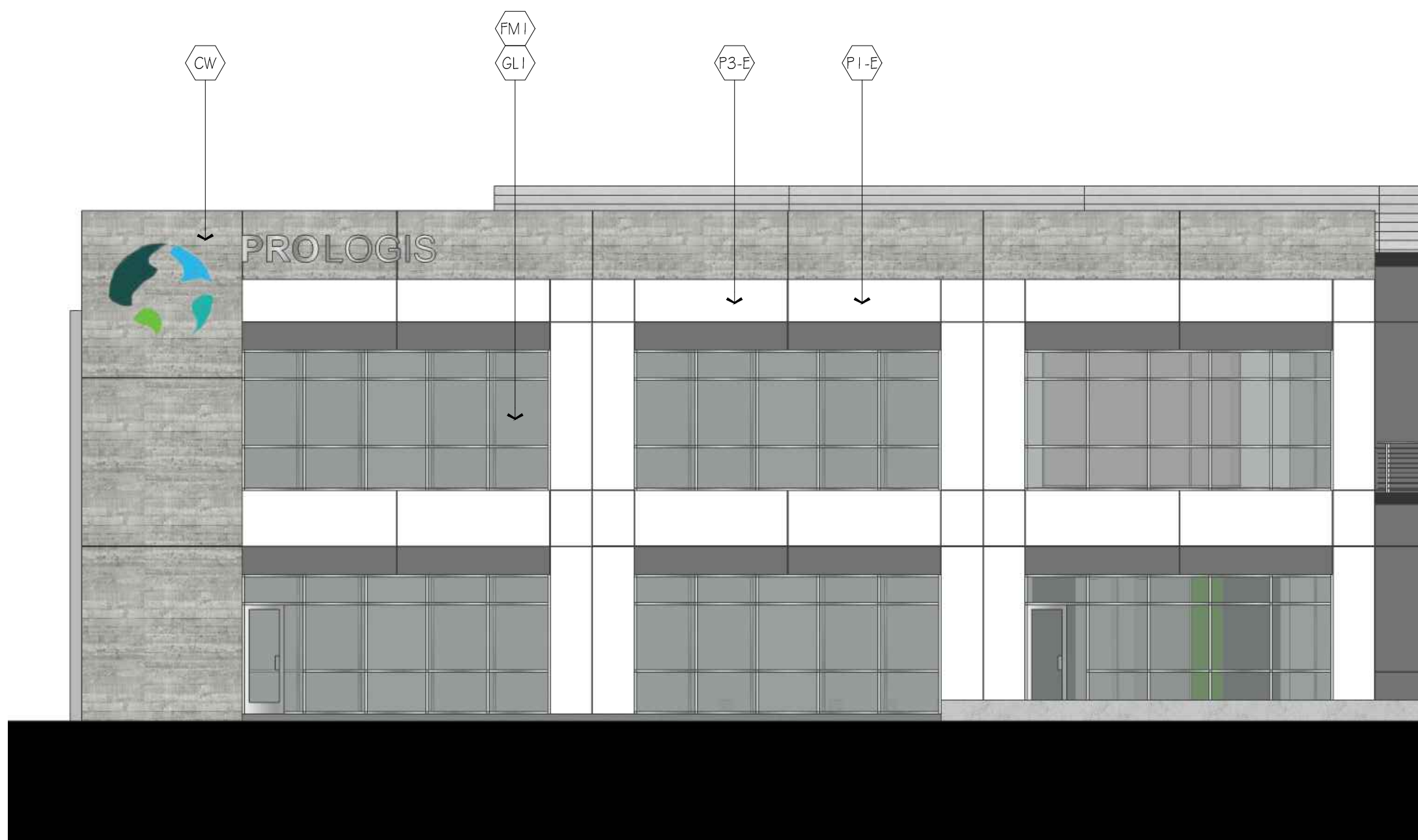
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SCALE	
PROJECT ID	2018.121
DRAWN BY	

COLORED BUILDING ELEVATIONS

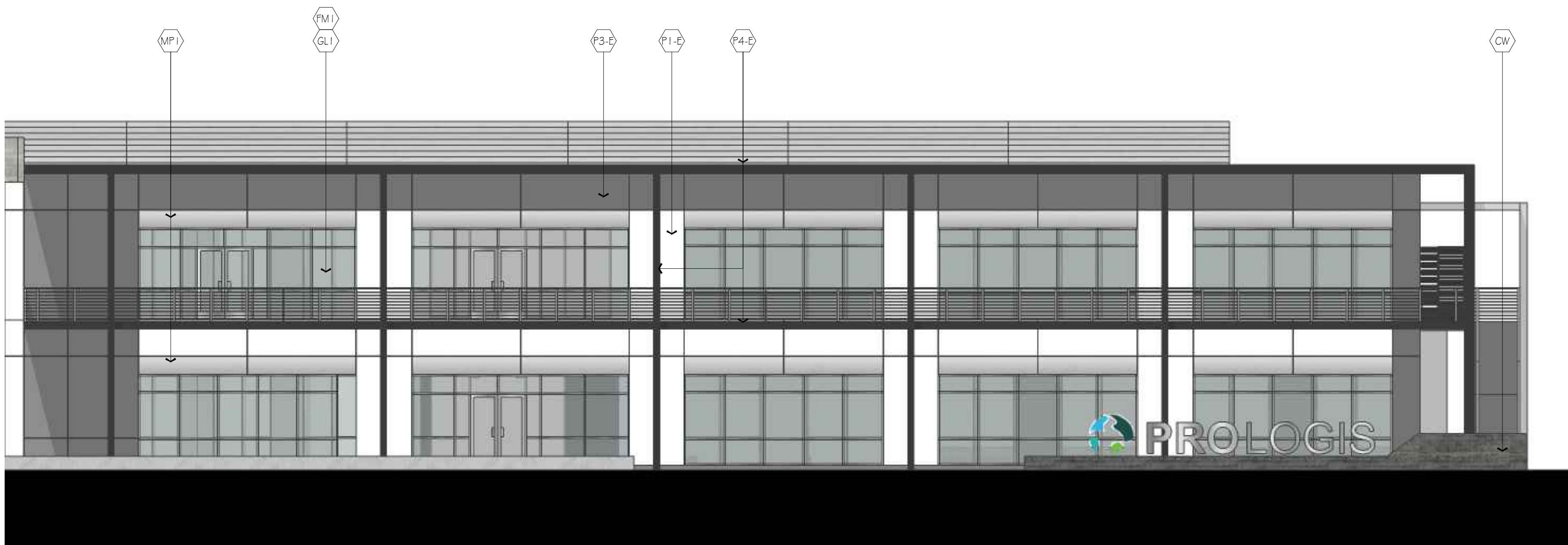
SHEET TITLE

SHEET NO. A10.1





**SOUTHEAST ELEVATION, PARTIAL**



**EAST ELEVATION, PARTIAL**



**WEST ELEVATION, PARTIAL**



**NORTHWEST ELEVATION, PARTIAL**



**SOUTHWEST ELEVATION, PARTIAL**



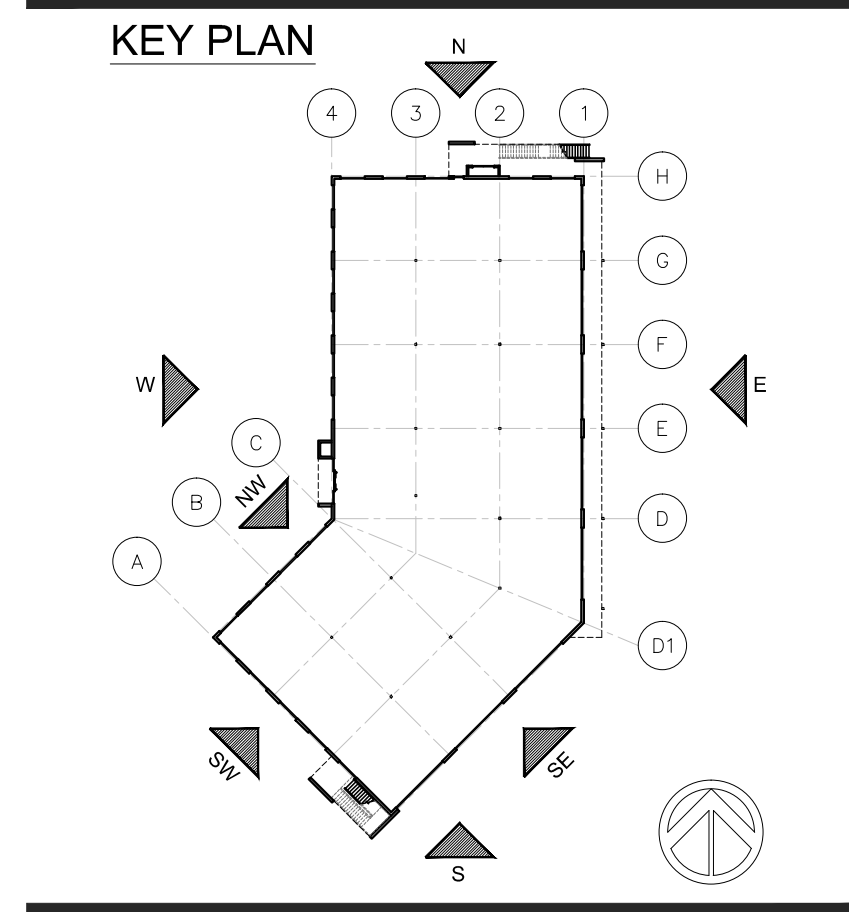
**NORTH ELEVATION, OVERALL**

	<b>P1-D</b> PAINT #1 DUNN EDWARDS DE6372 LACE VEIL		<b>MF1</b> METAL PANEL #1 ALUCOBOND PVDF-2 PLATINUM MICA
	<b>P2-D</b> PAINT #2 DUNN EDWARDS DE6361 BABY SEAL		<b>MF2</b> METAL PANEL #2 ALUCOBOND PVDF-2 PLUG GREEN
	<b>P3-D</b> PAINT #3 DUNN EDWARDS DE6369 LEGENDARY GRAY		<b>CW</b> BOARD FORM CONC. FINISH
	<b>P4-D</b> PAINT #4 DUNN EDWARDS DE6390 DARK ENGINE		<b>GL1</b> INSULATED VISION GLASS SOUDBIAN 70XL (2) CLEAR + CLEAR GLASS INSULATING GLASS UNIT, SILICONE, BLACK
	<b>P5-D</b> PAINT #5 KELLY-MOORE KM5 (A1) 3 HAPPY TUNE		<b>FM1</b> ALUMINUM STOREFRONT SYSTEM MFS OLD CASTLE FRAME COLOR: PEWTER 359B02G
	<b>P6-D</b> PAINT #6 SHERWIN WILLIAMS SW6727 HOUSEPLANT		

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TRACY, CA



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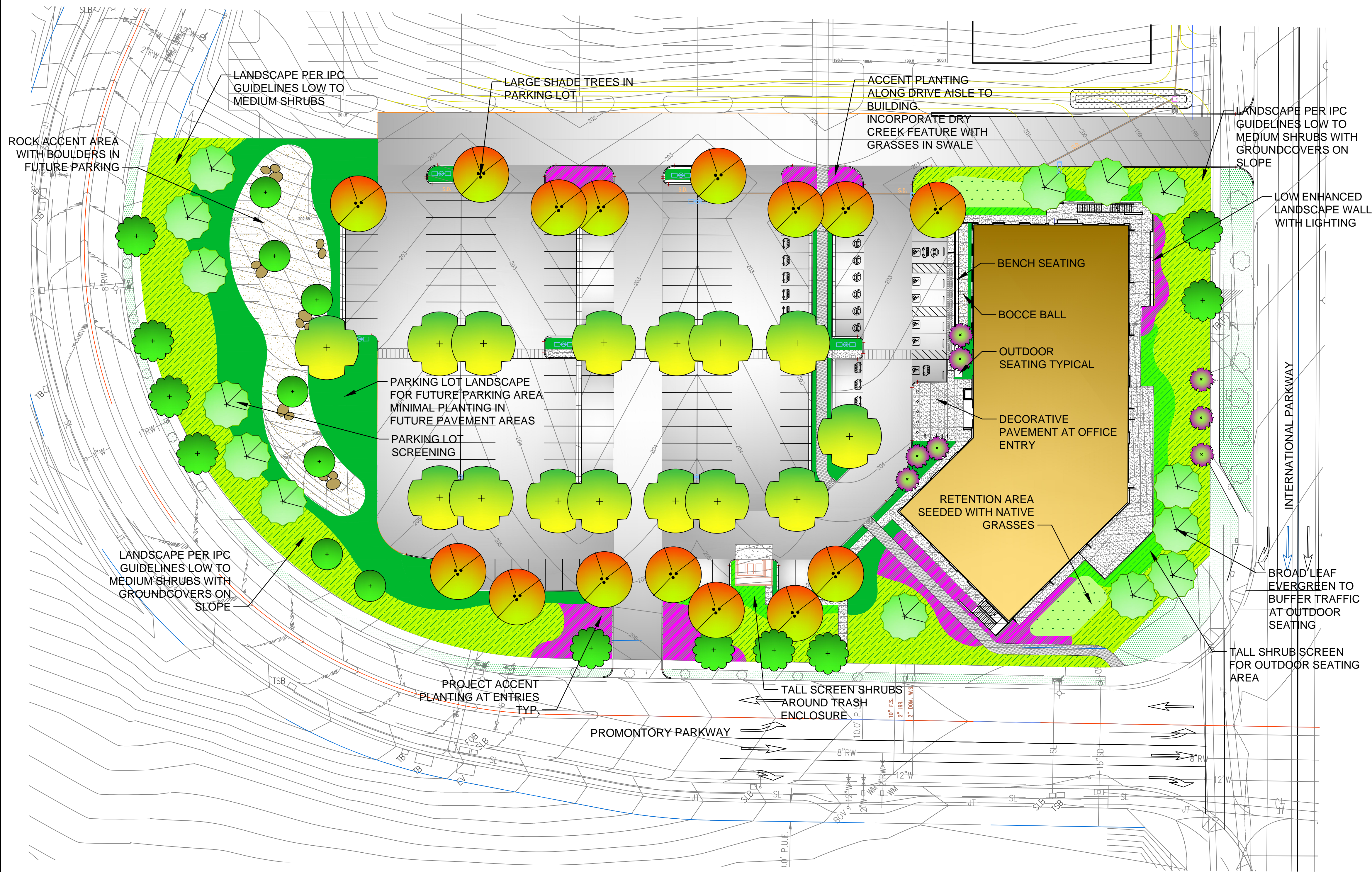
DATE  
SCALE  
PROJECT ID  
DRAWN BY

MATERIAL BOARD

SHEET TITLE

SHEET NO. **A11.0**





#### PRELIMINARY PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	WATER REGIME /ZONE	MATURE HABIT
<b>TREES</b>				
LAURUS N. 'SARATOGA'	SWEET BAY	24' BOX	L	25' X 20' STANDARD FORM
PISTACIA G. 'KEITH DAVEY'	CHINESE PISTACHE	24' BOX	L	50' X 30'
LAGERSTROEMIA 'DYNAMITE RED'	CRAPE MYRTLE	24' BOX	L	15' X 15'
ULMUS PARVIFLORIA 'TRUE GREEN'	EVERGREEN ELM	24' BOX	M	50' X 30'
<b>EVERGREEN SCREENING SHRUBS</b>				
RHUS OVATA	SUGAR BUSH	5 GAL.	VL	8' X 12' PLANT 8'-0" OC
CEANOTHUS 'RAY HARTMAN'	CEANOTHUS	5 GAL.	L	6' X 8' PLANT 7'-0" OC
ARCTOSTAPHYLOS	MANZANITA	5 GAL.	L	8' X 8' PLANT 9'-0" OC
'HOWARD MCMINN'				
ARBUS	DWARF STRAWBERRY	5 GAL.	L	10' X 10' PLANT 8'-0" OC
DODONEA VISCOSA	HOP BUSH	5 GAL.	L	8' X 10' PLANT 8'-0" OC
OLEA 'LITTLE OLLIE'	DW OLIVE	5 GAL.	L	6' X 5' PLANT 6'-0" OC
<b>GRASSES</b>				
FESTUCA MAIREI	ATLAS FESCUE	1 GAL.	L	2' X 3' PLANT 2'-6" OC
PENNISETUM ORIENTALE	FOUNTAIN GRASS	1 GAL.	L	3' X 3' PLANT 3' OC
MUHLBERGIA L. 'AUTUMN GLOW'	MUHL GRASS	1 GAL.	L	4' X 4' PLANT 3' OC
LOMANDRA LONGIFOLIA 'BREEZE'	BREEZE MAT RUSH	1 GAL.	L	3' X 3' PLANT 2'-6" OC
PENNISETUM S. 'KARLEY ROSE'	FOUNTAIN GRASS	1 GAL.	L	3' X 3' PLANT 3' OC
<b>DROUGHT TOLERANT SHRUBS</b>				
CEANOTHUS 'YANKEE POINT'	YANKEE POINT CEANOTHUS	5 GAL.	L	4' X 6'
LANTANA M. 'DW. YELLOW'	DW. LANTANA	5 GAL.	L	2' X 4' PLANT 3' OC
BACCHARIS P. 'CONSANGUINEA'	COYOTE BRUSH	5 GAL.	L	2' X 6'
RHAMNUS C. 'MOUND SAN BRUNO'	COFFEEBERRY	5 GAL.	L	5' X 6' PLANT 7' OC
NERIUM OLEANDER 'PETITE SALMON'	PETITE OLEANDER	5 GAL.	L	5' X 5' PLANT 5'-0" OC
PHORMIUM 'MONROVIA RED'	NZ FLAX	5 GAL.	L	4' X 4' PLANT 4' OC
ROSMARINUS O. 'TUSCAN BLUE'	UPRIGHT ROSEMARY	5 GAL.	L	4' X 4' PLANT 4'-0" OC
CISTUS X SKANBERGII	SKANBERG ROCKROSE	5 GAL.	L	3' X 3' PLANT 2'-6" OC
SALVIA C. 'WINNEFRED GILMAN'	TEXAS RANGER	5 GAL.	L	3' X 4'
ROSMARINUS O. 'COLLINGHAM'	ROSEMARY	1 GAL.	L	2' X 6' PLANT 5' OC
COTONEASTER 'LOWFAST'	COTONEASTER	5 GAL.	L	1' X 6' PLANT 6' OC
EREMOPHILA GLABRA CARNOSA	WINTER BLAZE	5 GAL.	L	3' X 4'
ROSA 'MEIGALPIO'	RED DRIFT ROSE	5 GAL.	L	3' X 3'
AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL.	L	2' X 3' PLANT 3' OC
<b>PERENNIALS</b>				
DIETES V. 'VARIEGATA'	FORT NIGHT LILY	1 GAL.	L	3' X 3'
HEMEROCALLIS - HYBRIDS	EVERGREEN DAYLILY	1 GAL.	M	1' X 1.5'
TULBAGHIA V. 'TRICOLOR'	SOCIETY GARLIC	1 GAL.	L	1.5' X 1.5'
ACHILLEA 'MOONSHINE'	YARROW	1 GAL.	L	3' X 3'

#### COMBINATION OF MULCHES TO BE UTILIZED IN FINAL DESIGN

4" MINIMUM DEPTH OF DECOMPOSED GRANITE AS AVAILABLE FROM A LOCAL SOURCE.  
4" MINIMUM DEPTH OF 4"-8" HIDDEN CANYON FRACTURED TAN ROCK  
2'-4" DIA. FRACTURED ROCK BOULDERS ACCENTS, 5'-6" DIA. SPECIMEN BOULDERS  
BOULDER COLOR AND TEXTURE TO BLEND WITH GRAY ROCK MULCH.  
BROWN BARK MULCH-ALL PLANTERS NOT DESIGNATED FOR ROCK, D.G.

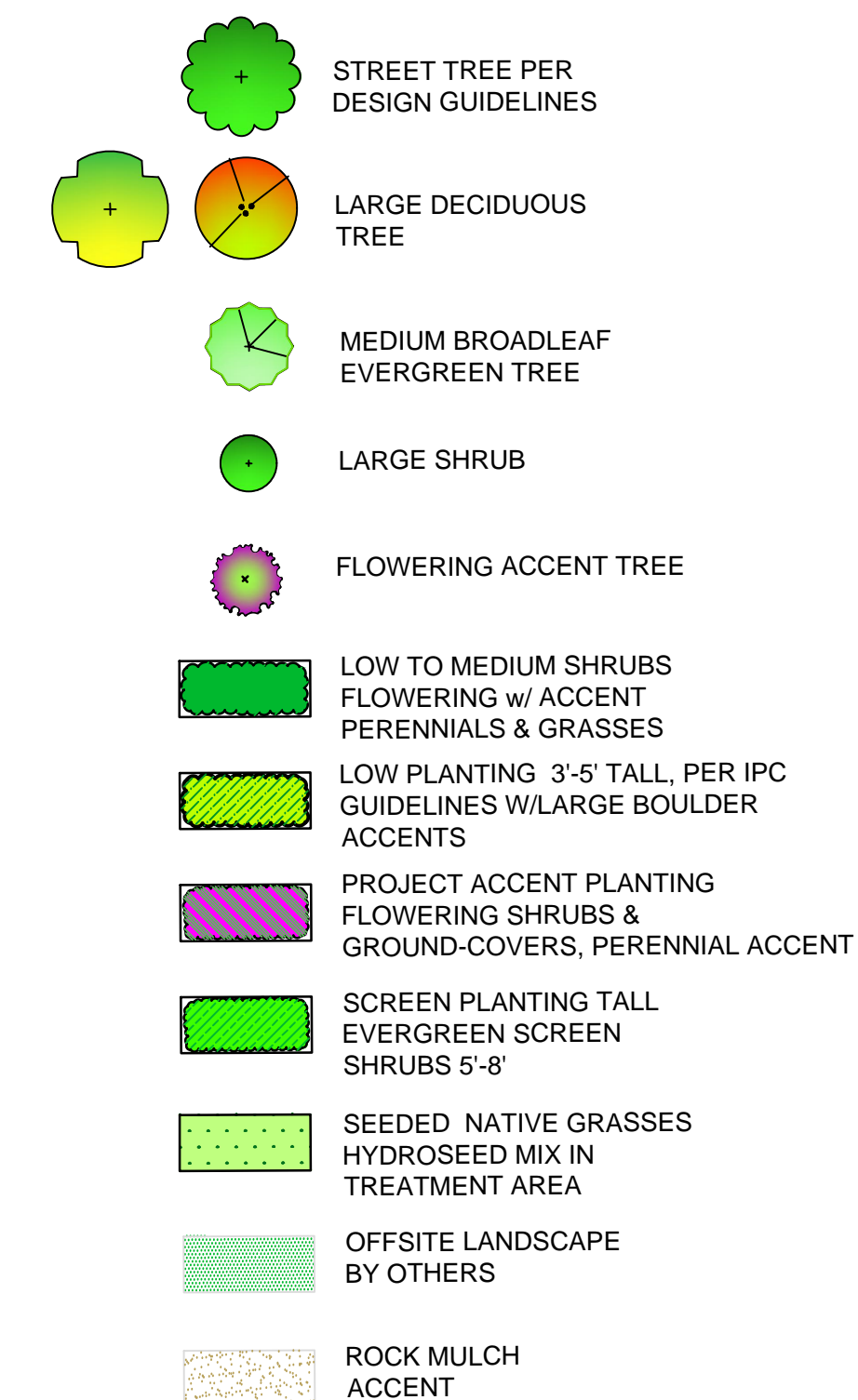
#### WATER EFFICIENT LANDSCAPE REQUIREMENTS

AUTOMATIC CONTROLLER W/ ET DATA, REPEAT CYCLING  
IRRIGATION ZONES PER PLANT WATER REQUIREMENTS  
HUNTER MINI-CLICK RAIN SENSOR/ SOIL MOISTURE SENSOR TO BE SPECIFIED  
SOIL AMENDMENTS TO BE INCORPORATED  
PLANTER SURFACE AREAS TO BE MULCHED  
WATER USAGE TO MEET STATE WATER EFFICIENT LANDSCAPE STANDARD (MWEL)

#### LANDSCAPE CALCULATIONS :

TOTAL PARKING AREA = 73,239 S.F.  
PARKING AREA INCLUDES THE FOLLOWING:  
1. PAVEMENT INCLUDING ISLANDS, STALLS, AISLES  
2. ADJACENT BUILDING FRONTAGE LANDSCAPE AREA INC. WALKS AND PERIMETER LANDSCAPE  
PARKING AREA LANDSCAPE REQUIRED = 14,648 S.F. (20% OF PARKING AREA)  
NO. OF STANDARD PARKING SPACES = 150  
TREES REQUIRED = 30 (1/5 SPACES)  
TREES PROVIDED = 31  
REQUIRED PARKING AREA SHADE = 29,298 S.F. (MIN. 40% OF PARKING AREA)  
PARKING AREA SHADE PROVIDED AT MATURITY = 33,912 (46%)  
22 LARGE SHADE TREES @ 100% 40' DIAMETER (1,256 S.F.) = 27,632 SF  
4 LARGE SHADE TREES @ 75% 40' DIAMETER (942 S.F.) = 3,768 SF  
4 LARGE SHADE TREES @ 50% 40' DIAMETER (628 S.F.) = 2,512 SF  
MINIMUM STREETSCAPE LANDSCAPE REQUIRED:  
INTERNATIONAL PARKWAY - 30' LANDSCAPE SETBACK  
PROMONTORY PARKWAY - 25' LANDSCAPE SETBACK

#### LANDSCAPE LEGEND



#### PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 30'-0"



#### Revision Record

Revision Number	Revision Description	Revision Date
0	DESIGN DEVELOPMENT	12/02/2019
0	ISSUE FOR PERMIT	12/23/2019

#### PROLOGIS OFFICE BUILDING

IPC, TRACY, CA.



3353 GATEWAY BLVD  
FREMONT, CA 94538  
510.656.1900

<https://www.prologis.com/>

Date 2/5/20 Project No.

Sheet Title

Sheet No. **LC1.1**  
Released for Construction  
Not Released for Construction



# INTERNATIONAL PARK OF COMMERCE OFFICE BUILDING

## PROLOGIS INTERNATIONAL PARKWAY & PROMONTORY INTERSECTION TRACY, CALIFORNIA

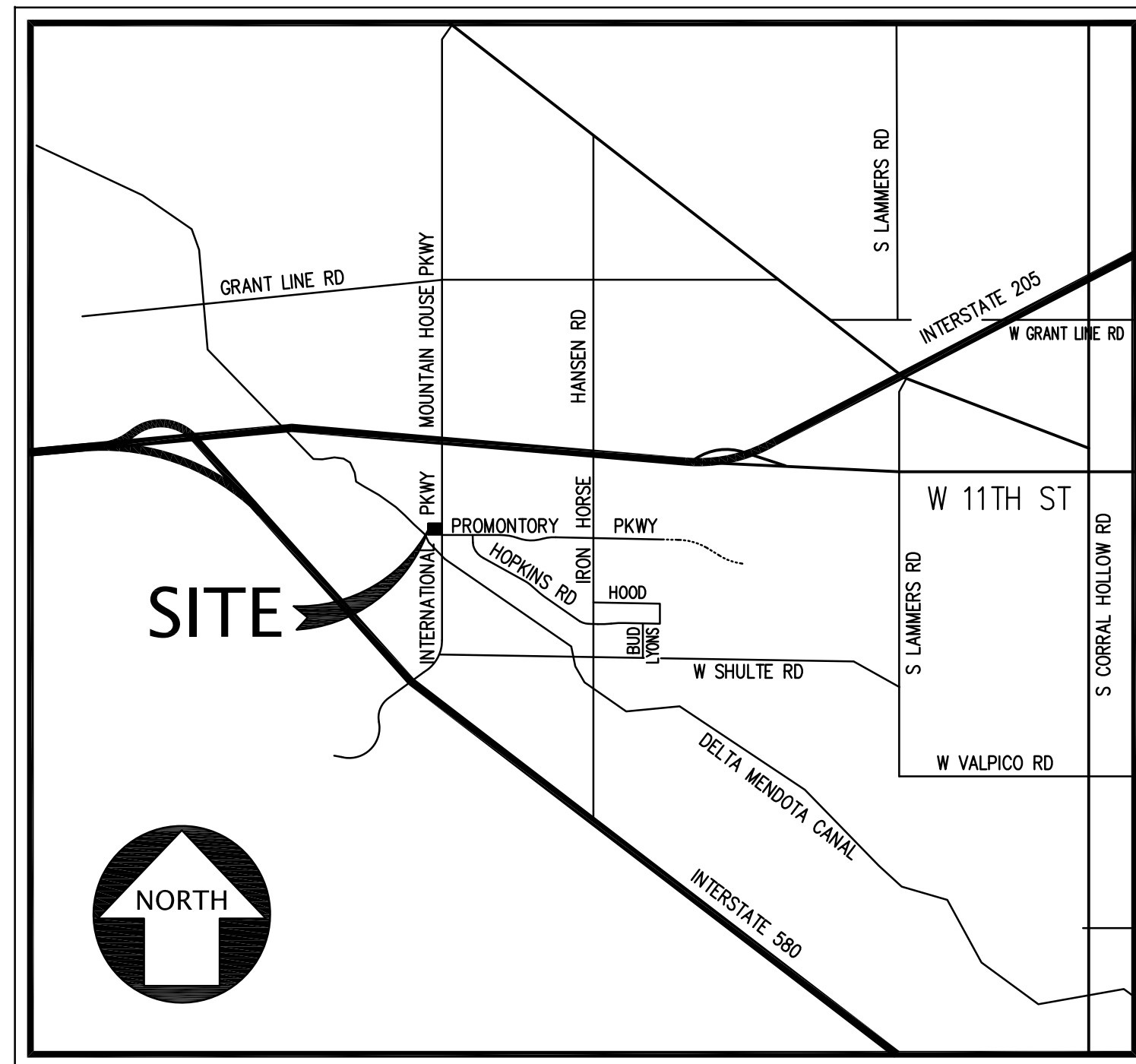
WDID # \_\_\_\_\_

### EARTHWORK SUMMARY

CUT: 58,000± CY (RAW)  
FILL: 58,000± CY (RAW)

#### NOTE:

THE EARTHWORK QUANTITIES LISTED ON THESE PLANS ARE STATED ONLY FOR CALCULATION OF GRADING AND BUILDING PERMIT FEES. THESE QUANTITIES DO NOT INCLUDE TRENCH OR FOOTING SPOILS, SHRINK OR SWELL FROM COMPACTING EFFORTS OR OTHER VARIABLES. THE ENGINEER MAKES NO REPRESENTATION THIS SITE WILL BALANCE. THE CONTRACTOR SHALL DETERMINE HIS OWN EARTHWORK QUANTITIES AND BASE HIS BID ACCORDINGLY.



VICINITY MAP  
N.T.S.

### REQUIRED GEOTECHNICAL TESTING & OBSERVATIONS

- OBSERVATION AND TESTING DURING SOIL STABILIZATION ACTIVITIES OF PARKING AREAS.
- OBSERVATION AND TESTING DURING SOIL STABILIZATION ACTIVITIES OF BUILDING PAD AREAS
- COMPACTION TESTING AND OBSERVATION DURING EARTHWORK FILL OPERATIONS.
- FOOTING EXCAVATION OBSERVATION.
- COMPACTION TESTING AND BACKFILL OBSERVATION OF NEW PROJECT SERVICING UNDERGROUND UTILITIES.
- COMPACTION TESTING AND OBSERVATION DURING SUBGRADE PREPARATION AND AGGREGATE BASE PLACEMENT FOR AREAS OF EXTERIOR CONCRETE FLATWORK.

### UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT AND THEN POT-HOLING ALL EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

BEFORE EXCAVATING  
CALL U.S.A.  
811  
48-HOURS BEFORE ALL  
PLANNED WORK OPERATIONS



Know what's below.  
Call before you dig.



3353 Gateway Boulevard  
Fremont, CA 94538  
Phone: 510.661.4013  
Fax: 510.661.4033

### LEGEND

PROPOSED	EXISTING	PROPOSED	EXISTING

### SHEET INDEX

C.1.1	TITLE SHEET
C.1.2	NOTES
C.2.1	TOPOGRAPHIC SURVEY
C.3.1	OVERALL SITE PLAN
C.4.1	GRADING AND DRAINAGE PLAN
C.4.2	MASS GRADING PLAN
C.5.1	UTILITY PLAN
C.6.1	EROSION CONTROL PLAN
C.7.1	STORMWATER QUALITY CONTROL PLAN
C.8.1	HORIZONTAL CONTROL PLAN
C.9.1	DETAILS
C.9.2	DETAILS
C.9.3	GRADING SECTIONS AND DETAILS

### BENCHMARK

BENCHMARK: TOP OF A STEEL PIN IN A MONUMENT WELL AT THE INTERSECTION OF SCHULTE ROAD AND HANSEN ROAD.

ELEVATION = 180.32 FEET (CITY OF TRACY NAVD 1988 DATUM)

GEOTECHNICAL ENGINEERS  
(FOR CONFORMANCE WITH THE GEOTECHNICAL REPORT)

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

APPROVED: CITY OF TRACY FIRE DEPARTMENT (FOR FIRE SERVICE LOCATION)

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

### CITY OF TRACY

APPROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS PUBLIC INTEREST REQUIRES MODIFICATION OF OR A DEPARTURE FROM THE SPECIFICATIONS AND DETAILS OF THE CITY OF TRACY OR THESE PLANS, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATIONS OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE AT NO COST TO THE CITY. APPROVED AS TO DESIGN ONLY BASED ON THE INFORMATION SUBMITTED HEREON. APPROVED FOR THE CITY OF TRACY

SEE GRADING PERMIT SET

ROBERT ARMJO CITY ENGINEER DATE: \_\_\_\_\_

NO.	BY	NO.	BY	NO.	BY
1	NO.	2	NO.	3	NO.
4	NO.	5	NO.	6	NO.
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439	NO.	440	NO.	441	NO.
442	NO.	443	NO.	444	NO.



## CITY OF TRACY STANDARD NOTES:

1. ALL WORK SHALL CONFORM TO THE CITY OF TRACY SPECIFICATIONS AND STANDARD PLANS. THE WORK IS SUBJECT TO THE INSPECTION AND APPROVAL OF THE CITY ENGINEER, AND THE ENGINEERING DIVISION INSPECTORS. CONTRACT ENGINEERING DIVISION CONSTRUCTION MANAGEMENT AT (209)-831-4600, TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF ANY WORK TO ARRANGE FOR INSPECTION.
2. THESE PLANS HAVE BEEN CHECKED BY THE CITY OF TRACY FOR CONFORMANCE WITH THE CITY'S MINIMUM STANDARDS, BUT SUCH CHECKING BY THE CITY DOES NOT RELIEVE THE DEVELOPER FROM ITS RESPONSIBILITY TO FIND AND CORRECT ERRORS OR MAKE CHANGES REQUIRED BY CONDITIONS DISCOVERED IN THE FIELD DURING THE COURSE OF CONSTRUCTION, ANY REQUEST BY THE DEVELOPER TO CHANGE THESE PLANS SHALL BE SUBMITTED IN WRITING TO THE CITY ENGINEER.
3. REFER TO THE FINAL MAP OF THIS TRACT FOR PROPERTY LINE DATA.
4. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND SIGNED BY THE CITY ENGINEER PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
5. ALL CONSTRUCTION STAKING FOR CURB, CUTTER, SIDEWALK, SANITARY SEWERS, STORM DRAINS, WATER LINES, FIRE HYDRANTS, AND ELECTROLES, ETC., SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
6. THE EXISTING UTILITIES ARE PLOTTED FROM AVAILABLE RECORDS. THE DEVELOPER SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THESE UTILITIES. THE DEVELOPER SHALL PERFORM NO EXCAVATION UNTIL ALL UTILITY AGENCIES AND THE CITY OF TRACY HAVE BEEN NOTIFIED AND HAVE BEEN GIVEN THE OPPORTUNITY TO MARK THEIR FACILITIES IN THE FIELD. NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
7. HOUSE SERVICES, FIRE HYDRANT LATERALS, GAS AND TELEPHONE LINES, AND ALL OTHER UNDERGROUND UTILITIES SHALL BE INSTALLED PRIOR TO CURB, CUTTER, AND SIDEWALK CONSTRUCTION AND STREET PAVING.
8. SURVEY MONUMENTS SHALL BE FURNISHED AND INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN. SUBMIT A LETTER OF CERTIFICATION FROM THE LICENSED LAND SURVEYOR CERTIFYING THAT ALL MONUMENTS ARE CENTERLINE MONUMENTS AND ARE INSTALLED AND TAGGED IN ACCORDANCE WITH THE APPROVED FINAL MAP PRIOR TO TRACT ACCEPTANCE.
9. ALL LINES ABANDONED DURING CONSTRUCTION SHALL BE REMOVED.
10. ALL SANITARY SEWER MAINS SHALL BE TELEVISION INSPECTED (TAPES SHALL BE GIVEN TO THE CITY OF TRACY), FLUSHED WITH AN APPROVED SEWER BALL AND PASS A LEAKAGE TEST IN CONFORMANCE WITH CITY OF TRACY STANDARD SPECIFICATIONS PRIOR TO ACCEPTANCE BY THE CITY. ALL TESTING SHALL BE PERFORMED AFTER THE COMPACTION OF STREET BASE ROCK AND PRIOR TO PAVING.
11. ALL WATER LINES SHALL BE PRESSURE-TESTED, DISINFECTED, FLUSHED, AND TESTED FOR BACTERIA IN CONFORMANCE WITH THE CITY OF TRACY DESIGN STANDARDS AND STANDARD SPECIFICATIONS PRIOR TO FINAL ACCEPTANCE BY THE CITY.
12. TESTING
  - (A) ALL INDEPENDENT LABORATORY INSPECTION CALLED FOR BY THE CITY ENGINEER WILL BE PAID FOR BY THE DEVELOPER.
  - (B) ROADWAY SUB-BASE, BASE AND TRENCH BACKFILL COMPACTION TESTING SHALL BE PERFORMED BY A SOILS LAB CONTRACTING WITH THE CITY OF TRACY.
  - (C) TESTS FOR R-VALUES ARE REQUIRED PRIOR TO THE INSTALLATION OF BASE ROCK.
  - (D) A MINIMUM OF 48 HOURS NOTICE IS REQUIRED TO SCHEDULE ALL SOILS TESTING SERVICES.
13. STREET SIGNS SHALL BE INSTALLED AT ALL INTERSECTIONS PER CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS.
14. TRAFFIC SIGNS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND MUTCD CALIFORNIA SUPPLEMENTAL AT LOCATIONS SPECIFIED BY CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS.
15. STREET STRIPING SHALL INCLUDE STOP BARS, CENTERLINE STRIPING OR MARKERS, CROSSWALKS AND ALL OTHER MARKINGS REQUIRED BY THE CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS. STRIPING SHALL BE DONE WITH THERMOPLASTIC AND REFLECTIVE MARKERS. STRIPING ON MAJOR ROADS SHALL BE CAT-TRACKED AND APPROVED PRIOR TO FINAL INSTALLATION.
16. ALL TRENCHES SHALL BE BACK-FILLED IN ACCORDANCE WITH CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS. COMPACTION SHALL BE ACHIEVED BY MECHANICAL MEANS. NO FLOODING, PONDING OR JETTING SHALL BE PERMITTED.
17. WHEN WIDENING THE PAVEMENT ON AN EXISTING ROAD, THE EXISTING PAVEMENT SHALL BE CUT TO A NEAT LINE AND REMOVED BACK TO AN EXISTING ADEQUATE STRUCTURAL SECTION, OR TO THE ORIGINAL ROAD SECTION. AN EXPLORATORY TRENCH, OR POT HOLING, MAY BE REQUIRED TO DETERMINE THE LIMITS OF PAVEMENT REMOVAL.
18. EXISTING CURB AND SIDEWALK WITHIN THE PROJECT LIMITS THAT ARE DAMAGED OR DISPLACED, EVEN THOUGH THEY WERE NOT TO BE REMOVED, SHALL BE REPAIRED OR REPLACED PER CITY STANDARD PLANS EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED BY THE DEVELOPER.
19. AT THE INTERSECTION OF TWO STREETS, THE FULL STRUCTURAL SECTION OF THE MOST PROMINENT STREET SHALL BE CONTINUED THROUGH THE INTERSECTION.
20. THE THICKNESS OF SUB-BASE, BASE AND SURFACING SHALL BE DETERMINED BY THE CITY ENGINEER BASED ON TRAFFIC INDEX AND SOIL TEST FOR "R" VALUE TAKEN AFTER SLOUGH GRADING AT THE LEVEL OF THE STREET SUB-GRADE.
21. ASBESTOS CEMENT PIPE (ACP) OR FITTINGS SHALL NOT BE USED WITHIN THE CITY OF TRACY.
22. ALL STREET MONUMENTS, LOT CORNER, AND OTHER PERMANENT PIPE OR MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BEFORE ACCEPTANCE OF IMPROVEMENTS BY THE CITY OF TRACY.
23. THE DEVELOPER SHALL CONTROL DUST AT ALL TIMES DURING CONSTRUCTION AS REQUIRED BY THE CITY OF TRACY.
24. PRIOR TO TRENCHING FOR ANY SEWER, WATER, OR STORM DRAIN PIPE, THE DEVELOPER SHALL VERIFY, IN THE FIELD, THE SIZE AND LOCATION OF THE EXISTING PIPE AT THE POINT OF CONNECTION, ANY DEVIATION FROM THE PLANS SHALL BE RESOLVED BY THE DESIGN ENGINEER PRIOR TO TRENCHING.
25. MANHOLES, VALVES, CLEANOUTS, ETC., SHALL BE BROUGHT TO FINISH GRADE BY THE DEVELOPER AFTER THE FINAL PAVING COURSE IS PLACED.
26. THE INSTALLATION OF EROSION CONTROL FACILITIES SHALL BE COMPLETED PRIOR TO OCTOBER 15 AND SHALL BE MAINTAINED DAILY UNTIL APRIL 15. THESE FACILITIES SHALL CONTROL AND CONTAIN EROSION-CAUSED SILT DEPOSITS AND PROVIDE FOR SAFE DISCHARGE OF SILT-FREE STORM WATER INTO EXISTING STORM DRAIN FACILITIES. DESIGN OF THESE FACILITIES MUST BE UPDATED EACH YEAR PRIOR TO SEPTEMBER 30 AND SHALL BE APPROVED BY THE CITY ENGINEER.
27. IF, DURING CONSTRUCTION, ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED, CONSTRUCTION IN THE VICINITY SHALL BE HALTED, AN ARCHAEOLOGIST CONSULTED, AND THE CITY COMMUNITY DEVELOPMENT DEPARTMENT NOTIFIED. IF, IN THE OPINION OF THE ARCHAEOLOGIST, THE REMAINS ARE SIGNIFICANT, MEASURES AS MAY BE REQUIRED BY THE CITY COMMUNITY DEVELOPMENT DIRECTORS, SHALL BE TAKEN TO PROTECT THEM.
28. WORK SHALL BE RESTRICTED TO WEEKDAYS BETWEEN 7:30AM AND 7:00PM AND WEEKENDS BETWEEN 9:00AM AND 5:00PM. WORK WHICH REQUIRES ANY TRAFFIC LANE CLOSURES OR RESTRICTION OF THE TRAVELED WAY SHALL BE LIMITED TO 9:00AM TO 3:00PM IN THE COMMUTE DIRECTION AND 8:00 AM TO 4:30 PM IN THE NON-COMMUTE DIRECTION. COMMUTE DIRECTIONS SHALL BE AS DETERMINED BY THE CITY ENGINEER.
29. THE OVERTIME COST FOR INSPECTING WORK REQUIRING CITY INSPECTION, PERFORMED BEFORE 8:00AM AND AFTER 5:00PM, SHALL BE PAID BY THE DEVELOPER BEFORE THE WORK IS AUTHORIZED.
30. CONSTRUCTIONS EQUIPMENT WHICH OPERATES AT A NOISE LEVEL IN EXCESS OF 85 DECIBELS (MEASURED ON THE A-WEIGHTED SCALE DEFINED IN ANSI S-1.4) AT A DISTANCE OF 100 FEET FROM THE EQUIPMENT IS PROHIBITED.
31. THE DEVELOPER SHALL KEEP EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 2 FEET BELOW BOTTOM OF EXCAVATIONS TO MAINTAIN UNDISTURBED SOIL. NATURAL SOIL AND ALLOW PLACEMENT OF ANY FILL TO SPECIFIED DENSITY. DISPOSAL OF WATER SHALL NOT DAMAGE PROPERTY OR CREATE A PUBLIC NUISANCE.
32. DISPOSAL OF WATER INTO THE CITY SANITARY SEWER SYSTEM IS STRICTLY PROHIBITED. DISPOSAL OF WATER IN TO EXISTING STORM DRAIN SYSTEM MUST BE APPROVED IN WRITING BY THE CITY ENGINEER.
33. DEVELOPER SHALL MAINTAIN ALL STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION THROUGHOUT THE COURSE OF CONSTRUCTION. ALL SPILLS OF SOIL, ROCK, CONSTRUCTION DEBRIS, ETC., SHALL BE REMOVED IMMEDIATELY FROM PUBLICLY OWNED PROPERTY, ALLY AND ADJACENT PROPERTY. THE DEVELOPER SHALL MAINTAIN A CLEAN, SAFE AND USABLE CONDITION THROUGHOUT THE PERIOD OF CONSTRUCTION. THE DEVELOPER SHALL PROVIDE FOR SAFE, UNOBSTRUCTED ACCESS TO PRIVATE PROPERTY ADJACENT TO WORKS THROUGHOUT THE PERIOD OF CONSTRUCTION.

GENERAL NOTES:

- ALL GRADING SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION PREPARED FOR THIS SITE BY KLEINFELDER, DATED OCTOBER 11, 2019, PROJECT NO. 20201076.001A.
2. BENCHMARK: TOP OF A STEEL PIN IN A MONUMENT WALL AT THE INTERSECTION OF SCHULTE ROAD AND HANSEN ROAD. ELEVATION = 180.32 FEET (CITY OF TRACY NAVD 1988 DATUM).
3. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE CITY'S PUBLIC WORKS DEPARTMENT AT (209) 831-6460 AND REQUEST A PRE CONSTRUCTION CONFERENCE.
4. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE DEVELOPMENT AND ENGINEERING SERVICE DEPT. PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS SIGNED BY THE CITY ENGINEER.
5. ALL STREET IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE CODE, STATE STANDARD SPECIFICATIONS, AND CITY OR COUNTY STANDARD PLANS. THE IMPROVEMENTS ARE SUBJECT TO INSPECTION AND APPROVAL OF THE DEVELOPMENT AND ENGINEERING SERVICE DEPARTMENT.  
CONTACT PUBLIC WORKS CONSTRUCTION INSPECTION AT 209-831-4600 AT LEAST TWO WORKING DAYS PRIOR TO THE START OF ANY WORK TO ARRANGE FOR INSPECTION.
6. NOTIFY UNDERGROUND SERVICE ALERT 800-227-2600 AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
7. THE CONTRACTOR IS REQUIRED BY STATE LAW TO ACTIVELY RESEARCH WORK AREA PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REFERENCE MONUMENTS AND REPLACE THOSE DAMAGED OR REMOVED DURING CONSTRUCTION.
8. SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
9. NO TREES SHALL BE REMOVED UNLESS THEY ARE SHOWN AND NOTED TO BE REMOVED ON THE IMPROVEMENT PLANS. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED AND PROPERLY GRADED. IMPROVEMENTS SHALL BE REMOVED. THE Drip Line of Trees to be Saved Will be Fenced, and No Grading Shall Take Place Within This Fenced Area.
10. THE THICKNESS OF SUBBASE, BASE, AND SURFACING SHALL BE BASED ON TRAFFIC INDEX AND SOIL TEST FOR "R" VALUE = 5.
11. ALL LINES ABANDONED DURING CONSTRUCTION SHALL BE REMOVED (UNLESS OTHERWISE NOTED AND APPROVED BY CITY OF TRACY INSPECTOR).
12. CONTRACTOR SHALL CONTROL DUST AT ALL TIMES DURING CONSTRUCTION AS REQUIRED BY CITY OF TRACY.
13. MANHOLES, VALVES, CLEANOUTS ETC. SHALL BE BROUGHT TO FINISH GRADE PER TRACY STD. 114 AFTER THE FINAL PAVING COURSE IS PLACED. PER TRACY STD. 301 MANHOLES SHALL HAVE GRADE RINGS OF 18" MIN TO 24" MAXIMUM.
14. RECORDING EXISTING CONDITIONS - EXISTING CONDITIONS THROUGHOUT THE PROJECT SITE THAT ARE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY OR CITY MAINTAINED EASEMENTS SHALL BE PHOTOGRAPHED AND VIDEO-TAPED BY THE CONTRACTOR BEFORE STARTING CONSTRUCTION. RECORDING SHALL INCLUDE AND SHOW EVERY DETAIL OF EXISTING IMPROVEMENTS, INCLUDING THE CURRENT CONDITION OF THE CURB, GUTTER, SIDEWALK, SIGNS, LANDSCAPING, STREETLIGHTS, STRUCTURES NEAR THE PROJECT INCLUDING THE FACE OF BUILDINGS, CANOPIES, SHADES, FENCES, AND ANY OTHER FEATURES WITHIN THE LIMITS OF WORK. PHOTOS AND VIDEO-TAPE SHALL BE DELIVERED TO THE ENGINEER.
15. PRIOR TO CONSTRUCTION ACTIVITY AND WITHIN 30 DAYS OF PROJECT AWARD, ALL SURVEY MONUMENTS THAT MAY POTENTIALLY BE DISTURBED DURING CONSTRUCTION, MUST BE LOCATED AND REFERENCED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD OR RECORD OF SURVEY MUST BE FILED WITH THE COUNTY SURVEYOR. ANY SURVEY MONUMENTS DISTURBED DURING THE COURSE OF CONSTRUCTION MUST BE REESTABLISHED BY A LICENSED LAND SURVEYOR, A NEW MONUMENT SET, AND ANOTHER CORNER RECORD OR RECORD OF SURVEY FILED WITH THE COUNTY SURVEYOR (LAND SURVEYORS' ACT SECTION 8771). CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT AND RECORDING OF SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE CITY OF TRACY OR SAN JUAQUIN COUNTY STANDARD PLANS AND SPECIFICATIONS, WHICHEVER IS APPLICABLE.
- CITY OF TRACY UTILITY NOTES:**
1. ALL WATER VALVES 10" AND SMALLER SHALL BE GATE VALVES AND ALL WATER VALVES 12" AND LARGER SHALL BE BUTTERFLY VALVES AS REQUIRED BY CITY OF TRACY DESIGN STANDARD 6.08(B) AND STANDARD PLAN NO. 402.
2. DOUBLE POLY WRAP ALL DUCTILE IRON PIPE FITTINGS AND VALVES PER CITY STANDARDS AND PER CITY STANDARD SPECIFICATION 207-8 "VITRIFIED CLAY PIPE" POLY WRAP SHALL BE 8 MIL THICK AND SHALL BE SECURED WITH 10 MIL CHRISTY TAPE.
3. MANHOLES OUTSIDE PAVED AREAS SHALL HAVE BOLT DOWN LIDS AND CONCRETE COLLARS.
4. HYDROSTATIC WATER PRESSURE AND BACTERIA TESTS ON CONSTRUCTED WATER MAINS MUST BE PERFORMED IN THE PRESENCE OF THE CITY ENGINEERING INSPECTOR, AND MUST PASS THE TEST PRIOR TO CONNECTING TO THE CITY'S EXISTING WATER DISTRIBUTION SYSTEM.
5. ALL PIPE SHALL CONFORM TO THE PROVISIONS IN SECTION 207 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) AS MODIFIED BY THE CITY OF TRACY STANDARD SPECIFICATIONS. WHENEVER A CONFLICT EXISTS BETWEEN THE SSPWC AND THE CITY STANDARD SPECIFICATIONS, THE CITY STANDARD SPECIFICATIONS SHALL GOVERN.
6. SANITARY SEWER PIPE: SANITARY SEWER PIPE SHALL BE EITHER VITRIFIED CLAY PIPE (VCP), OR DUCTILE IRON PIPE (DIP) AND SHALL CONFORM TO SECTION 207-8 "VITRIFIED CLAY PIPE" AND SECTION 207-9.2 "DUCTILE IRON PIPE FOR WATER AND OTHER LIQUIDS" OF SSPWC RESPECTIVELY.
7. STORM DRAIN PIPE: STORM DRAIN PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO SECTION 207-2 "REINFORCED CONCRETE PIPE" OF SSPWC.
8. RECYCLED WATER PIPE: ALL MAINS SHALL BE P.V.C. C-900.
9. WATER PIPE: ALL WATER MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE AND SHALL CONFORM TO SECTION 207-9.2 "DUCTILE IRON PIPE FOR WATER AND OTHER LIQUIDS" AS MODIFIED BELOW:  
  
ALL PIPE FOR WATER MAINS SHALL BE DUCTILE IRON PIPE, THICKNESS CLASS 51 FOR 4" AND CLASS 50 FOR ALL OTHER SIZES, CEMENT MORTAR LINED, AND SHALL CONFORM TO THE PROVISIONS OF AWWA C151 AND C104 AND SHALL HAVE "TYTON" TYPE JOINTS. STANDARD BITUMINOUS COATING SHALL BE APPLIED TO OUTSIDE OF PIPE BY MANUFACTURER.  
  
UNLESS OTHERWISE SPECIFIED, FITTINGS FOR DUCTILE IRON PIPE SHALL BE CLASS 250 FOR 3-INCH SIZE AND LARGER, MECHANICAL JOINTS CONFORMING TO THE REQUIREMENTS OF AWWA C110. FITTINGS SHALL BE CEMENT MORTAR LINED IN ACCORDANCE WITH AWWA C104. THE OUTSIDE OF THE FITTINGS SHALL BE BITUMINOUS COATED. NUTS AND BOLTS SHALL CONFORM TO THE PROVISIONS OF ANSI SPECIFICATIONS B18.2. FITTINGS FOR 2-INCH DIAMETER AND SMALLER SHALL BE OF BRASS CONSTRUCTION.  
  
ALL BURIED FERRUS METAL SHALL BE PROTECTED FROM CORROSION, INCLUDING BUT NOT LIMITED TO VALVES, FITTINGS, PIPE, FLEXIBLE COUPLINGS AND HYDRANT PIPING WITH POLYWRAP IN ACCORDANCE WITH AWWA C105. POLYETHYLENE PROTECTIVE WRAPPING (POLYWRAP) SHALL BE 8 MIL THICK SHEETS CUT FROM TUBES SUPPLIED BY U.S. PIPE AND FOUNDRY COMPANY OR APPROVED EQUAL. THE EDGES SHALL BE SECURED WITH 8 MIL THICK 1-INCH WIDE SCOTCHWRAP AS MANUFACTURED BY MINNESOTA MINING AND MANUFACTURING CO., OR APPROVED EQUAL.
10. EXISTING MANHOLE RIMS ARE TO BE ADJUSTED, PER STANDARD PLAN 114, LIMITS THE USE OF GRADE RINGS TO 18" MINIMUM AND 24" MAXIMUM.
11. ALL SANITARY SEWER MANHOLES INTERIOR SURFACES SHALL BE EPOXY LINED WITH NEPOXY NPS300, NOVOCOAT SP-200R, SAVERISEN SEWERGRAD 201, OR EQUAL.

## GRADING NOTES

1. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION PREPARED FOR THIS SITE BY KLEINFELDER, DATED DATED OCTOBER 11, 2019, PROJECT NO. 20201076.001A.
2. CONTRACTOR SHALL DETERMINE HIS OWN EARTH QUANTITIES AND BASE HIS BID ACCORDINGLY.
3. TOP OF CURB ELEVATION IS 0.5' ABOVE THE A.C. PAVING AND SLOPE RATIOS ARE TO FINISHED SURFACE (UNLESS OTHERWISE NOTED).
4. COMPACTION TO BE DETERMINED USING ASTM D1557, LATEST EDITION LABORATORY TEST PROCEDURE
5. ALL STORM DRAIN PIPE 12" OR SMALLER IN DIAMETER SHALL BE SDR 35 PVC, CLASS III RCP OR BLUE SEAL HDPE MANUFACTURED BY HANCOR WITH WATERTIGHT JOINTS MEETING ASTM F477 AND ASTM D3212, (UNLESS OTHERWISE NOTED)
6. ALL STORM DRAIN PIPE 15"-24" SHALL BE CLASS III RCP OR BLUE SEAL HDPE AS MANUFACTURED BY HANCOR WITH WATERTIGHT JOINTS MEETING ASTM F477 AND ASTM D3212, (UNLESS OTHERWISE NOTED)
7. ALL STORM DRAIN PIPE GREATER THAN 24" IN DIAMETER SHALL BE CLASS III RCP OR APPROVED EQUAL, (UNLESS OTHERWISE NOTED) IF CONTRACTOR WISHES TO SUBSTITUTE ANY OF THE ABOVE PIPE TYPES THEY MUST PROVIDE THE ENGINEER WITH CALCULATIONS SHOWING THE SUBSTITUTED MATERIAL WILL MEET OR EXCEED THE PERFORMANCE OF SPECIFIED MATERIAL. CALCULATIONS SHALL BE STAMPED AND SIGNED BY A REGISTERED ENGINEER, NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE (DIP).
8. ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC VAULTS, AND PULL BOXES, THAT LIE WITHIN THE PUBLIC RIGHT-OF-WAY OR ARE LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY FOR WHICH THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
9. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY, THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES, HOWEVER, THE ENGINEER CAN NOT ASSUME RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THEIR DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT ARE NOT SHOWN ON THESE DRAWINGS.
10. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED, ABOVE OR BELOW, BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. PIPE SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL POSSESSIBLE HAS BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
11. THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR THE TRENCHING OR PLACEMENT OF CONCRETE.
12. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
13. ALL WORK, ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO THE CITY OF TRACY STANDARDS AND REQUIREMENTS.
14. CONTRACTOR SHALL OBTAIN LATEST CITY STANDARD DETAILS AND SPECIFICATIONS FROM THE CITY OF TRACY.
15. KLEINFELDER SHALL BE RETAINED FOR REVIEW OF PLANS, SPECIFICATIONS, FIELD OBSERVATIONS, AND TESTING AS OUTLINED BY THE GEOTECHNICAL REPORT.

## EROSION & SEDIMENT CONTROL MEASURES

3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVE FOR THE DURATION OF CONSTRUCTION.
2. AFTER THE UNDERGROUND STORM DRAIN SYSTEM IS INSTALLED, THE CATCH BASINS WILL BE INSTALLED (AS SOON AS PRACTICAL) AND ROCK BARRIER BAGS WILL BE PLACED AROUND THOSE CATCH BASINS AS SHOWN ON THIS PLAN UNTIL THIS SITE IS PAVED.
3. SHOULD THE ON-SITE STORM DRAINS NOT BE INSTALLED COMPLETELY BY OCTOBER 15, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS AT THE EXISTING STORM PIPES STUBBED TO THE SITE.
4. PERSON RESPONSIBLE FOR IMPLEMENTATION OF EROSION AND SEDIMENTATION PLAN.  
  
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5. THE CONTRACTOR SHALL PLACE 3"-6" COARSE AGGREGATE AS A GRAVEL ROADWAY (12" MIN. THICK FOR THE FULL WIDTH AND 50 FEET LONG) AT EACH D/W ENTRANCE TO SITE, ANY MUD THAT IS TRACKED OUT PUBLIC STREETS SHALL BE REMOVED THAT SAME DAY AND AS REQUIRED BY THE CITY OF TRACY.
6. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE QSP.
7. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS, THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUN-OFF TO ANY STORM DRAINAGE SYSTEM.
8. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING, PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO THE SEPTEMBER FIRST OF EACH SUBSEQUENT YEAR UNTIL THE SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
9. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
10. SEDIMENT BASINS SHALL BE CLEANED OUT WHENEVER SEDIMENT REACHES THE SEDIMENT CLEANOUT LEVEL INDICATED ON THE PLANS.
11. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE QSP.
12. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVERBANK FLOW.
13. INLETS WHICH ARE NOT USED IN CONJUNCTION WITH ROCK BARRIER BAGS OR SEDIMENT BASINS SHOULD BE COVERED, OR OTHERWISE ADJUSTED TO PREVENT INFLOW, UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
14. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO ANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF THE ENGINEER.
15. DETAILS FOR THE CONSTRUCTION OF FACILITIES ARE SHOWN ON THESE PLANS.

## UTILITY NOTES

1. BACKFILLING AND COMPACTION FOR ALL TRENCHES SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
2. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO ANY SITE WORK. ALL WORK FOR STORM DRAIN AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
3. ALL WORK ON-SITE AND IN THE PUBLIC RIGHT OF WAY, SHALL CONFORM TO THE CITY OF TRACY STANDARDS AND REQUIREMENTS.
4. GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND UTILITIES. PROVIDE 6" MINIMUM CLEARANCE BETWEEN PIPES CROSSING ELECTRICAL LINES VERTICALLY AND 12" MINIMUM CLEARANCE BETWEEN PIPES RUNNING PARALLEL TO ELECTRICAL LINES HORIZONTALLY.
5. CONTRACTOR SHALL COORDINATE WITH MEP PLANS FOR EXACT LOCATION OF ROOF DRAINS AND RAIN WATER LEADERS
6. FOR UTILITY MATERIALS AND TYPES, SEE THE PROJECT SPECIFICATIONS.
7. WATER LINES SHALL BE 12" MINIMUM ABOVE SANITARY SEWER LINE AT ALL CROSSINGS.
8. MINIMUM COVER FOR WATER LINES IS 3.0 FEET.
9. MINIMUM COVER FOR FIRE SERVICE LINES IS 4.0 FEET.
10. GRAVITY SANITARY SEWER SHALL BE PVC SDR 26 EXCEPT WHERE DUCTILE IRON PIPE (DIP) IS NOTED. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 50. PRESSURE SEWER SHALL BE PVC C900 DR25 UNLESS OTHERWISE NOTED.
11. DOMESTIC WATER LINES SHALL BE ASTM D 1785-2004a SDR SCHEDULE 80 PVC PIPE, J-M RING TITE OR APPROVED EQUAL.
12. CONSTRUCTION OF UTILITIES SHALL COMPLY WITH 609.2 2016 CPC.
13. CONTRACTOR SHALL PROVIDE ENGINEER OF RECORD SUBMITTALS FOR PROJECT MATERIALS DETAILED ON THESE PLANS THAT OUTSIDE PUBLIC MAINTENANCE OR JURISDICTION. CONTRACTOR SHALL INSTALL ALL ITEMS WITHOUT RECEIVING APPROVED SUBMITTAL FROM THE ENGINEER OF RECORD. SUBMITTAL SHALL INCLUDE PLAN REFERENCE FOR THE SUBMITTED MATERIAL. ANY DEVIATION OR SUBSTITUTION FROM THE MATERIALS SPECIFIED ON THE PLANS SHALL BE FORMALLY REQUESTED WITH A DESCRIPTION OF THE SUBSTITUTION INCLUDING THE MATERIAL BEING SUBSTITUTED. FOR MATERIALS WITHIN PUBLIC MAINTENANCE OR JURISDICTION THE CONTRACTOR SHALL DIRECTLY SUBMIT MATERIALS TO APPROPRIATE MUNICIPAL/PUBLIC DEPARTMENT FOR REVIEW AND APPROVAL AS REQUIRED.

## UNDERGROUND FIRE PROTECTION SYSTEM NOTES

1. THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THIS DRAWING IS SCHEMATIC AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. THE CONTRACTOR SHALL PROVIDE THE NECESSARY DETAILS FOR CONSTRUCTION NOTES AND DETAILS; SEE FIRE PROTECTION PLANS.
2. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUESTED BY SPECIFICATIONS, NFPA 13, 24 AND THE LOCAL FIRE MARSHAL.
3. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL SUBMIT SHOP DRAWINGS TO THE LOCAL FIRE MARSHAL/BUILDING OFFICIAL AND THE OWNER'S REVIEWING AGENT FOR PERMIT AND APPROVAL/ACCEPTANCE.
4. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT, ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK. REQUIREMENTS FOR SHOP DRAWINGS SUBMITTAL ARE LISTED IN SPECIFICATIONS.
5. SHOP DRAWINGS, APPROVED BY THE LOCAL FIRE MARSHAL AND OWNER'S REVIEWING AGENT, SHALL BE SUBMITTED BY THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER, TO THE ARCHITECT, PRIOR TO REQUESTING FINAL APPROVAL AND PAYMENT. REQUIREMENTS FOR SHOP DRAWINGS SUBMITTAL ARE LISTED IN SPECIFICATIONS.
6. REFER TO SPECIFICATIONS FOR UNDERGROUND FIRE PROTECTION SYSTEM REQUIREMENTS. SPECIFICATIONS ARE PART OF THE CONTRACT DOCUMENTS AND APPLIES TO THE GENERAL CONTRACTOR AND THE FIRE PROTECTION SYSTEM INSTALLER.
7. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF COMPLIANCE OF THE SHOP DRAWINGS TO THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTAL.
8. GENERAL CONTRACTOR SHALL NOT DIVIDE THE WORK SPECIFIED UNDER THIS SECTION BETWEEN SUBCONTRACTORS.
9. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL DRAWINGS.
10. SEE ARCHITECTURAL FLOOR PLANS FOR DIMENSIONED AUTOMATIC SPRINKLER RISER (ASR) LOCATIONS.



- ASPHALT BERM  
 BUILDING LINE  
 CAST IRON PIPE  
 CENTERLINE  
 CONCRETE CURB  
 CONCRETE CURB & GUTTER  
 CONTOUR LINE  
 OBSCURED CONTOUR LINE  
 EDGE OF PAVEMENT  
 ELECTRIC LINE  
 FENCE LINE  
 GAS LINE  
 OPTICS LINE  
 FIRE SERVICE & VALVE  
 GAS LINE-VALVE & METER  
 PRESSURE GAS LINE  
 LOT LINE  
 MONUMENT/MONUMENT LINE  
 OVERHEAD POWER LINE  
 PROPERTY LINE  
 SEWER  
 SEWER-MANHOLE & CLEANOUT  
 SIDEWALK  
 STORM DRAIN  
 STORM DRAIN/ELEVATION  
 STORM DRAIN- MANHOLE & CATCH BASIN  
 TELEPHONE LINE  
 UTILITY LINE  
 BACKFLOW PREVENTION DEVICE  
 FIRE DEPARTMENT CONNECTION  
 HYDRANT  
 POST INDICATOR VALVE  
 VALVE/JOINT/POLE  
 TRANSFORMER  
 TRAFFIC SIGN  
 UTILITY BOX  
 BENCHMARK/TEMPORARY BENCHMARK  
 POINT

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ANGLE POINT  
ASPHALT PAVEMENT  
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BEGIN  
BUILDING LINE  
BOLLARD  
BACK-SIGHT CHECK  
BACK OF WALK  
CONCRETE  
CAST IRON PIPE  
CLEANOUT  
DOCK  
EAST  
EDGE OF PAVEMENT  
EASEMENT  
ELECTRICAL VAULT  
EDGE OF WALK  
FIRE FIREPARTMENT CONNECTION  
FIRE HYDRANT  
FENCE  
FOUND  
FIBER OPTICS  
FIRE SERVICE  
FORE-SIGHT CHECK  
GAS LINE  
GRADE BREAK  
GAS MARKER/METER  
GUY ANCHOR  
HIGH PRESSURE GAS LINE  
HIGH PRESSURE OIL LINE  
INVERT ELEVATION  
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W  
WV

- JOINT TRENCH  
LIP OF GUTTER  
LANE  
MANHOLE  
MANHOLE (DESTROYED) MONITORING WELL  
NORTH  
NORTH EAST  
NORTH WEST  
OFFICIAL RECORDS  
OVERHEAD  
PAVEMENT  
PACIFIC GAS & ELECTRIC  
PARCEL MAP  
POINT OF CONNECTION  
POWER POLE  
RIM ELEVATION  
RECLAIMED WATER LINE  
SOUTH  
STRAIN DRAIN  
STRAIN DRAIN MANHOLE  
STREET LIGHT  
SANITARY SEWER  
SANITARY SEWER  
SANITARY SEWER EASEMENT  
SANITARY SEWER MANHOLE  
SOUTH WEST  
TELEPHONE BOX  
TOP OF CURB  
TELEPHONE POLE  
TREE  
TRAFFIC SIGNAL BOX  
TRAFFIC SIGNAL POLE  
GAS-OIL-STEAM CHIMNEY  
WEST  
WATER VALVE

THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SDC DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING. PROPERTY LINE PLAT ONLY.

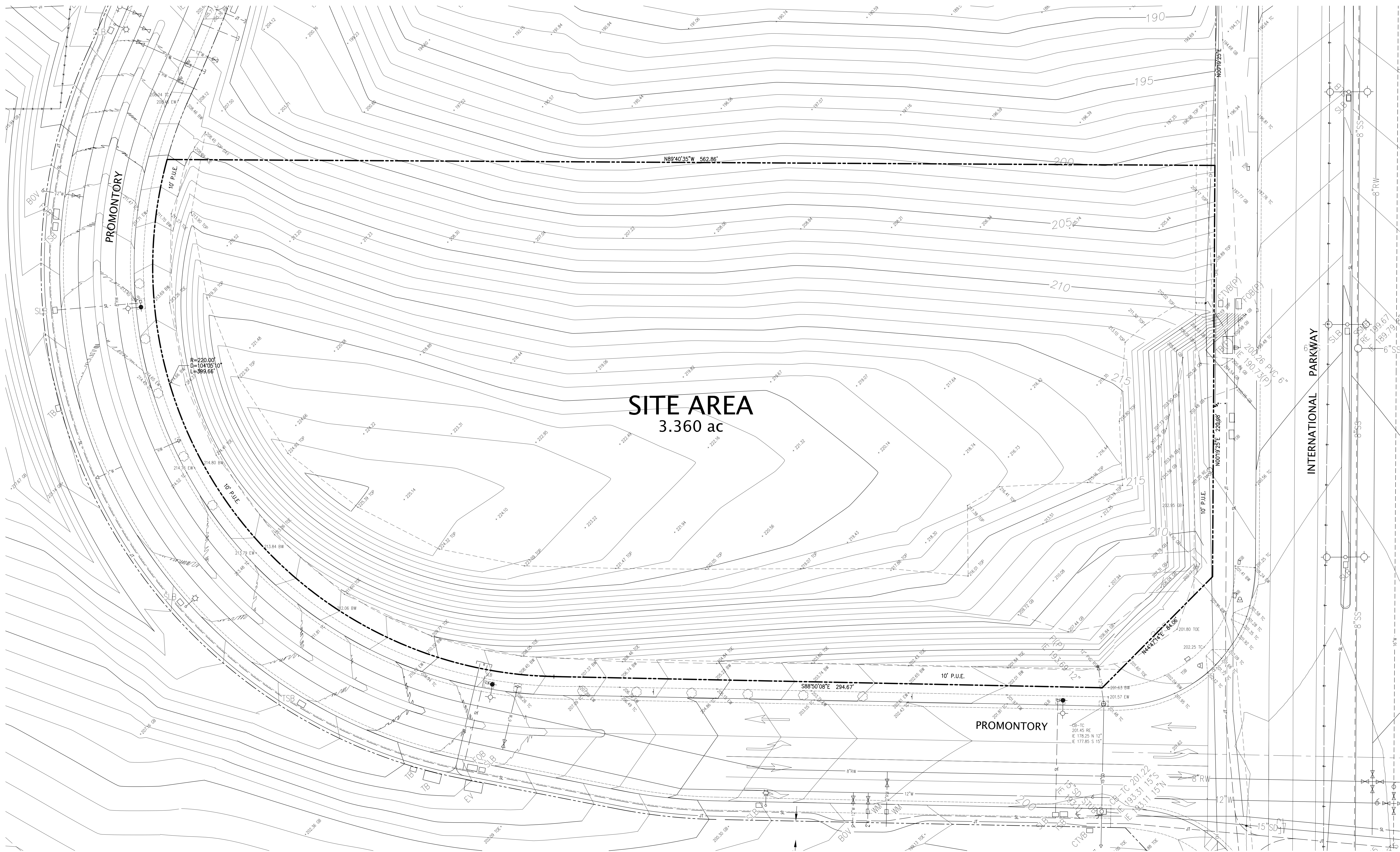
ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS GUARANTEED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR IS NOT TO BE HELD RESPONSIBLE TO LOCATE AND/ OR CAUTIONED THAT ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

BENCHMARK: TOP OF A STEEL PIN IN A MONUMENT WALL AT THE INTERSECTION OF SCHULTE ROAD AND HANSEN ROAD  
ELEVATION = 180.32 FEET (POINT OF TRACY NAVD 1988 DATUM)



Scale 1" = 20 ft




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DATE		04/16/2020	
SCALE		1" = 20'	
ENGINEER		M.F.B.	
DRAFTER		M.G.	
JOB NO.		A09500-169	
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# TOPOGRAPHIC SURVEY I.P.C. – OFFICE BUILDING PROLOGIS

**TRACY**  
**CALIFORNIA**



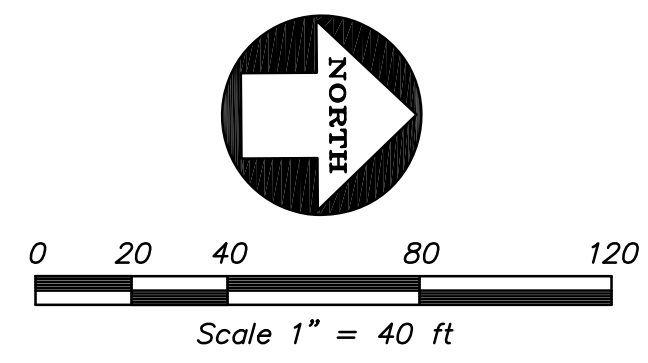
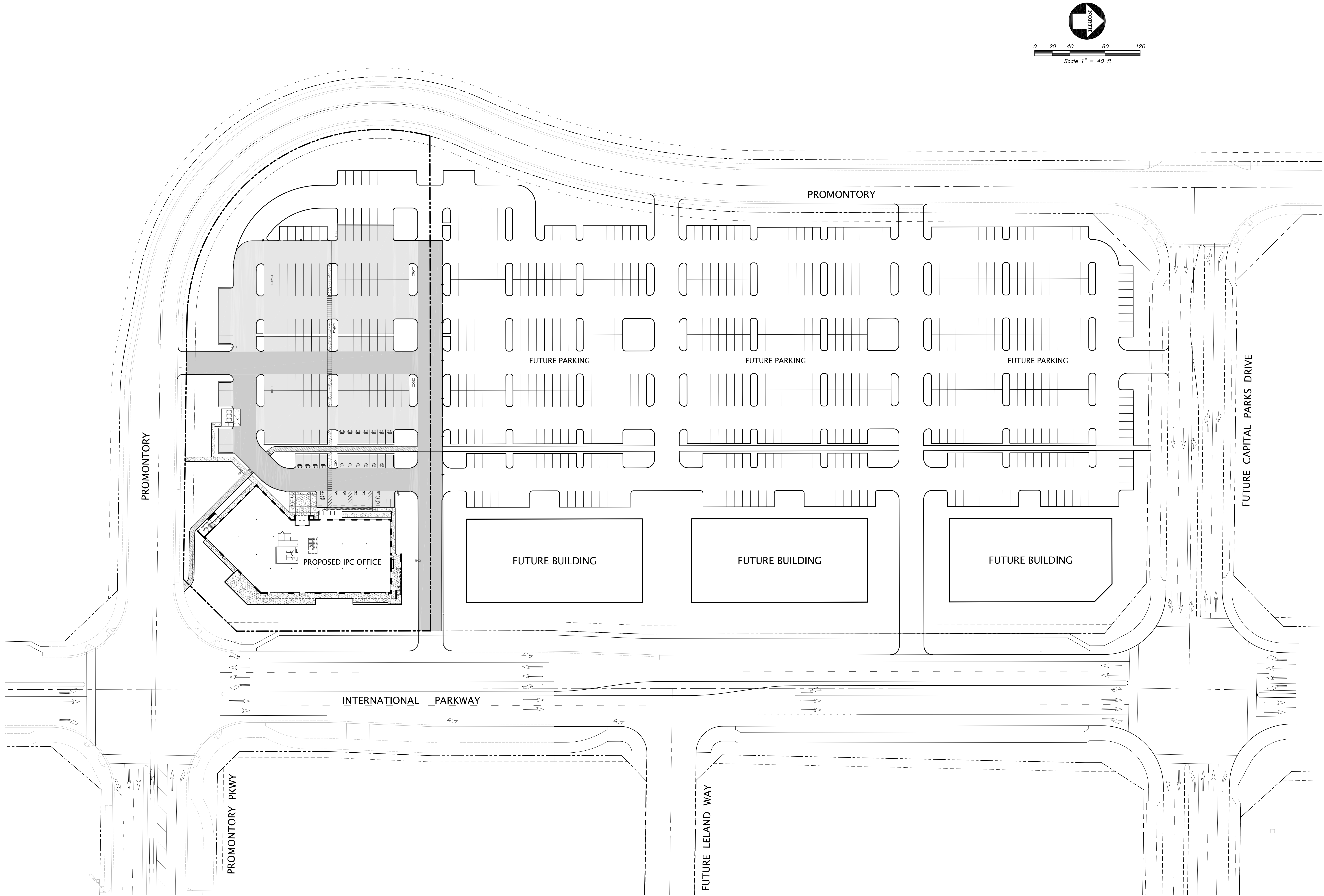
**KIER+WRIGHT**

2850 Collier Canyon Road  
Livermore, California 94551

Phone (925) 245-9788  
www.kierwright.com

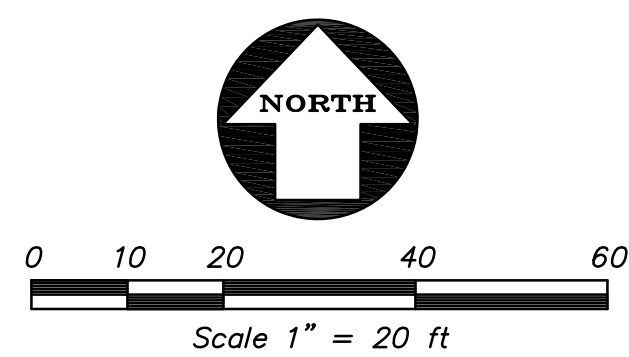
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2		PLANNING RE-SUBMITTAL		
3		04/16/2020		
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# PAVEMENT LEGEND

- 3" AC OVER 10" CLASS II A.B.  
-OR-  
3.5" AC OVER 4" CLASS II AB OVER 12" LIME TREATED SOIL  
LIGHT PAVEMENT (T.L.=5.0)
- 4" AC OVER 15.5" CLASS II A.B.  
-OR-  
4" AC OVER 4" CLASS II AB OVER 15" LIME TREATED SOIL  
HEAVY PAVEMENT (T.L.=7.0)
- CONCRETE TRUCK PAVEMENT: 6" CONCRETE (4,000 PSI),  
WITH #3 BARS 18" ON CENTER EACH WAY, 3" CLEAR FROM  
EDGES, OVER 4" CLASS II AB OVER 12" LIME TREATED  
SUBGRADE. PROVIDE JOINTS PER DETAIL 6 ON SHEET C.9.2
- CONCRETE SIDEWALK: 4" PCC WITH #3 BARS 18" ON  
CENTER EACH WAY OVER 4" CLASS II AB OVER 18" LIME  
TREATED SOIL. SEE ARCHITECTURAL PLANS FOR SCORING  
AND FINISHING DETAILS
- STORMWATER TREATMENT BIO-RETENTION PLANTER

PROMONTORY

FUTURE PARKING

FUTURE BUILDING  
F.F. 198.0

IPC OFFICE  
F.F. 205.0

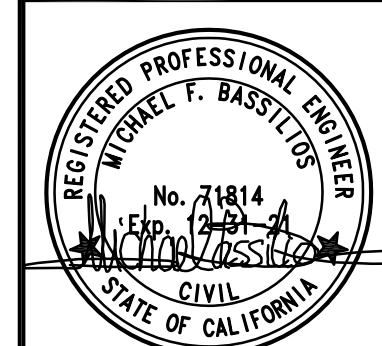
INTERNATIONAL PARKWAY

PROMONTORY

GRADING AND DRAINAGE PLAN  
I.P.C. - OFFICE BUILDING  
PROLOGIS

TRACY

CALIFORNIA

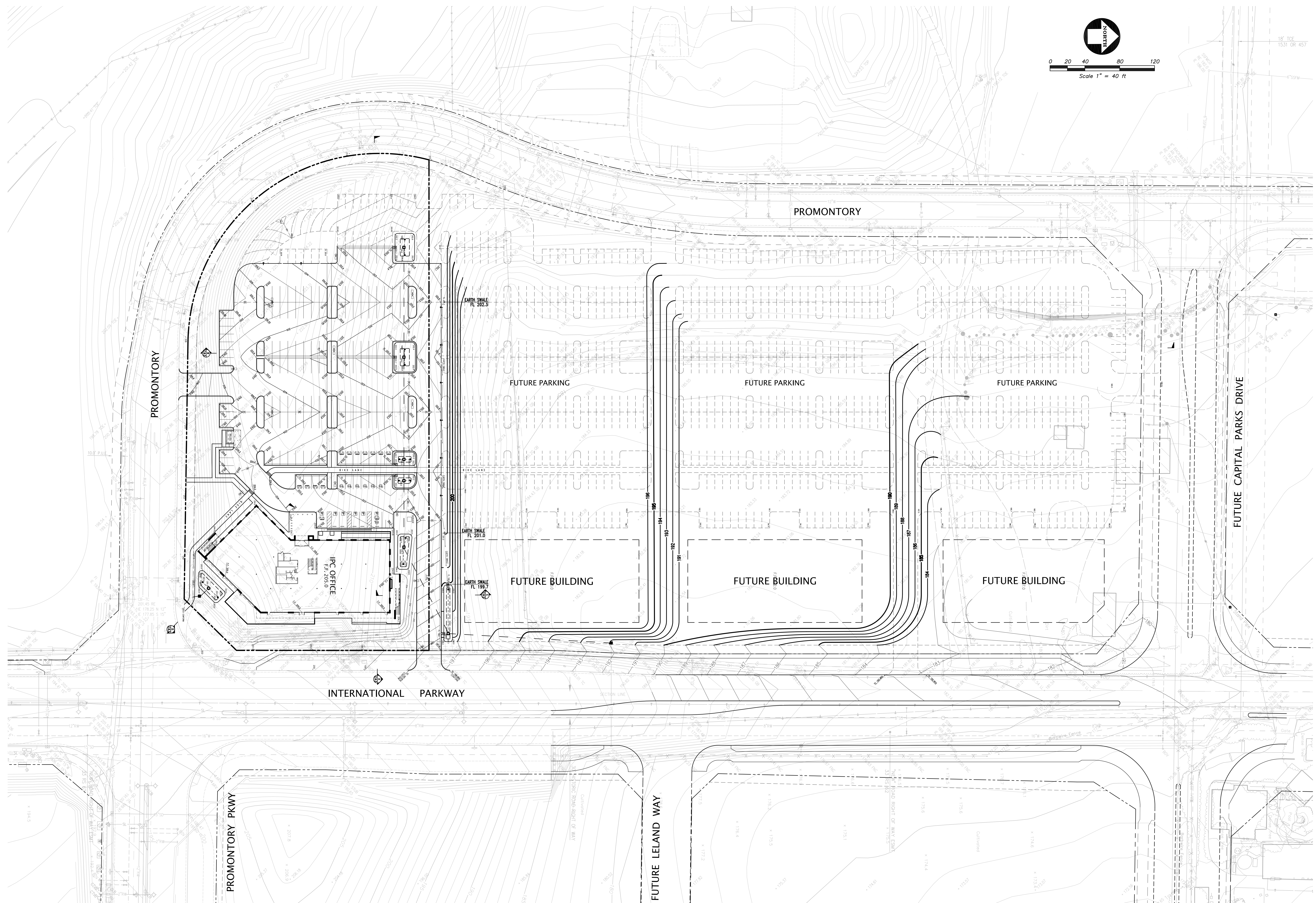


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NO.	BY	REVISION	DATE
1	MM	CITY SUBMITTAL	02/10/2020
2	MM	PLANNING RE-SUBMITTAL	04/16/2020
3	MM		
4	MM		
5	MM		

DATE	04/16/2020
SCALE	1" = 20'
ENGINEER	M.F.B.
DRAFTER	M.G.
JOB NO.	A09500-169
SHEET	C.4.1
OF	13 SHEETS



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PROTECTION OF UNDERGROUND INSTALLATION NOTE:

"CORROSION PROTECTION / WRAPPING IS REQUIRED ON ALL UNDER-SLAB OR UNDERGROUND FERROUS ELECTRICAL CONDUIT, WATER PIPING, BUILDING DRAINS, BUILDING SEWERS, FLOOR SINKS, FLOOR DRAINS, TRAP PRIMERS, WASTE DRAINS AND OTHER FERROUS PIPING, INCLUDING ALL ZINC-COATED GALVANIZED PIPING AND FITTINGS. CORROSION PROTECTION / WRAPPING IS REQUIRED ON COPPER WATER PIPING PER THE 2016 CPC. SEC. 312.4 CORROSION PROTECTION SHALL BE INSPECTED AND APPROVED BEFORE COVERING"

UNDERGROUND FIRE PROTECTION SYSTEM NOTE

THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THIS DRAWING IS SCHEMATIC AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. FOR CONSTRUCTION NOTES AND DETAILS, SEE FIRE PROTECTION PLANS.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOUGHING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT AND THEN POTHOUGHING ALL EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

BEFORE EXCAVATING  
CALL U.S.A.  
811  
48-HOURS BEFORE ALL  
PLANNED WORK OPERATIONS



Know what's below.  
Call before you dig.



0 10 20 40 60  
Scale 1" = 20 ft

S.D.I.B. #07  
CONNECTED TO 15" SD STUB  
PER PHASE 1G PLANS  
RE 192.0  
IE 188.20 12" IN  
IE 184.20 15" OUT

(N.I.C.)  
31"-15" S.D.  
PER PHASE 1G PLANS  
S=0.0115

CURB INLET (N.I.C.)  
PER PHASE 1G PLANS  
IE 183.84 15" IN

FUTURE BUILDING

FUTURE PARKING

PROMONTORY

FUTURE PARKING

IPC OFFICE  
F.F. 205.0

INTERNATIONAL PARKWAY

PROMONTORY

UTILITY PLAN  
I.P.C. - OFFICE BUILDING  
PROLOGIS

TRACY

CALIFORNIA

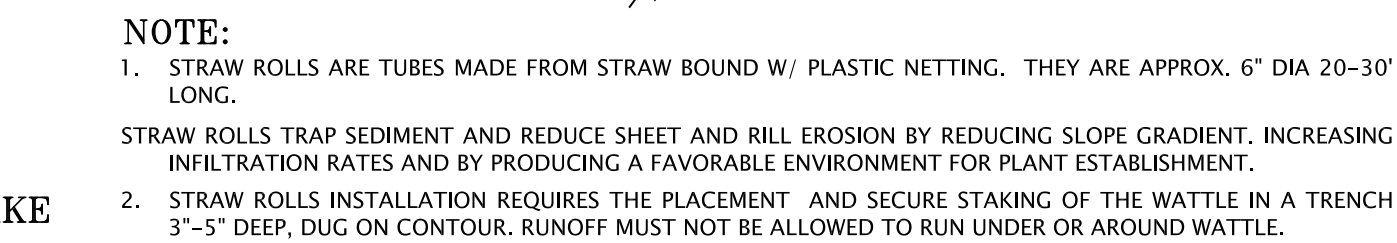


KIER+WRIGHT  
2850 Collier Canyon Road  
Livermore, California 94551  
Phone (925) 245-8788  
www.kierwright.com

NO.	REVISION	BY	DATE
1	CITY SUBMITTAL		02/10/2020
2	PLANNING RE-SUBMITTAL		04/16/2020
3			
4			
5			

DATE	04/16/2020
SCALE	1" = 20'
ENGINEER	M.F.B.
DRAFTER	M.G.
JOB NO.	A09500-169
SHEET	C.5.1
OF	13 SHEETS





1



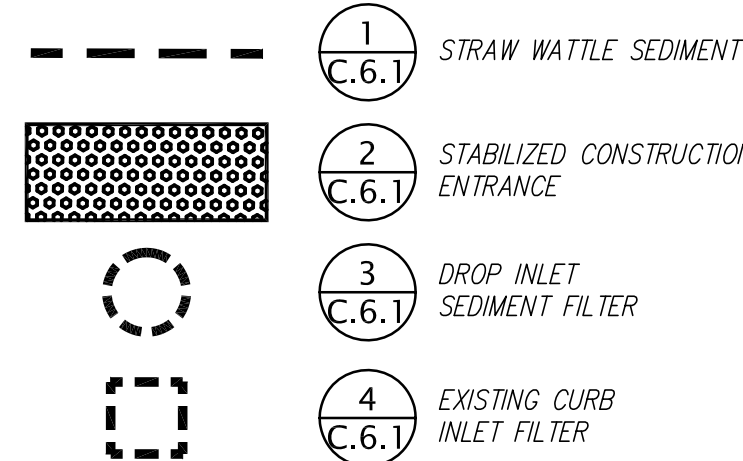
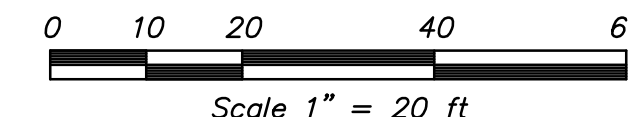
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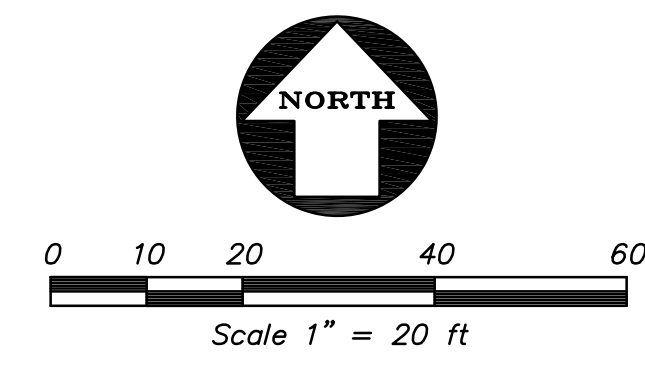
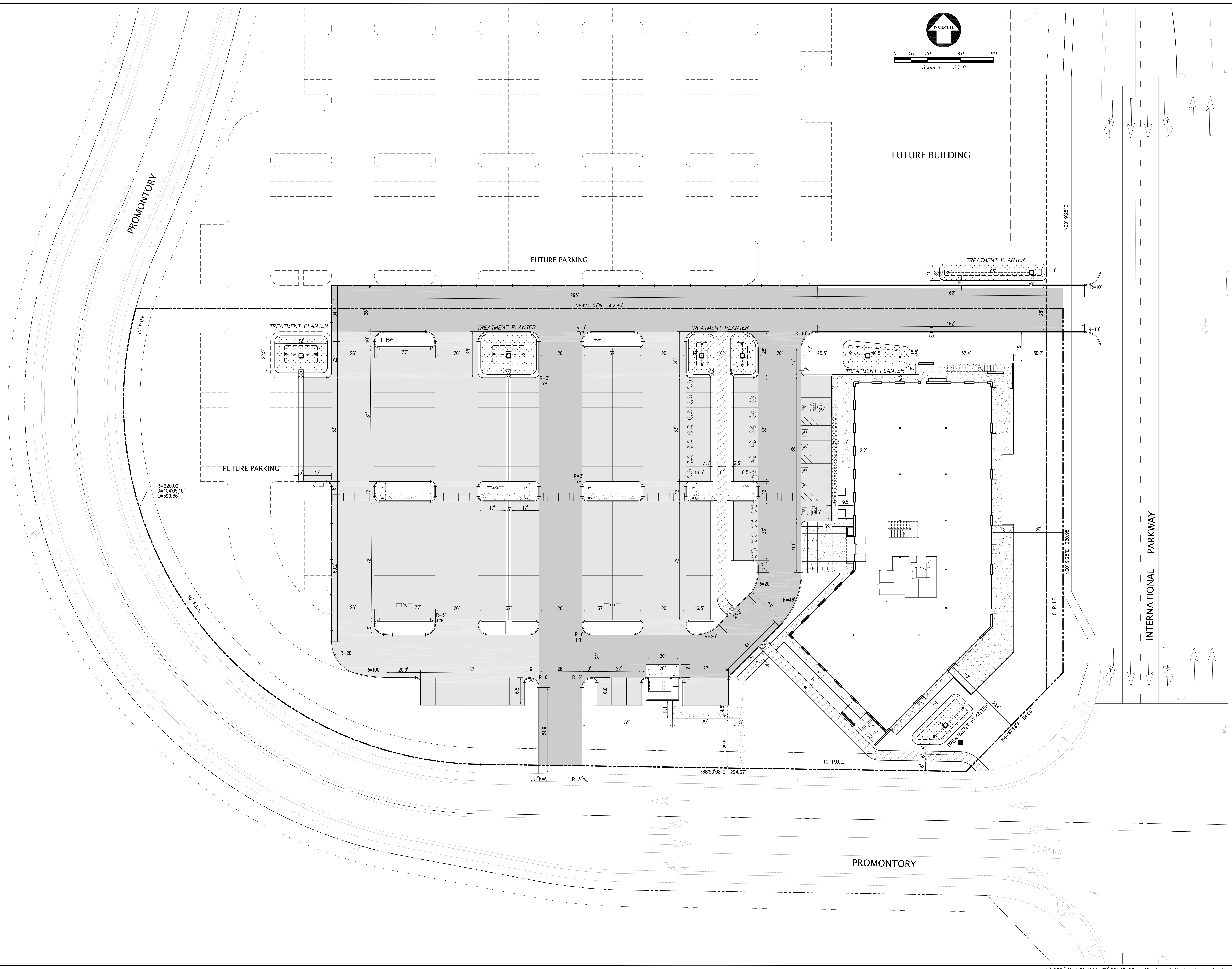


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C.6.1  
TVP



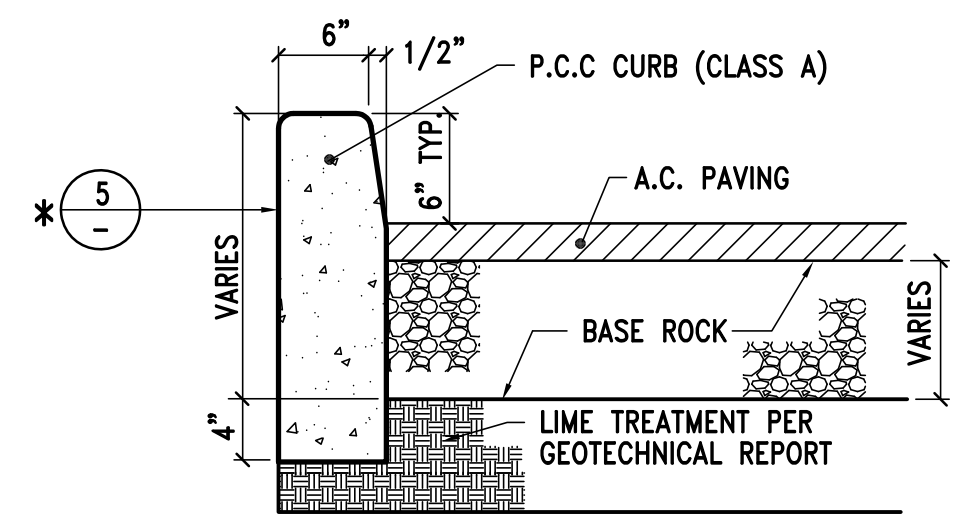






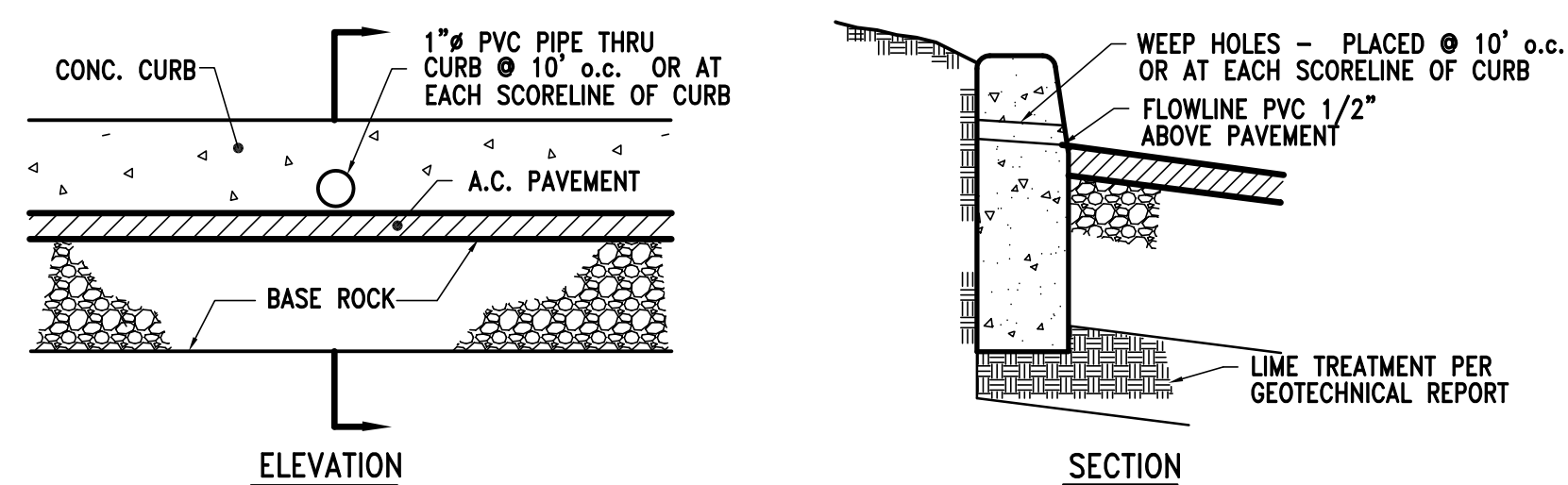
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SCALE		1" = 20'
ENGINEER		M.F.B.
DRAFTER		M.G.
JOB NO.		A09500-169
SHEET		C.8.1
OF		13 SHEETS
NO.		1
BY		NO
REVISION		NO
CITY SUBMITTAL		02/10/2020
PLANNING RE-SUBMITTAL		04/16/2020
KIER+WRIGHT		
REGISTERED PROFESSIONAL ENGINEER		
No. 21814		
STATE OF CALIFORNIA		
2850 Collier Canyon Road		
Livermore, California 94551		
Phone (925) 245-8788		
www.kierwright.com		
CALIFORNIA		
HORIZONTAL CONTROL PLAN		
I.P.C. - OFFICE BUILDING		
PROLOGIS		
TRACY		



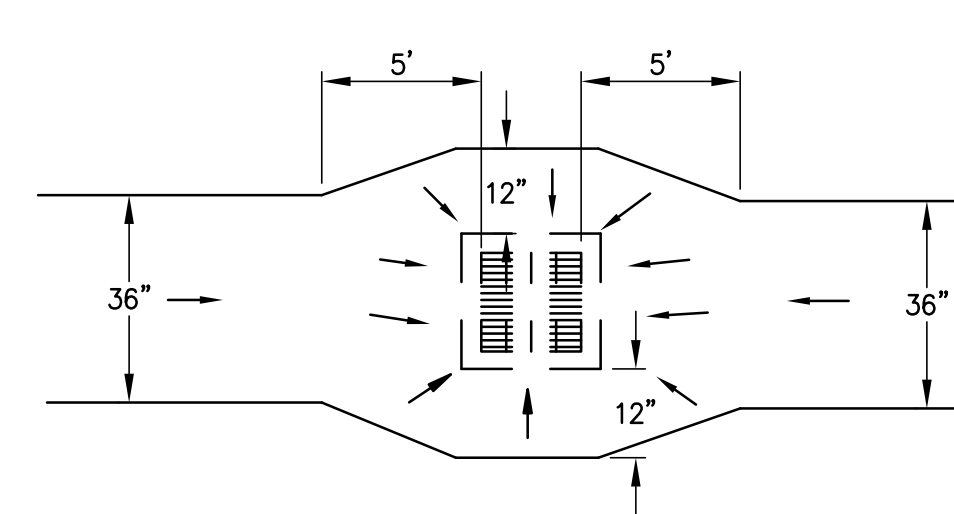


\* WEEPHOLES TO BE PLACED ON ALL CURBS AND CURB & GUTTER WHERE LANDSCAPING SLOPES TOWARD CURB. WEEPHOLES SHALL BE PLACED AT 10' O.C. OR AT EACH SCORELINE OF THE CURB.

6" CONCRETE CURB  
N. T. S.

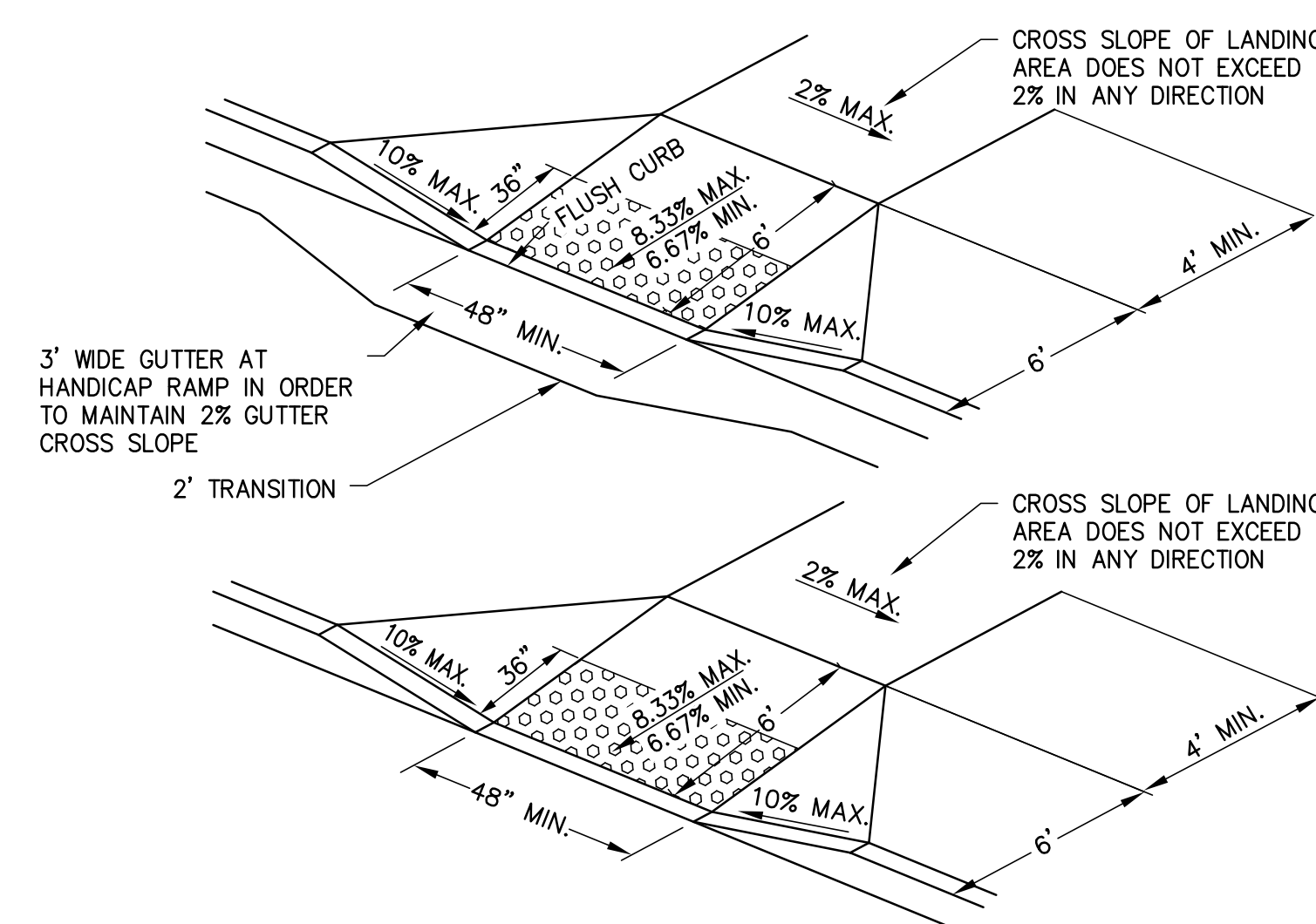


WEEP HOLE  
N. T. S.

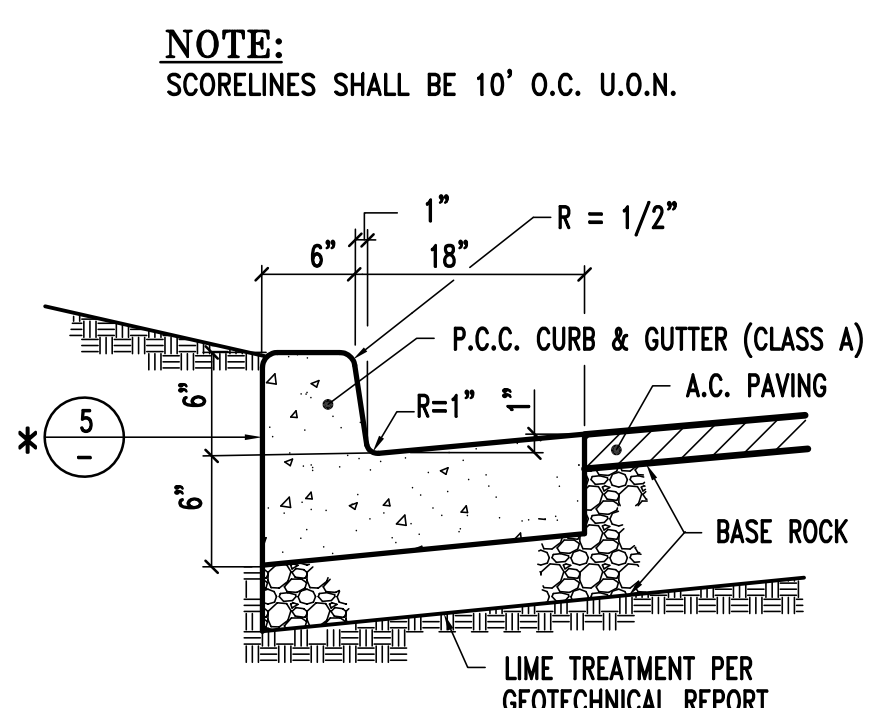


GUTTER FLARE DETAIL

N. T. S.

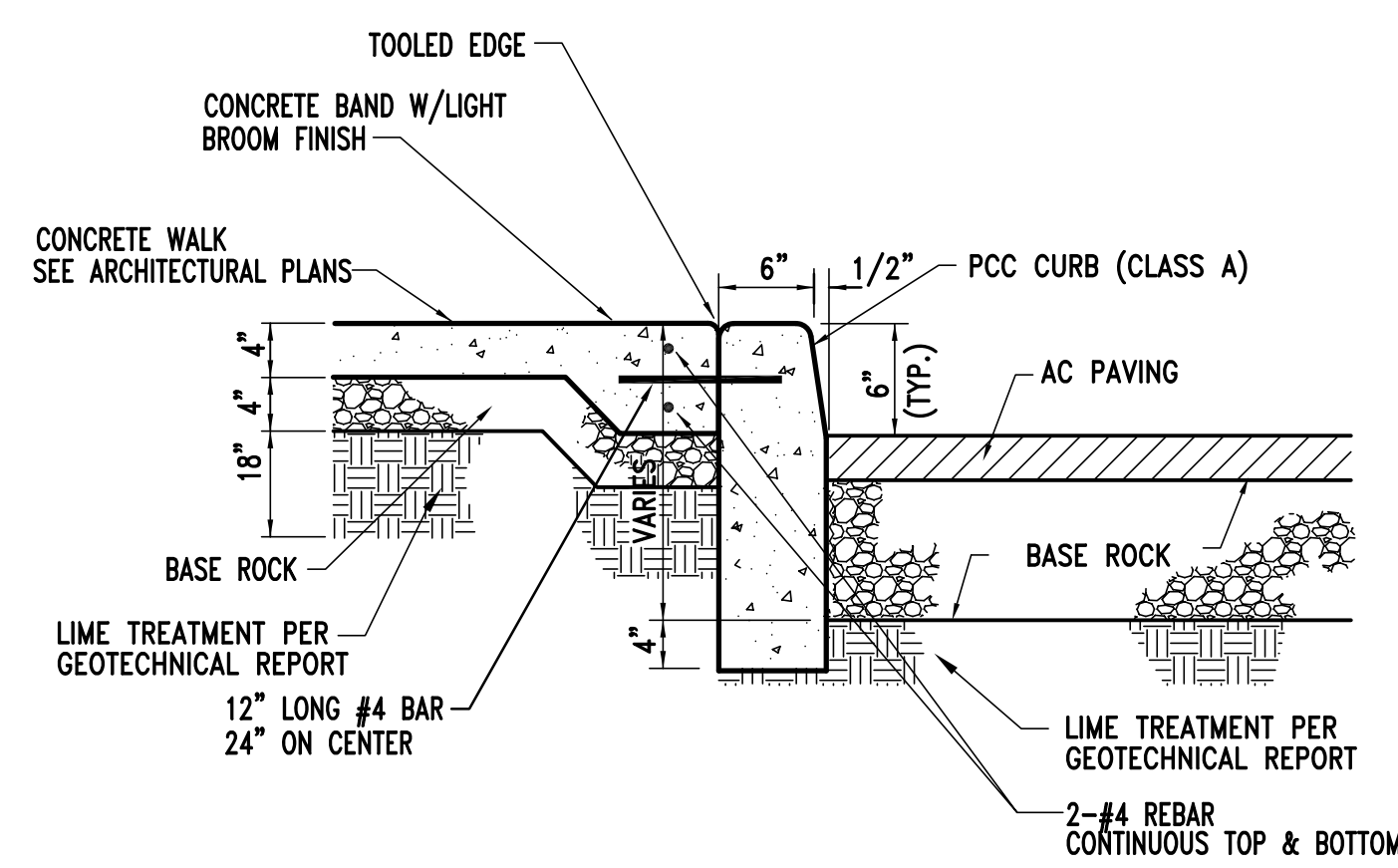


DISABLED ACCESS RAMP WITH FLARES

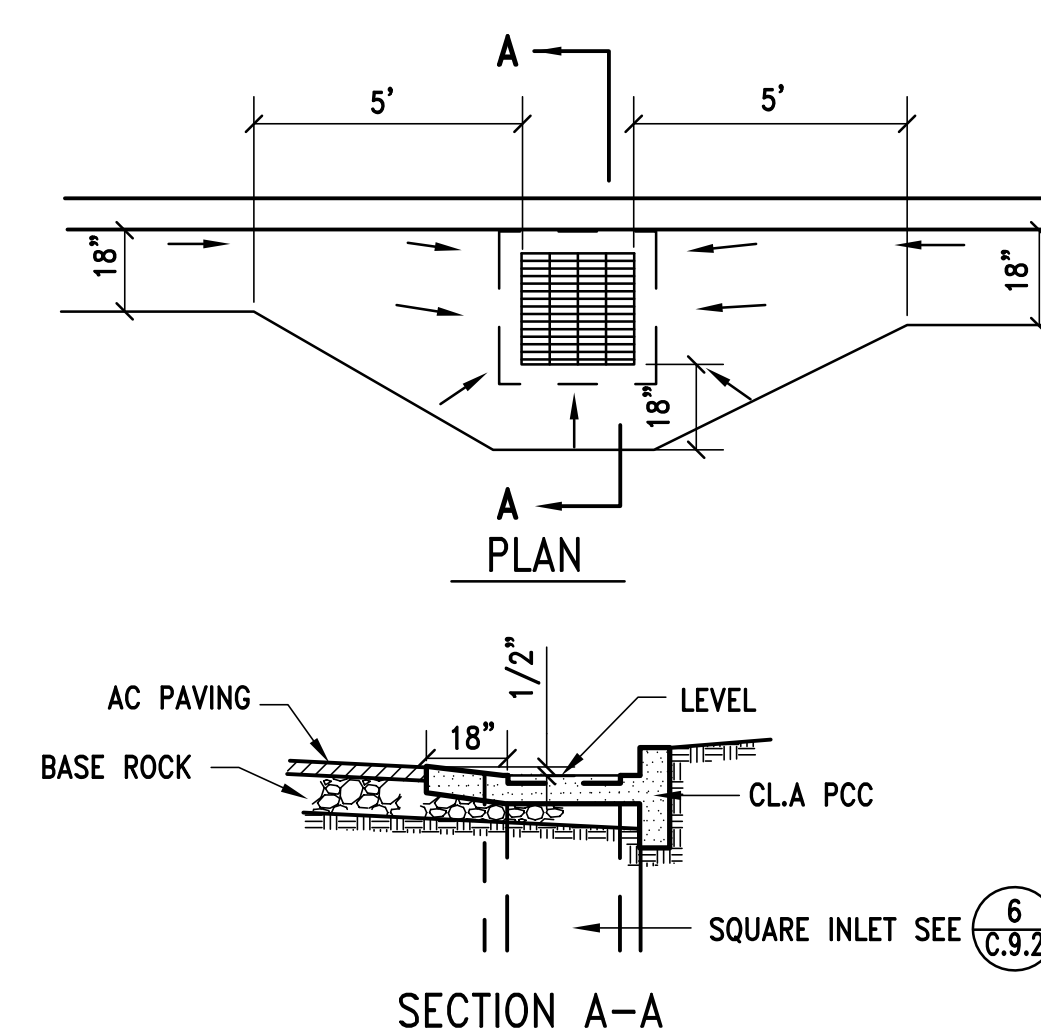


\* WEEPHOLES TO BE PLACED ON ALL CURBS AND CURB & GUTTER WHERE LANDSCAPING SLOPES TOWARD CURB. WEEPHOLES SHALL BE PLACED AT 10' O.C. OR AT EACH SCORELINE OF THE CURB.

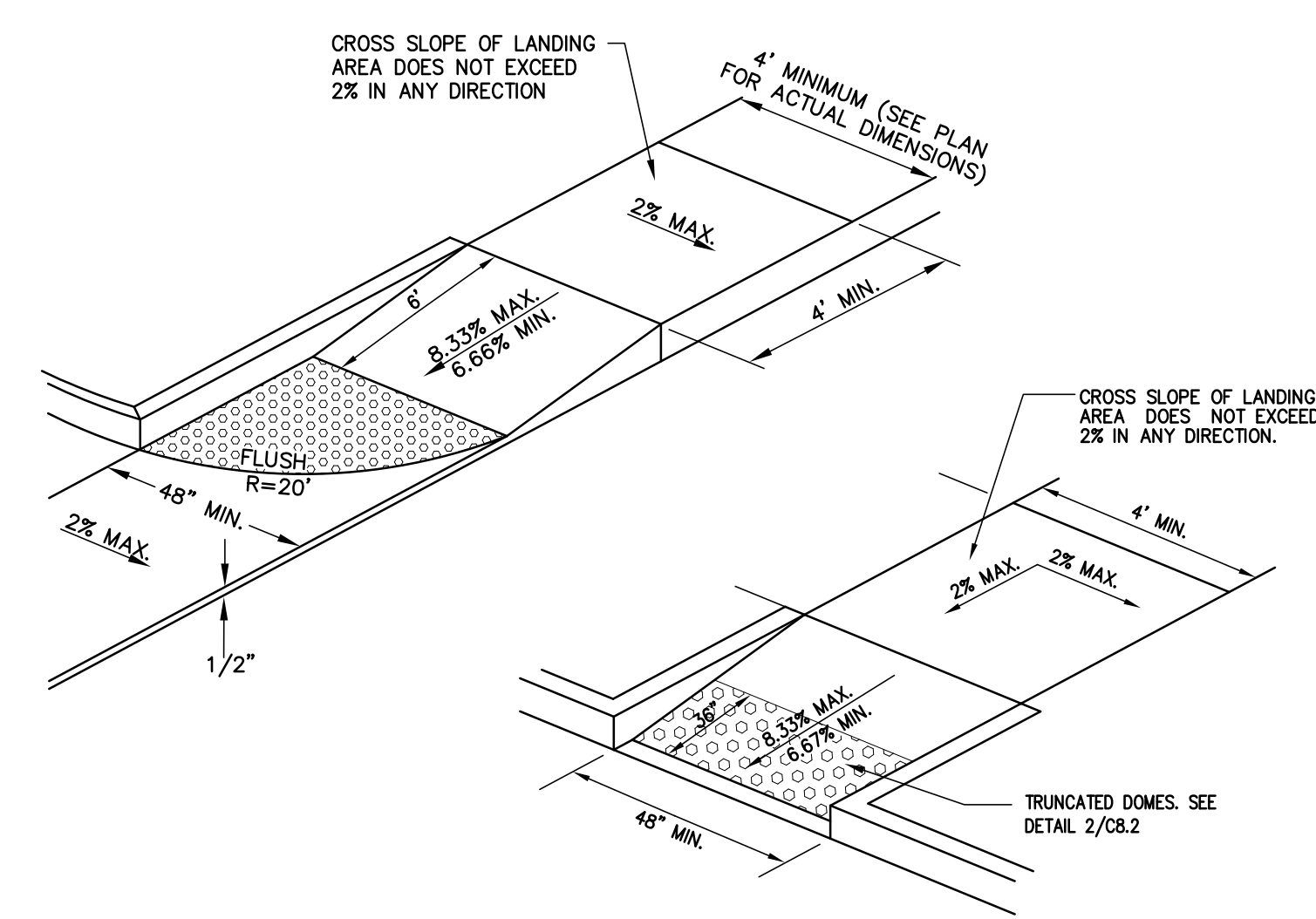
6" CONCRETE CURB & GUTTER



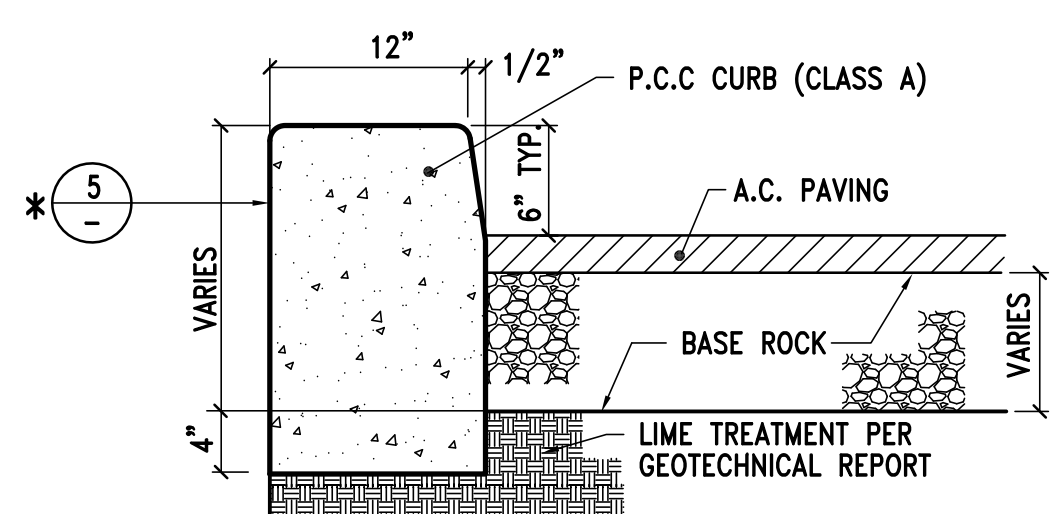
CONCRETE WALK AT CURB



### GUTTER FLARE DETAIL

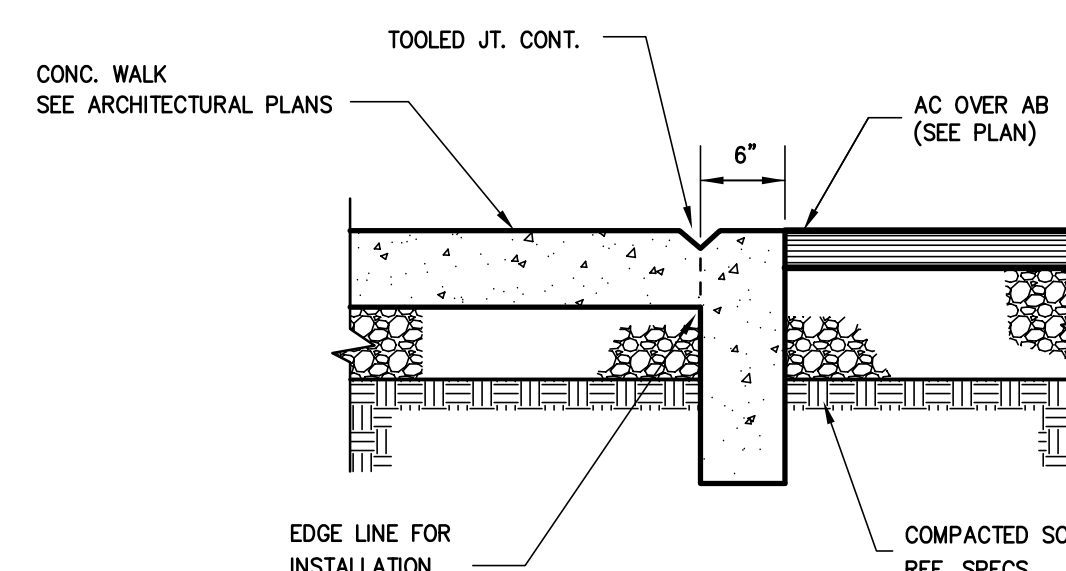


## DISABLED ACCESS RAMPS

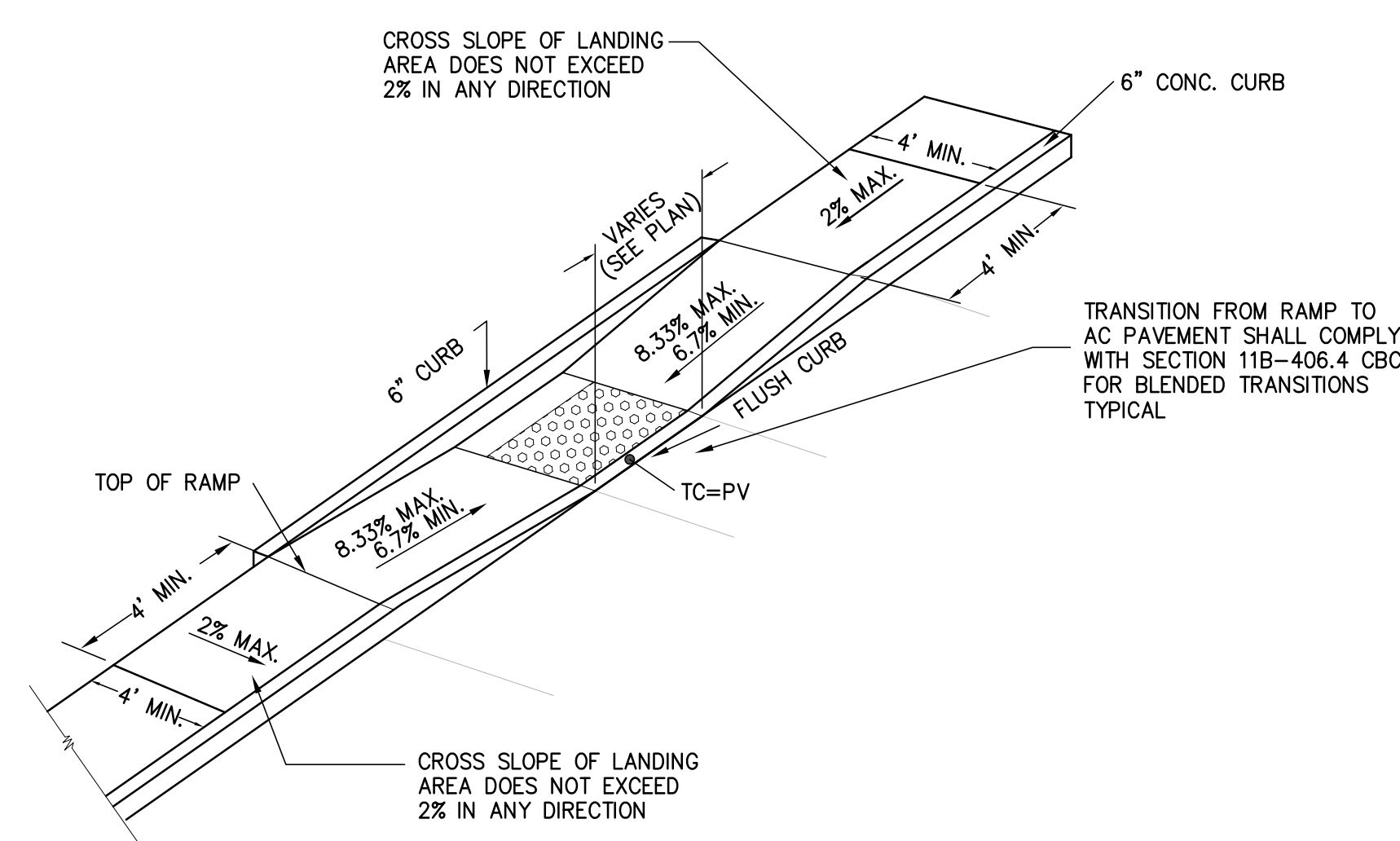


\* WEEPHOLES TO BE PLACED ON ALL CURBS AND CURB & GUTTER WHERE LANDSCAPING SLOPES TOWARD CURB. WEEPHOLES SHALL BE PLACED AT 10' O.C. OR AT EACH SCORELINE OF THE CURB.

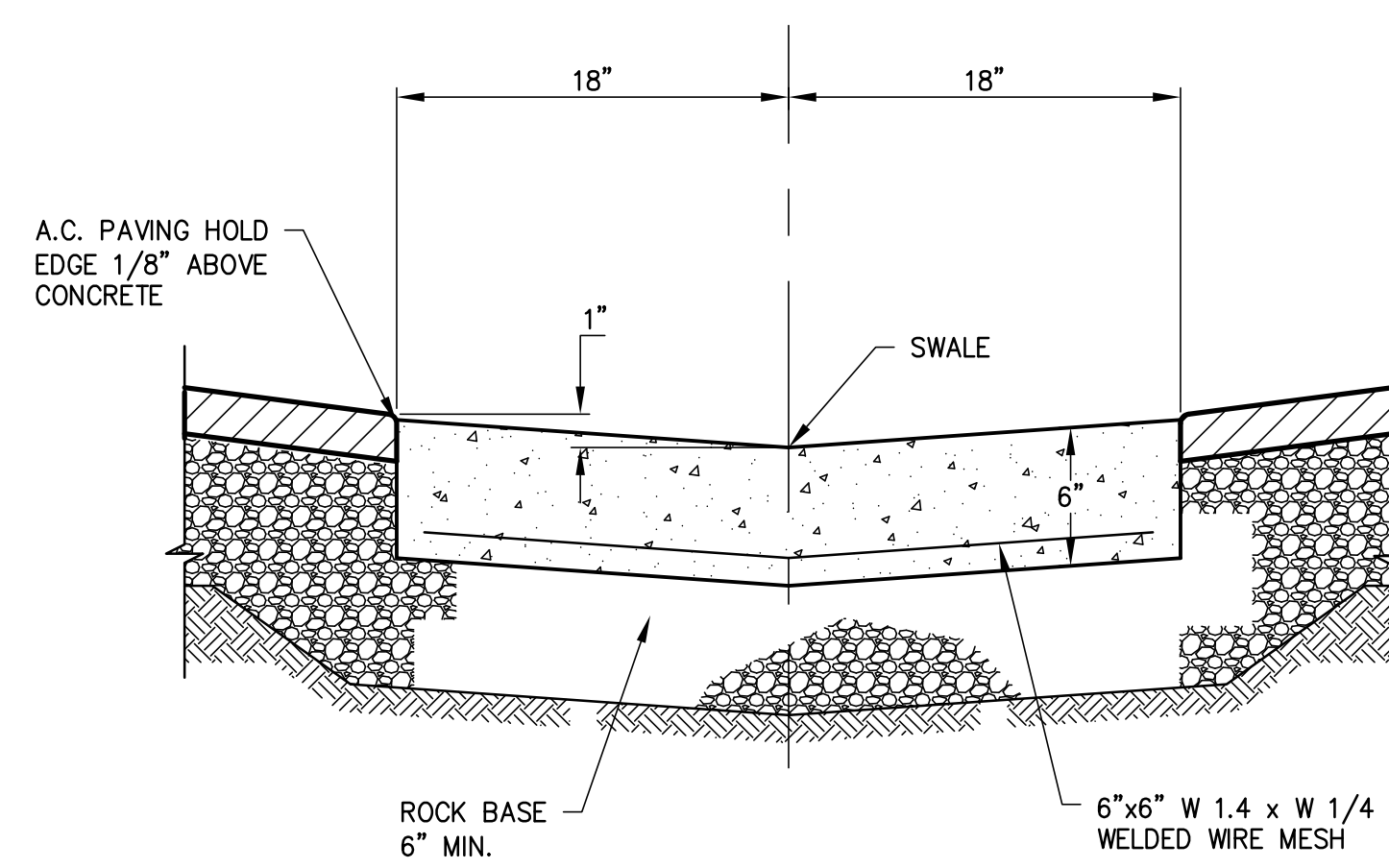
12" WIDE CONCRETE CURB  
N. T. S.



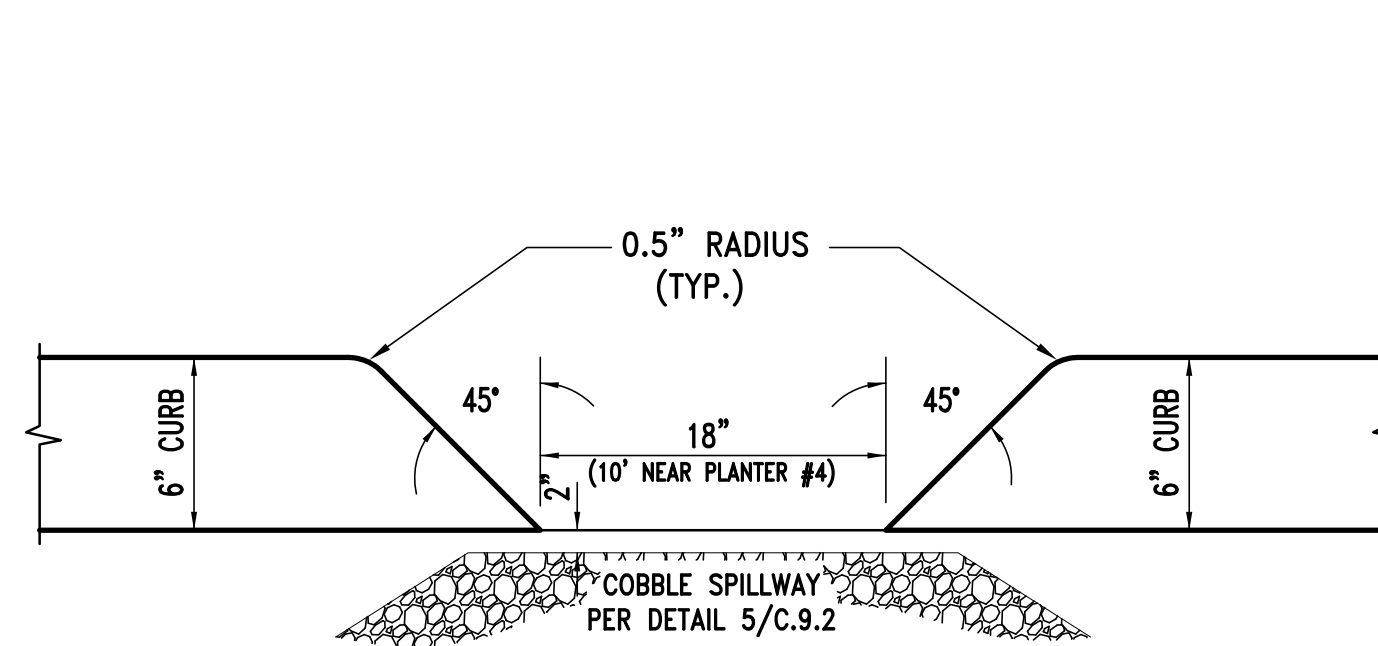
## FLUSH CURB WITH SIDEWALK



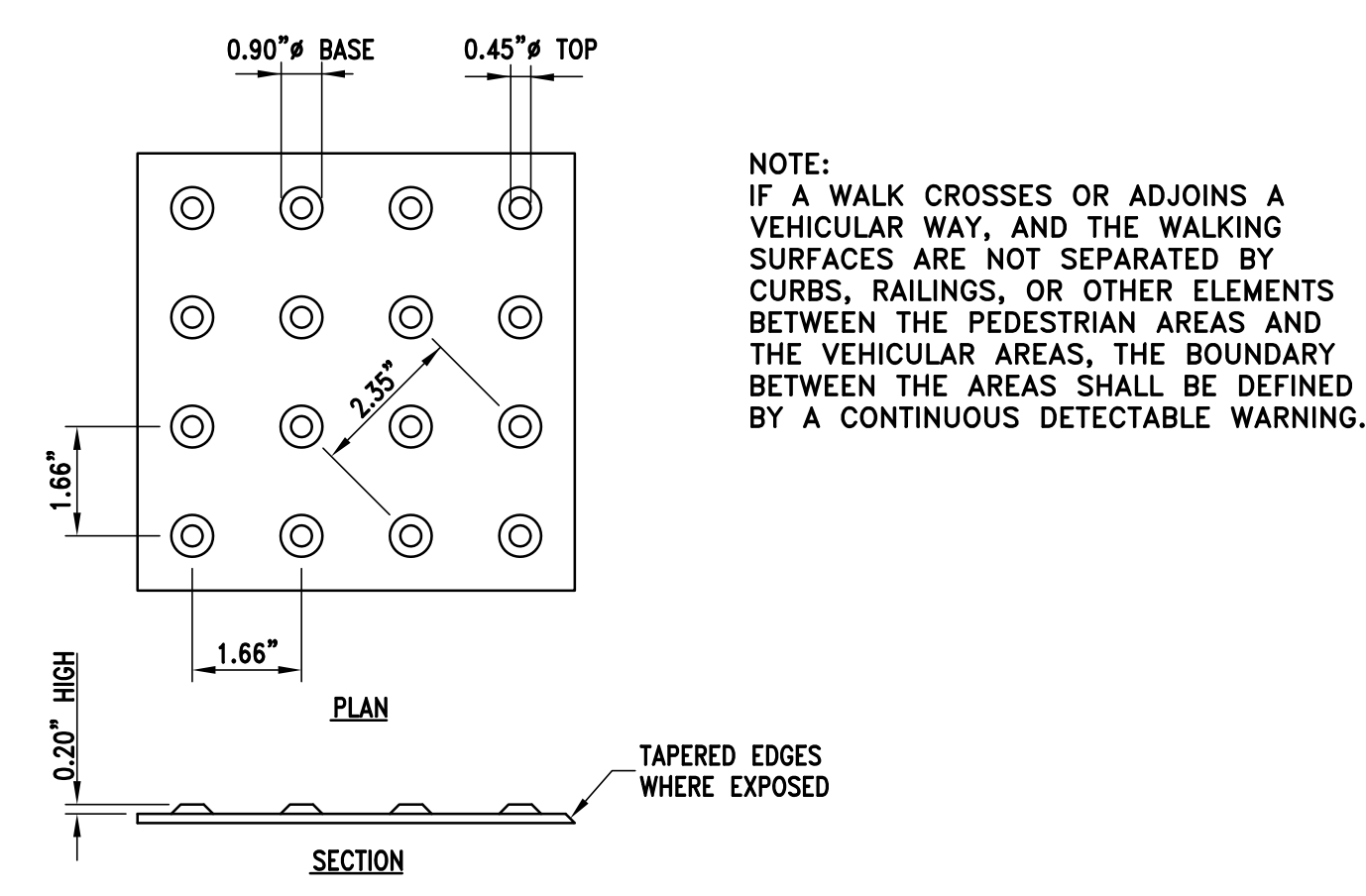
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CONCRETE VALLEY GUTTER



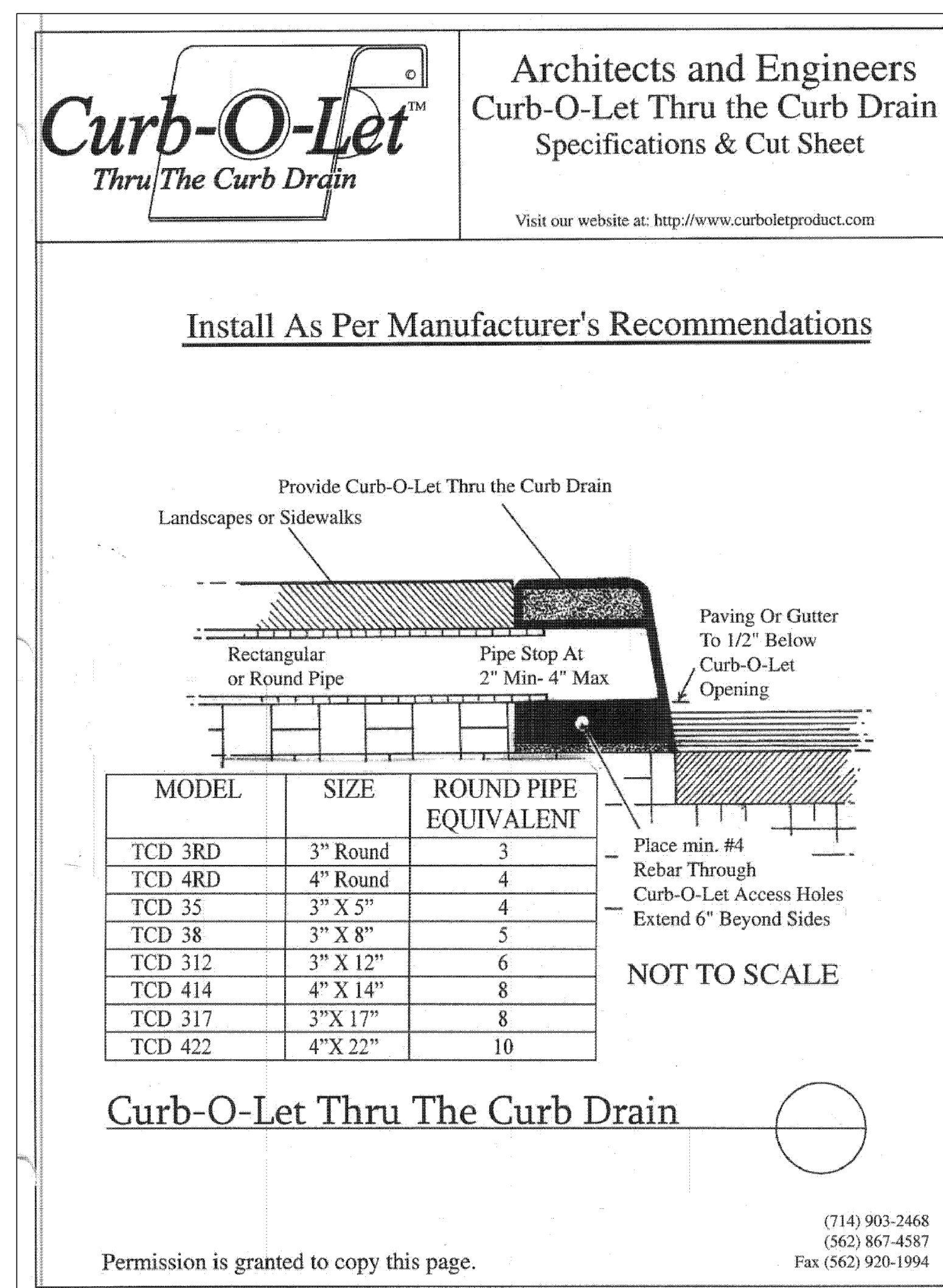
18" WIDE NOTCH IN  
6" HIGH CONCRETE CURB



TRUNCATED DOMES

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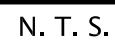
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CURB-O-LET THRU THE CURB DRAIN

NO.	REVISION	BY	NO.	REVISION	BY
△	CITY SUBMITTAL		02/10/2020		
△	PLANNING RE-SUBMITTAL		04/16/2020		
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Model No.	OPC Model Name	A		B		C	
		IN	MM	IN	MM	IN	MM
CP1212	EX	12	300	12	300	4	100
CP1818	OK	18	450	18	450	5	125
CP1824	1K*	18	450	24	600	5	125
CP2424	2K*	24	600	24	600	5	125
CP2430	3K*	24	600	30	750	5	125
CP3030	5K	30	750	30	750	6	150
CP2436	1L	24	600	36	900	6	150
CP3636	1M	36	900	36	900	6	150
CP2448	3L	24	600	48	1200	6	150
CP3648	3M	36	900	48	1200	6	150
CP4848	1R	48	1200	48	1200	8	150

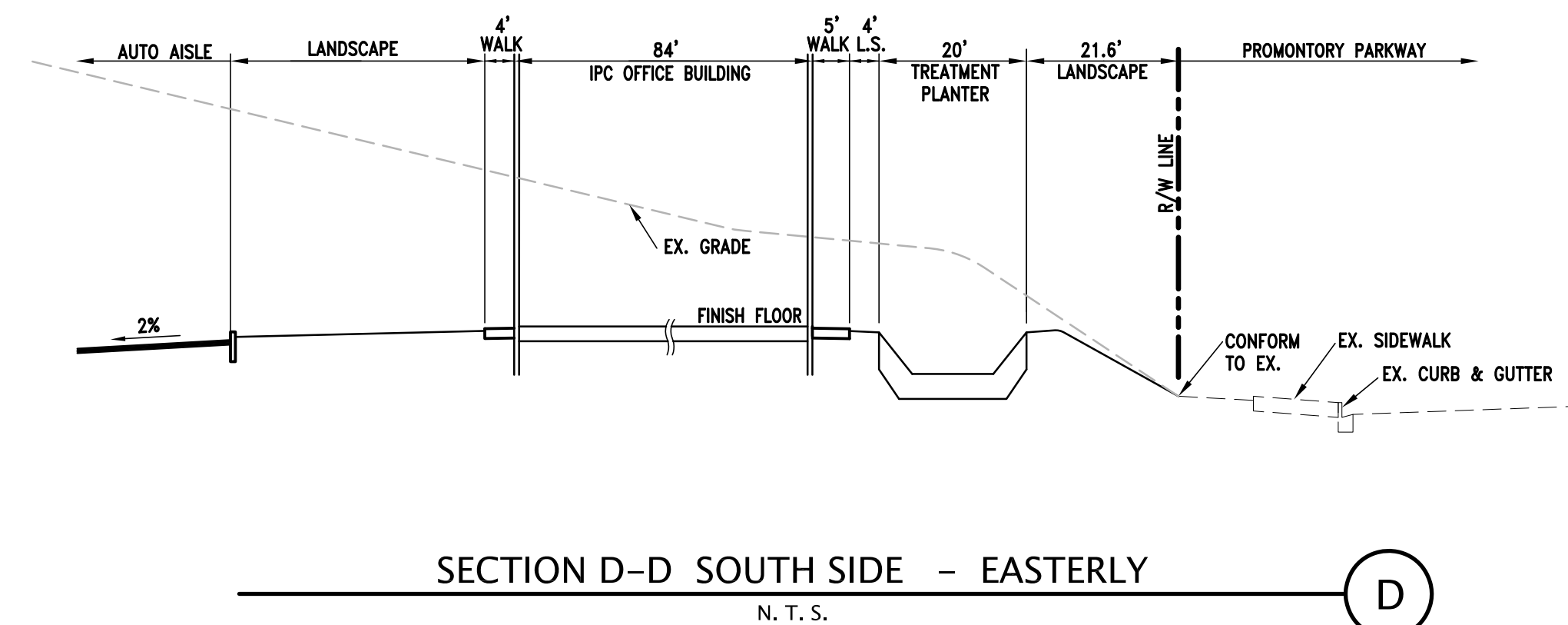
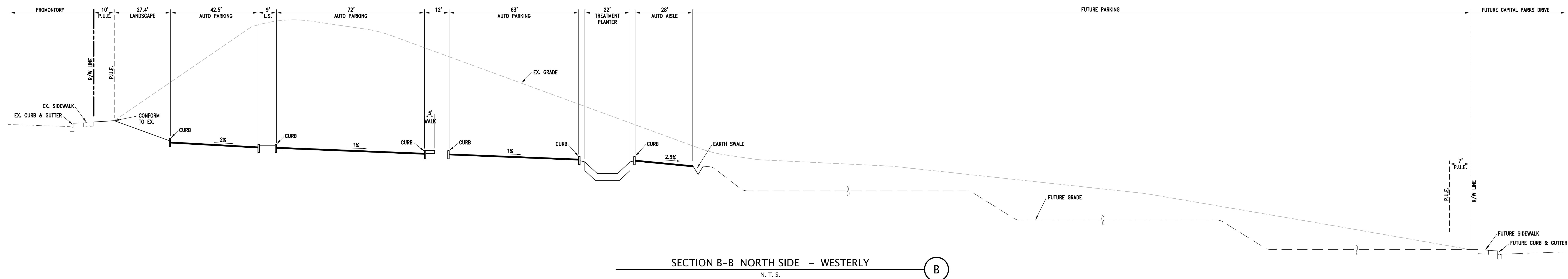
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N. T. S.







<div> <div> </div> <div> <p><b>KIER+WRIGHT</b></p> <p>2850 Collier Canyon Road Livermore, California 94551</p> <p>Phone (925) 245-4288 www.kierwright.com</p> </div> </div>		<div> <div> <p><b>GRADING SECTIONS AND DETAILS</b></p> <p><b>I.P.C. – OFFICE BUILDING</b></p> <p><b>PROLOGIS</b></p> </div> <div> <p><b>TRACY</b></p> <p><b>CALIFORNIA</b></p> </div> </div>	
DATE	04/16/2020	NO.	Δ
SCALE	N.T.S.	CITY SUBMITTAL	02/10/2020
ENGINEER	M.F.B.	PLANNING RE-SUBMITTAL	04/16/2020
DRAFTER	M.G.		
JOB NO.	A09500-169		
SHEET	C.9.3		
OF	13	REVISION	BY
SHEETS			



CITY OF TRACY  
DETERMINATION OF THE  
DEVELOPMENT SERVICES DIRECTOR

Application Number D20-0007

A determination of the Development Services Director approving a Development Review application for the construction of a 34,532 square foot two-story office building, and associated landscape, parking and site improvements located at 615 International Parkway (Assessor's Parcel Number 209-090-36). The applicant and owner is Prologis.

The following considerations were relevant in evaluating this application: Existing and planned infrastructure improvements, such as adjacent roadways, existing site improvements, storm drain systems, the project's visual impact on International Parkway as well as other adjacent properties and on-site circulation.

Staff has reviewed the application and determined that the following City regulations apply:

TMC Sec 10.08.3920 et seq.: Development Review  
TMC Sec 10.08.3440 et seq.: Off-Street Parking Requirements  
Cordes Ranch Specific Plan  
City of Tracy Design Goals and Standards

The Development Services Director has determined that the proposed project is consistent with the Cordes Ranch Specific Plan Environmental Impact Report (EIR), approved by the City Council on September 3, 2013, and the General Plan EIR approved by the City Council on February 1, 2011. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required. An analysis of the project shows that there will be no significant on or off-site impacts as a result of this particular project which were not already discussed in the Cordes Ranch and General Plan EIRs. There is also no evidence of any significant impacts to occur off-site as a result of the project, as traffic, air quality, land use and other potential cumulative impacts have already been considered within the original environmental documentation. No new evidence of potentially significant effects has been identified as a result of this project.

THE DEVELOPMENT SERVICES DIRECTOR, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY APPROVES THE DEVELOPMENT REVIEW APPLICATION AS DESCRIBED IN THE PLANS RECEIVED BY THE DEVELOPMENT SERVICES DEPARTMENT ON APRIL 17, 2020, SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (EXHIBIT "1") AND BASED ON THE FOLLOWING FINDINGS:

Development Review Findings:

1. The design and location of the proposed office building is a quality addition to the project site that enhances the property with a well-designed building that contains a variety of materials and colors reflective of the industrial buildings within the specific plan area.
2. The establishment and operation of the proposed new building and site improvements will conform to the requirements and the intent of the City of Tracy General Plan, Municipal



Code, and Cordes Ranch Specific Plan. The proposal for the new office building is consistent with the land use regulations of the General Office designation of the Cordes Ranch Specific Plan, and compatible with the nearby industrial buildings within the Specific Plan.

---

Andrew Malik, Development Services Director

---

Date of Action



**DEVELOPMENT SERVICES DEPARTMENT  
CONDITIONS OF APPROVAL  
34,532 Square foot two-story office building with associated landscape,  
Parking and Site Improvements  
Application Number D20-007**

**A. General Provisions and Definitions**

1. These Conditions of Approval shall apply to the real property described as 615 International Parkway, Assessor's Parcel Number 209-090-36, Application Number D20-0007, the construction of a 34,532 square foot two-story office building, and associated landscape, parking and site improvements (hereinafter "Project").
2. The following definitions shall apply to these Conditions of Approval:
  - a. "Applicant" means any person, or other legal entity, defined as a "Developer".
  - b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed engineer designated by the City Manager, or the Development Services Director, or the City Engineer to perform the duties set forth herein.
  - c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, Cordes Ranch Specific Plan, ordinances, resolutions, policies, procedures, and the City's Design Documents (including the Standard Plans, Standard Specifications, Design Standards, and relevant Public Facility Master Plans).
  - d. "Development Services Director" means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
  - e. "Conditions of Approval" shall mean the conditions of approval applicable to the construction of a 34,532 square foot two-story office building, and associated landscape, parking and site improvements, Application Number D20-0007. The Conditions of Approval shall specifically include all Development Services Department conditions set forth herein, including all Planning and Engineering Division conditions set forth herein.
  - f. "Project" means the real property described as 615 International Parkway, Assessor's Parcel Number 209-090-36, Application Number D20-0007, the construction of a 34,532 square foot two-story office building, and associated landscape, parking and site improvements.
  - g. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.



3. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to: the Planning and Zoning Law (Government Code sections 65000, et seq.), the Subdivision Map Act (Government Code sections 66410, et seq.), the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and the Guidelines for California Environmental Quality Act (California Administrative Code, Title 14, Sections 1500, et seq., "CEQA Guidelines").
4. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City Regulations.
5. Pursuant to Government Code section 66020, including section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

**B. Planning Division Conditions of Approval**

1. Except as otherwise modified herein, the project shall be developed in accordance with the plans received by the Development Services Department on April 17, 2020. Prior to the issuance of any building permits, any deviations from the approved site plan or elevations shall be evaluated for substantial compliance with the approved plans, to the satisfaction of the Development Services Director. Should any deviations be determined not to be in substantial compliance with the approved plans, they shall be reviewed in a new Development Review application process.
2. Prior to issuance of a building permit, a detailed landscape and irrigation plan showing the landscaping shall be submitted for approval by the Development Services Director. All landscape and irrigation improvements shall be designed and installed per the requirements of the City of Tracy Off-Street Parking Requirements, the Water Efficient Landscape Guidelines, and all other applicable City standards.
3. No signs are approved as part of this application. All signs for the project shall be reviewed under a separate sign permit application in accordance with Tracy Municipal Code (TMC) and Cordes Ranch Specific Plan (CRSP) Standards.
4. No roof mounted equipment, including, but not limited to, HVAC units, vents, fans, antennas, sky lights and dishes whether proposed as part of this application, potential future equipment, or any portion thereof, shall be visible from any public right-of-way, including I-205 and International Parkway. Prior to the issuance of a building permit, the parapet walls shall be raised to a height adequate to screen equipment, or a screening system, integrated with the design of the overall building to the satisfaction of the Development Services Director shall be approved.



5. All exterior lighting shall be directed downward, onto the parking and maneuvering surface and away from the public rights-of-way.
6. All PG&E transformers, phone company boxes, trash enclosures or compactors, Fire Department connections, backflow preventers, irrigation controllers, and other on-site utilities, shall be vaulted or screened from view from any public right-of-way, behind structures or landscaping, to the satisfaction of the Development Services Director.
7. The applicant shall pay all applicable fees for the project, including, but not limited to, development impact fees, building permit fees, plan check fees, grading permit fees, encroachment permit fees, inspection fees, school fees, or any other City or other agency fees or deposits that may be applicable to the project.
8. All improvements shall be consistent with the Tracy Municipal Code, Cordes Ranch Specific Plan, Standard Plans, and other applicable City Regulations.
9. Where landscape planters are parallel and adjacent to the side of vehicular parking spaces, a 12" wide concrete curb shall be placed adjacent to the parking space to allow for pedestrian access to vehicles without damage to the landscape areas.
10. Prior to issuance of a building permit, bicycle parking spaces shall be provided in accordance with Tracy Municipal Code Section 10.08.3510 to the satisfaction of the Development Services Director.
11. Prior to final inspection or certificate of occupancy, carpooling/ridesharing and electric vehicle parking spaces shall be clearly marked, per the requirements of the Natural Resources and Sustainability section of the CRSP.
12. Prior to final inspection of certificate of occupancy, on-site circulation signs shall be installed to the satisfaction of the Development Services Director.
13. All vents, gutters, downspouts, flashing, electrical conduit, etc. shall be internal to the buildings when feasible, and otherwise shall be painted to match the color of the adjacent surface or otherwise designed in harmony with the building exterior to the satisfaction of the Development Services Director.
14. Prior to issuance of a building permit, an Agreement for Maintenance of Landscape and Irrigation Improvements shall be executed and financial security submitted to the Development Services Department. The Agreement shall ensure maintenance of the on-site landscape and irrigation improvements for a period of two years. Said security shall be equal to the actual material and labor costs for installation of the on-site landscape and irrigation improvements, or \$2.50 per square foot of on-site landscape area.
15. Prior to issuance of a building permit, the developer shall provide documentation of compliance with the San Joaquin Valley Air Pollution Control District Rule 9510, Indirect Source Review to the Development Services Department.



16. The Developer shall comply with all applicable provisions of the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan, including Incidental Take Minimization Measures applicable at the time of permit, a pre-construction survey prior to ground disturbance, and payment of all applicable fees, to the satisfaction of San Joaquin Council of Governments.
17. Prior to final inspection or certificate of occupancy, a permanent vehicular barrier, such as a full-formed concrete curb or fence shall be installed at all the joint drive aisles that will be shared with the future building on the sites to the north and west of the project site to prevent vehicular access to the undeveloped adjacent parcels.

**C. Fire Authority Conditions of Approval**

1. Prior to construction, applicant shall submit construction plans to the South San Joaquin County Fire Authority for review and approval. Applications for construction can be found on our website, [www.southcountyfa.org](http://www.southcountyfa.org).
  - a. Construction documents shall meet and/or exceed the current edition of the California Code of regulations, Title 24 as amended by the Tracy Municipal Code.
  - b. Deferred submittals shall be listed on the cover sheet of the construction documents and submitted to the South San Joaquin County Fire Authority for review and approval prior to installation.
  - c. Underground fire service shall be submitted to the South San Joaquin County Fire Authority for review and approval prior to installation. Approval of on-site, off-site and/or grading plans does not constitute an approval of the underground fire service.
  - d. Location of the fire department connection shall be located on the plans and approved by the Fire Authority prior to installation.
  - e. Access easements are required to be deeded.
2. Prior to construction, a fire flow report shall be requested by our offices. Fire flow requirements shall be in accordance with California Fire Code Appendix B.
3. Prior to construction, fire apparatus access roads shall be in place capable of supporting the imposed load of a fire apparatus weighting at least 75,000 lbs.
4. Prior to building construction, hydrants shall be installed, inspected and operational.
5. After construction, but prior to opening for business, tenant(s) must contact the South San Joaquin County Fire Authority at 209-831-6707 to schedule a new business inspection.

**D. Building Division Conditions of Approval**

1. Prior to building permit issuance and construction of the proposed facility, applicant shall submit construction documents, plans, specifications and/or calculations to the Building Safety Division, which meet all requirements of Title 24 California Code of Regulations and City of Tracy Municipal Codes, as applicable. The below items were noted during



the development review, additional comments may be forthcoming upon full building plan review:

- Accessible path of travel is shown between accessible parking stalls and building entrance. An accessible path of travel shall also connect to the public way.
- Per CBC 11B-213.2, where bathing rooms are provided, each bathing room shall comply with 11B-603. One of the bathing rooms shown in the fitness area does not appear compliant as currently proposed.
- Where 5-25 EVCS are provided at least 1 van accessible and 1 standard accessible shall be provided per 11B-228.3.2.1.

**E. Public Works/Utilities Conditions of Approval**

1. Landscape Maintenance for Public Landscaping. Proceeds from property taxes are not generally sufficient to pay for the level of general City services generated by the development. The cost of long-term landscape maintenance of public landscaping is particularly burdensome. Therefore, before approval of the first Final Map, an Offsite Improvement Agreement, or an encroachment permit (whichever occurs first), the Developer shall assure that there will be sufficient funding for the ongoing costs related to public landscaping maintenance costs. Developer must prepare its improvement plans and fund a landscaping budget analysis (to be performed by a consultant to the City) to establish the scope and cost estimates of the public landscaping maintenance costs.

As used here:

“Public landscaping maintenance costs” includes but is not limited to maintenance, operation, repair and replacement of public landscaping included in the Project.

“Public landscaping” includes but is not limited to public walls, special public amenities, ground cover, turf, shrubs, trees, irrigation systems, drainage and electrical systems, masonry walls or other fencing, entryway monuments or other ornamental structures, furniture, recreation equipment, hardscape and any associated appurtenances within medians, parkways, dedicated easements, channel-ways, parks or open space area.

Prior to issuance of a Building Permit, the Developer shall do one of the following, subject to the approval of the Finance Director:

- a. Annexation. The Developer shall, at its cost, annex the entire Project area into the existing Tracy Consolidated Landscape Maintenance District (TCLMD). It is understood that when property annexes into the TCLMD, the property owners will be assessed for their pro rata share of assessment district maintenance costs of public landscaping as described in the TCLMD for the Project area. Before issuance of a building permit, the developer shall deposit a first year's assessment equivalent to the Maintenance District's first 12 months of estimated costs, based on the approved landscaping budget analysis;

Or

- b. CFD or other funding mechanism. The Developer shall, at its expense, form or annex into a Community Facilities District (CFD), or establish another lawful funding mechanism that is reasonably acceptable to the City for the entire Project area for



funding or performing the on-going maintenance costs of public landscaping included in the Project. Formation of the CFD shall include, but not be limited to, affirmative votes at the CFD election and the recordation of a Notice of Special Tax Lien. Upon a successful election, the parcels will be subject to the maximum special tax rates as outlined in the Rate and Method of Apportionment;

Or

- c. POA. The Developer shall, at its expense, form a Property Owner's Association (POA) with CC&Rs reasonably acceptable to the City for the entire Project area for funding or performing the on-going maintenance costs of public landscaping included in the Project. If the POA is the chosen funding mechanism, the Developer must also annex to the TCLMD or form or annex into a CFD in a "dormant" capacity, to be triggered if the POA is not created after the Final Map or fails to perform the required public landscape maintenance. (Even in a dormant status, the tax or assessment must be disclosed to homebuyers and non-residential property owners.) Before issuance of a building permit, the developer shall deposit a first year's assessment equivalent to the first 12 months of estimated costs, based on the approved landscaping budget analysis;

Or

- d. Direct funding. The Developer shall deposit with the City an amount necessary to fund the full maintenance costs in perpetuity as identified by the approved landscaping budget analysis.
2. Prior to issuance of a grading permit, the Developer shall provide proof of compliance with the Construction General Permit through a Waste Discharge ID number or Notice of Intent submittal; and provide proof of compliance with the City of Tracy Manual of Stormwater Quality Control Standards for New Development and Redevelopment (Manual), which includes the requirements for Site Design, Source and Treatment Control Measures, in a project Stormwater Quality Control Plan (SWQCP), to the satisfaction of the Public Works Director or his/her designee. Prior to issuance of a building permit, the Developer shall provide proof of compliance with CalGreen Building Standards for Residential Properties, to the satisfaction of the Public Works Director or his/her designee.
  3. Prior to the issuance of a building permit, the Developer shall prepare a detailed landscape and irrigation plan for all landscape areas (e.g. back yards, front yards, and public right of way) consistent with City standards and shall show compliance with adopted Water Efficient Landscape Ordinance and mandatory CalGreen Building Standards for Residential Properties through submittal and approval of the required Landscape Package, which includes project information, a water efficient landscape worksheet, a soil management report and Landscape, Irrigation, Drainage and Grading Plans, to the satisfaction of the Public Works Director or his/her designee.
  4. Prior to occupancy, the applicant must electronically submit a complete landscape document package for final approval and acceptance by the Utilities Director.



**F. Engineering Division Conditions of Approval**

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