

DIRECTOR PUBLIC HEARING
ITEM 2

REQUEST

PUBLIC HEARING TO CONSIDER AN APPLICATION FOR THE ADDITION OF PERIMETER FENCING, GUARD SHACK, CANOPIES, SMOKER'S SHELTER AND ADDITIONAL PARKING FOR THE EXISTING 640,973 SQUARE FOOT BUILDING ON A 37 ACRE SITE WITHIN THE CORDES RANCH SPECIFIC PLAN AREA. APPLICANT IS HPA AND OWNER IS PROLOGIS. APPLICATION NUMBER D20-0008.

Project Description

The Cordes Ranch Specific Plan area was approved and annexed into the City of Tracy in 2013, for the construction of a 1,780 acre industrial park, with supporting office and retail. Since then, numerous industrial buildings have been built and occupied within the Specific Plan area, all within the Business Park Industrial (BPI) land use designation. This speculative shell Building 9 began construction in 2019 and was completed in early 2020.

With a tenant now in contract, Prologis is adding the improvements noted above to accommodate the needs of that tenant. Perimeter fencing and the guard shack are being added for security, and the canopies, smoker's shelter and additional parking are to be added for the use of the employees anticipated at the distribution center site. The new parking on the west end of the site is for automobiles (employees), and truck parking is being added on the eastern end of the site, to accommodate additional trucks. There are separate driveways and circulation patterns for cars and trucks, to ensure safe circulation throughout the site (Attachment A). The new parking areas will be landscaped to meet the standards of the City's parking ordinance, as well as those of the specific plan.

Prior to the approval of the Building 9 shell, engineering analyses were conducted to size utilities and storm drainage connections, the conditions for which are included in the project conditions of approval. Additionally, a traffic analysis was completed, which indicated the project consistency with previous thresholds for traffic congestion. That prior site plan and traffic analysis for the shell building indicated these parking areas (noted as "future" parking at the time) and therefore the addition of this parking does not trigger any need for further analysis.

Environmental Document

The proposed project is consistent with the Cordes Ranch Specific Plan Environmental Impact Report (EIR), approved by the City Council on September 3, 2013, and the General Plan EIR approved by the City Council on February 1, 2011. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required.

RECOMMENDATION

Staff recommends that the Development Services Director approve the addition of perimeter fencing, guard shack, canopies, smoker's shelter and additional parking located at 6653 Hopkins Road (Assessor's Parcel Number 209-120-09, based on the findings contained in the Director's Determination dated May 12, 2020 (Attachment B).

Prepared by Victoria Lombardo, Senior Planner

Approved by Bill Dean, Assistant Development Services Director

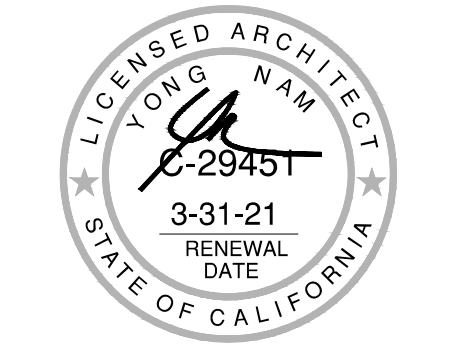
ATTACHMENTS

- A: Site Plan, Elevations, Landscape Plans
- B: Development Services Director Determination
Exhibit 1 – Conditions of Approval

Attachment A



HPA, Inc.
600 Grand Ave., Suite 302
Oakland, CA
94610
tel: 949-863-1770
email: hpa@hparchs.com



Owner:
 PROLOGIS

3353 Gateway Blvd.
Fremont, CA 94538
tel: (510) 656-1900

Project:

IPC 9
Tenant Improvement

6653 Hopkins Road
Tracy, CA

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title: OVERALL SITE PLAN

Project Number: 17335.02
Drawn by: SPT
Date: 01/30/2020
Revision:

Sheet:

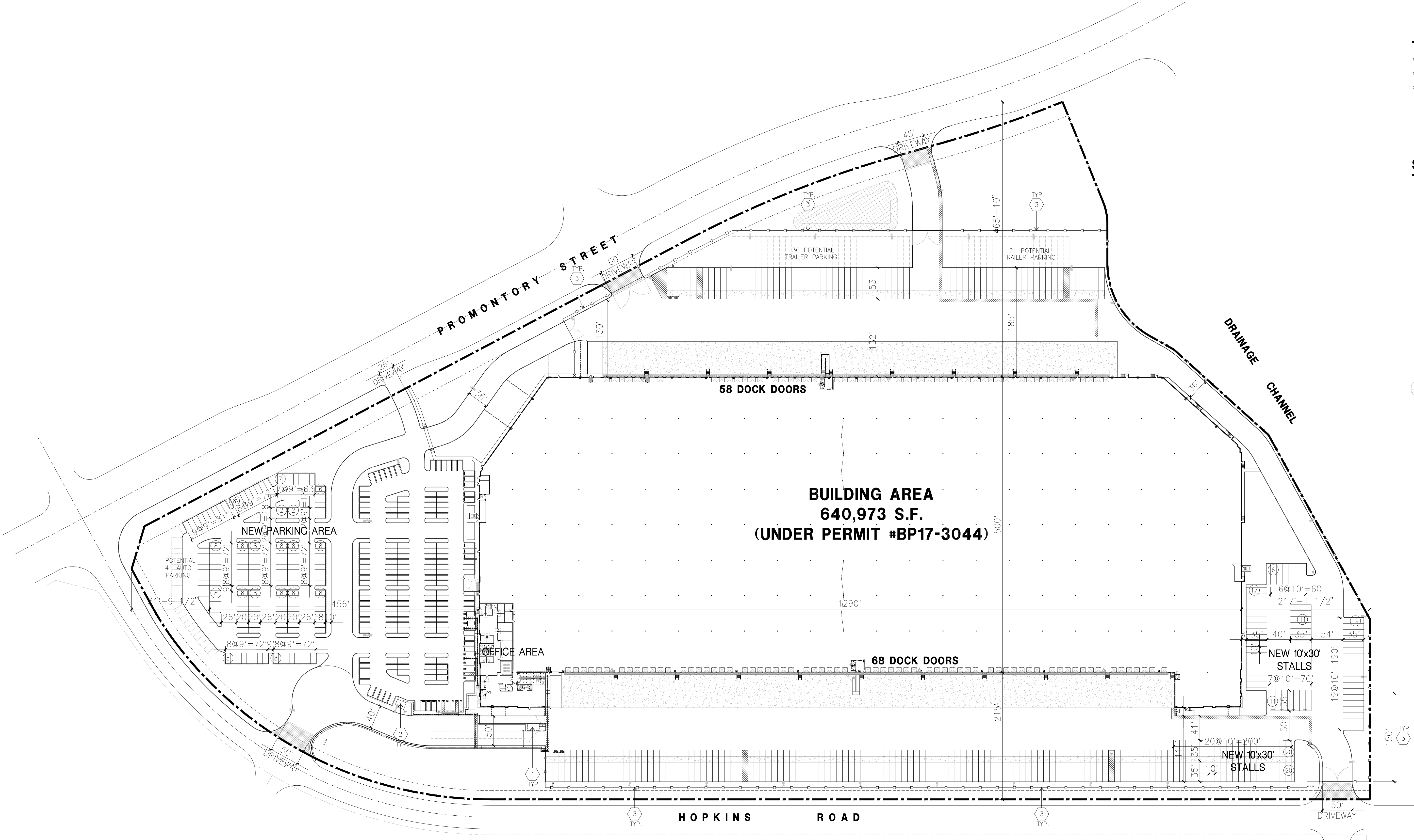
TI-A1.1

SITE PLAN KEYNOTES

- 1 NEW GUARD SHACK. SEE DETAIL 12/TI-AD.3.
- 2 NEW SMOKING SHELTER. SEE DETAIL 6/TI-AD.3.
- 3 NEW 8'H MONTAGE METAL FENCE. SEE DETAIL 7/TI-AD.3.

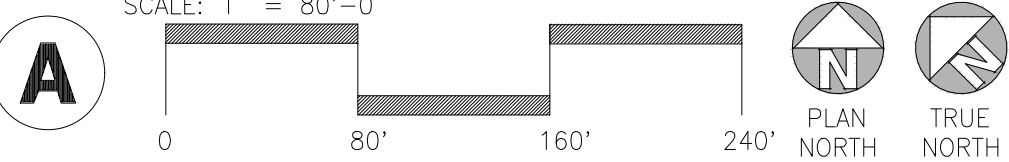
SITE PLAN GENERAL NOTES

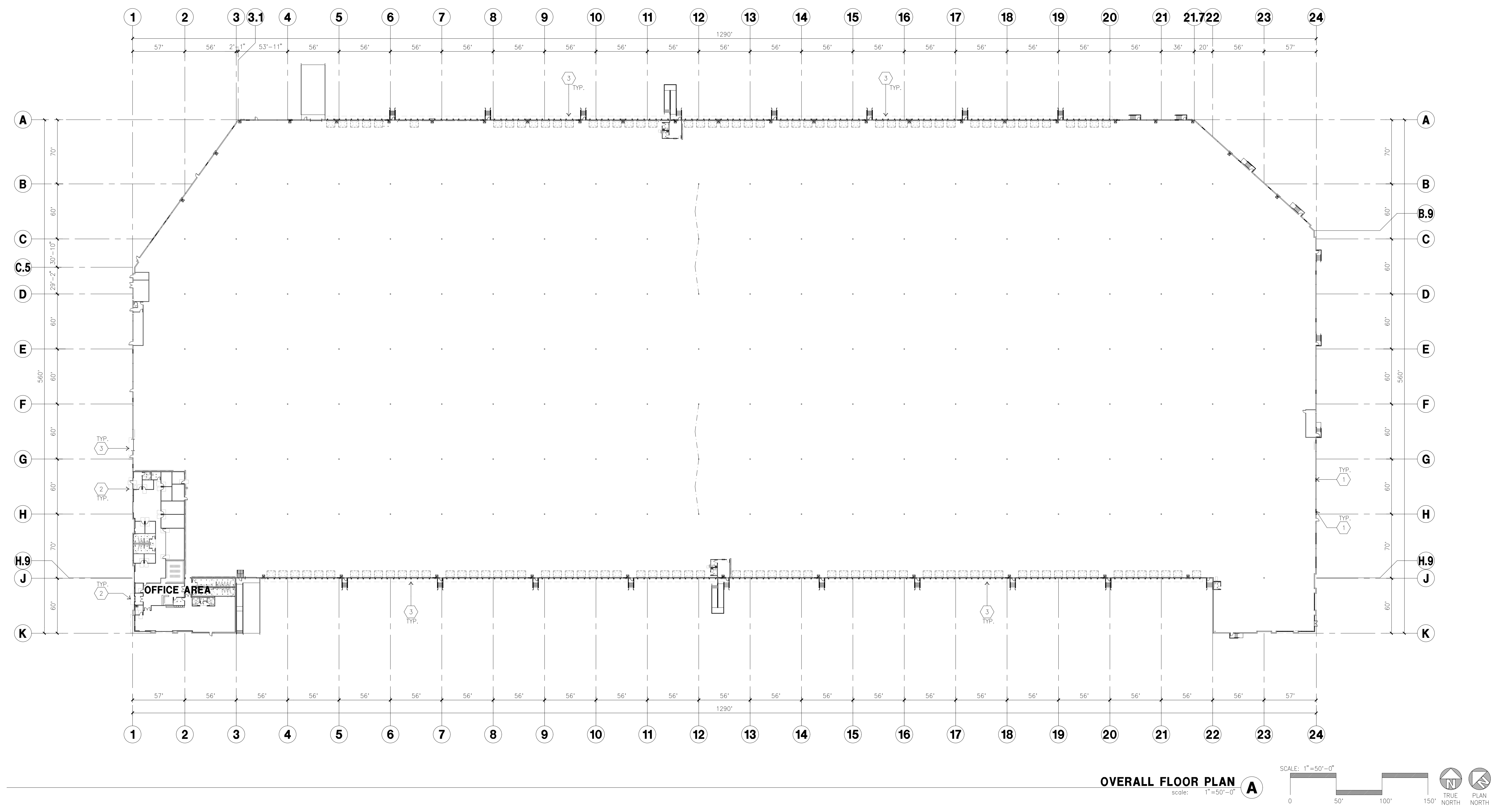
- CONCRETE PAVING
- STANDARD PARKING STALL (9' X 18' + 2' O.H.)
- TRAILER PARKING (10' X 53')
- ACCESSIBLE PARKING STALL (9' X 20') + 5' W/ ACCESSIBLE AISLE
- ACCESSIBLE PARKING (VAN) STALL (9' X 20') + 8' W/ ACCESSIBLE AISLE
- PATH OF TRAVEL. MINIMUM WIDTH TO BE 4'. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%. SEE CIVIL FOR GRADING PLAN
- LANDSCAPED AREA



OVERALL SITE PLAN

scale: 1" = 80'-0"





KEYNOTES - FLOOR PLAN

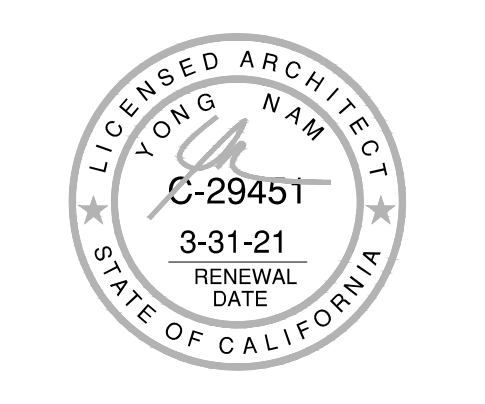
- 1 NEW 4'X8' METAL LOUVER. SEE DETAIL 1/TI-AD.3.
- 2 NEW METAL CANOPY ABOVE. SEE DETAIL 2/TI-AD.3.
- 3 NEW METAL AWNING ABOVE. SEE DETAIL 4/TI-AD.3.

LEGEND

- OVERHEAD DOOR WITH NEW DOCK LEVELERS. SEE STRUCTURAL DWGS.



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LANDSCAPE
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SOILS ENGINEER

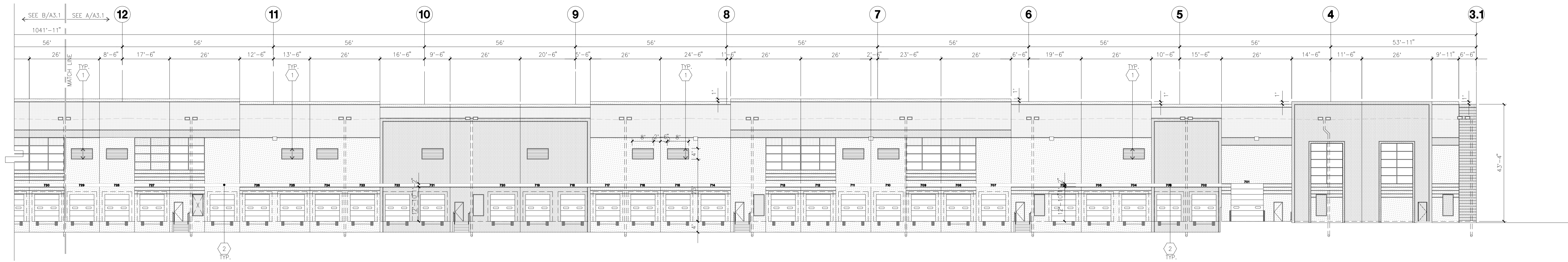
Title: Overall floor plan

Project Number: 17335.02
Drawn by: SPT
Date: 01/30/2020

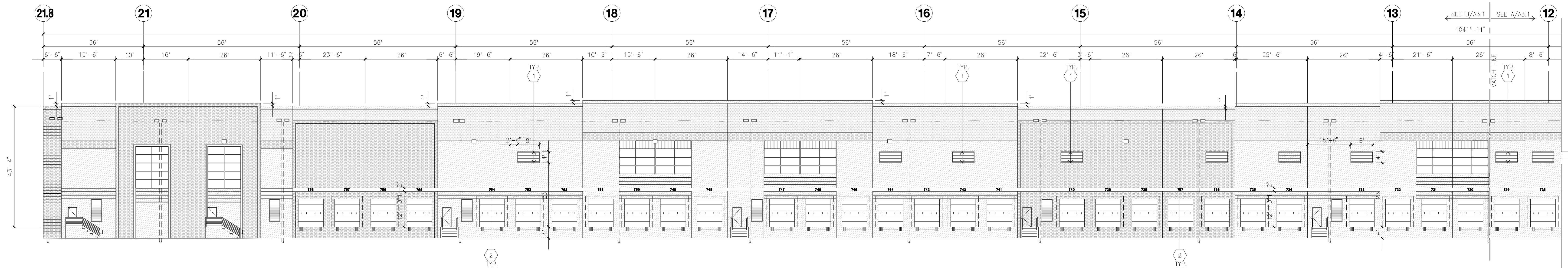
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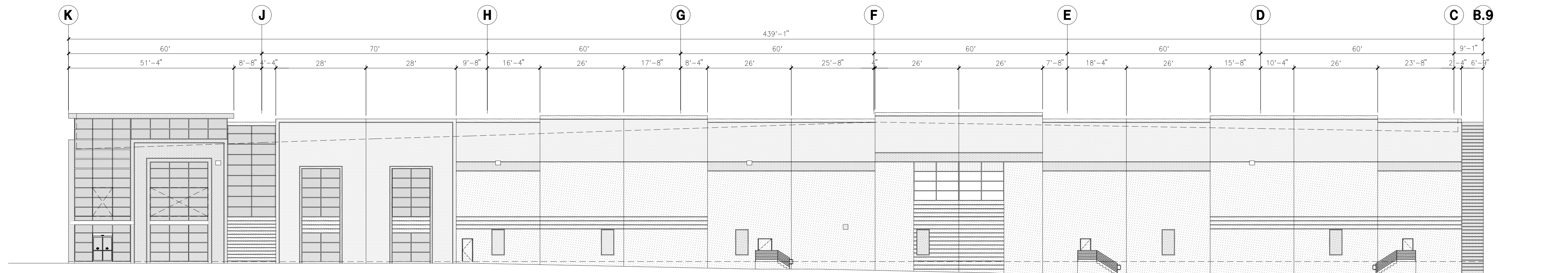
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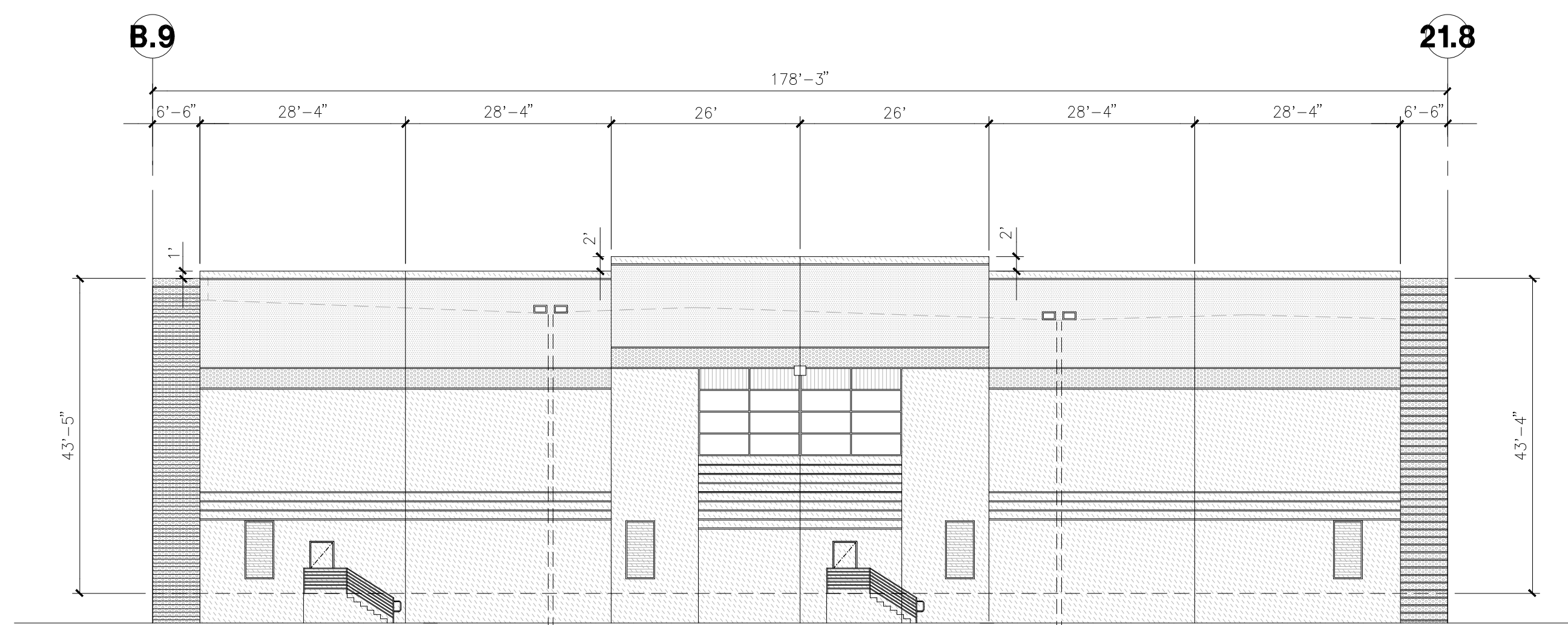
NORTH ELEVATION **A**
scale: 1/16"=1'-0"



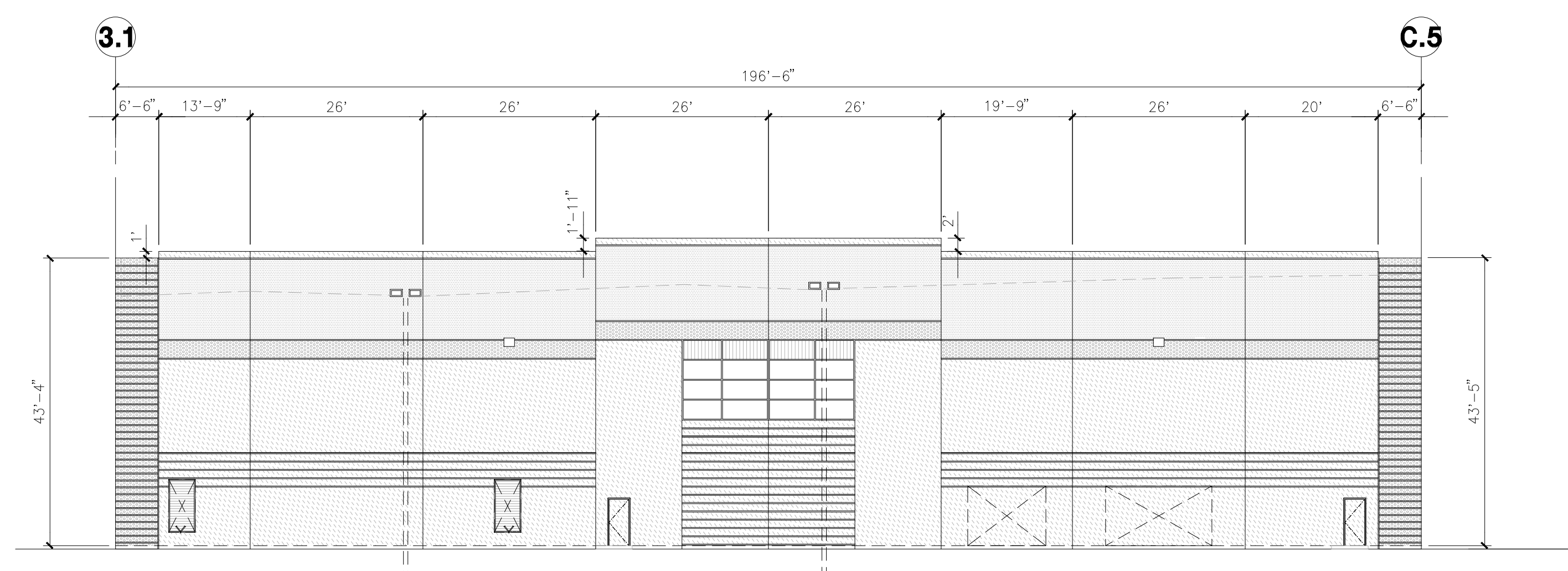
NORTH ELEVATION (CONT.) **B**
scale: 1/16"=1'-0"



EAST ELEVATION **C**
scale: 1/16"=1'-0"



NORTHEAST ELEVATION **E**
scale: 1/16"=1'-0"



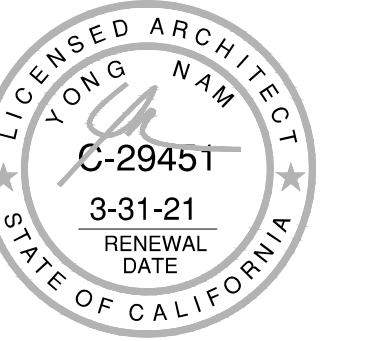
NORTHWEST ELEVATION **D**
scale: 1/16"=1'-0"

KEYNOTES - ELEVATIONS

- 1 NEW METAL LOUVERS, SEE DETAIL 1/7I-AD.3.
PAINT TO MATCH EXISTING BUILDING.
- 2 NEW METAL AWNING, SEE DETAIL 4/7I-AD.3.
PAINT TO MATCH EXISTING BUILDING.
- 3 NEW METAL CANOPY, SEE DETAIL 2/7I-AD.3.
PAINT TO MATCH EXISTING BUILDING.



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LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title: Elevations

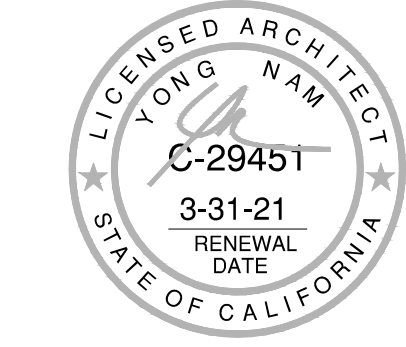
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TI-A3.1



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Title: Elevations

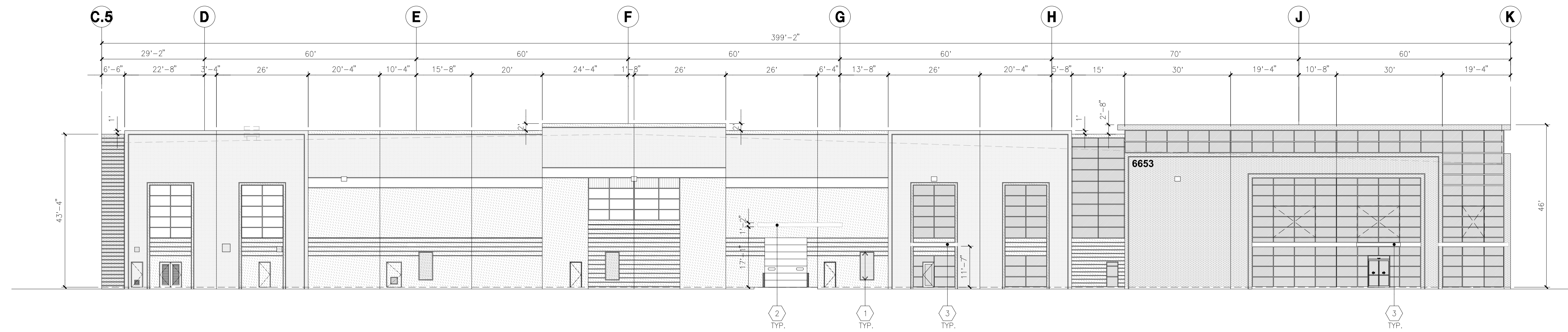
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Drawn by: SPT
Date: 01/30/2020
Revision:

Sheet:

TI-A3.2

KEYNOTES - ELEVATIONS

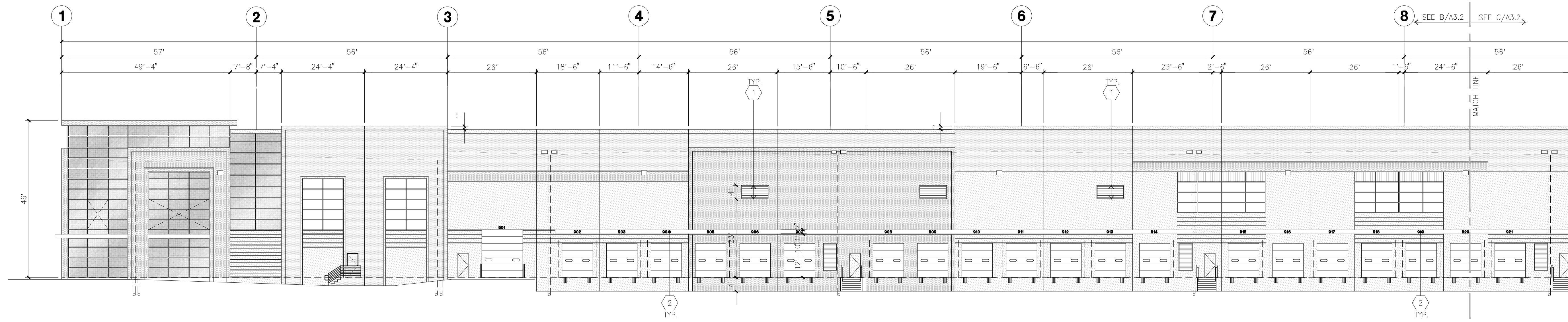
- 1 NEW METAL LOUVERS. SEE DETAIL 1/TI-AD.3.
PAINT TO MATCH EXISTING BUILDING.
- 2 NEW METAL AWNING. SEE DETAIL 4/TI-AD.3.
PAINT TO MATCH EXISTING BUILDING.
- 3 NEW METAL CANOPY. SEE DETAIL 2/TI-AD.3.
PAINT TO MATCH EXISTING BUILDING.



WEST ELEVATION

scale: 1/16"=1'-0"

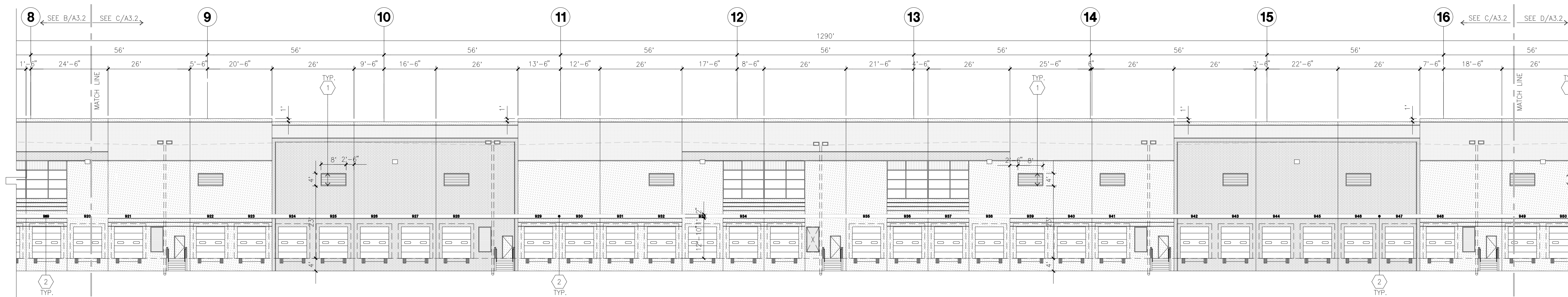
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SOUTH ELEVATION

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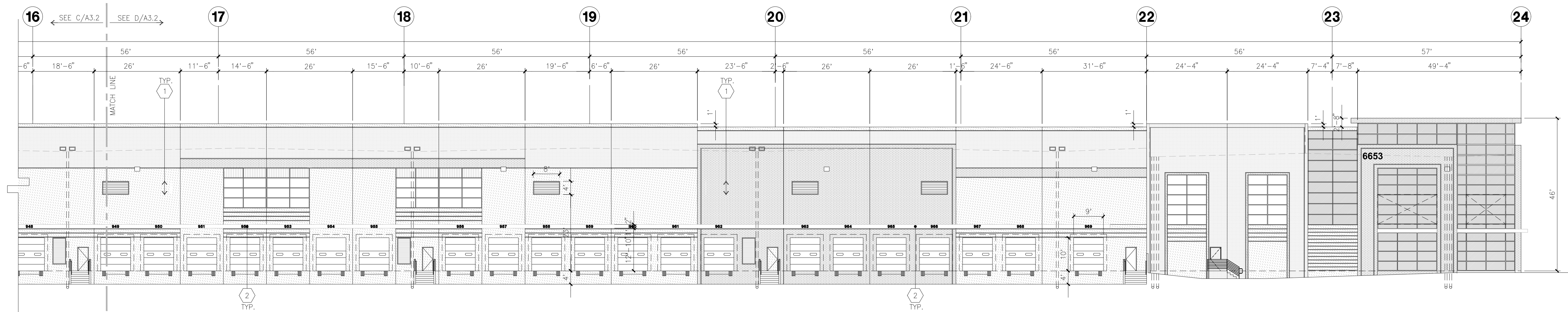
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SOUTH ELEVATION (CONT.)

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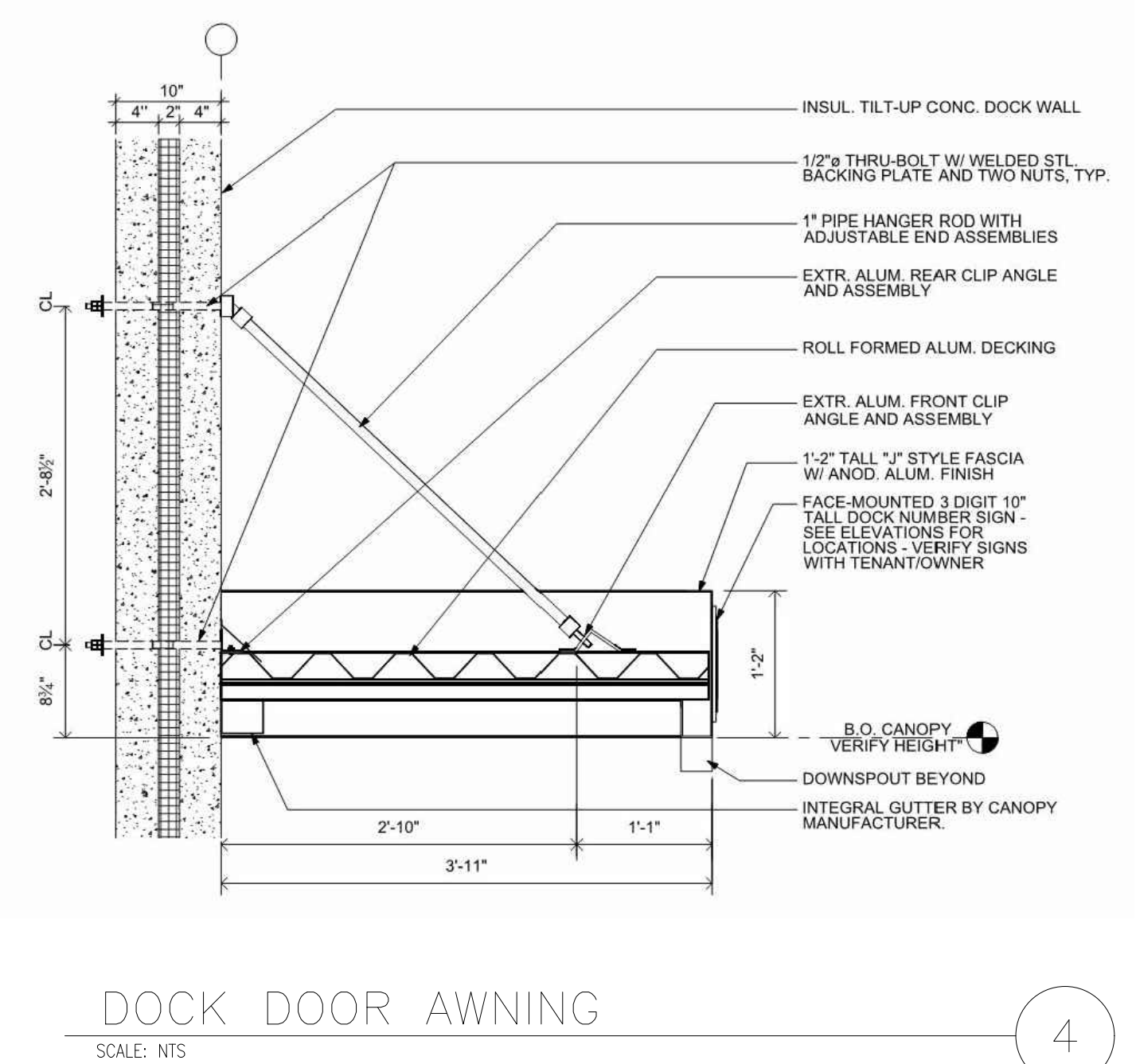
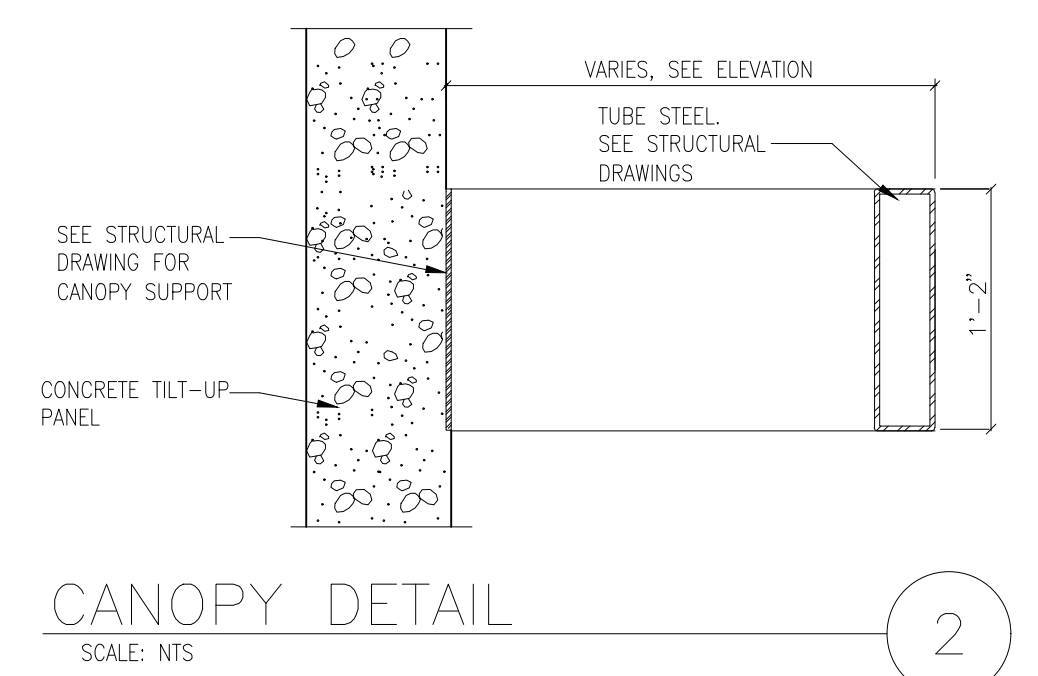
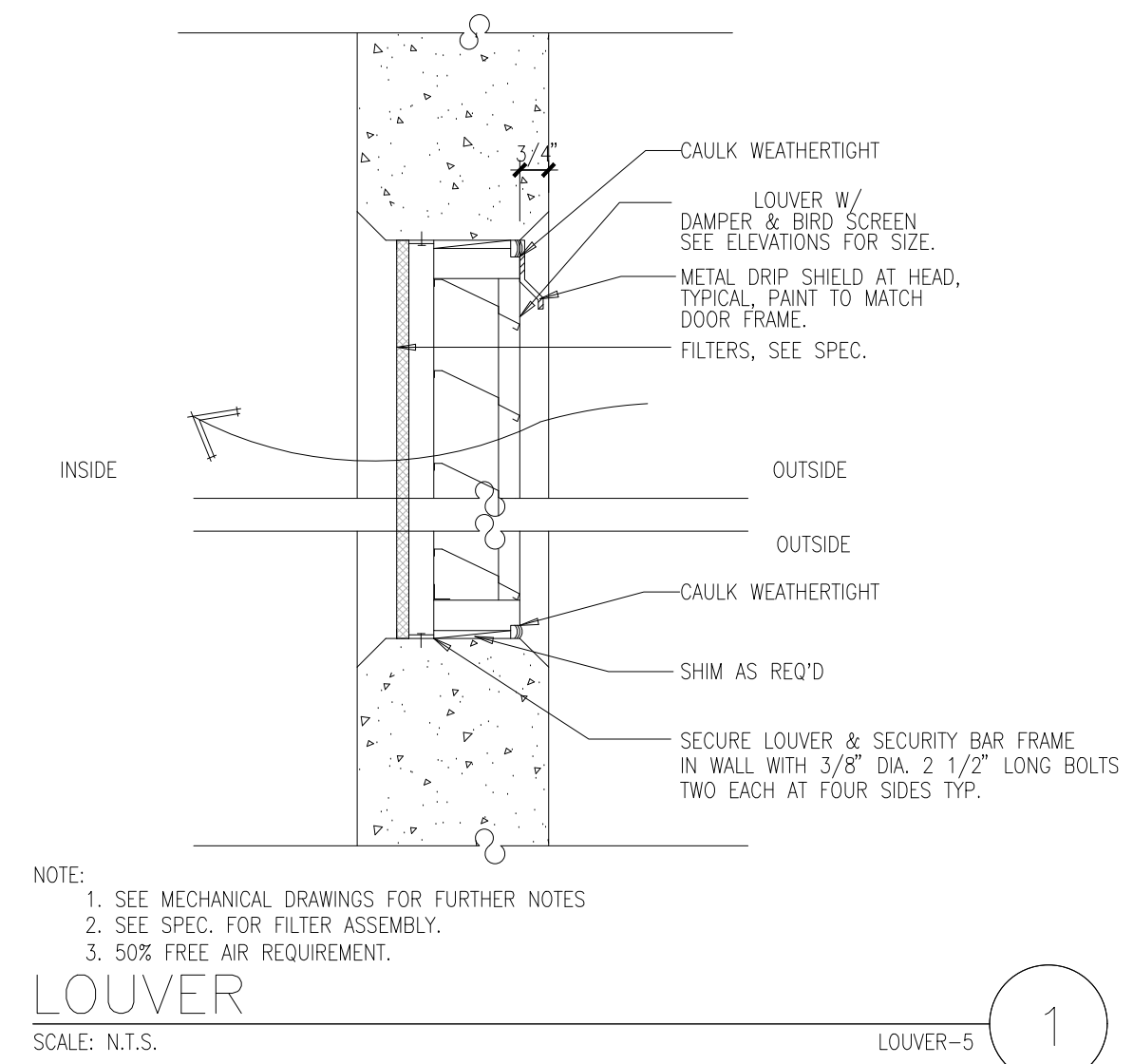
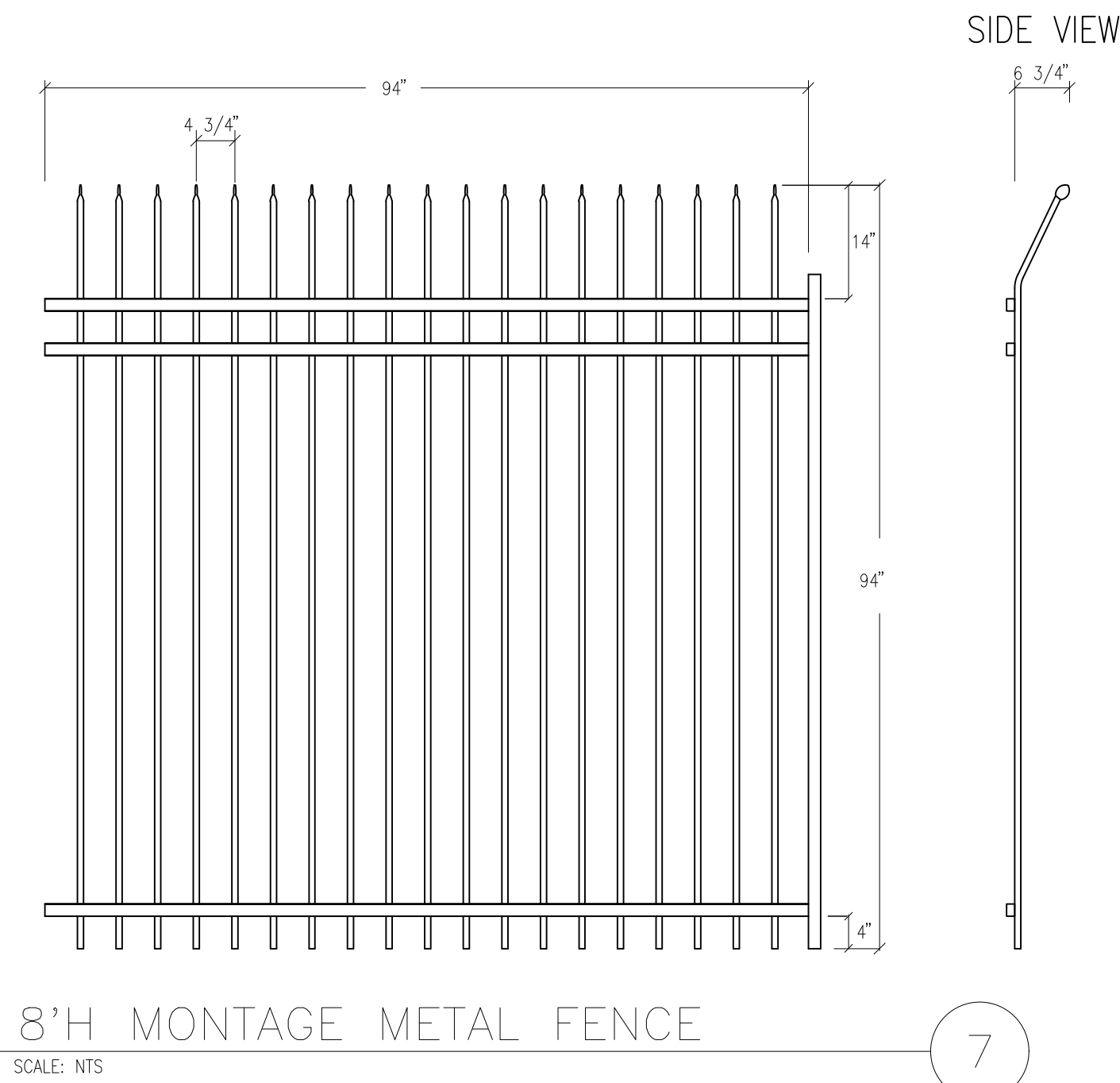
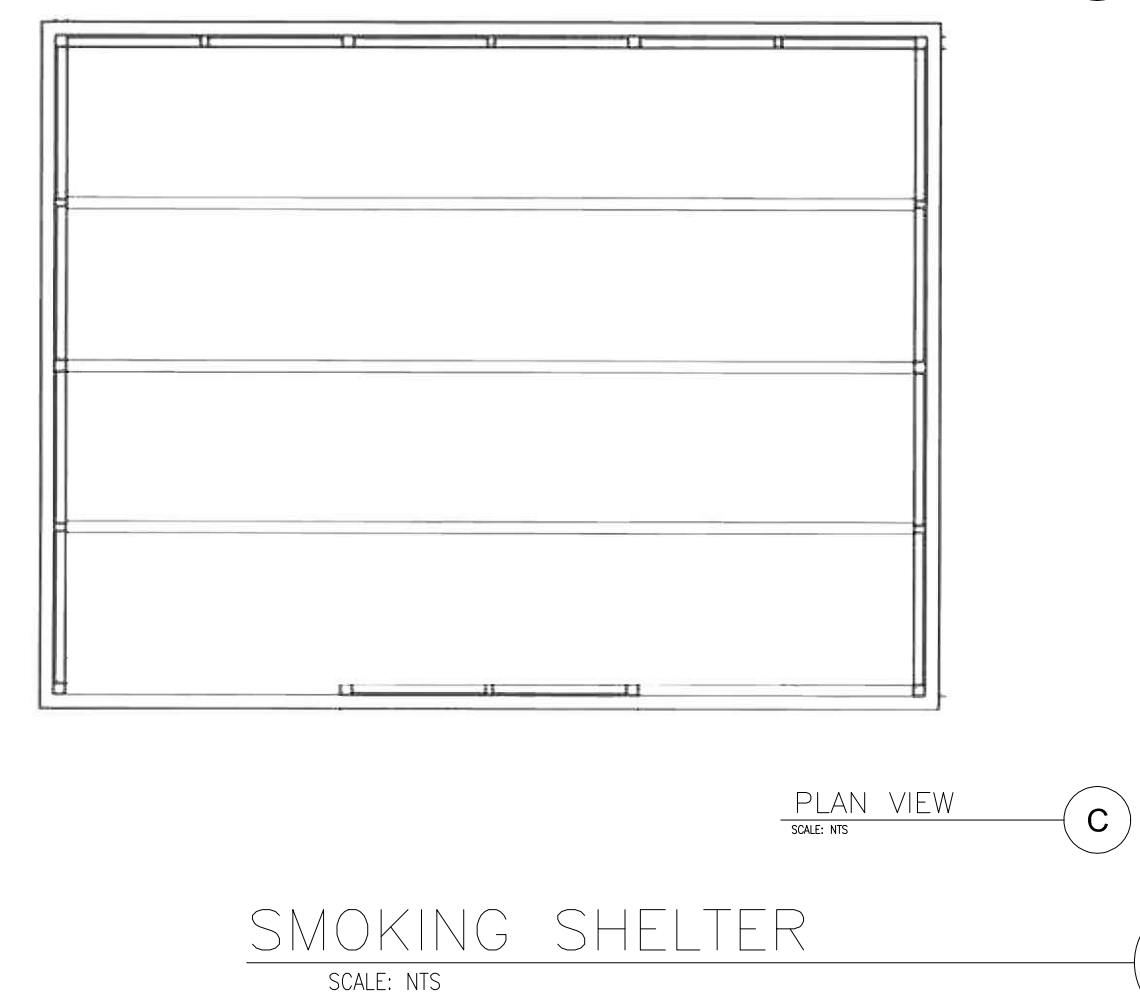
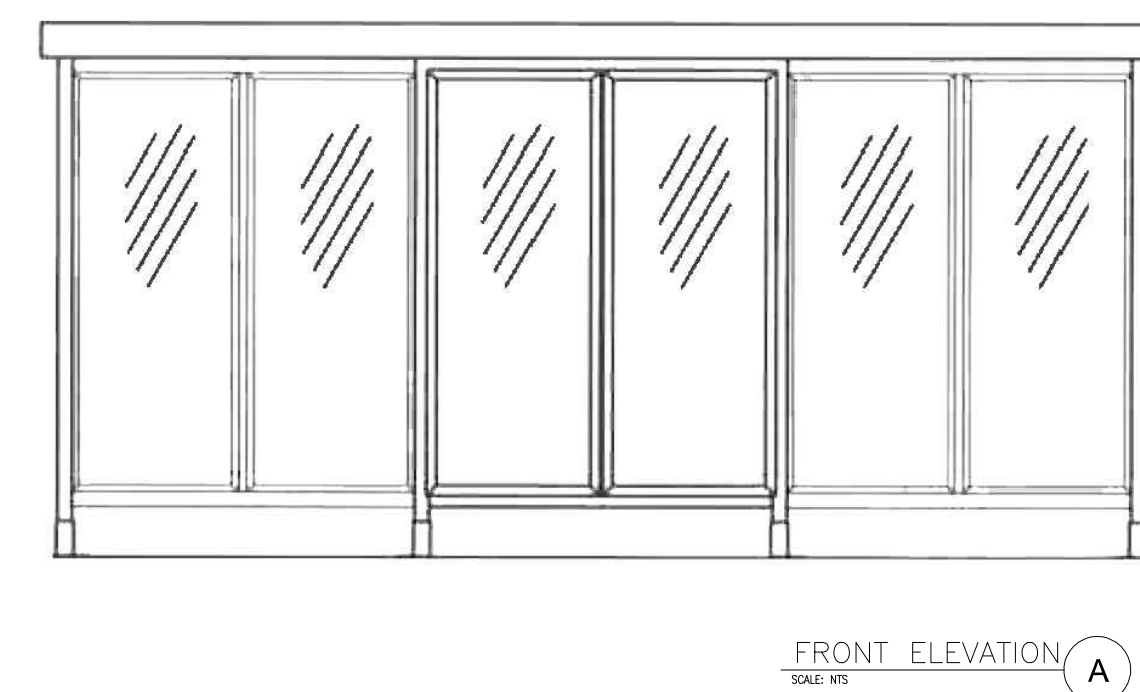
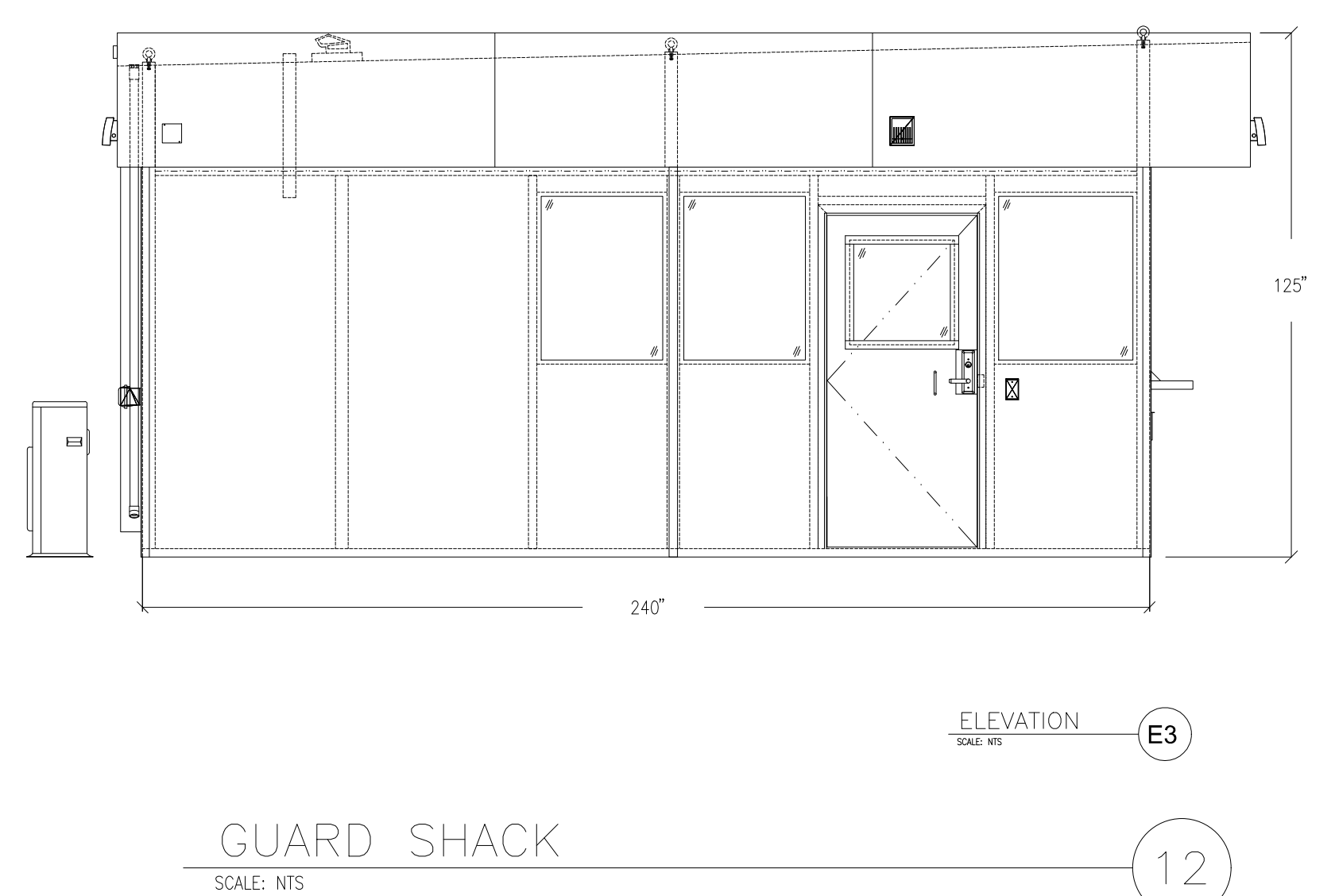
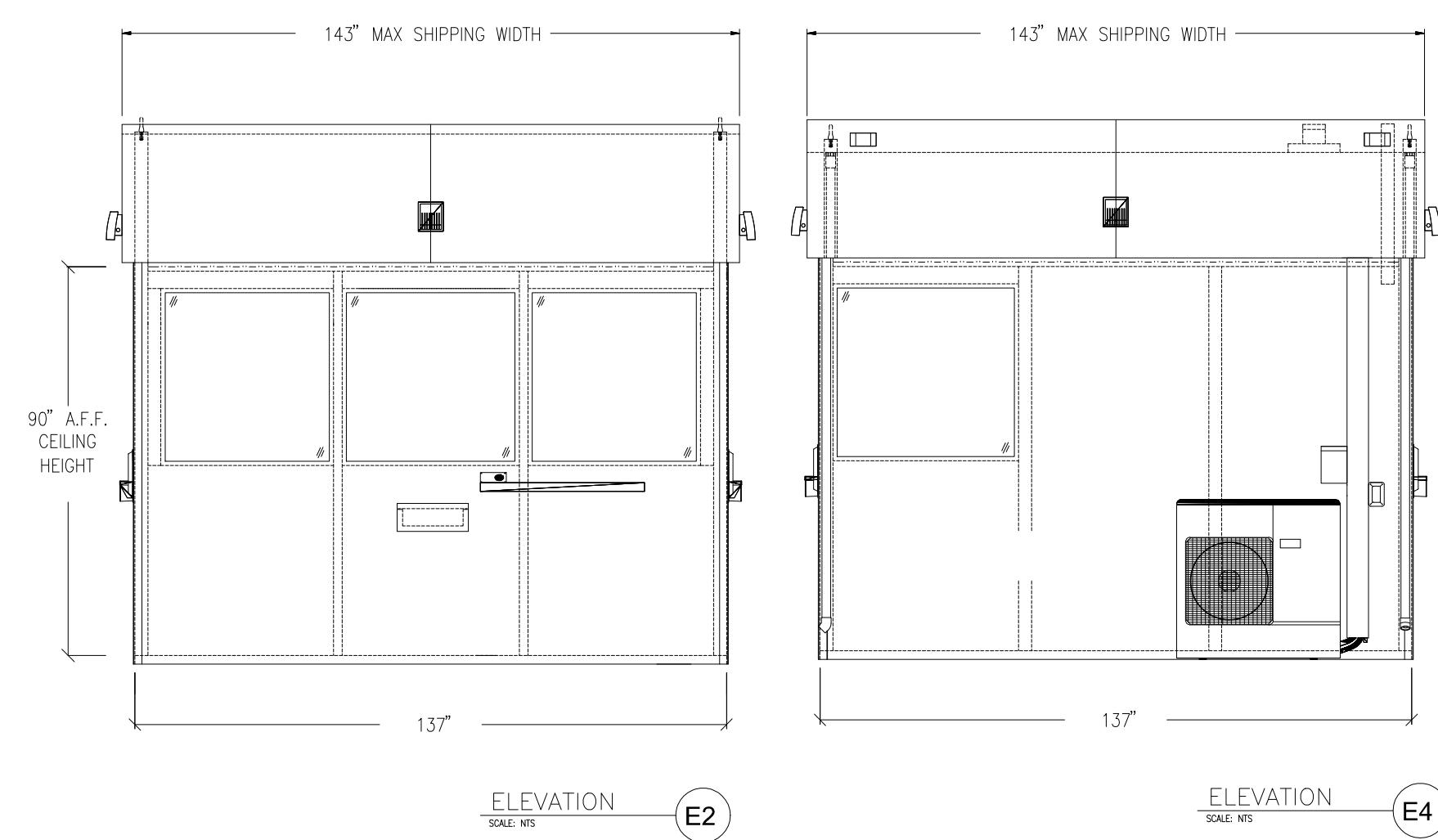
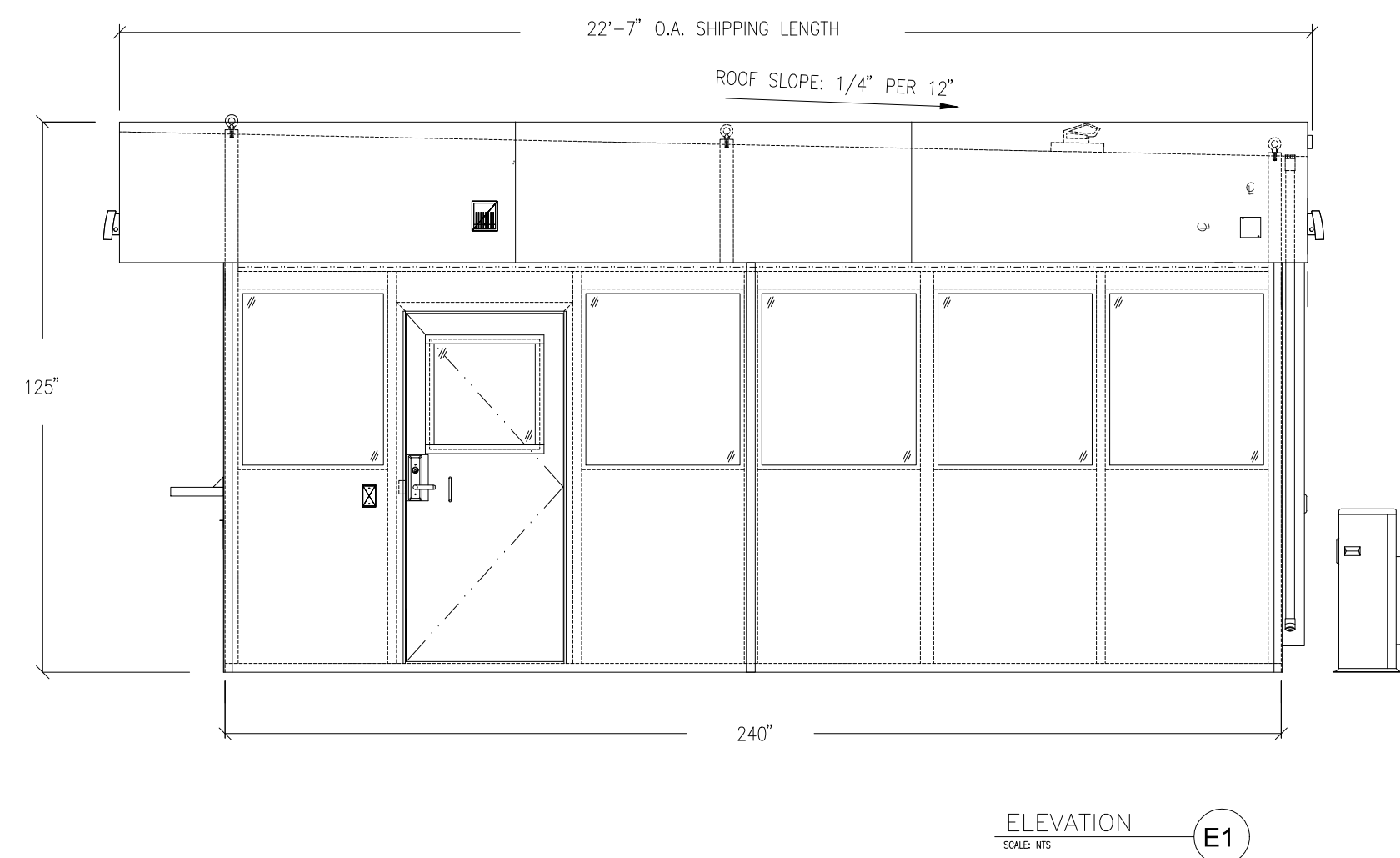
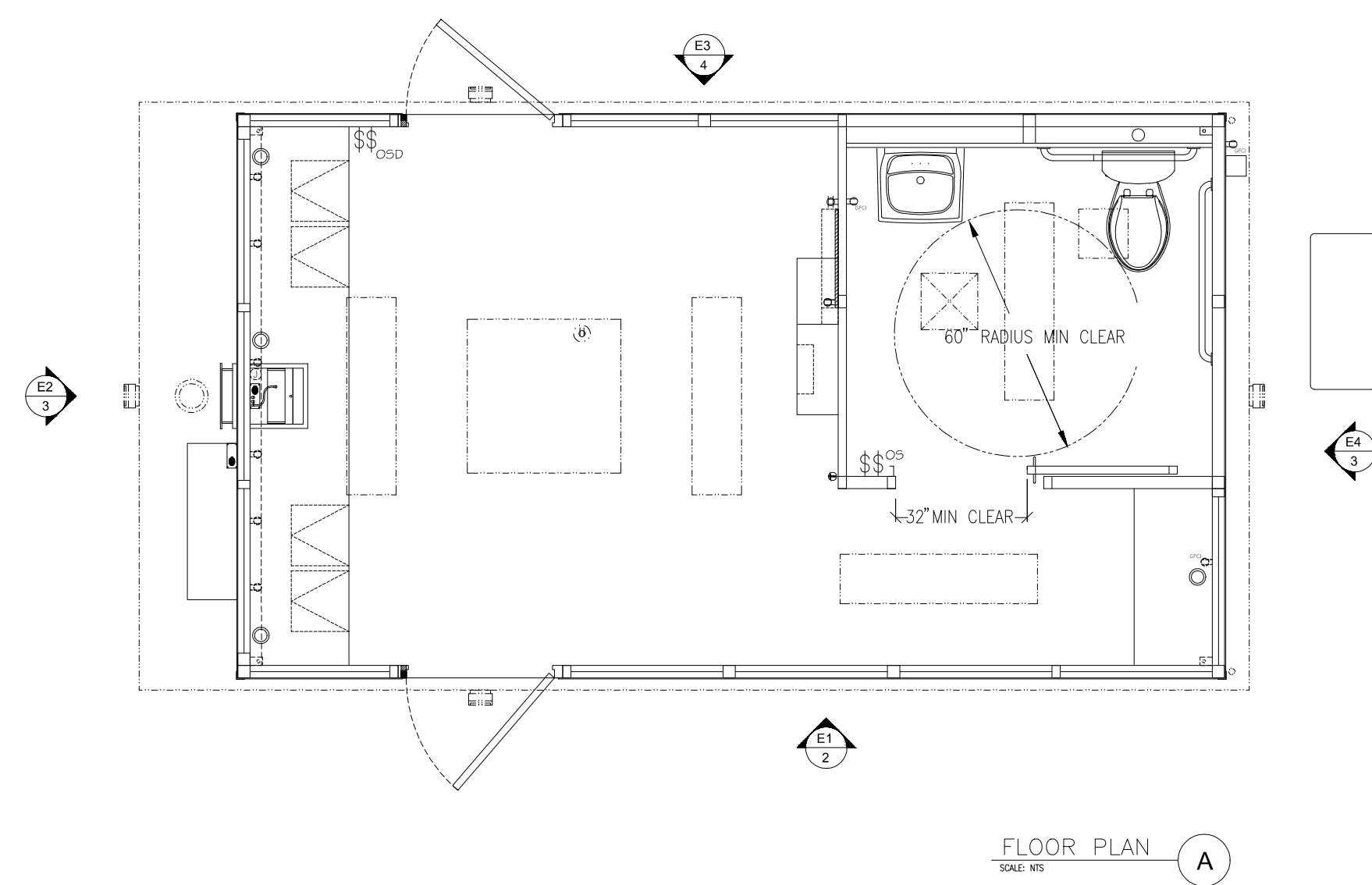
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SOUTH ELEVATION (CONT.)

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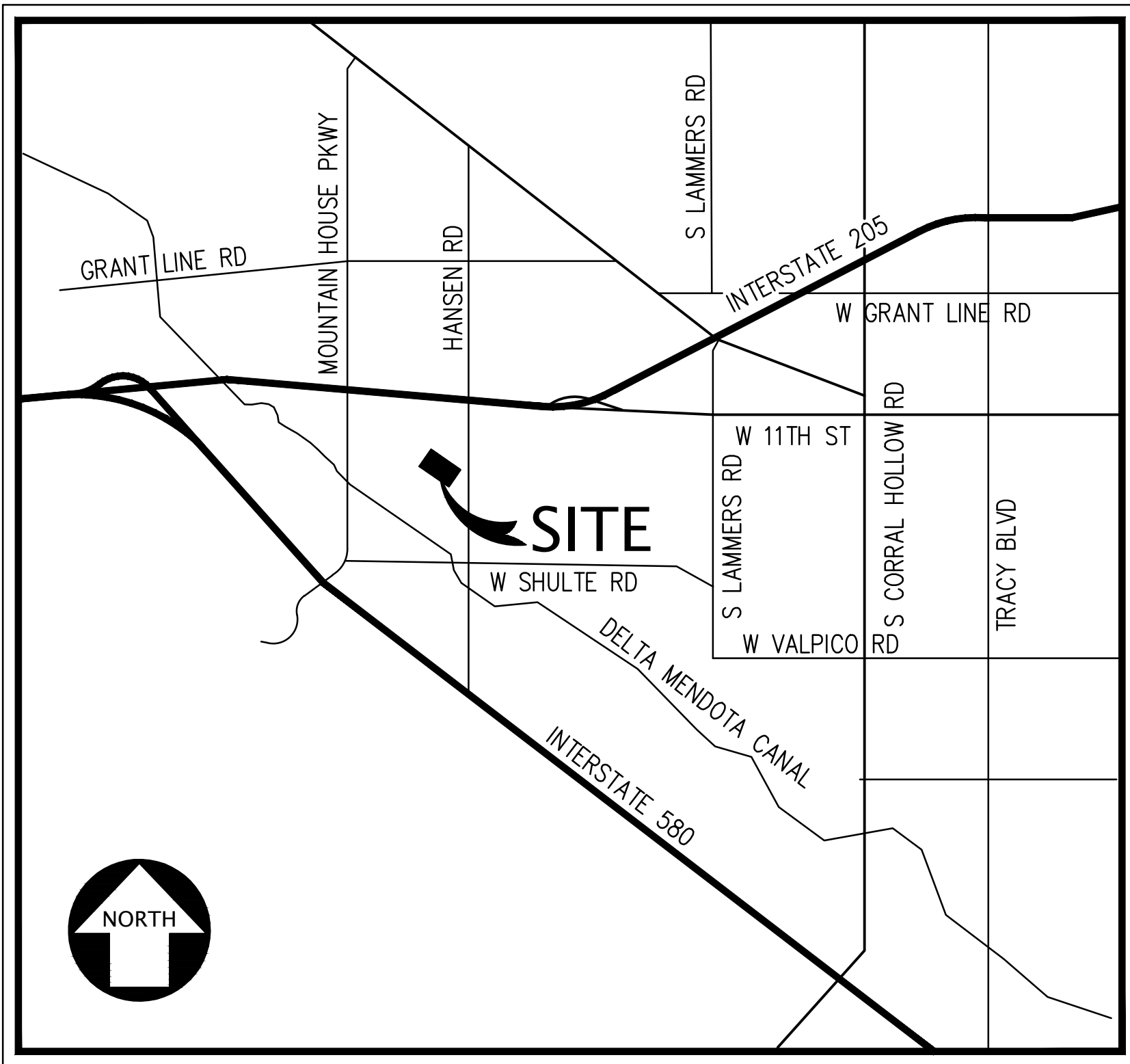
D



INTERNATIONAL PARK OF COMMERCE BUILDING 9 SITE MODIFICATIONS

PROLOGIS
PROMONTORY PARKWAY & HOPKINS ROAD INTERSECTION
TRACY, CALIFORNIA

EARTHWORK SUMMARY		
CUT:	3,000± CY	(RAW)
FILL:	3,000± CY	(RAW)
NOTE: THE EARTHWORK QUANTITIES LISTED ON THESE PLANS ARE STATED ONLY FOR CALCULATION OF GRADING AND BUILDING PERMIT FEES. THESE QUANTITIES DO NOT INCLUDE TRENCH OR FOOTING SPOILS, SHRINK OR SWELL FROM COMPACTING EFFORTS OR OTHER VARIABLES. THE ENGINEER MAKES NO REPRESENTATION THIS SITE WILL BALANCE. THE CONTRACTOR SHALL DETERMINE HIS OWN EARTHWORK QUANTITIES AND BASE HIS BID ACCORDINGLY.		



VICINITY MAP
N.T.S.

REQUIRED GEOTECHNICAL TESTING & OBSERVATIONS

- OBSERVATION AND TESTING DURING SOIL STABILIZATION ACTIVITIES OF PARKING AREAS.
- OBSERVATION AND TESTING DURING SOIL STABILIZATION ACTIVITIES OF BUILDING PAD AREAS
- COMPACTION TESTING AND OBSERVATION DURING EARTHWORK FILL OPERATIONS.
- FOOTING EXCAVATION OBSERVATION.
- COMPACTION TESTING AND BACKFILL OBSERVATION OF NEW PROJECT SERVICING UNDERGROUND UTILITIES.
- COMPACTION TESTING AND OBSERVATION DURING SUBGRADE PREPARATION AND AGGREGATE BASE PLACEMENT FOR AREAS OF EXTERIOR CONCRETE FLATWORK.

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY IS SHOWN ON THE FOLLOWING FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR SAN JOAQUIN COUNTY: A) MAP NUMBER 06077C0725F, DATED OCTOBER 16, 2009, AS BEING LOCATED WITHIN FLOOD ZONE "X UNSHADED" (DEFINED ON SAID MAP AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN"); B) AND MAP NUMBER 06077C0730F WHICH IS LISTED ON THE INDEX SHEET FOR THE SAN JOAQUIN COUNTY FLOOD MAPS (MAP NUMBER 06077CIND0A, DATED OCTOBER 16, 2009) AS "PANEL NOT PRINTED-ALL ZONE X (NO SPECIAL FLOOD HAZARD AREAS)".

INFORMATION WAS OBTAINED FROM THE COUNTY OF SAN JOAQUIN ON MAY 23, 2012 AND CONFIRMED ON THE FEMA WEBSITE.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT AND THEN POT-HOLING ALL EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

BEFORE EXCAVATING
CALL U.S.A.
811
48-HOURS BEFORE ALL
PLANNED WORK OPERATIONS



LEGEND

PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING
AD	AD	AD	AD	AD	AD
ARV	ARV	ARV	ARV	ARV	ARV
ASR	ASR	ASR	ASR	ASR	ASR
BAS	BAS	BAS	BAS	BAS	BAS
BB	BB	BB	BB	BB	BB
BPD	BPD	BPD	BPD	BPD	BPD
BL	BL	BL	BL	BL	BL
BTM	BTM	BTM	BTM	BTM	BTM
BOV	BOV	BOV	BOV	BOV	BOV
BW	BW	BW	BW	BW	BW
B/W	B/W	B/W	B/W	B/W	B/W
CAVB	CAVB	CAVB	CAVB	CAVB	CAVB
CB	CB	CB	CB	CB	CB
C	C	C	C	C	C
CO	CO	CO	CO	CO	CO
COTB	COTB	COTB	COTB	COTB	COTB
CTB	CTB	CTB	CTB	CTB	CTB
D/L	D/L	D/L	D/L	D/L	D/L
DL	DL	DL	DL	DL	DL
DWY	DWY	DWY	DWY	DWY	DWY
EAR	EAR	EAR	EAR	EAR	EAR
EB	EB	EB	EB	EB	EB
EC	EC	EC	EC	EC	EC
ED	ED	ED	ED	ED	ED
EGR	EGR	EGR	EGR	EGR	EGR
EP	EP	EP	EP	EP	EP
EVAE	EVAE	EVAE	EVAE	EVAE	EVAE
EW	EW	EW	EW	EW	EW
FB	FB	FB	FB	FB	FB
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FDC	FDC	FDC	FDC	FDC	FDC
FD MON	FD MON	FD MON	FD MON	FD MON	FD MON
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FNC	FNC	FNC	FNC	FNC	FNC
FSE	FSE	FSE	FSE	FSE	FSE
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GA	GA	GA	GA	GA	GA
GB	GB	GB	GB	GB	GB
GLM	GLM	GLM	GLM	GLM	GLM
GM	GM	GM	GM	GM	GM
GRN	GRN	GRN	GRN	GRN	GRN
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HDM	HDM	HDM	HDM	HDM	HDM
IB	IB	IB	IB	IB	IB
IE	IE	IE	IE	IE	IE
IR	IR	IR	IR	IR	IR
JAE	JAE	JAE	JAE	JAE	JAE
JP	JP	JP	JP	JP	JP
LE	LE	LE	LE	LE	LE
LT	LT	LT	LT	LT	LT
LUP	LUP	LUP	LUP	LUP	LUP
M-M	M-M	M-M	M-M	M-M	M-M
O-B	O-B	O-B	O-B	O-B	O-B
PGB	PGB	PGB	PGB	PGB	PGB
PGE	PGE	PGE	PGE	PGE	PGE
PIV	PIV	PIV	PIV	PIV	PIV
PL	PL	PL	PL	PL	PL
PSDE	PSDE	PSDE	PSDE	PSDE	PSDE
PSE	PSE	PSE	PSE	PSE	PSE
PSSE	PSSE	PSSE	PSSE	PSSE	PSSE
PUE	PUE	PUE	PUE	PUE	PUE
RUE	RUE	RUE	RUE	RUE	RUE
SD	SD	SD	SD	SD	SD
SOD	SOD	SOD	SOD	SOD	SOD
SODB	SODB	SODB	SODB	SODB	SODB
SDMH	SDMH	SDMH	SDMH	SDMH	SDMH
SO	SO	SO	SO	SO	SO
SS	SS	SS	SS	SS	SS
SSMH	SSMH	SSMH	SSMH	SSMH	SSMH
WGE	WGE	WGE	WGE	WGE	WGE
END ASPHALT SWALE	END ASPHALT SWALE	END ASPHALT SWALE	END ASPHALT SWALE	END ASPHALT SWALE	END ASPHALT SWALE
ELECTRIC BOX	ELECTRIC BOX	ELECTRIC BOX	ELECTRIC BOX	ELECTRIC BOX	ELECTRIC BOX
EDGE OF CONCRETE	EDGE OF CONCRETE	EDGE OF CONCRETE	EDGE OF CONCRETE	EDGE OF CONCRETE	EDGE OF CONCRETE
EDGE OF CONCRETE DOCK	EDGE OF CONCRETE DOCK	EDGE OF CONCRETE DOCK	EDGE OF CONCRETE DOCK	EDGE OF CONCRETE DOCK	EDGE OF CONCRETE DOCK
EDGE OF GRAVEL ROAD	EDGE OF GRAVEL ROAD	EDGE OF GRAVEL ROAD	EDGE OF GRAVEL ROAD	EDGE OF GRAVEL ROAD	EDGE OF GRAVEL ROAD
EDGE OF PAVEMENT	EDGE OF PAVEMENT	EDGE OF PAVEMENT	EDGE OF PAVEMENT	EDGE OF PAVEMENT	EDGE OF PAVEMENT
EMERGENCY VEHICLE ACCESS EASEMENT	EMERGENCY VEHICLE ACCESS EASEMENT	EMERGENCY VEHICLE ACCESS EASEMENT	EMERGENCY VEHICLE ACCESS EASEMENT	EMERGENCY VEHICLE ACCESS EASEMENT	EMERGENCY VEHICLE ACCESS EASEMENT
EDGE OF WALK	EDGE OF WALK	EDGE OF WALK	EDGE OF WALK	EDGE OF WALK	EDGE OF WALK
FACE OF ASPHALT BERM	FACE OF ASPHALT BERM	FACE OF ASPHALT BERM	FACE OF ASPHALT BERM	FACE OF ASPHALT BERM	FACE OF ASPHALT BERM
FACE OF CURB	FACE OF CURB	FACE OF CURB	FACE OF CURB	FACE OF CURB	FACE OF CURB
FIRE DEPARTMENT CONNECTION	FIRE DEPARTMENT CONNECTION	FIRE DEPARTMENT CONNECTION	FIRE DEPARTMENT CONNECTION	FIRE DEPARTMENT CONNECTION	FIRE DEPARTMENT CONNECTION
FOUND MONUMENT	FOUND MONUMENT	FOUND MONUMENT	FOUND MONUMENT	FOUND MONUMENT	FOUND MONUMENT
FLARED END SECTION	FLARED END SECTION	FLARED END SECTION	FLARED END SECTION	FLARED END SECTION	FLARED END SECTION
FINISH FLOOR	FINISH FLOOR	FINISH FLOOR	FINISH FLOOR	FINISH FLOOR	FINISH FLOOR
FIRE HYDRANT	FIRE HYDRANT	FIRE HYDRANT	FIRE HYDRANT	FIRE HYDRANT	FIRE HYDRANT
FLOW LINE	FLOW LINE	FLOW LINE	FLOW LINE	FLOW LINE	FLOW LINE
FENCE	FENCE	FENCE	FENCE	FENCE	FENCE
FIRE SERVICE EASEMENT	FIRE SERVICE EASEMENT	FIRE SERVICE EASEMENT	FIRE SERVICE EASEMENT	FIRE SERVICE EASEMENT	FIRE SERVICE EASEMENT
FACE OF WALL	FACE OF WALL	FACE OF WALL	FACE OF WALL	FACE OF WALL	FACE OF WALL
GUY ANCHOR	GUY ANCHOR	GUY ANCHOR	GUY ANCHOR	GUY ANCHOR	GUY ANCHOR
GRADE BREAK	GRADE BREAK	GRADE BREAK	GRADE BREAK	GRADE BREAK	GRADE BREAK
GAS LINE MARKER	GAS LINE MARKER	GAS LINE MARKER	GAS LINE MARKER	GAS LINE MARKER	GAS LINE MARKER
GAS MARKER/METER	GAS MARKER/METER	GAS MARKER/METER	GAS MARKER/METER	GAS MARKER/METER	GAS MARKER/METER
GROUND	GROUND	GROUND	GROUND	GROUND	GROUND
GAS VALVE	GAS VALVE	GAS VALVE	GAS VALVE	GAS VALVE	GAS VALVE
HEADER BOARD	HEADER BOARD	HEADER BOARD	HEADER BOARD	HEADER BOARD	HEADER BOARD
HEADWALL	HEADWALL	HEADWALL	HEADWALL	HEADWALL	HEADWALL
IRRIGATION BOX	IRRIGATION BOX	IRRIGATION BOX	IRRIGATION BOX	IRRIGATION BOX	IRRIGATION BOX
INGRESS/EGRESS EASEMENT	INGRESS/EGRESS EASEMENT	INGRESS/EGRESS EASEMENT	INGRESS/EGRESS EASEMENT	INGRESS/EGRESS EASEMENT	INGRESS/EGRESS EASEMENT
INVERT ELEVATION	INVERT ELEVATION	INVERT ELEVATION	INVERT ELEVATION	INVERT ELEVATION	INVERT ELEVATION
IRRIGATION LINE	IRRIGATION LINE	IRRIGATION LINE	IRRIGATION LINE	IRRIGATION LINE	IRRIGATION LINE
JOINT ACCESS EASEMENT	JOINT ACCESS EASEMENT	JOINT ACCESS EASEMENT	JOINT ACCESS EASEMENT	JOINT ACCESS EASEMENT	JOINT ACCESS EASEMENT
JOINT POWER POLE	JOINT POWER POLE	JOINT POWER POLE	JOINT POWER POLE	JOINT POWER POLE	JOINT POWER POLE
LANDSCAPE EASEMENT	LANDSCAPE EASEMENT	LANDSCAPE EASEMENT	LANDSCAPE EASEMENT	LANDSCAPE EASEMENT	LANDSCAPE EASEMENT
LIGHT	LIGHT	LIGHT	LIGHT	LIGHT	LIGHT
LIP OF GUTTER	LIP OF GUTTER	LIP OF GUTTER	LIP OF GUTTER	LIP OF GUTTER	LIP OF GUTTER
MONUMENT TO MONUMENT	MONUMENT TO MONUMENT	MONUMENT TO MONUMENT	MONUMENT TO MONUMENT	MONUMENT TO MONUMENT	MONUMENT TO MONUMENT
OFFICIAL RECORD	OFFICIAL RECORD	OFFICIAL RECORD	OFFICIAL RECORD	OFFICIAL RECORD	OFFICIAL RECORD
PAVEMENT	PAVEMENT	PAVEMENT	PAVEMENT	PAVEMENT	PAVEMENT
PACIFIC GAS & ELECTRIC BOX	PACIFIC GAS & ELECTRIC BOX	PACIFIC GAS & ELECTRIC BOX	PACIFIC GAS & ELECTRIC BOX	PACIFIC GAS & ELECTRIC BOX	PACIFIC GAS & ELECTRIC BOX
PRIVATE INGRESS/EGRESS EASEMENT	PRIVATE INGRESS/EGRESS EASEMENT	PRIVATE INGRESS/EGRESS EASEMENT	PRIVATE INGRESS/EGRESS EASEMENT	PRIVATE INGRESS/EGRESS EASEMENT	PRIVATE INGRESS/EGRESS EASEMENT
POST INDICATOR VALVE	POST INDICATOR VALVE	POST INDICATOR VALVE	POST INDICATOR VALVE	POST INDICATOR VALVE	POST INDICATOR VALVE
PROPERTY LINE	PROPERTY LINE	PROPERTY LINE	PROPERTY LINE	PROPERTY LINE	PROPERTY LINE
PRIVATE STORM DRAIN EASEMENT	PRIVATE STORM DRAIN EASEMENT	PRIVATE STORM DRAIN EASEMENT	PRIVATE STORM DRAIN EASEMENT	PRIVATE STORM DRAIN EASEMENT	PRIVATE STORM DRAIN EASEMENT
PUBLIC SERVICE EASEMENT	PUBLIC SERVICE EASEMENT	PUBLIC SERVICE EASEMENT	PUBLIC SERVICE EASEMENT	PUBLIC SERVICE EASEMENT	PUBLIC SERVICE EASEMENT
PRIVATE SANITARY SEWER EASEMENT	PRIVATE SANITARY SEWER EASEMENT	PRIVATE SANITARY SEWER EASEMENT	PRIVATE SANITARY SEWER EASEMENT	PRIVATE SANITARY SEWER EASEMENT	PRIVATE SANITARY SEWER EASEMENT
PUBLIC UTILITY EASEMENT	PUBLIC UTILITY EASEMENT	PUBLIC UTILITY EASEMENT	PUBLIC UTILITY EASEMENT	PUBLIC UTILITY EASEMENT	PUBLIC UTILITY EASEMENT
RIM ELEVATION	RIM ELEVATION	RIM ELEVATION	RIM ELEVATION	RIM ELEVATION	RIM ELEVATION
STORM DRAIN	STORM DRAIN	STORM DRAIN	STORM DRAIN	STORM DRAIN	STORM DRAIN
STORM DRAIN CLEAN OUT TO GRADE	STORM DRAIN CLEAN OUT TO GRADE	STORM DRAIN CLEAN OUT TO GRADE	STORM DRAIN CLEAN OUT TO GRADE	STORM DRAIN CLEAN OUT TO GRADE	STORM DRAIN CLEAN OUT TO GRADE
STORM DRAIN JUNCTION BOX	STORM DRAIN JUNCTION BOX	STORM DRAIN JUNCTION BOX	STORM DRAIN JUNCTION BOX	STORM DRAIN JUNCTION BOX	STORM DRAIN JUNCTION BOX
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE	STORM DRAIN MANHOLE	STORM DRAIN MANHOLE	STORM DRAIN MANHOLE	STORM DRAIN MANHOLE
SIDE OPENING	SIDE OPENING	SIDE OPENING	SIDE OPENING	SIDE OPENING	SIDE OPENING
SANITARY SEWER	SANITARY SEWER	SANITARY SEWER	SANITARY SEWER	SANITARY SEWER	SANITARY SEWER
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
WATER SURFACE ELEVATION	WATER SURFACE ELEVATION	WATER SURFACE ELEVATION	WATER SURFACE ELEVATION	WATER SURFACE ELEVATION	WATER SURFACE ELEVATION

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C.7.2	DETAILS

BENCHMARK

BENCHMARK: TOP OF A STEEL PIN IN A MONUMENT WELL AT THE INTERSECTION OF SCHULTE ROAD AND HANSEN ROAD.

ELEVATION = 180.32 FEET (CITY OF TRACY NAVD 1988 DATUM)

GEOTECHNICAL ENGINEERS
(FOR CONFORMANCE WITH THE GEOTECHNICAL REPORT)

BY: _____ DATE: _____

APPROVED: SOUTH SAN JOAQUIN COUNTY FIRE AUTHORITY (FOR FIRE SERVICE LOCATION)

BY: _____ DATE: _____

CITY OF TRACY

APPROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS PUBLIC INTEREST REQUIRES MODIFICATION OF OR A DEPARTURE FROM THE SPECIFICATIONS AND DETAILS OF THE CITY OF TRACY OR THESE PLANS, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATIONS OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE AT NO COST TO THE CITY. APPROVED AS TO DESIGN ONLY BASED ON THE INFORMATION SUBMITTED HEREON. APPROVED FOR THE CITY OF TRACY

SEE GRADING PERMIT SET

ROBERT ARMJO CITY ENGINEER DATE: _____



NO.	REVISION	BY	NO.	REVISION	BY
1	PERMIT 1st SUBMITTAL	02/03/2020	1		
2			2		
3			3		
4			4		
5			5		

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
www.kierwright.com



TRACY

TITLE SHEET
I.P.C. - BUILDING 9
PROLOGIS

CALIFORNIA

DATE	02/03/2020
SCALE	-
DESIGNER	M.F.B.
JOB NO.	A09500-182
SHEET	C.1.1
OF	12 SHEETS

CITY OF TRACY STANDARD NOTES:

1. ALL WORK SHALL CONFORM TO THE CITY OF TRACY SPECIFICATIONS AND STANDARD PLANS. THE WORK IS SUBJECT TO THE INSPECTION AND APPROVAL OF THE CITY ENGINEER, AND THE ENGINEERING DIVISION INSPECTORS. CONTACT ENGINEERING DIVISION CONSTRUCTION MANAGEMENT AT (209)-831-4600, TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF ANY WORK TO ARRANGE FOR INSPECTION.
2. THESE PLANS HAVE BEEN CHECKED BY THE CITY OF TRACY FOR CONFORMANCE WITH THE CITY'S MINIMUM STANDARDS, BUT SUCH CHECKING BY THE CITY DOES NOT RELIEVE THE DEVELOPER FROM ITS RESPONSIBILITY TO FIND AND CORRECT ERRORS, OMISSIONS OR MAKE CHANGES REQUIRED BY CONDITIONS DISCOVERED IN THE FIELD DURING THE COURSE OF CONSTRUCTION. ANY REQUEST BY THE DEVELOPER TO CHANGE THESE PLANS SHALL BE SUBMITTED IN WRITING TO THE CITY ENGINEER.
3. REFER TO THE FINAL MAP OF THIS TRACT FOR PROPERTY LINE DATA.
4. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND SIGNED BY THE CITY ENGINEER PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
5. ALL CONSTRUCTION STAKING FOR CURB, GUTTER, SIDEWALK, SANITARY SEWERS, STORM DRAINS, WATER LINES, FIRE HYDRANTS, AND ELECTROLIERS, ETC., SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
6. THE EXISTING UTILITIES ARE PLOTTED FROM AVAILABLE RECORDS. THE DEVELOPER SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THESE UTILITIES. THE DEVELOPER SHALL PERFORM NO EXCAVATION UNTIL ALL UTILITY AGENCIES AND THE CITY OF TRACY HAVE BEEN NOTIFIED AND HAVE BEEN GIVEN THE OPPORTUNITY TO MARK THEIR FACILITIES IN THE FIELD. NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
7. HOUSE SERVICES, FIRE HYDRANT LATERALS, GAS AND TELEPHONE LINES, AND ALL OTHER UNDERGROUND UTILITIES SHALL BE INSTALLED PRIOR TO CURB, GUTTER, AND SIDEWALK CONSTRUCTION AND STREET PAVING.
8. SURVEY MONUMENTS SHALL BE FURNISHED AND INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN. SUBMIT A LETTER OF CERTIFICATION FROM THE LICENSED LAND SURVEYOR CERTIFYING THAT ALL MONUMENTS ARE CENTERLINE MONUMENTS AND ARE INSTALLED AND TAGGED IN ACCORDANCE WITH THE APPROVED FINAL MAP PRIOR TO TRACT ACCEPTANCE.
9. ALL LINES ABANDONED DURING CONSTRUCTION SHALL BE REMOVED.
10. ALL SANITARY SEWER MAINS SHALL BE TELEVISION INSPECTED (TAPES SHALL BE GIVEN TO THE CITY OF TRACY), FLUSHED WITH AN APPROVED SEWER BALL, AND PASS A LEAKAGE TEST IN CONFORMANCE WITH CITY OF TRACY STANDARD SPECIFICATIONS PRIOR TO ACCEPTANCE BY THE CITY. ALL TESTING SHALL BE PERFORMED AFTER THE COMPACTION OF STREET BASE ROCK AND PRIOR TO PAVING.
11. ALL WATER LINES SHALL BE PRESSURE-TESTED, DISINFECTED, FLUSHED, AND TESTED FOR BACTERIA IN CONFORMANCE WITH THE CITY OF TRACY DESIGN STANDARDS AND STANDARD SPECIFICATIONS PRIOR TO FINAL ACCEPTANCE BY THE CITY.
12. TESTING
(A) ALL INDEPENDENT LABORATORY INSPECTION CALLED FOR BY THE CITY ENGINEER WILL BE PAID FOR BY THE DEVELOPER.
(B) ROADWAY SUB-BASE, BASE AND TRENCH BACKFILL COMPACTION TESTING SHALL BE PERFORMED BY A SOILS LAB CONTRACTING WITH THE CITY OF TRACY.
(C) TESTS FOR R-VALUES ARE REQUIRED PRIOR TO THE INSTALLATION OF BASE ROCK.
(D) A MINIMUM OF 48 HOURS NOTICE IS REQUIRED TO SCHEDULE ALL SOILS TESTING SERVICES.
13. STREET SIGNS SHALL BE INSTALLED AT ALL INTERSECTIONS PER CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS.
14. TRAFFIC SIGNS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND MUTCD CALIFORNIA SUPPLEMENTAL AT LOCATIONS SPECIFIED BY CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS.
15. STREET STRIPING SHALL INCLUDE STOP BARS, CENTERLINE STRIPING OR MARKERS, CROSSWALKS AND ALL OTHER MARKINGS REQUIRED BY THE CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS. STRIPING SHALL BE DONE WITH THERMOPLASTIC AND REFLECTIVE MARKERS. STRIPING ON MAJOR ROADS SHALL BE CAT-TRACKED AND APPROVED PRIOR TO FINAL INSTALLATION.
16. ALL TRENCHES SHALL BE BACK-FILLED IN ACCORDANCE WITH CITY DESIGN STANDARDS AND STANDARD SPECIFICATIONS. COMPACTION SHALL BE ACHIEVED BY MECHANICAL MEANS. NO FLOODING, PONDING OR JETTING SHALL BE PERMITTED.
17. WHEN WIDENING THE PAVEMENT ON AN EXISTING ROAD, THE EXISTING PAVEMENT SHALL BE CUT TO A NEAT LINE AND REMOVED BACK TO AN EXISTING ADEQUATE STRUCTURAL SECTION, OR TO THE ORIGINAL ROAD SECTION. AN EXPLORATORY TRENCH, OR POT HOLING, MAY BE REQUIRED TO DETERMINE THE LIMITS OF PAVEMENT REMOVAL.
18. EXISTING CURB AND SIDEWALK WITHIN THE PROJECT LIMITS THAT ARE DAMAGED OR DISPLACED, EVEN THOUGH THEY WERE NOT TO BE REMOVED, SHALL BE REPAIRED OR REPLACED PER CITY STANDARD PLANS EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED BY THE DEVELOPER.
19. AT THE INTERSECTION OF TWO STREETS, THE FULL STRUCTURAL SECTION OF THE MOST PROMINENT STREET SHALL BE CONTINUED THROUGH THE INTERSECTION.
20. THE THICKNESS OF SUB-BASE, BASE AND SURFACING SHALL BE DETERMINED BY THE CITY ENGINEER BASED ON TRAFFIC INDEX AND SOIL TEST FOR "R" VALUE TAKEN AFTER ROUGH GRADING AT THE LEVEL OF THE STREET SUB-GRADE.
21. ASBESTOS CEMENT PIPE (ACP) OR FITTINGS SHALL NOT BE USED WITHIN THE CITY OF TRACY.
22. ALL STREET MONUMENTS, LOT CORNER, AND OTHER PERMANENT PIPE OR MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BEFORE ACCEPTANCE OF IMPROVEMENTS BY THE CITY OF TRACY.
23. THE DEVELOPER SHALL CONTROL DUST AT ALL TIMES DURING CONSTRUCTION AS REQUIRED BY THE CITY OF TRACY.
24. PRIOR TO TRENCHING FOR ANY SEWER, WATER, OR STORM DRAIN PIPE, THE DEVELOPER SHALL VERIFY, IN THE FIELD, THE SIZE AND LOCATION OF THE EXISTING PIPE AT THE POINT OF CONNECTION. ANY DEVIATION FROM THE PLANS SHALL BE RESOLVED BY THE DESIGN ENGINEER PRIOR TO TRENCHING.
25. MANHOLES, VALVES, CLEANOUTS, ETC., SHALL BE BROUGHT TO FINISH GRADE BY THE DEVELOPER AFTER THE FINAL PAVING COURSE IS PLACED.
26. THE INSTALLATION OF EROSION CONTROL FACILITIES SHALL BE COMPLETED PRIOR TO OCTOBER 15 AND SHALL BE MAINTAINED DAILY UNTIL APRIL 15. THESE FACILITIES SHALL CONTROL AND CONTAIN EROSION-CAUSED SILT DEPOSITS AND PROVIDE FOR SAFE DISCHARGE OF SILT-FREE STORM WATER INTO EXISTING STORM DRAIN FACILITIES. DESIGN OF THESE FACILITIES MUST BE UPDATED EACH YEAR PRIOR TO SEPTEMBER 30 AND SHALL BE APPROVED BY THE CITY ENGINEER.
27. IF, DURING CONSTRUCTION, ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED, CONSTRUCTION IN THE VICINITY SHALL BE HALTED, AN ARCHAEOLOGIST CONSULTED, AND THE CITY COMMUNITY DEVELOPMENT DEPARTMENT NOTIFIED. IF, IN THE OPINION OF THE ARCHAEOLOGIST, THE REMAINS ARE SIGNIFICANT, MEASURES AS MAY BE REQUIRED BY THE COMMUNITY DEVELOPMENT DIRECTORS, SHALL BE TAKEN TO PROTECT THEM.
28. WORK SHALL BE RESTRICTED TO WEEKDAYS BETWEEN 7:30AM AND 7:00PM AND WEEKENDS BETWEEN 9:00AM AND 5:00PM. WORK WHICH REQUIRES ANY TRAFFIC LANE CLOSURES OR RESTRICTION OF THE TRAVELED WAY SHALL BE LIMITED TO 9:00AM TO 3:30PM IN THE COMMUTE DIRECTION AND 8:00 AM TO 4:30 PM IN THE NON-COMMUTE DIRECTION. COMMUTE DIRECTIONS SHALL BE AS DETERMINED BY THE CITY ENGINEER.
29. THE OVERTIME COST FOR INSPECTING WORK REQUIRING CITY INSPECTION, PERFORMED BEFORE 8:00AM AND 5:00PM, SHALL BE PAID BY THE DEVELOPER BEFORE THE WORK IS AUTHORIZED.
30. CONSTRUCTIONS EQUIPMENT WHICH OPERATES AT A NOISE LEVEL IN EXCESS OF 85 DECIBELS (MEASURED ON THE A-WEIGHTED SCALE DEFINED IN ANSI S-1.4) AT A DISTANCE OF 100 FEET FROM THE EQUIPMENT IS PROHIBITED.
31. THE DEVELOPER SHALL KEEP EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DROWN DOWN A MINIMUM OF 2 FEET BELOW BOTTOM OF EXCAVATIONS TO MAINTAIN UNDISTURBED STATE OF NATURAL SOILS AND ALLOW PLACEMENT OF ANY FILL TO SPECIFIED DENSITY. DISPOSAL OF WATER SHALL NOT DAMAGE PROPERTY OR CREATE A PUBLIC NUISANCE.
32. DISPOSAL OF WATER INTO THE CITY SANITARY SEWER SYSTEM IS STRICTLY PROHIBITED. DISPOSAL OF WATER IN TO EXISTING STORM DRAIN SYSTEM MUST BE APPROVED IN WRITING BY THE CITY ENGINEER.
33. DEVELOPER SHALL MAINTAIN ALL STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION THROUGHOUT THE COURSE OF CONSTRUCTION. ALL SPILLS OF SOIL, ROCK, CONSTRUCTION DEBRIS, ETC., SHALL BE REMOVED IMMEDIATELY FROM PUBLICLY OWNED PROPERTY. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION. THE DEVELOPER SHALL PROVIDE FOR SAFE, UNOBSTRUCTED ACCESS TO PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.

GENERAL NOTES:

1. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION PREPARED FOR THIS SITE BY KLEINFELDER, DATED SEPTEMBER 29, 2017, PROJECT NO. 20181529.001A.
2. BENCHMARK: TOP OF A STEEL PIN IN A MONUMENT WELL AT THE INTERSECTION OF SCHULTE ROAD AND HANSEN ROAD. ELEVATION = 180.32 FEET (CITY OF TRACY NAVD 1988 DATUM).
4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE CITY'S PUBLIC WORKS DEPARTMENT AT (209) 831-6460 AND REQUEST A PRE CONSTRUCTION CONFERENCE.
5. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE DEVELOPMENT AND ENGINEERING SERVICE DEPT. PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS SIGNED BY THE CITY ENGINEER.
6. ALL STREET IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE CODE, STATE STANDARD SPECIFICATIONS, AND CITY OR COUNTY STANDARD PLANS. THE IMPROVEMENTS ARE SUBJECT TO INSPECTION AND APPROVAL OF THE DEVELOPMENT AND ENGINEERING SERVICE DEPARTMENT.
- CONTACT PUBLIC WORKS CONSTRUCTION INSPECTION AT 209-831-4600 AT LEAST TWO WORKING DAYS PRIOR TO THE START OF ANY WORK TO ARRANGE FOR INSPECTION.
7. NOTIFY UNDERGROUND SERVICE ALERT 800-227-2600 AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
8. THE CONTRACTOR IS REQUIRED BY STATE LAW TO ACTIVELY RESEARCH WORK AREA PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REFERENCE MONUMENTS AND REPLACE THOSE DAMAGED OR REMOVED DURING CONSTRUCTION.
9. SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
10. NO TREES SHALL BE REMOVED UNLESS THEY ARE SHOWN AND NOTED TO BE REMOVED ON THE IMPROVEMENT PLANS. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED AND PROPERLY GRADED AND SEALED. THE DRIP LINE OF TREES TO BE SAVED WILL BE FENCED, AND NO GRADING SHALL TAKE PLACE WITHIN THIS FENCED AREA.
11. THE THICKNESS OF SUBBASE, BASE, AND SURFACING SHALL BE BASED ON TRAFFIC INDEX AND SOIL TEST FOR "R" VALUE = 5.
12. ALL LINES ABANDONED DURING CONSTRUCTION SHALL BE REMOVED (UNLESS OTHERWISE NOTED AND APPROVED BY CITY OF TRACY INSPECTOR).
13. CONTRACTOR SHALL CONTROL DUST AT ALL TIMES DURING CONSTRUCTION AS REQUIRED BY CITY OF TRACY.
14. MANHOLES, VALVES, CLEANOUTS ETC. SHALL BE BROUGHT TO FINISH GRADE PER TRACY STD. 114 AFTER THE FINAL PAVING COURSE IS PLACED. PER TRACY STD. 301 MANHOLES SHALL HAVE GRADE RINGS OF 18" MIN TO 24" MAXIMUM.
15. RECORDING EXISTING CONDITIONS - EXISTING CONDITIONS THROUGHOUT THE PROJECT SITE THAT ARE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY OR CITY MAINTAINED EASEMENTS SHALL BE PHOTOGRAPHED AND VIDEOTAPE BY THE CONTRACTOR BEFORE STARTING CONSTRUCTION. RECORDING SHALL INCLUDE AND SHOW EVERY DETAIL OF EXISTING IMPROVEMENTS, INCLUDING THE CURRENT CONDITION OF THE CURB, GUTTER, SIDEWALK, SIGNS, LANDSCAPING, STREETLIGHTS, STRUCTURES NEAR THE PROJECT INCLUDING THE FACE OF BUILDINGS, CANOPIES, SHADES, FENCES, AND ANY OTHER FEATURES WITHIN THE LIMITS OF WORK. PHOTOS AND VIDEOTAPE SHALL BE DELIVERED TO THE ENGINEER.
16. PRIOR TO CONSTRUCTION ACTIVITY AND WITHIN 30 DAYS OF PROJECT AWARD, ALL SURVEY MONUMENTS THAT MAY POTENTIALLY BE DISTURBED DURING CONSTRUCTION, MUST BE LOCATED AND REFERENCED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD OR RECORD OF SURVEY MUST BE FILED WITH THE COUNTY SURVEYOR. ANY SURVEY MONUMENTS DISTURBED DURING THE COURSE OF CONSTRUCTION MUST BE REESTABLISHED BY A LICENSED LAND SURVEYOR, A NEW MONUMENT SET, AND ANOTHER CORNER RECORD OR RECORD OF SURVEY FILED WITH THE COUNTY SURVEYOR (LAND SURVEYORS' ACT SECTION 8771). CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT AND RECORDING OF SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH CITY OF TRACY OR SAN JUAQUIN COUNTY STANDARD PLANS AND SPECIFICATIONS, WHICHEVER IS APPLICABLE.

CITY OF TRACY UTILITY NOTES:

1. ALL WATER VALVES 10" AND SMALLER SHALL BE GATE VALVES AND ALL WATER VALVES 12" AND LARGER SHALL BE BUTTERFLY VALVES AS REQUIRED BY CITY OF TRACY DESIGN STANDARD 6.08(B) AND STANDARD PLAN NO. 402.
2. DOUBLE POLY WRAP ALL DUCTILE IRON PIPE FITTINGS AND VALVES PER CITY STANDARDS AND PER CITY STANDARD SPECIFICATION 207.04. POLY WRAP SHALL BE 8 MIL THICK AND SHALL BE SECURED WITH 10 MIL CHRISTY TAPE.
3. MANHOLES OUTSIDE PAVED AREAS SHALL HAVE BOLT DOWN LIDS AND CONCRETE COLLARS.
4. HYDROSTATIC WATER PRESSURE AND BACTERIA TESTS ON CONSTRUCTED WATER MAINS MUST BE PERFORMED IN THE PRESENCE OF THE CITY ENGINEERING INSPECTOR, AND MUST PASS THE TEST PRIOR TO CONNECTING TO THE CITY'S EXISTING WATER DISTRIBUTION SYSTEM.
5. ALL PIPE SHALL CONFORM TO THE PROVISIONS IN SECTION 207 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) AS MODIFIED BY THE CITY OF TRACY STANDARD SPECIFICATIONS. WHENEVER A CONFLICT EXISTS BETWEEN THE SSPWC AND THE CITY STANDARD SPECIFICATIONS, THE CITY STANDARD SPECIFICATIONS SHALL GOVERN.
6. SANITARY SEWER PIPE: SANITARY SEWER PIPE SHALL BE EITHER VITRIFIED CLAY PIPE (VCP), OR DUCTILE IRON PIPE (DIP) AND SHALL CONFORM TO SECTION 207-8 "VITRIFIED CLAY PIPE" AND SECTION 207-9.2 "DUCTILE IRON PIPE FOR WATER AND OTHER LIQUIDS" OF SSPWC RESPECTIVELY.
7. STORM DRAIN PIPE: STORM DRAIN PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO SECTION 207-2 "REINFORCED CONCRETE PIPE" OF SSPWC.
8. RECYCLED WATER PIPE: ALL MAINS TO BE P.V.C. C-900.
9. WATER PIPE: ALL WATER MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE AND SHALL CONFORM TO SECTION 207-9.2 "DUCTILE IRON PIPE FOR WATER AND OTHER LIQUIDS" AS MODIFIED BELOW.
- ALL PIPE FOR WATER MAINS SHALL BE DUCTILE IRON PIPE, THICKNESS CLASS 51 FOR 4" AND CLASS 50 FOR ALL OTHER SIZES, CEMENT LINER, AND SHALL CONFORM TO THE PROVISIONS OF AWWA C151 AND C104 AND SHALL HAVE "TYTON" TYPE JOINTS. STANDARD BITUMINOUS COATING SHALL BE APPLIED TO OUTSIDE OF PIPE BY MANUFACTURER.
- UNLESS OTHERWISE SPECIFIED, FITTINGS FOR DUCTILE IRON PIPE SHALL BE CLASS 250 FOR 3-INCH SIZE AND LARGER, MECHANICAL JOINTS CONFORMING TO THE REQUIREMENTS OF AWWA C110. FITTINGS SHALL BE CEMENT MORTAR LINED IN ACCORDANCE WITH AWWA C104. THE OUTSIDE OF THE FITTINGS SHALL BE BITUMINOUS COATED. NUTS AND BOLTS SHALL CONFORM TO THE PROVISIONS OF ANSI SPECIFICATIONS B18.2. FITTINGS FOR 2-INCH DIAMETER AND SMALLER SHALL BE OF BRASS CONSTRUCTION.
- ALL BURIED FERROUS METAL SHALL BE PROTECTED FROM CORROSION, INCLUDING BUT NOT LIMITED TO VALVES, FITTINGS, PIPE, FLEXIBLE COUPLINGS AND HYDRANT PIPING WITH POLYWRAP IN ACCORDANCE WITH AWWA C105. POLYETHYLENE PROTECTIVE WRAPPING (POLYWRAP) SHALL BE 8 MIL THICK SHEETS CUT FROM TUBES SUPPLIED BY U.S. PIPE AND FOUNDRY COMPANY OR APPROVED EQUAL. THE EDGES SHALL BE SECURED WITH 8 MIL THICK 1-INCH WIDE SCOTCHWRAP AS MANUFACTURED BY MINNESOTA MINING AND MANUFACTURING CO., OR APPROVED EQUAL.
10. EXISTING MANHOLE RIMS ARE TO BE ADJUSTED, PER STANDARD PLAN 114. LIMITS THE USE OF GRADE RINGS TO 18" MINIMUM AND 24" MAXIMUM.
11. ALL SANITARY SEWER MANHOLES INTERIOR SURFACES SHALL BE EPOXY LINED WITH NEOPOXY NPS300, NOVOCOAT SP-200R, SAVEREISEN SEWEGARD 201, OR EQUAL.

GRADING NOTES

1. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION PREPARED FOR THIS SITE BY KLEINFELDER, DATED SEPTEMBER 29, 2017, PROJECT NO. 20181529.001A
2. CONTRACTOR SHALL DETERMINE HIS OWN EARTH QUANTITIES AND BASE HIS BID ACCORDINGLY.
3. TOP OF CURB ELEVATION IS 0.5' ABOVE THE A.C. PAVING AND SPOT ELEVATIONS ARE TO FINISHED SURFACE (UNLESS OTHERWISE NOTED).
4. COMPACTION TO BE DETERMINED USING ASTM D1557, LATEST EDITION LABORATORY TEST PROCEDURE
5. ALL STORM DRAIN PIPE 12" OR SMALLER IN DIAMETER SHALL BE SDR 35 PVC, CLASS III RCP OR BLUE SEAL HDPE AS MANUFACTURED BY HANCOR WITH WATERTIGHT JOINTS MEETING ASTM F477 AND ASTM D3212. (UNLESS OTHERWISE NOTED)
- ALL STORM DRAIN PIPE 15"-24" SHALL BE CLASS III RCP OR BLUE SEAL HDPE AS MANUFACTURED BY HANCOR WITH WATERTIGHT JOINTS MEETING ASTM F477 AND ASTM D3212. (UNLESS OTHERWISE NOTED)
- ALL STORM DRAIN PIPE GREATER THAN 24" IN DIAMETER SHALL BE CLASS III RCP OR APPROVED EQUAL. (UNLESS OTHERWISE NOTED) IF CONTRACTOR WISHES TO SUBSTITUTE ANY OF THE ABOVE PIPE MATERIALS THEY MUST PROVIDE THE ENGINEER WITH CALCULATIONS SHOWING THE SUBSTITUTED MATERIAL WILL MEET OR EXCEED THE PERFORMANCE OF SPECIFIED MATERIAL. CALCULATIONS SHALL BE STAMPED AND SIGNED BY A REGISTERED ENGINEER. NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE (DIP).
6. ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC VAULTS, AND PULL BOXES, THAT LIE WITHIN THE PUBLIC RIGHT-OF-WAY EASEMENTS OR AREAS AFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY FOR WHICH THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
7. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN NOT ASSUME RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THEIR DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT ARE NOT SHOWN ON THESE DRAWINGS.
8. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW, BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. PIPE SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
9. THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR THE TRENCHING OR PLACEMENT OF GRADES.
10. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
11. ALL WORK, ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO THE CITY OF TRACY STANDARDS AND REQUIREMENTS.
12. CONTRACTOR SHALL OBTAIN LATEST CITY STANDARD DETAILS AND SPECIFICATIONS FROM THE CITY OF TRACY.
13. KLEINFELDER SHALL BE RETAINED FOR REVIEW OF PLANS, SPECIFICATIONS, FIELD OBSERVATIONS, AND TESTING AS OUTLINED BY THE GEOTECHNICAL REPORT.

EROSION & SEDIMENT CONTROL MEASURES

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVE FOR THE DURATION OF CONSTRUCTION.
2. AFTER THE UNDERGROUND STORM DRAIN SYSTEM IS INSTALLED, THE CATCH BASINS WILL BE INSTALLED (AS SOON AS PRACTICAL) AND ROCK BARRIER BAGS WILL BE PLACED AROUND THOSE CATCH BASINS AS SHOWN ON THIS PLAN UNTIL THIS SITE IS PAVED.
3. SHOULD THE ON-SITE STORM DRAINS NOT BE INSTALLED COMPLETELY BY OCTOBER 15, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS AT THE EXISTING STORM PIPES STUBBED TO THE SITE.
4. PERSON RESPONSIBLE FOR IMPLEMENTATION OF EROSION AND SEDIMENTATION PLAN.
- _____
- _____
- _____
- _____
5. THE CONTRACTOR SHALL PLACE 3"-6" COARSE AGGREGATE AS A GRAVEL ROADWAY (12" MIN. THICK FOR THE FULL WIDTH AND 50 FEET LONG) AT EACH D/W ENTRANCE TO SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THAT SAME DAY AND AS REQUIRED BY THE CITY OF TRACY.
6. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE QSP.
7. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUN-OFF TO ANY STORM DRAINAGE SYSTEM.
8. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO THE SEPTEMBER FIRST OF EACH SUBSEQUENT YEAR UNTIL THE SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
9. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
10. SEDIMENT BASINS SHALL BE CLEANED OUT WHENEVER SEDIMENT REACHES THE SEDIMENT CLEANOUT LEVEL INDICATED ON THE PLANS.
11. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE QSP.
12. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVERBANK FLOW.
13. INLETS WHICH ARE NOT USED IN CONJUNCTION WITH ROCK BARRIER BAGS OR SEDIMENT BASINS SHOULD BE COVERED, OR OTHERWISE ADJUSTED TO PREVENT INFLOW, UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
14. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO ANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF THE ENGINEER.
15. DETAILS FOR THE CONSTRUCTION OF FACILITIES ARE SHOWN ON THESE PLANS.
16. MASS GRADED AREAS SHALL HAVE A SOIL BINDER APPLIED UPON COMPLETION OF GRADING AS SPECIFIED IN THE SWPPP.
17. A SWPPP HAS BEEN PREPARED SPECIFICALLY FOR THIS PROJECT. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING SWPPP INCLUDING QSP SERVICES.
18. CONTRACTOR SHALL HYDROSEED ALL DISTURBED AREAS NOT RECEIVING FINAL LANDSCAPING WITH A NATIVE NON-IRRIGATED MIX. USE VALLEY HABITAT - TRACY MIX BY PACIFIC COAST SEED.

UTILITY NOTES

1. BACKFILLING AND COMPACTION FOR ALL TRENCHES SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
2. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO ANY SITE WORK. ALL WORK FOR STORM DRAIN AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
3. ALL WORK ON-SITE AND IN THE PUBLIC RIGHT OF WAY, SHALL CONFORM TO THE CITY OF TRACY STANDARDS AND REQUIREMENTS.
4. GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND UTILITIES. PROVIDE 6" MINIMUM CLEARANCE BETWEEN PIPES CROSSING ELECTRICAL LINES VERTICALLY AND 12" MINIMUM CLEARANCE BETWEEN PIPES RUNNING PARALLEL TO ELECTRICAL LINES HORIZONTALLY.
5. CONTRACTOR SHALL COORDINATE WITH MEP PLANS FOR EXACT LOCATION OF ROOF DRAINS AND RAIN WATER LEADERS
6. FOR UTILITY MATERIALS AND TYPES, SEE THE PROJECT SPECIFICATIONS.
7. WATER LINES SHALL BE 12" MINIMUM ABOVE SANITARY SEWER LINE AT ALL CROSSINGS.
8. MINIMUM COVER FOR WATER LINES IS 3.0 FEET.
9. MINIMUM COVER FOR FIRE SERVICE LINES IS 4.0 FEET.
10. GRAVITY SANITARY SEWER SHALL BE PVC SDR 26 EXCEPT WHERE DUCTILE IRON PIPE (DIP) IS NOTED. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 50. PRESSURE SEWER SHALL BE PVC C300 DR25 UNLESS OTHERWISE NOTED.
11. DOMESTIC WATER LINES SHALL BE ASTM D 1785-2004a SDR SCHEDULE 80 PVC PIPE, J-M RING TITE OR APPROVED EQUAL.
12. CONSTRUCTION OF UTILITES SHALL COMPLY WITH 609.2 2016 CPC.
13. CONTRACTOR SHALL PROVIDE ENGINEER OF RECORD SUBMITTALS FOR PROJECT MATERIALS DETAILED ON THESE PLANS THAT OUTSIDE PUBLIC MAINTENANCE OR JURISDICTION. CONTRACTOR SHALL NOT INSTALL ANY ITEM WITHOUT RECEIVING APPROVED SUBMITTAL FROM THE ENGINEER OF RECORD. SUBMITTAL SHALL INCLUDE PLAN REFERENCE FOR THE SUBMITTED MATERIAL. ANY DEVIATION OR SUBSTITUTION FROM THE MATERIALS SPECIFIED ON THE PLANS SHALL BE FORMALLY REQUESTED WITH A DESCRIPTION OF THE SUBSTITUTION INCLUDING THE MATERIAL BEING REPLACED. FOR MATERIALS WITHIN PUBLIC MAINTENANCE OR JURISDICTION THE CONTRACTOR SHALL DIRECTLY SUBMIT MATERIALS TO APPROPRIATE MUNICIPAL/PUBLIC DEPARTMENT FOR REVIEW AND APPROVAL AS REQUIRED.
14. ALL UTILITY STRUCTURES AND PIPES SUCH AS CATCH BASINS AND MANHOLES SHALL BE MANUFACTURED BY A NATIONALLY RECOGNIZED COMPANY.

UNDERGROUND FIRE PROTECTION SYSTEM NOTES

1. THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THIS DRAWING IS SCHEMATIC AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. FOR CONSTRUCTION NOTES AND DETAILS, SEE FIRE PROTECTION PLANS.
2. REFER TO SPECIFICATIONS FOR UNDERGROUND FIRE PROTECTION SYSTEM REQUIREMENTS. SPECIFICATIONS ARE PART OF THE CONTRACT DOCUMENTS AND APPLIES TO THE GENERAL CONTRACTOR AND THE FIRE PROTECTION SYSTEM INSTALLER.
3. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF COMPLIANCE OF THE SHOP DRAWINGS TO THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTAL.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL DRAWINGS.
5. SEE ARCHITECTURAL FLOOR PLANS FOR DIMENSIONED AUTOMATIC SPRINKLER RISER (ASR) LOCATIONS.

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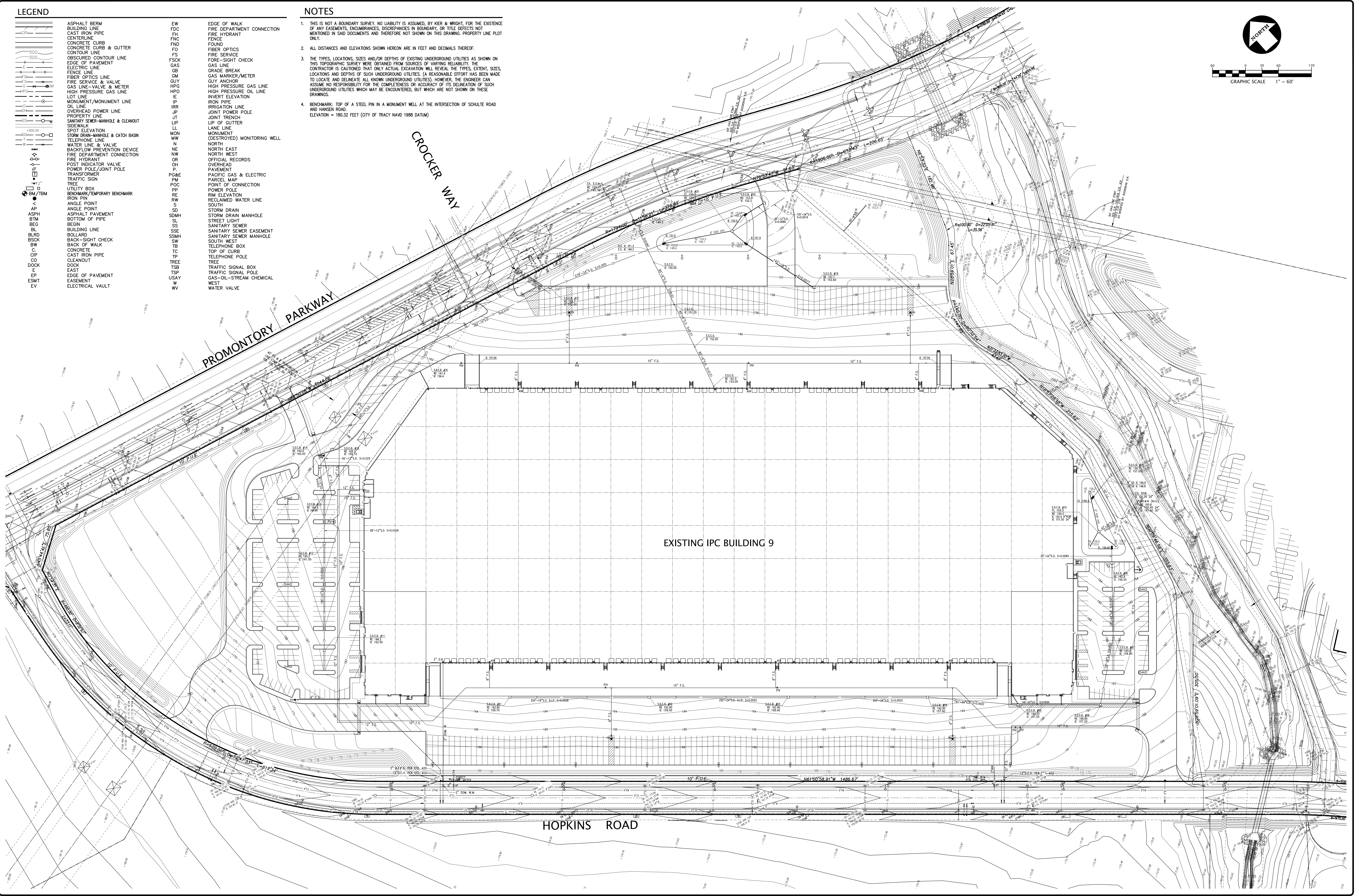


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NOTES
I.P.C. – BUILDING 9
PROLOGIS

CALIFORNIA

DATE	02/03/2020
SCALE	-
DESIGNER	M.F.B.
JOB NO.	A09500-182
SHEET	C.1.2
OF	12 SHEETS



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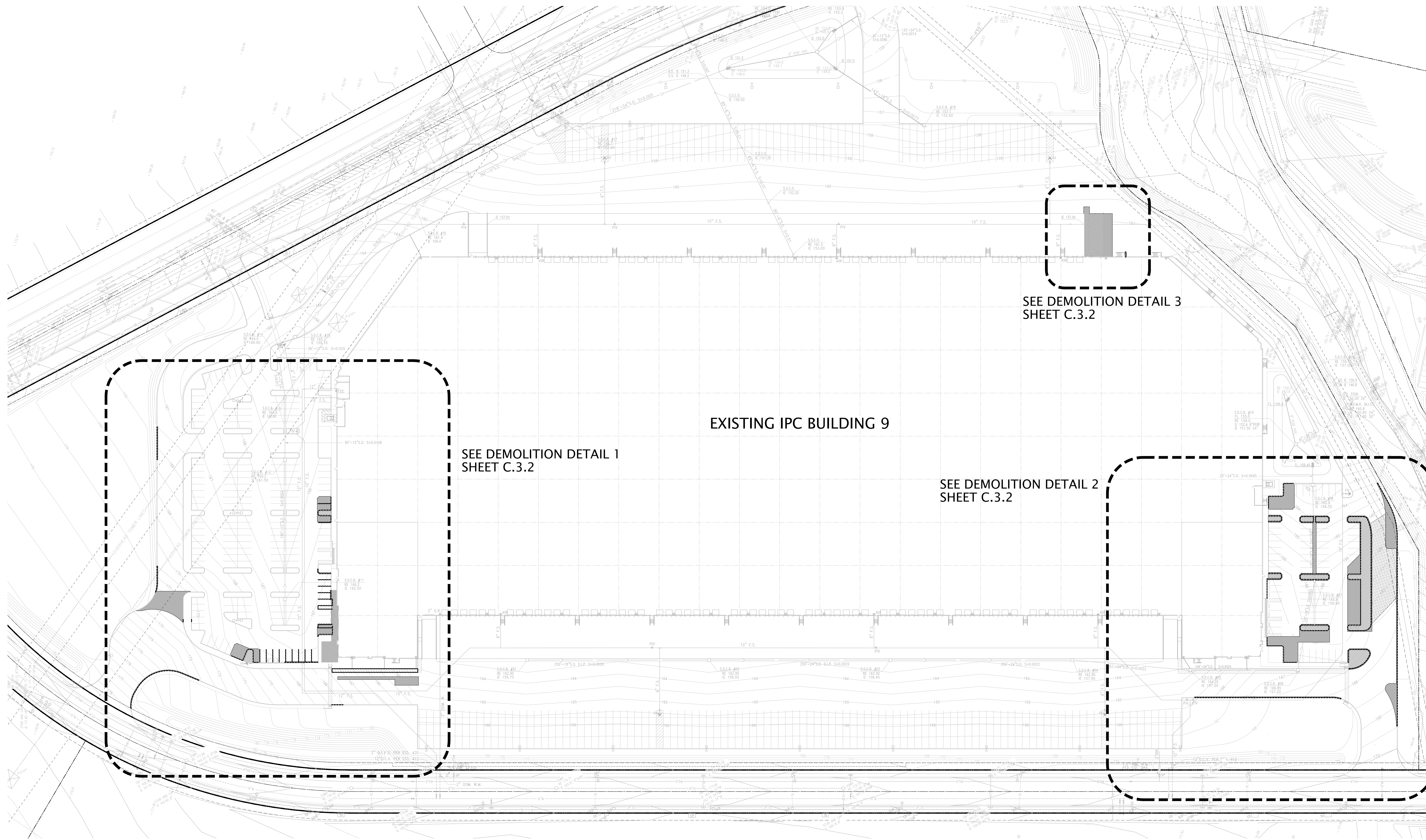
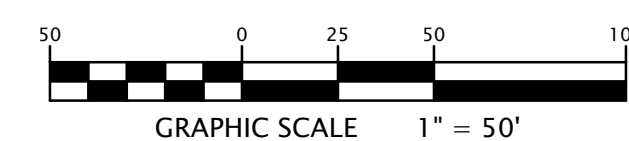
TOPOGRAPHIC SURVEY
I.P.C. – BUILDING 9
PROLOGIS

DATE 02/03/2020
SCALE 1"=60'
DESIGNER M.F.B.
JOB NO. A09500-182
SHEET **C.2.1**
OF 12 SHEETS

TRACY

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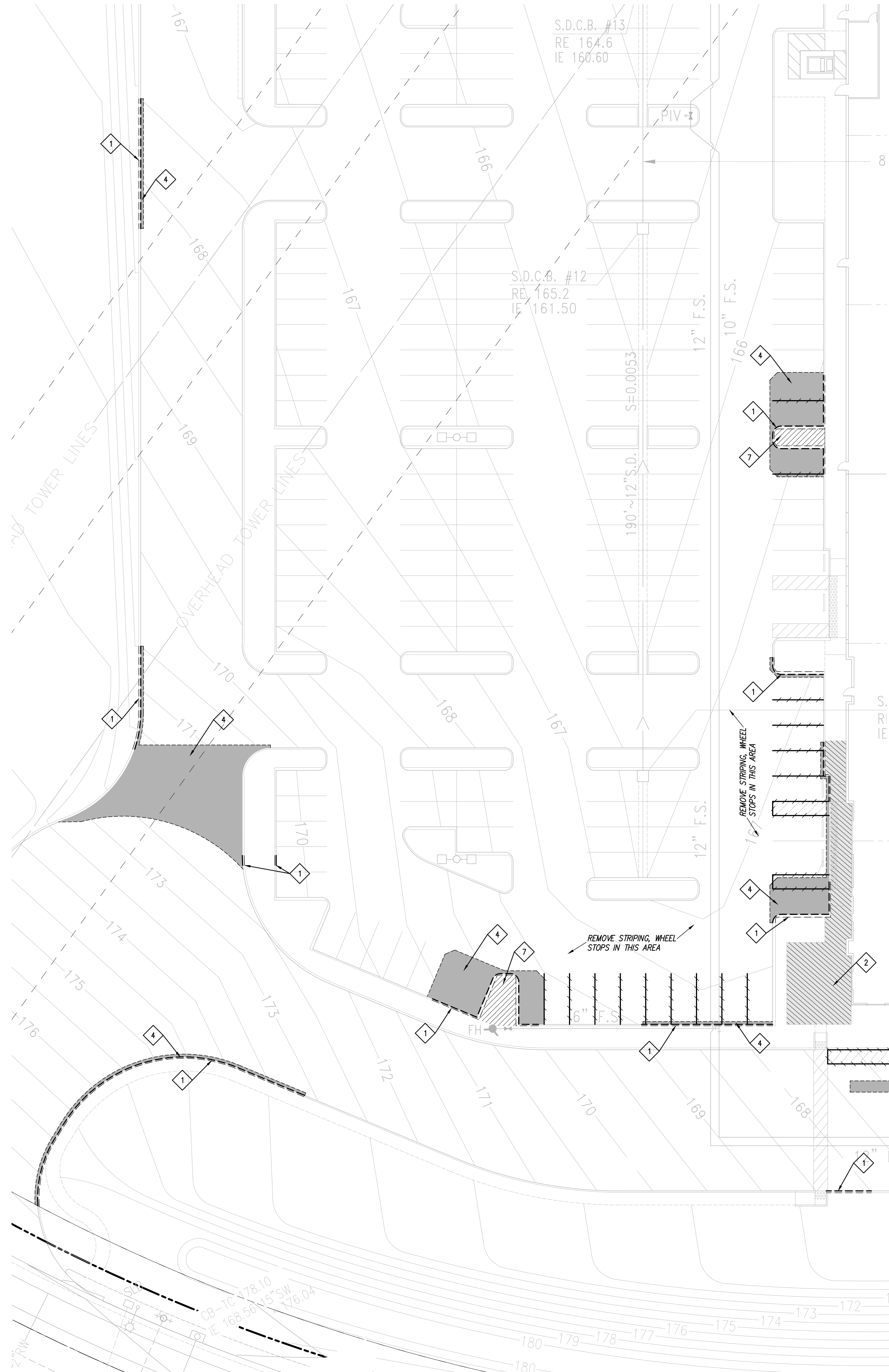


TRACY

DEMOLITION PLAN
I.P.C. – BUILDING 9
PROLOGIS

CALIFORNIA

DATE	02/03/2020
SCALE	1"=50'
DESIGNER	M.F.B.
JOB NO.	A09500-182
SHEET	C.3.1
OF	12 SHEETS



DEMOLITION DETAIL 1

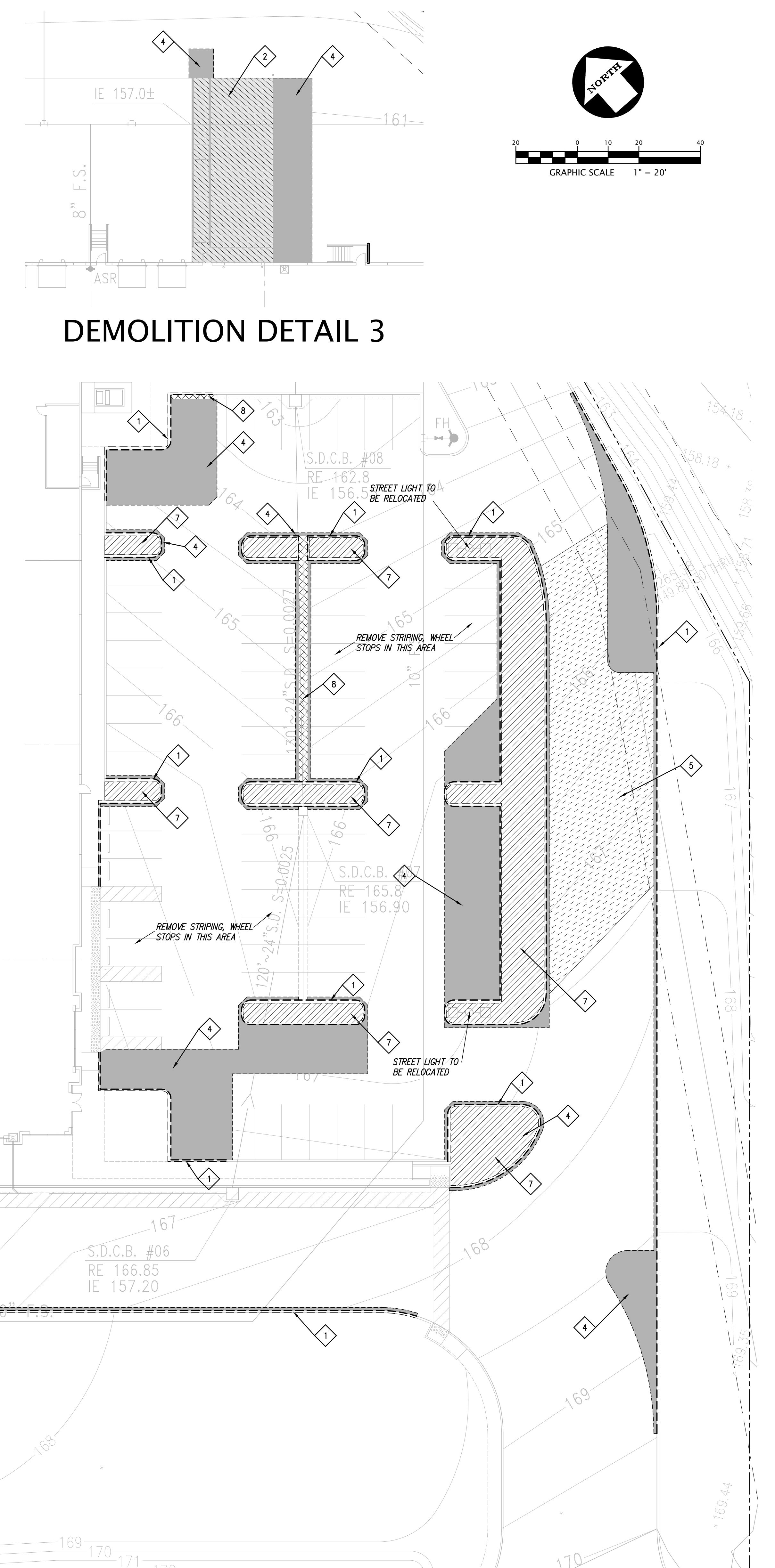
DEMOLITION NOTES

- ALL BACK FILLING OF THE FOOTING, EXCAVATION, TRENCHING, HOLES, OVER EXCAVATION, ETC. DURING CONSTRUCTION SHALL BE BACK FILLED AND RECOMPACTED TO 90% RELATIVE COMPACTION PER ASTM D-1557, LATEST EDITION, AND SHALL BE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND APPROVAL. THE COMPACTION OF ALL EXCAVATIONS GREATER THAN 5 FEET IN DEPTH SHALL BE 95% RELATIVE COMPACTION OR PER THE GEOTECHNICAL ENGINEER'S REQUIREMENTS.
- ANY UTILITIES TO BE REMOVED SHALL BE DISCONNECTED AND REMOVED PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY AND AS APPROVED BY THE COUNTY OF SAN JOAQUIN STANDARDS AND REQUIREMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE GEOTECHNICAL ENGINEER 48 HOURS IN ADVANCE OF ANY GRADING AND FILLING OF THE SITE RELATING TO ANY DEMOLITION OR REMOVAL OF SITE FEATURES. ALL A.C. PAVEMENT, CONCRETE AND BASE ROCK SHALL BE CRUSHED, SALVAGED AND STOCK PILED FOR USE ON-SITE AS FILL MATERIAL. ALL REMOVAL, CRUSHING AND STOCK PILING SHALL BE INSPECTED, TESTED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- IN GENERAL, FILL MATERIAL SHALL NOT CONTAIN CLUMPS LARGER THAN 6 INCHES IN ITS GREATEST DIMENSION WITH NO MORE THAN 15% LARGER THAN 2.5 INCHES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT FROM DAMAGE THROUGHOUT THE COURSE OF CONSTRUCTION OF ALL BUILDINGS AND SITE FEATURES ITEMS SUCH AS, BUT NOT LIMITED TO, CATCH BASINS, CONDUIT, TELEPHONE AND POWER POLES, FENCING, RETAINING WALLS, GAS LINES, OIL LINES, GASOLINE LINES, FIRE AND WATER SERVICE ASSEMBLIES, CONCRETE CURB, GUTTER AND SIDEWALK, TREES, BUSHES AND PLANT MATERIAL, ETC. BOTH ON-SITE AND OFF-SITE. THE CONTRACTOR SHALL PROVIDE ALL REPAIRS, MAINTENANCE, SHORING, SUPPORT, ETC. TO MAINTAIN ALL FEATURES DESIGNATED TO REMAIN IF DAMAGED. NOTIFY ARCHITECT/ENGINEER IF ANY DISCREPANCIES EXIST OR IF CLARIFICATIONS ARE REQUIRED.
- NO BURNING SHALL BE ALLOWED WITHOUT THE PERMISSION OF THE AIR POLLUTION CONTROL DISTRICT. DISPOSE OF ALL MATERIAL IN ACCORDANCE WITH ACCEPTED SAFETY STANDARDS DESCRIBED BY AUTHORITIES HAVING JURISDICTION. NO PILING OR BURNING OF ANY MATERIAL WILL BE PERMITTED WITHIN AREAS OF 90% COMPACTION.
- COMPLY WITH ALL APPLICABLE REGULATIONS AND SAFETY ORDERS IN EFFECT AT THE CONSTRUCTION SITE. PROTECT OPEN EXCAVATION, TRENCHES, ETC., WITH FENCES, COVERS, OR RAILINGS AS REQUIRED TO MAINTAIN SAFE PEDESTRIAN AND VEHICLE TRAFFIC. MAINTAIN DESIGNATED SITE ACCESS FOR VEHICLE AND PEDESTRIAN TRAFFIC.
- WHEN DUST CONDITIONS EXIST, DAMPEN THE AREAS TO PREVENT THE TRANSPORTATION OF DEBRIS INTO THE BUILDINGS AND ONTO ADJACENT PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE FINISHED CONDITION OF HIS WORK. BEFORE WORKING OVER BACKFILL OR SIMILAR WORK COMPLETED BY OTHER CONTRACTORS, VERIFY THAT SUCH WORK HAS BEEN PROPERLY BACKFILLED AND COMPACTED. NOTIFY THE ARCHITECT PROMPTLY IN WRITING IF ANY CONDITIONS DO NOT MEET THE PROPER STANDARDS. WITHOUT EXTRA COST TO THE OWNER, ALL FEATURES DAMAGE IN THE PERFORMANCE OF ALL WORK SHALL BE RESTORED TO THE SATISFACTION OF THE OWNER AND AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR ACKNOWLEDGES THAT HE HAS THOROUGHLY INFORMED HIMSELF REGARDING REQUIREMENTS OF DRAWINGS, SPECIFICATIONS, AND REGULATIONS PERTAINING TO THE PROJECT. SPECIFICATIONS AND DRAWINGS ARE COMPLEMENTARY. WHAT IS CALLED BY ONE IS AS BINDING AS IF CALLED FOR BY ALL. THE CONTRACTOR IS TO FAMILIARIZE HIMSELF WITH THE SITE AND COMPARE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATION WITH WORK TO BE PERFORMED BY THE CONTRACTOR, INCLUDING TOPOGRAPHY, APPROACHES AND IMPROVEMENTS ON OR ABOUT THE SITE.
- THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF DEMOLITION WORK, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. ANY ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK OR TO MEET THEIR SCHEDULE WILL MAINTAIN RESPONSIBILITY.
- CONTRACTOR TO PROVIDE ALL CONSTRUCTION BARRICADES REQUIRED BY GOVERNING AGENCIES AND AS NOTED IN SPECIFICATIONS.
- NO TRENCHING DEEPER THAN 5 FEET SHALL BE ALLOWED WITHOUT THE CONTRACTOR OBTAINING A PERMIT FROM OSHA.

LEGEND

	EXISTING CONCRETE TO BE REMOVED
	AC GRIND AND OVERLAY
	EXISTING AC PAVEMENT TO BE REMOVED
	EXISTING PLANTER TO BE REMOVED
	EXISTING GUTTER TO BE REMOVED
	SAWCUT LINE
	EXISTING STRIPING TO BE REMOVED

1	REMOVE CONCRETE CURB
2	REMOVE CONCRETE
3	REMOVE CONCRETE CURB & GUTTER
4	REMOVE PAVEMENT
5	GRIND AND OVERLAY
6	REMOVE STRIPE
7	REMOVE PLANTER
8	REMOVE GUTTER



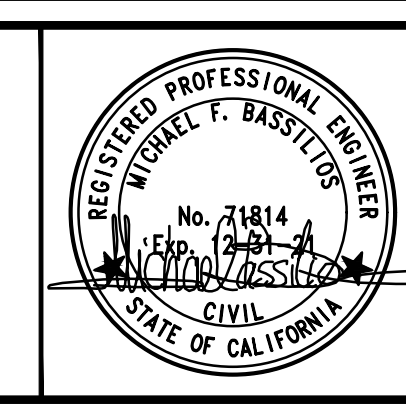
DEMOLITION DETAIL 2

NO.	REVISION	BY	NO.	REVISION	BY
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DEMOLITION PLAN I.P.C. - BUILDING 9 PROLOGIS

CALIFORNIA

DATE	02/03/2020
SCALE	1"=20'
DESIGNER	M.F.B.
JOB NO.	A09500-182
SHEET	C.3.2
OF	12 SHEETS

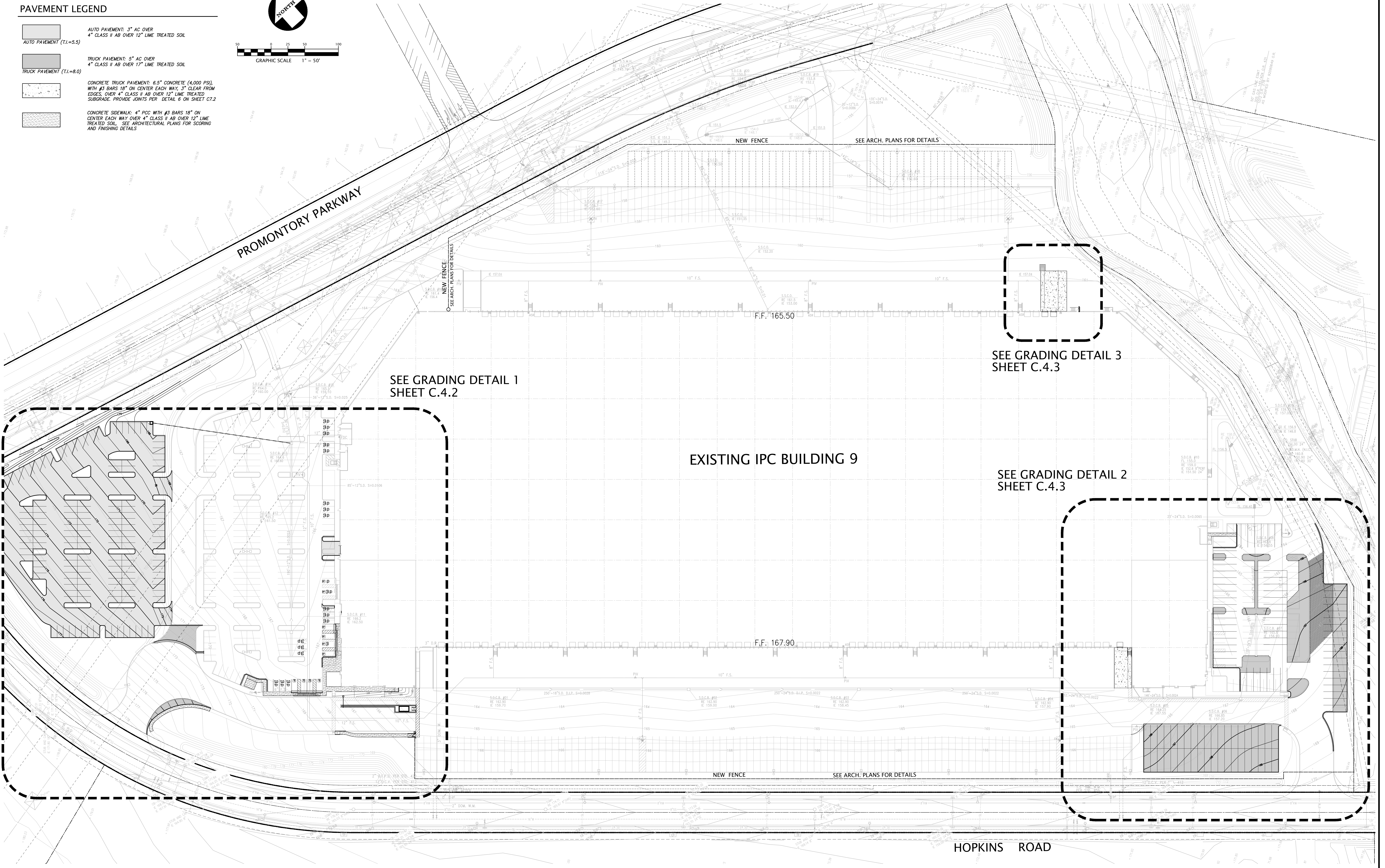
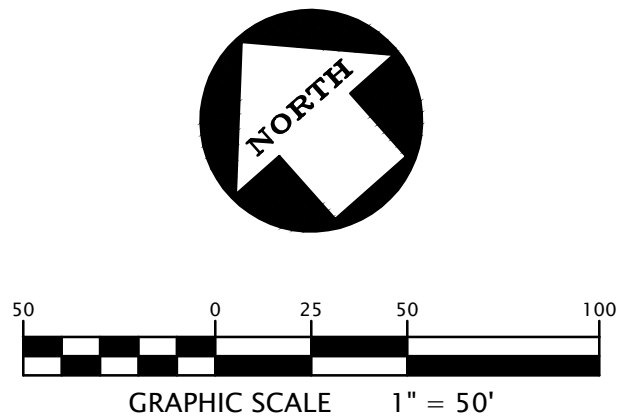
PAVEMENT LEGEND

AUTO PAVEMENT: 3" AC OVER
4" CLASS II AB OVER 12" LIME TREATED SOIL.
AUTO PAVEMENT (T.I.=5.5)

TRUCK PAVEMENT: 5" AC OVER
4" CLASS II AB OVER 17" LIME TREATED SOIL.
TRUCK PAVEMENT (T.I.=8.0)

CONCRETE TRUCK PAVEMENT: 6.5" CONCRETE (4,000 PSI),
WITH #3 BARS 18" ON CENTER EACH WAY, 3" CLEAR FROM
EDGES, OVER 4" CLASS II AB OVER 12" LIME TREATED
SUBGRADE. PROVIDE JOINTS PER DETAIL 6 ON SHEET C7.2

CONCRETE SIDEWALK: 4" PCC WITH #3 BARS 18" ON
CENTER EACH WAY OVER 4" CLASS II AB OVER 12" LIME
TREATED SOIL. SEE ARCHITECTURAL PLANS FOR SCORING
AND FINISHING DETAILS



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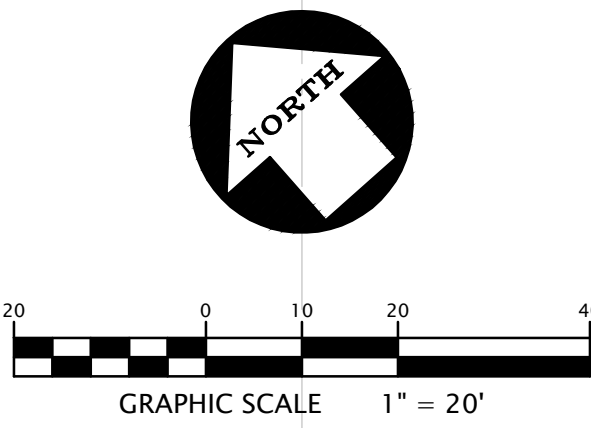
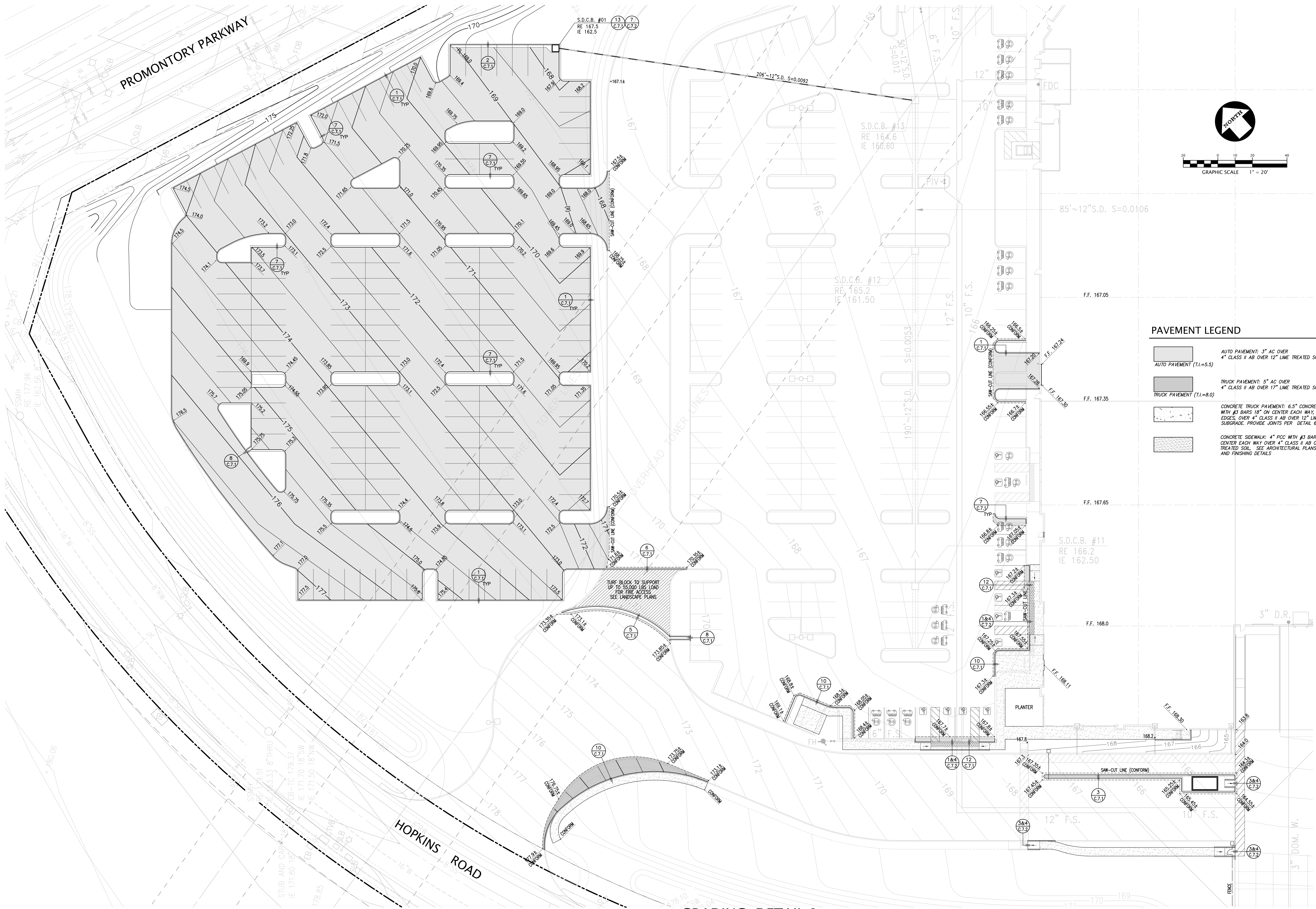


TRACY

GRADING AND DRAINAGE PLAN
I.P.C. – BUILDING 9
PROLOGIS

CALIFORNIA

DATE	02/03/2020
SCALE	1"=50'
DESIGNER	M.F.B.
JOB NO.	A09500-182
SHEET	C.4.1
OF	12 SHEETS



PAVEMENT LEGEND	
	AUTO PAVEMENT: 3" AC OVER 4" CLASS II AB OVER 12" LIME TREATED SOIL
	TRUCK PAVEMENT: 5" AC OVER 4" CLASS II AB OVER 17" LIME TREATED SOIL
	CONCRETE TRUCK PAVEMENT: 6.5" CONCRETE (4,000 PSI) WITH #3 BARS 18" ON CENTER EACH WAY, 3" CLEAR FROM EDGES, OVER 4" CLASS II AB OVER 12" LIME TREATED SUBGRADE. PROVIDE JOINTS PER DETAIL 6 ON SHEET C7.2
	CONCRETE SIDEWALK: 4" PCC WITH #3 BARS 18" ON CENTER EACH WAY OVER 4" CLASS II AB OVER 12" LIME TREATED SOIL. SEE ARCHITECTURAL PLANS FOR SCORING AND FINISHING DETAILS

GRADING DETAIL 1

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GRADING AND DRAINAGE DETAILS

I.P.C. – BUILDING 9

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TRACY

DATE 02/03/2020

SCALE 1"=20'

DESIGNER M.F.B.

JOB NO. A09500-182

SHEET **C.4.2**

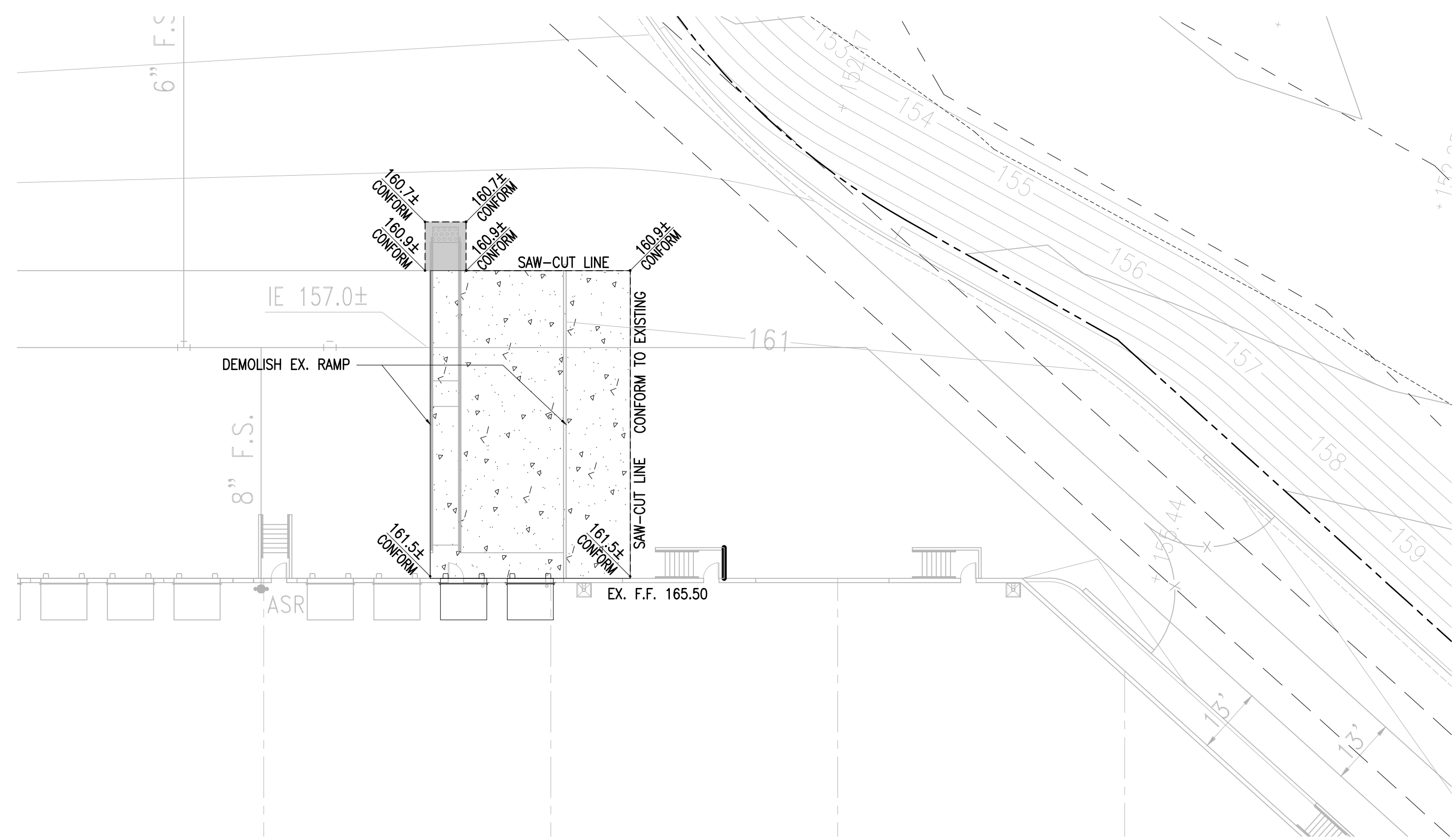
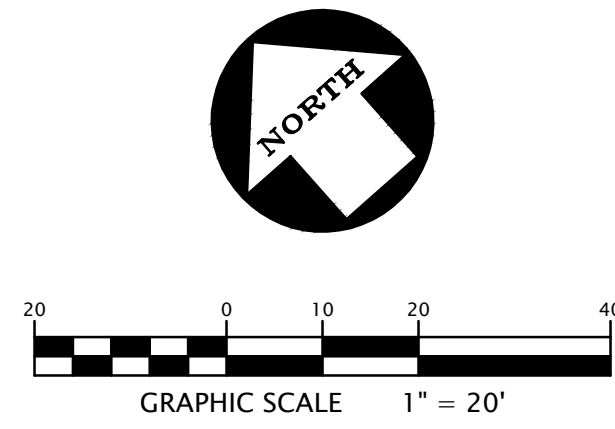
OF 12 SHEETS

CALIFORNIA

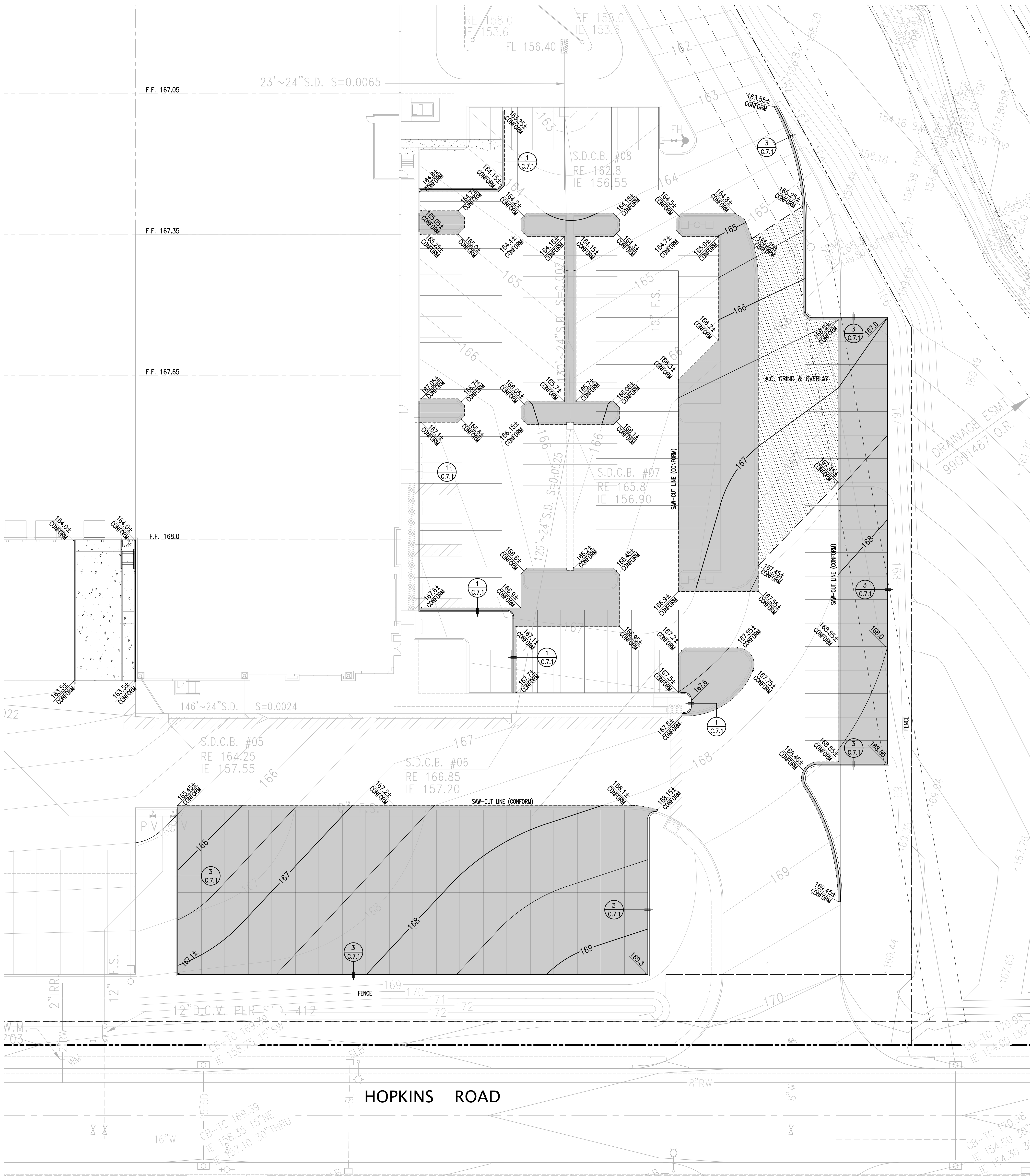
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PAVEMENT LEGEND

- AUTO PAVEMENT: 3" AC OVER
4" CLASS II AB OVER 12" LIME TREATED SOIL
AUTO PAVEMENT (T.I.=5.5)
- TRUCK PAVEMENT: 5" AC OVER
4" CLASS II AB OVER 17" LIME TREATED SOIL
TRUCK PAVEMENT (T.I.=8.0)
- CONCRETE TRUCK PAVEMENT: 6.5" CONCRETE (4,000 PSI),
WITH #3 BARS 18" ON CENTER EACH WAY, 3" CLEAR FROM
EDGES, OVER 4" CLASS II AB OVER 12" LIME TREATED
SUBGRADE. PROVIDE JOINTS PER DETAIL 6 ON SHEET C7.2
- CONCRETE SIDEWALK: 4" PCC WITH #3 BARS 18" ON
CENTER EACH WAY OVER 4" CLASS II AB OVER 12" LIME
TREATED SOIL. SEE ARCHITECTURAL PLANS FOR SCORING
AND FINISHING DETAILS
- A.C. GRIND AND OVERLAY (1.5" MIN. ~ 5" MAX.)



GRADING DETAIL 3



GRADING DETAIL 2

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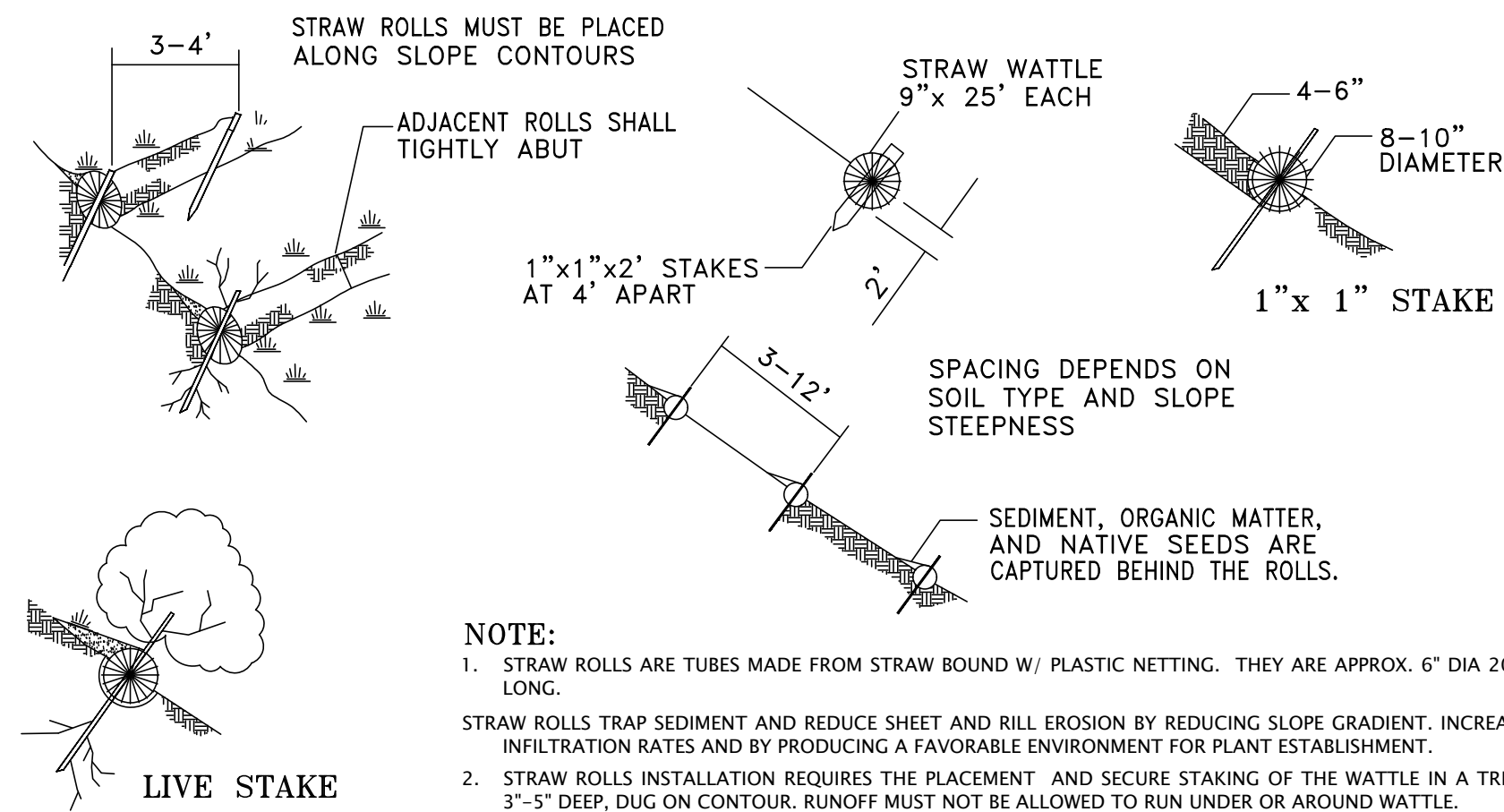


TRACY

GRADING AND DRAINAGE DETAILS
I.P.C. - BUILDING 9
PROLOGIS

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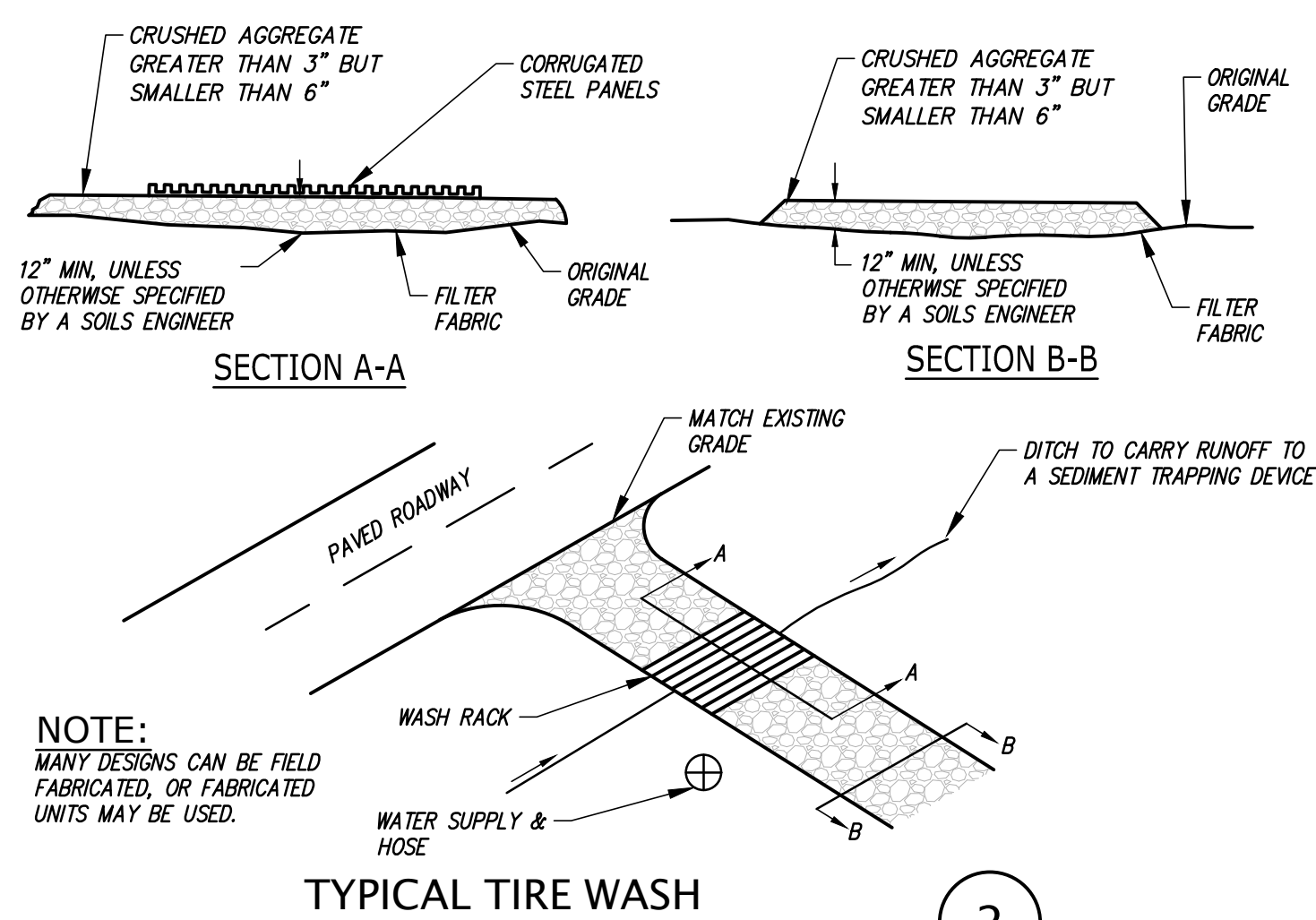
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JOB NO.	A09500-182
SHEET	C.4.3
OF	12 SHEETS



STRAW WATTLE INSTALLATION DETAIL

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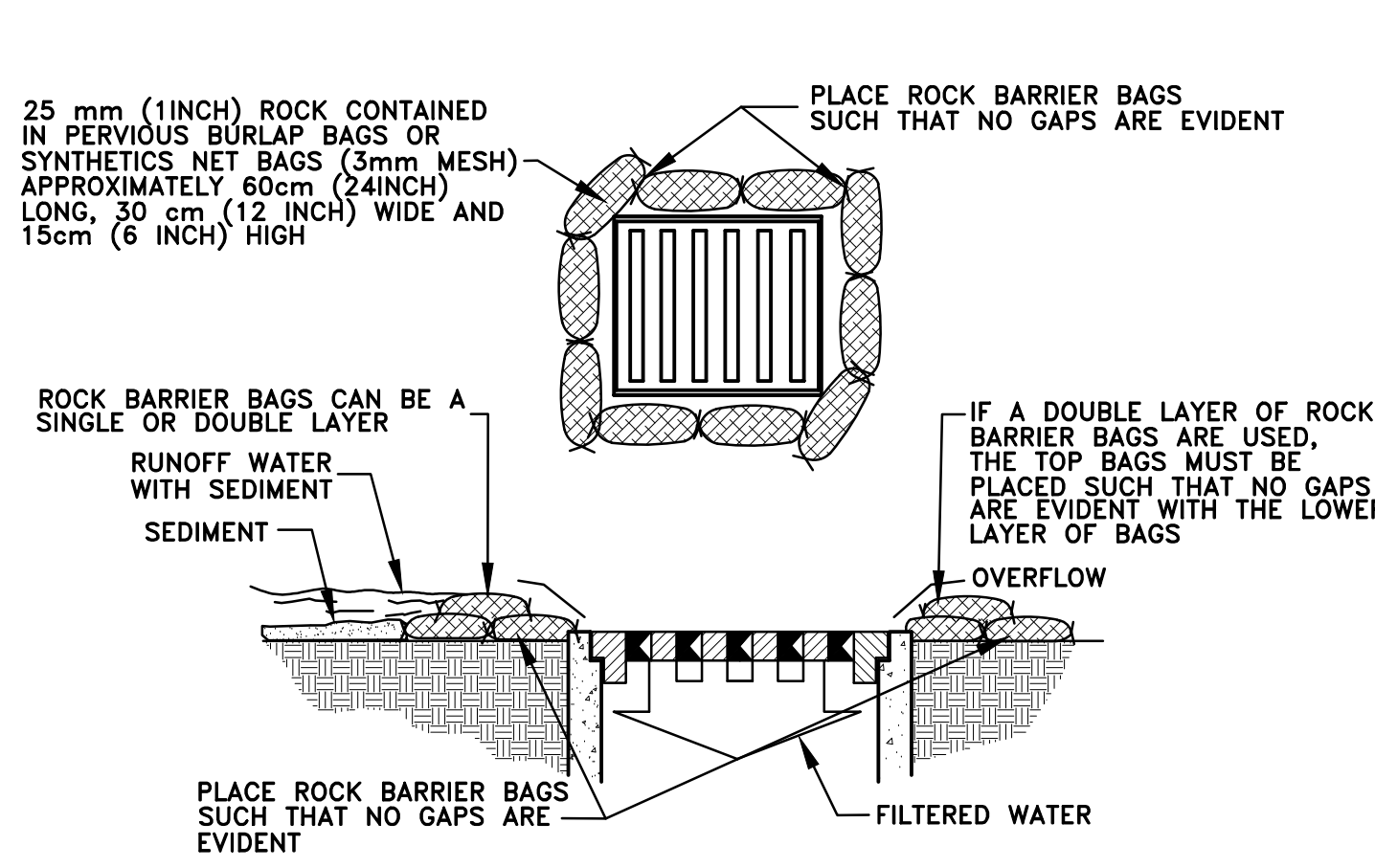
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TYPICAL TIRE WASH

N. T. S.

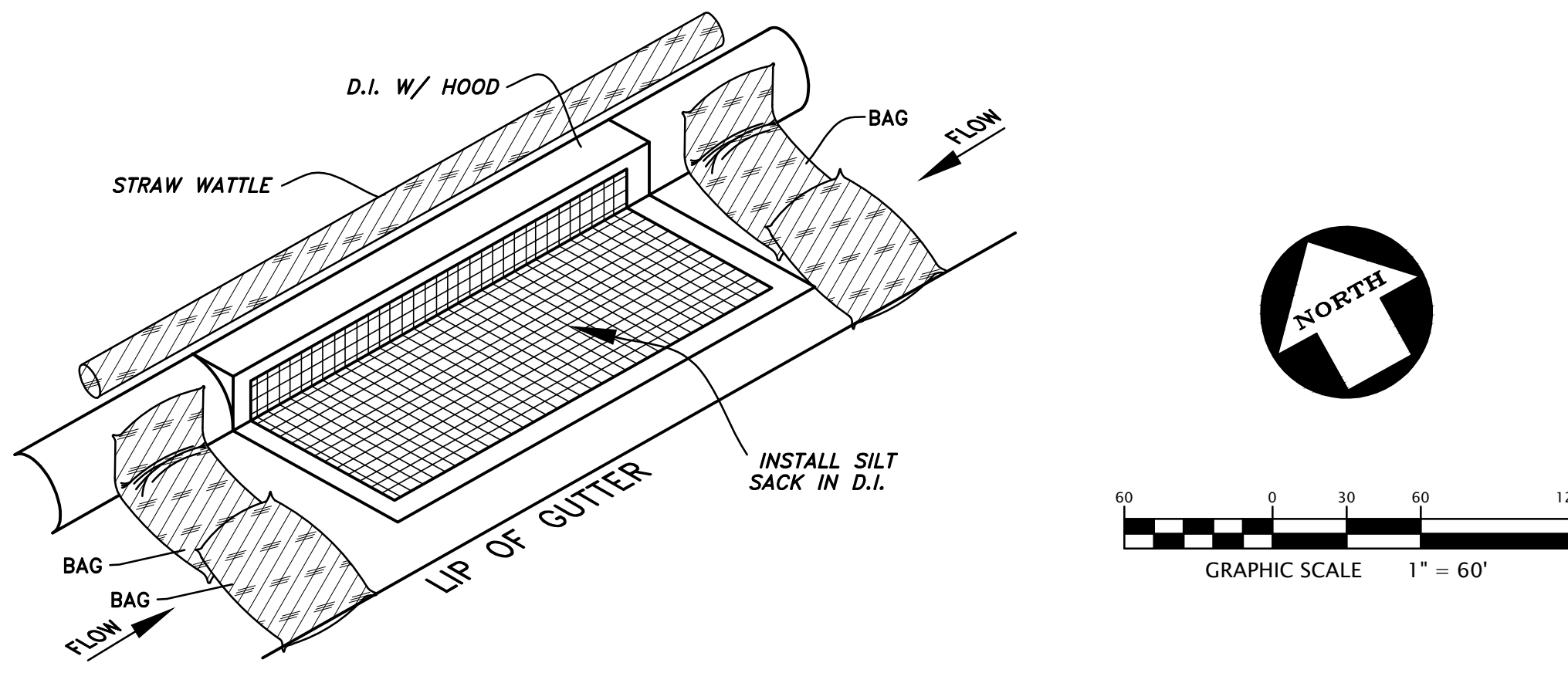
2



DROP INLET SEDIMENT FILTER UTILIZING ROCK BARRIER BAGS

N. T. S.

3



EXISTING CURB INLET FILTER DETAIL

N. T. S.

4

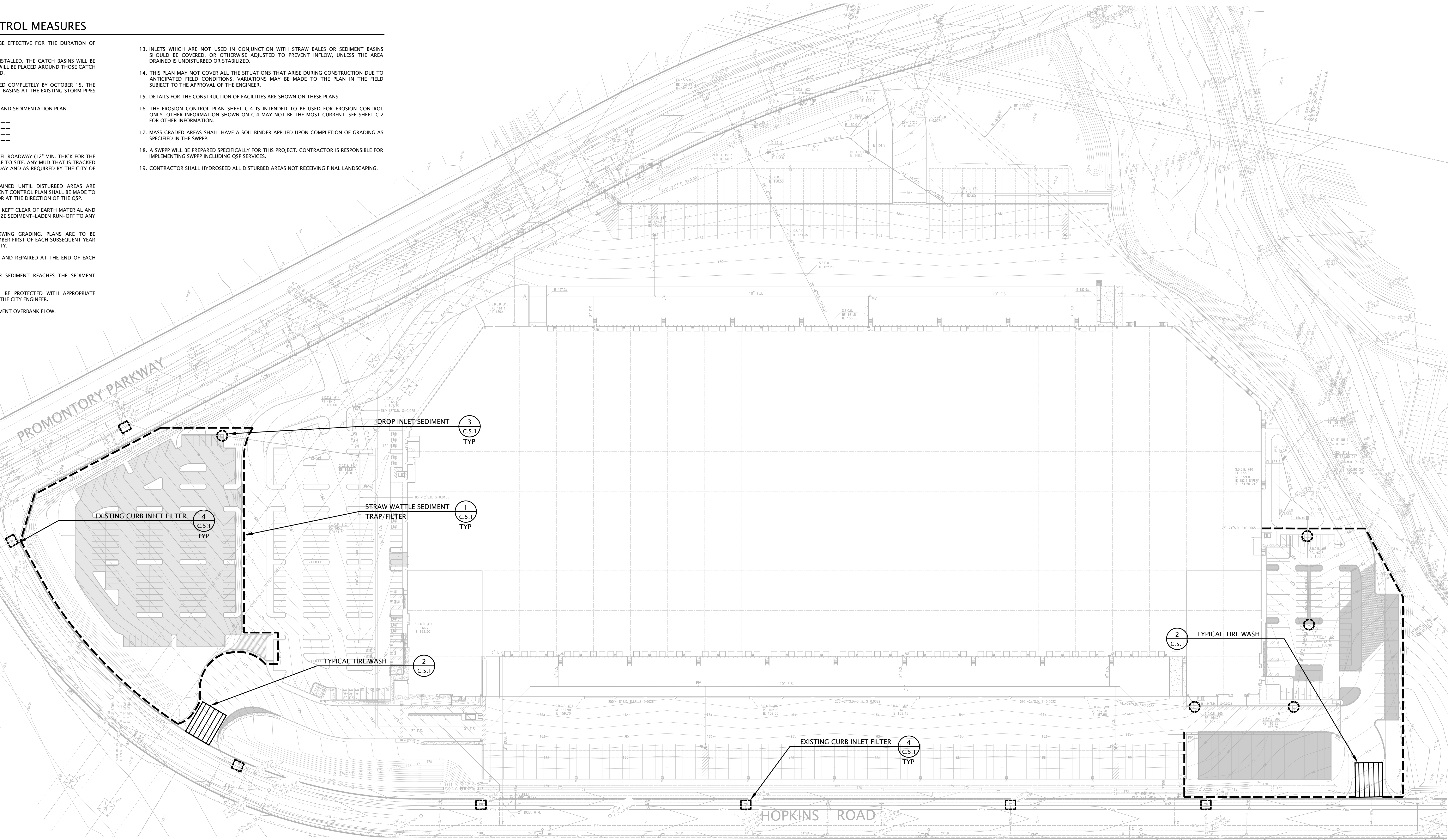
EROSION & SEDIMENT CONTROL MEASURES

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVE FOR THE DURATION OF CONSTRUCTION.
2. AFTER THE UNDERGROUND STORM DRAIN SYSTEM IS INSTALLED, THE CATCH BASINS WILL BE INSTALLED (AS SOON AS PRACTICAL) AND STRAW BALES WILL BE PLACED AROUND THOSE CATCH BASINS AS SHOWN ON THIS PLAN UNTIL THIS SITE IS PAVED.
3. SHOULD THE ON-SITE STORM DRAINS NOT BE INSTALLED COMPLETELY BY OCTOBER 15, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS AT THE EXISTING STORM PIPES STUBBED TO THE SITE.
4. PERSON RESPONSIBLE FOR IMPLEMENTATION OF EROSION AND SEDIMENTATION PLAN.
NAME: _____
ADDRESS: _____
TELEPHONE: _____
5. THE CONTRACTOR SHALL PLACE DRAIN ROCK AS A GRAVEL ROADWAY (12" MIN. THICK FOR THE FULL WIDTH AND 50 FEET LONG) AT EACH D/W ENTRANCE TO SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THAT SAME DAY AND AS REQUIRED BY THE CITY OF TRACY.
6. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE QSP.
7. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUN-OFF TO ANY STORM DRAINAGE SYSTEM.
8. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO THE SEPTEMBER FIRST OF EACH SUBSEQUENT YEAR UNTIL THE SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
9. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
10. SEDIMENT BASINS SHALL BE CLEANED OUT WHENEVER SEDIMENT REACHES THE SEDIMENT CLEANOUT LEVEL INDICATED ON THE PLANS.
11. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
12. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVERBANK FLOW.

13. INLETS WHICH ARE NOT USED IN CONJUNCTION WITH STRAW BALES OR SEDIMENT BASINS SHOULD BE COVERED, OR OTHERWISE ADJUSTED TO PREVENT INFLOW, UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
14. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO ANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF THE ENGINEER.
15. DETAILS FOR THE CONSTRUCTION OF FACILITIES ARE SHOWN ON THESE PLANS.
16. THE EROSION CONTROL PLAN SHEET C.4 IS INTENDED TO BE USED FOR EROSION CONTROL ONLY. OTHER INFORMATION SHOWN ON C.4 MAY NOT BE THE MOST CURRENT. SEE SHEET C.2 FOR OTHER INFORMATION.
17. MASS GRADED AREAS SHALL HAVE A SOIL BINDER APPLIED UPON COMPLETION OF GRADING AS SPECIFIED IN THE SWPPP.
18. A SWPPP WILL BE PREPARED SPECIFICALLY FOR THIS PROJECT. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING SWPPP INCLUDING QSP SERVICES.
19. CONTRACTOR SHALL HYDROSEED ALL DISTURBED AREAS NOT RECEIVING FINAL LANDSCAPING.

LEGEND

- 1 C.S.1 STRAW WATTLE SEDIMENT
- 2 C.S.1 TYPICAL TIRE WASH
- 3 C.S.1 DROP INLET SEDIMENT FILTER
- 4 C.S.1 EXISTING CURB INLET FILTER



NO.	REVISION	BY	NO.	REVISION	BY
1	PERMIT 1st SUBMITTAL	02/03/2020	1		
2			2		
3			3		
4			4		
5			5		

KIER+WRIGHT

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Phone (925) 245-8788
www.kierwright.com

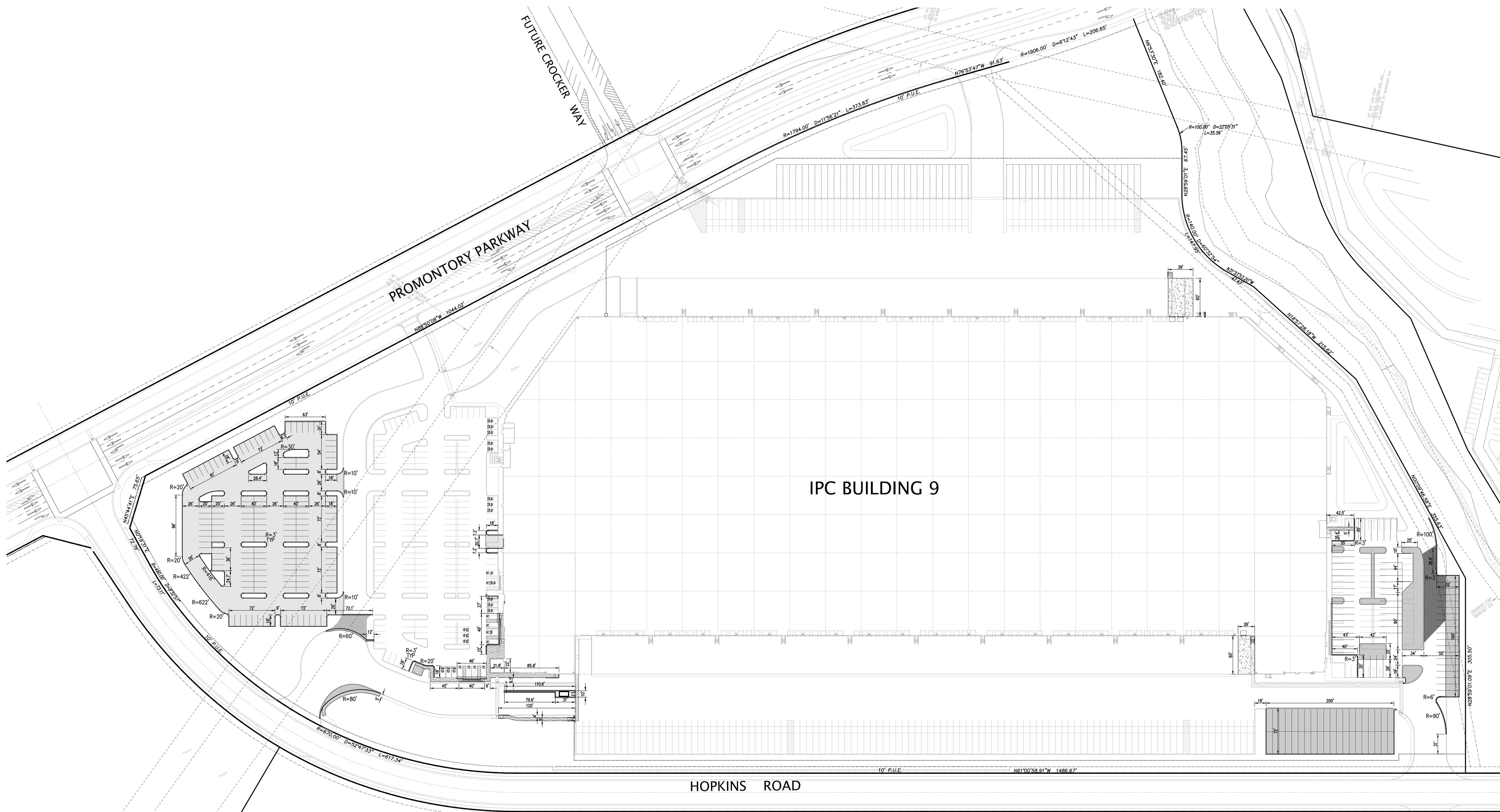
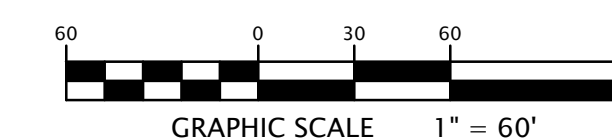


EROSION CONTROL PLAN
I.P.C. - BUILDING 9
PROLOGIS

TRACY

CALIFORNIA

DATE	02/03/2020
SCALE	1" = 60'
DESIGNER	M.F.B.
JOB NO.	A09500-182
SHEET	C.5.1
OF	12 SHEETS



NO.	REVISION	BY	NO.	REVISION	BY
1	PERMIT 1st SUBMITTAL		1		
2			2		
3			3		
4			4		

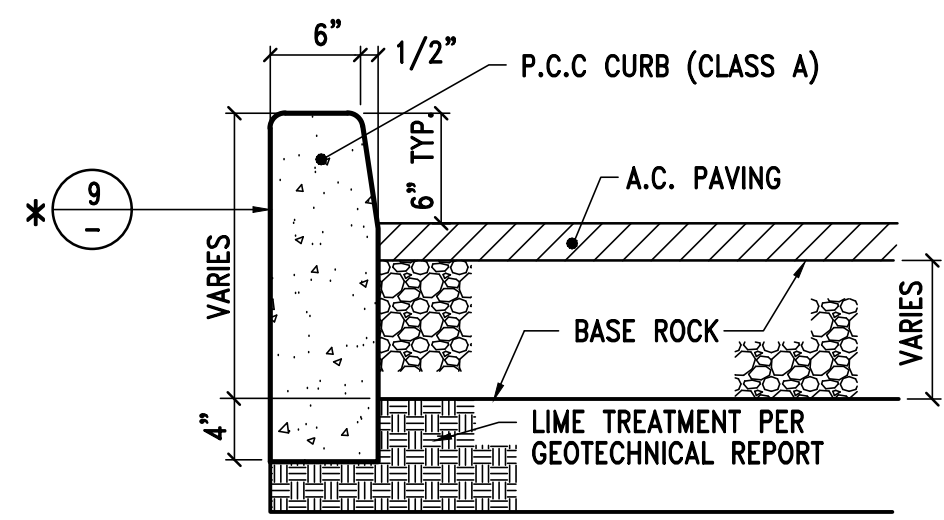


TRACY

HORIZONTAL CONTROL PLAN
I.P.C. – BUILDING 9
PROLOGIS

CALIFORNIA

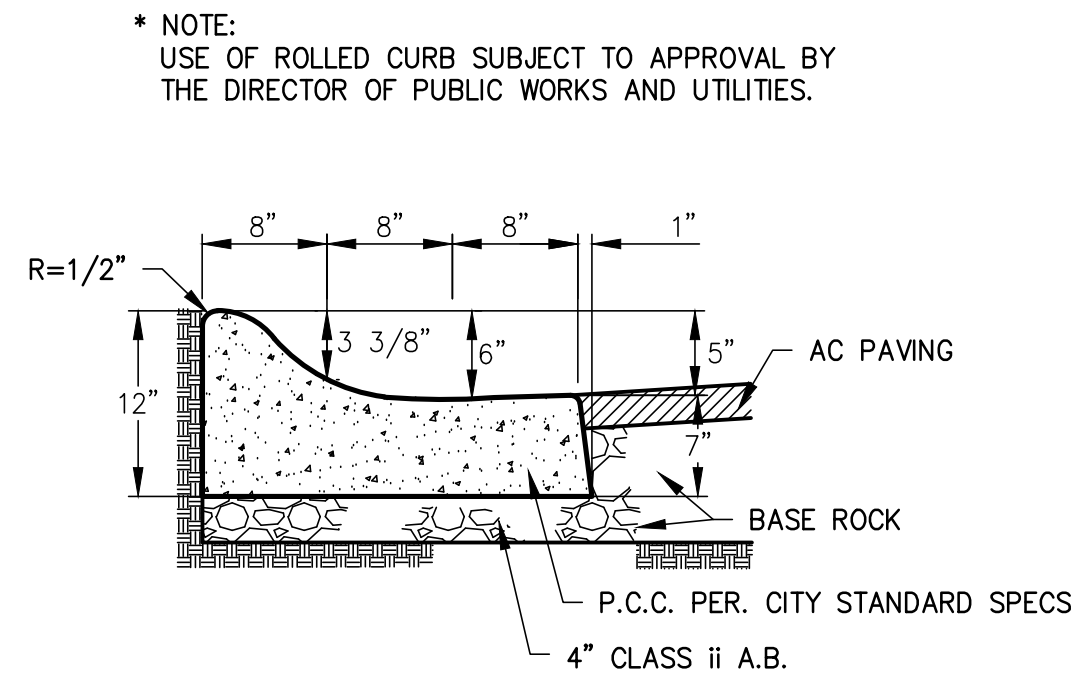
DATE	02/03/2020
SCALE	1"=60'
DESIGNER	M.F.B.
JOB NO.	A09500-182
SHEET	C.6.1
OF	12 SHEETS



* WEEPHOLES TO BE PLACED ON ALL CURBS AND CURB & GUTTER WHERE LANDSCAPING SLOPES TOWARD CURB. WEEPHOLES SHALL BE PLACED AT 10' O.C. OR AT EACH SCORELINE OF THE CURB.

6" CONCRETE CURB
N. T. S.

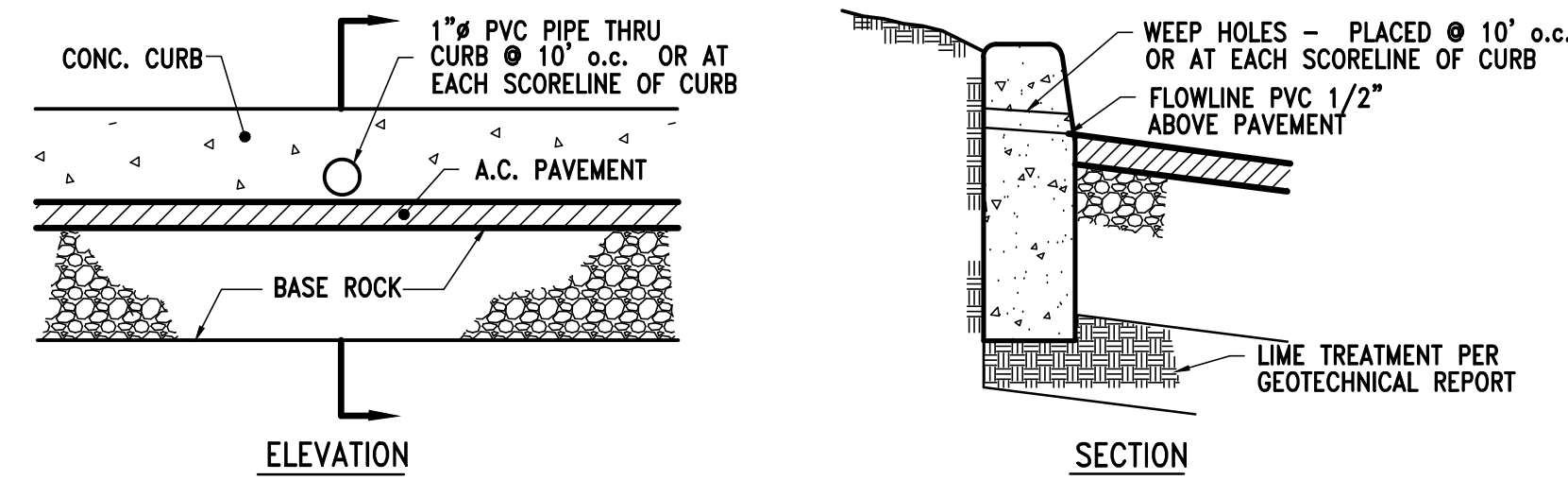
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* NOTE:
USE OF ROLLED CURB SUBJECT TO APPROVAL BY
THE DIRECTOR OF PUBLIC WORKS AND UTILITIES.

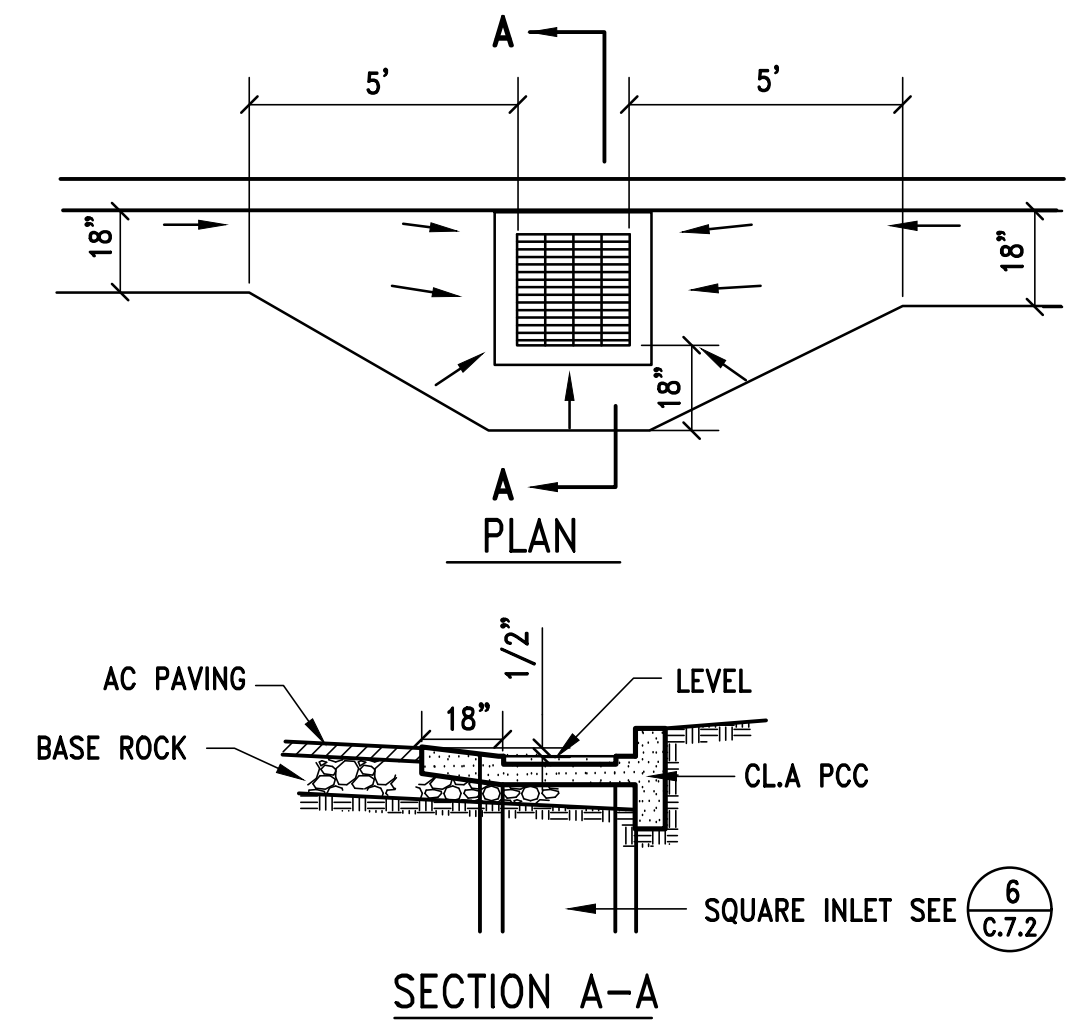
6" ROLLED CURB & GUTTER
N. T. S.

5



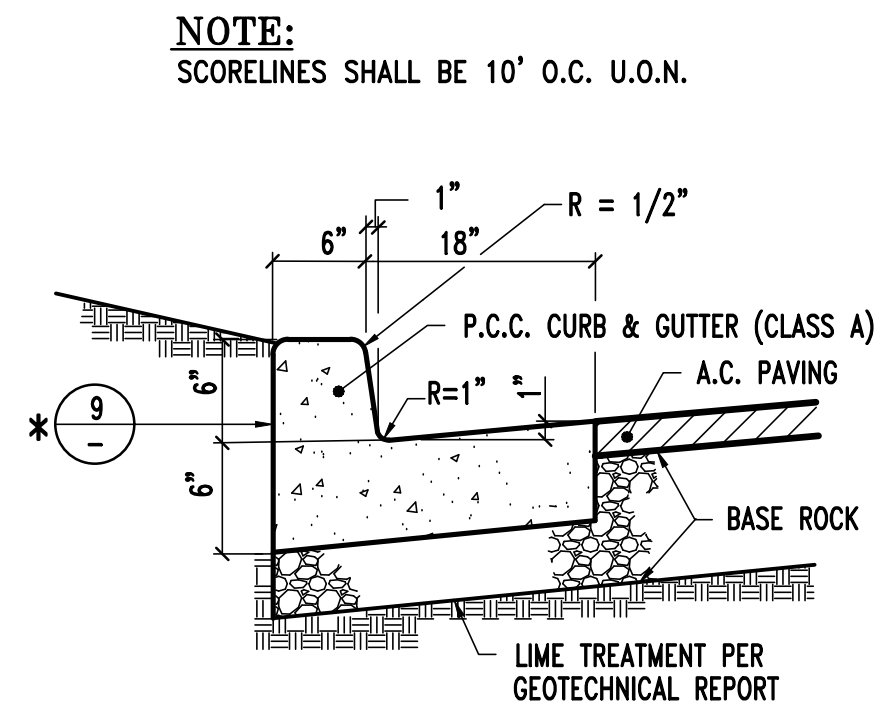
WEEP HOLE
N. T. S.

9



GUTTER FLARE DETAIL
N. T. S.

13

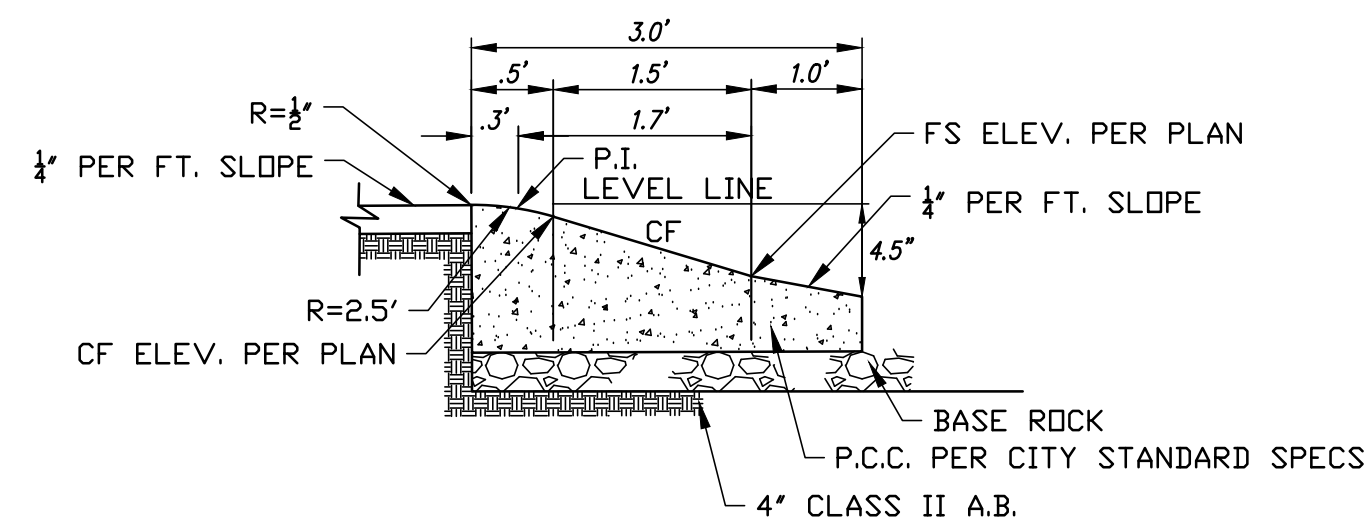


NOTE:
SCORELINES SHALL BE 10' O.C. U.O.N.

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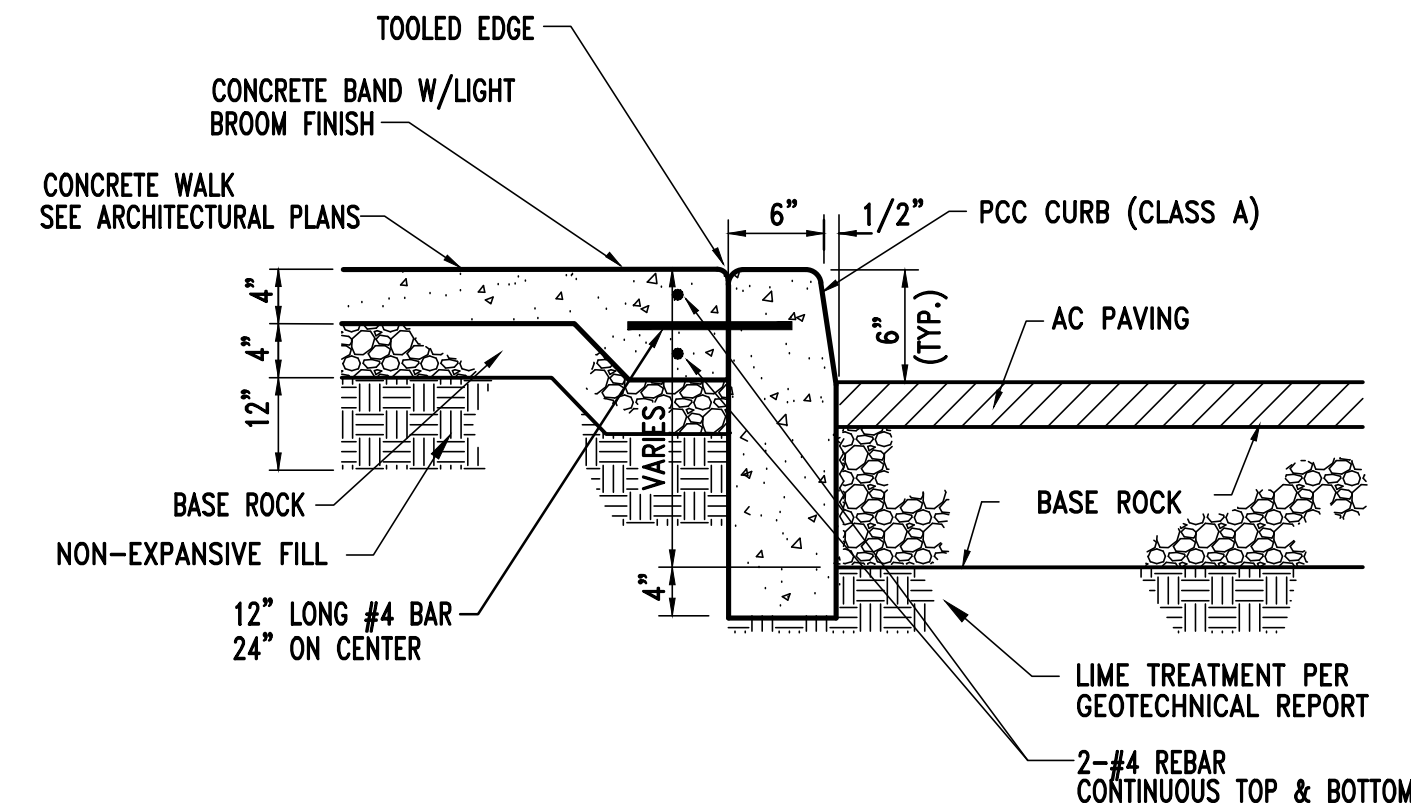
6" CONCRETE CURB & GUTTER
N. T. S.

2



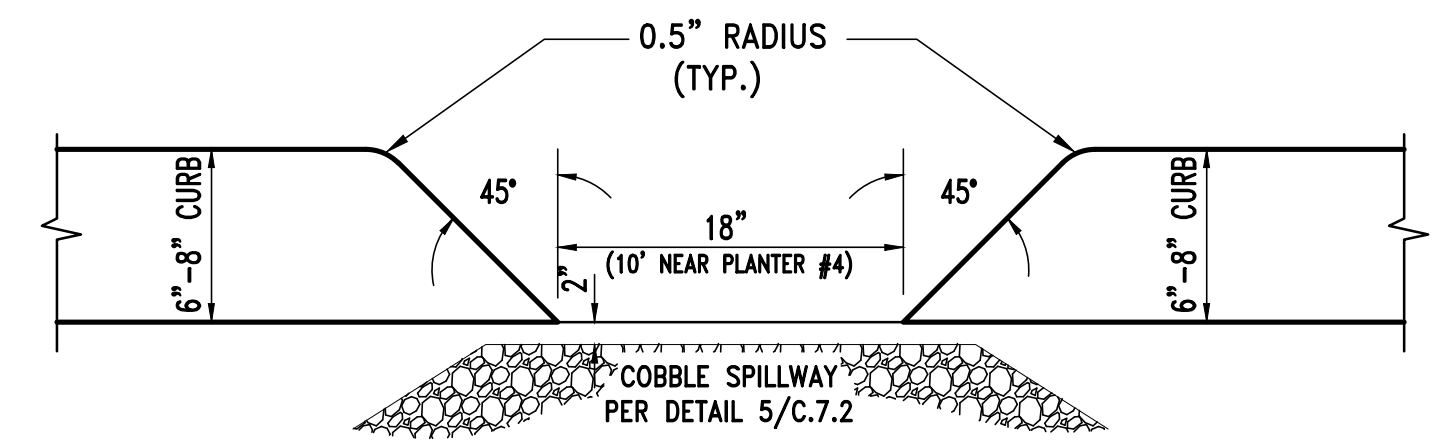
6" ROLLED CONCRETE CURB
N. T. S.

6



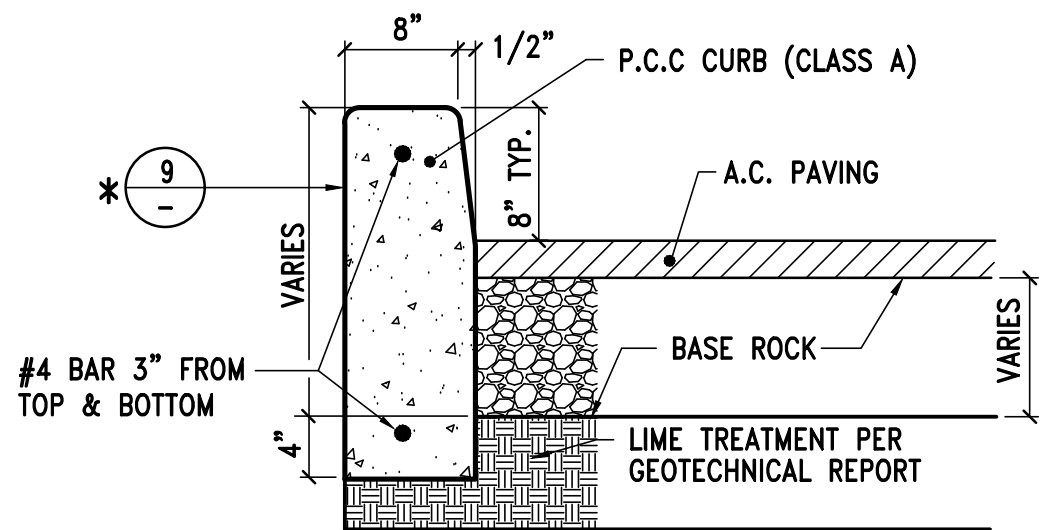
CONCRETE WALK AT CURB
N. T. S.

10



18" WIDE NOTCH IN
6"-8" HIGH CONCRETE CURB
N. T. S.

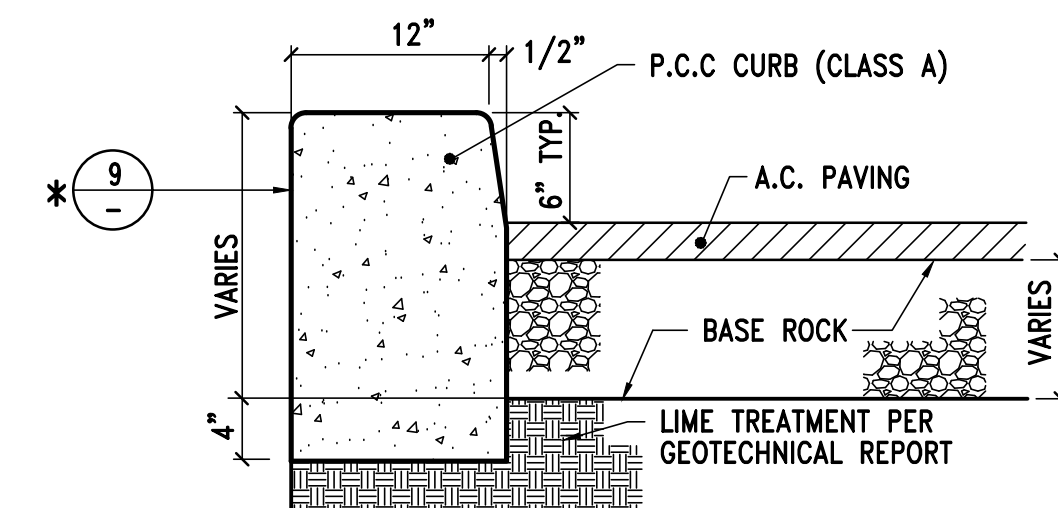
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* WEEPHOLES TO BE PLACED ON ALL CURBS AND CURB & GUTTER WHERE LANDSCAPING SLOPES TOWARD CURB. WEEPHOLES SHALL BE PLACED AT 10' O.C. OR AT EACH SCORELINE OF THE CURB.

8" CONCRETE CURB
N. T. S.

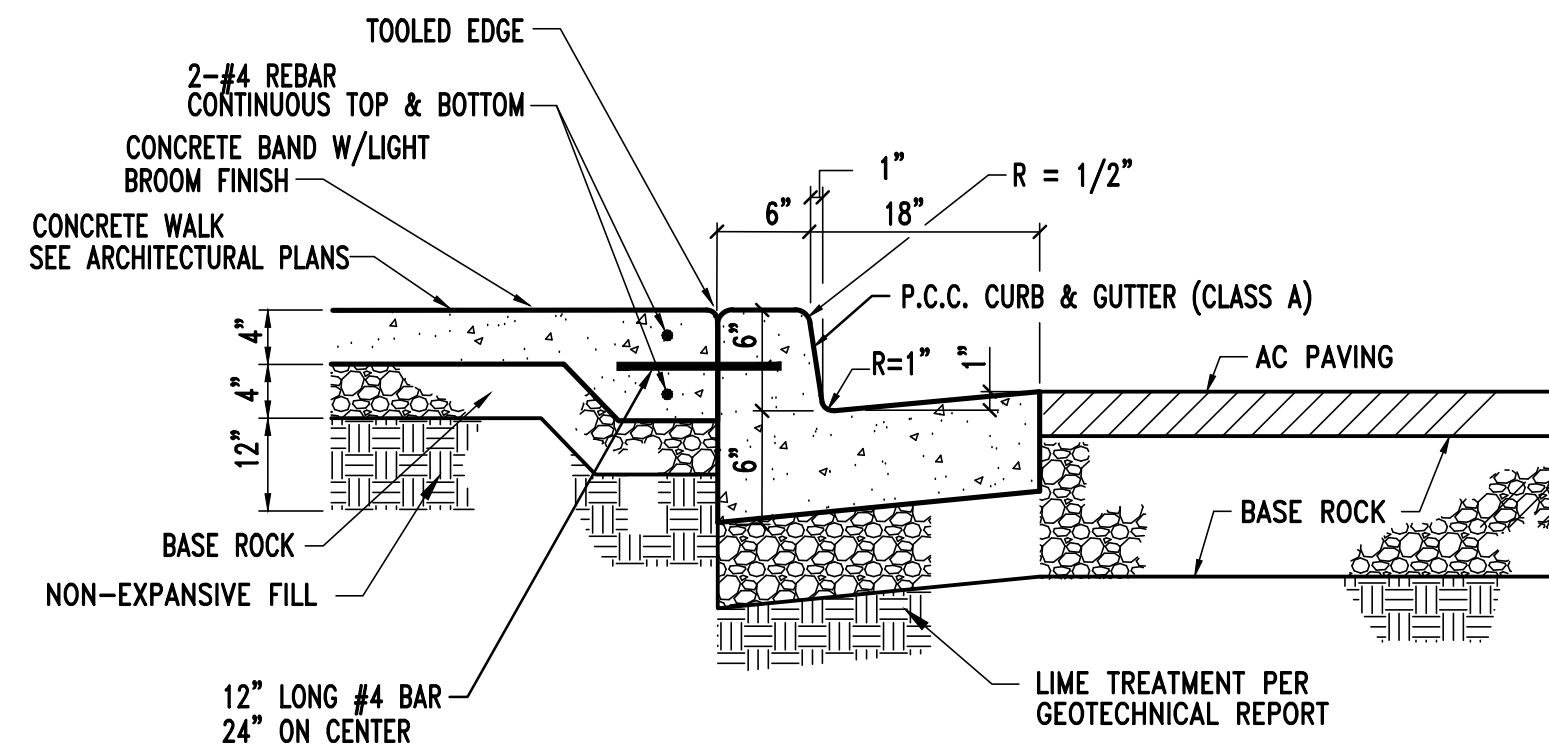
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* WEEPHOLES TO BE PLACED ON ALL CURBS AND CURB & GUTTER WHERE LANDSCAPING SLOPES TOWARD CURB. WEEPHOLES SHALL BE PLACED AT 10' O.C. OR AT EACH SCORELINE OF THE CURB.

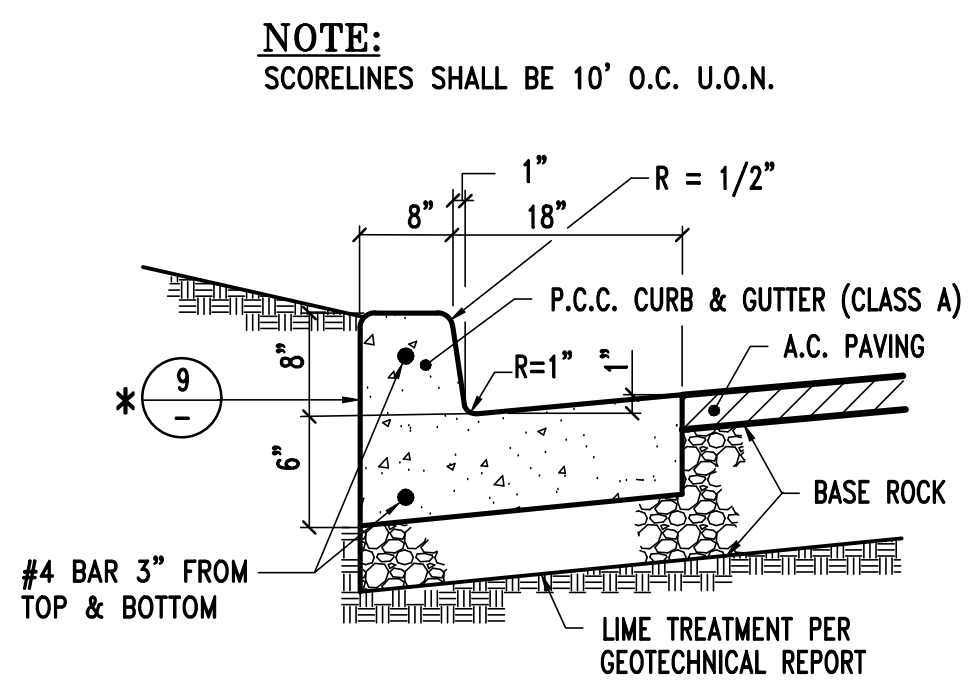
12" WIDE CONCRETE CURB
N. T. S.

7



CONCRETE WALK AT CURB & GUTTER
N. T. S.

11

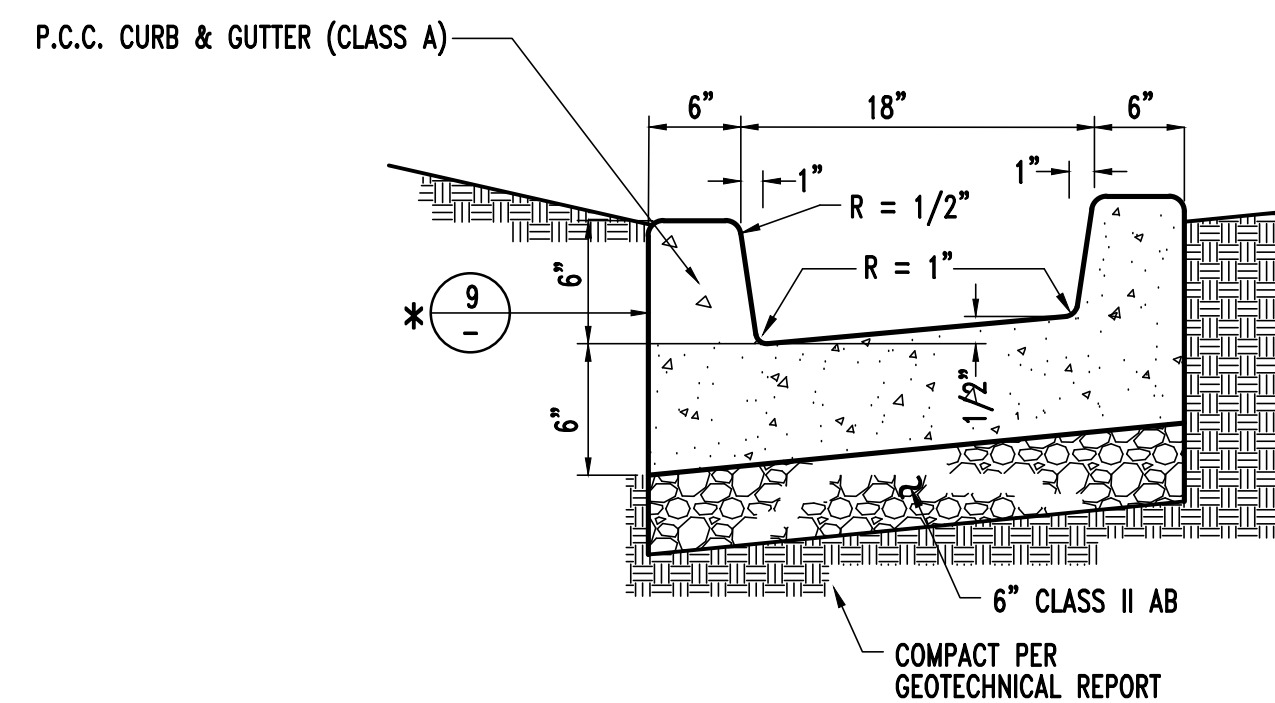


NOTE:
SCORELINES SHALL BE 10' O.C. U.O.N.

* WEEPHOLES TO BE PLACED ON ALL CURBS AND CURB & GUTTER WHERE LANDSCAPING SLOPES TOWARD CURB. WEEPHOLES SHALL BE PLACED AT 10' O.C. OR AT EACH SCORELINE OF THE CURB.

8" CONCRETE CURB & GUTTER
N. T. S.

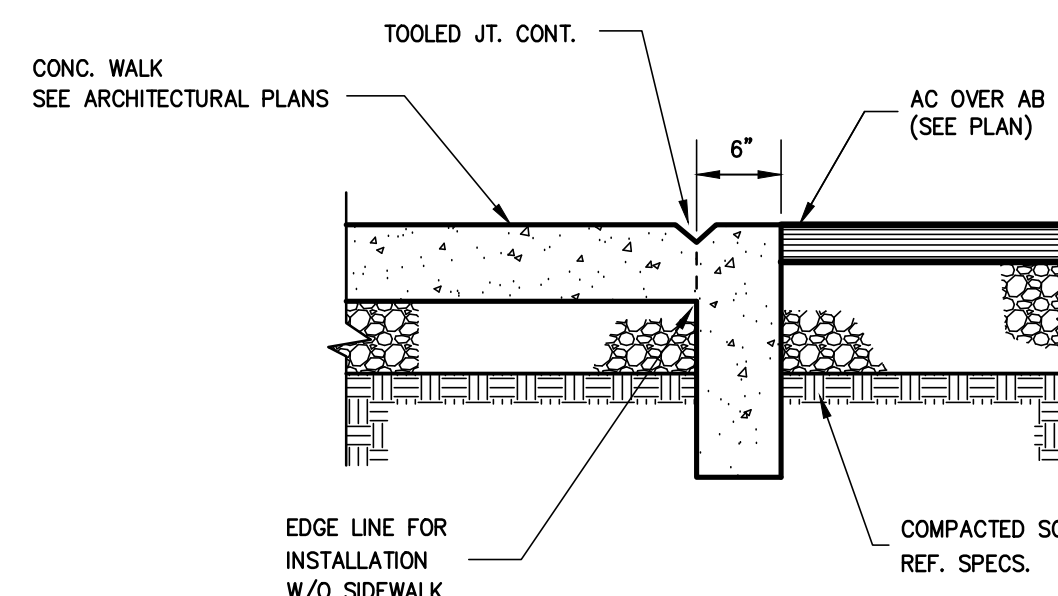
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* WEEPHOLES TO BE PLACED ON ALL CURBS & GUTTER WHERE LANDSCAPING SLOPES TOWARD CURB. WEEPHOLES SHALL BE PLACED AT 10' O.C. OR AT EACH SCORELINE OF THE CURB.

LANDSCAPE ISLAND "DRAIN-THRU" GUTTER
N. T. S.

8



FLUSH CURB WITH SIDEWALK
N. T. S.

12

N. T. S.

15

N. T. S.

16

NO.	REVISION	BY	NO.	REVISION	BY
1	PERMIT 1st SUBMITTAL		1		
2			2		
3			3		
4			4		
5			5		

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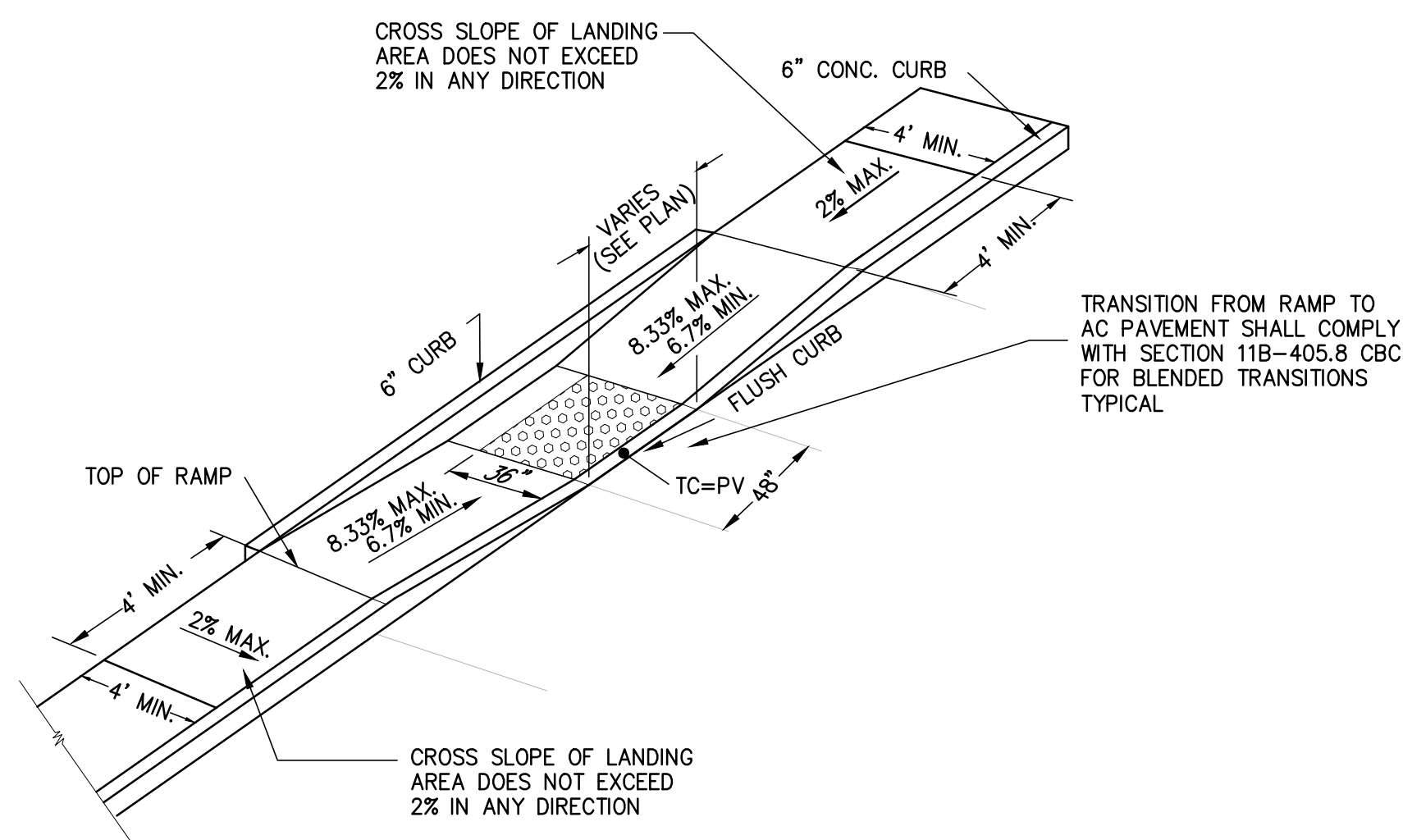
TRACY

DETAILS
I.P.C. - BUILDING 9
PROLOGIS

CALIFORNIA

DATE	02/03/2020
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DESIGNER	M.F.B.
JOB NO.	A09500-182
SHEET	C.7.1
OF	12 SHEETS

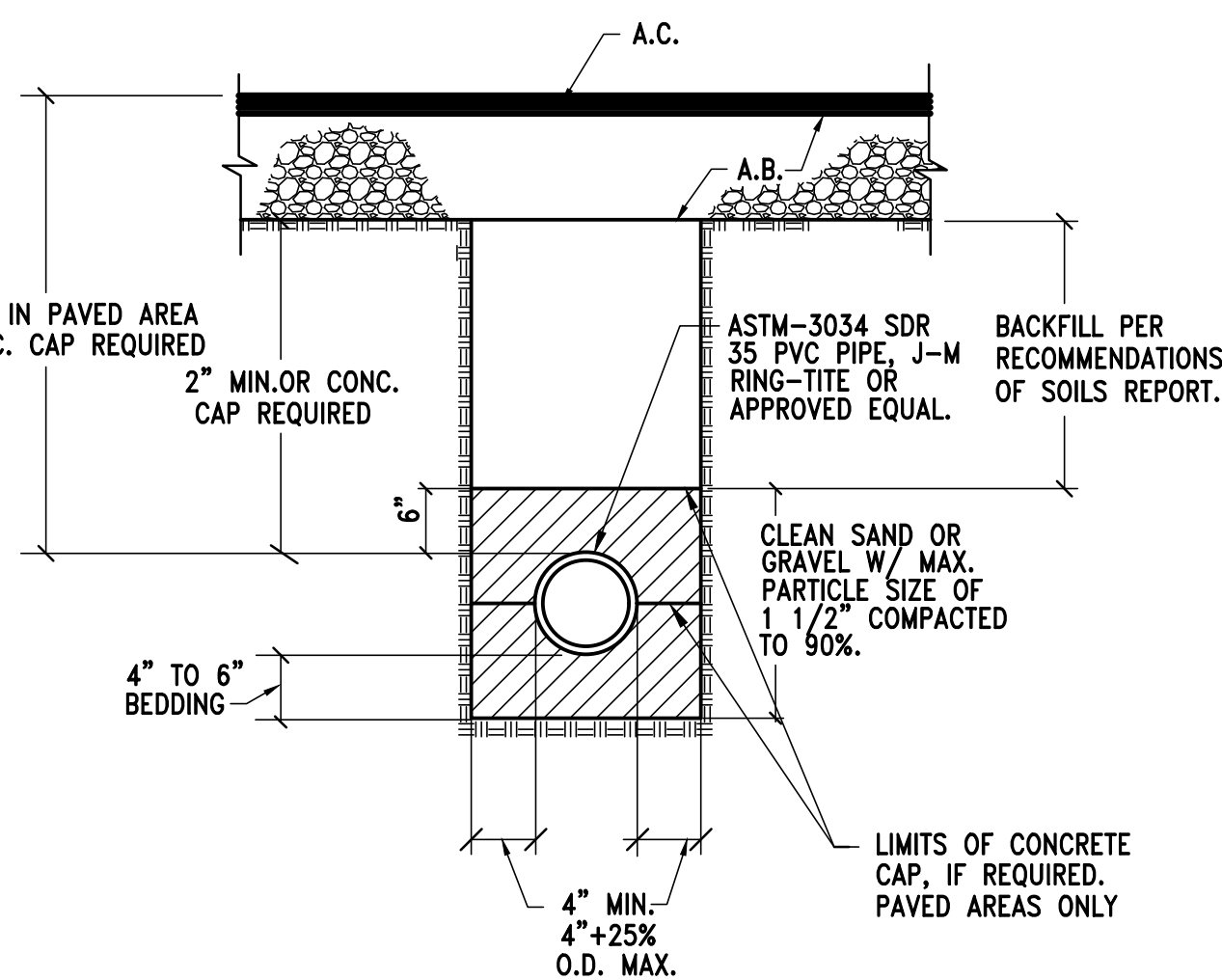
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DISABLED ACCESS RAMP

N. T. S.

1



PVC & HDPE PIPE BEDDING DETAIL

N. T. S.

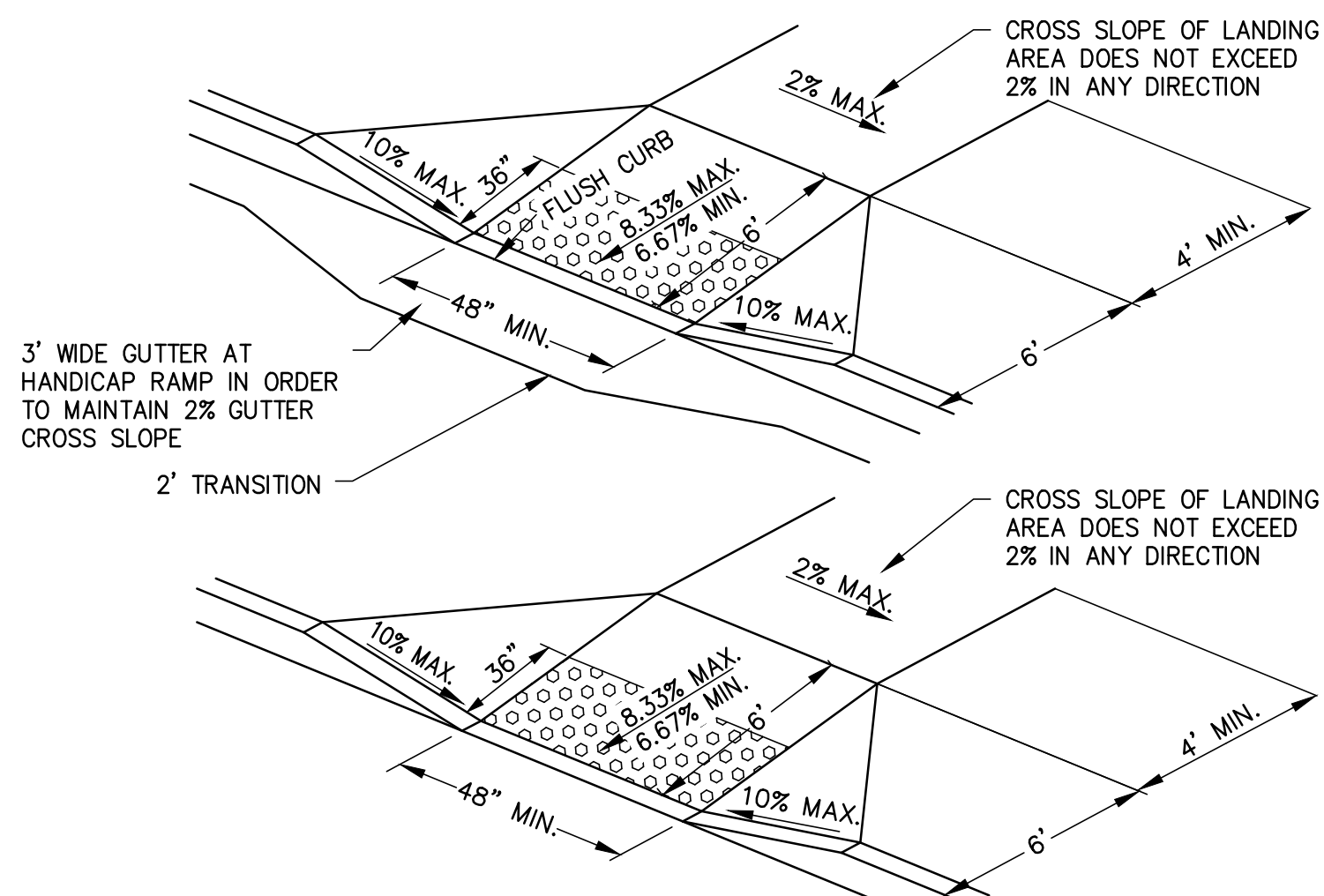
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N. T. S.

8

N. T. S.

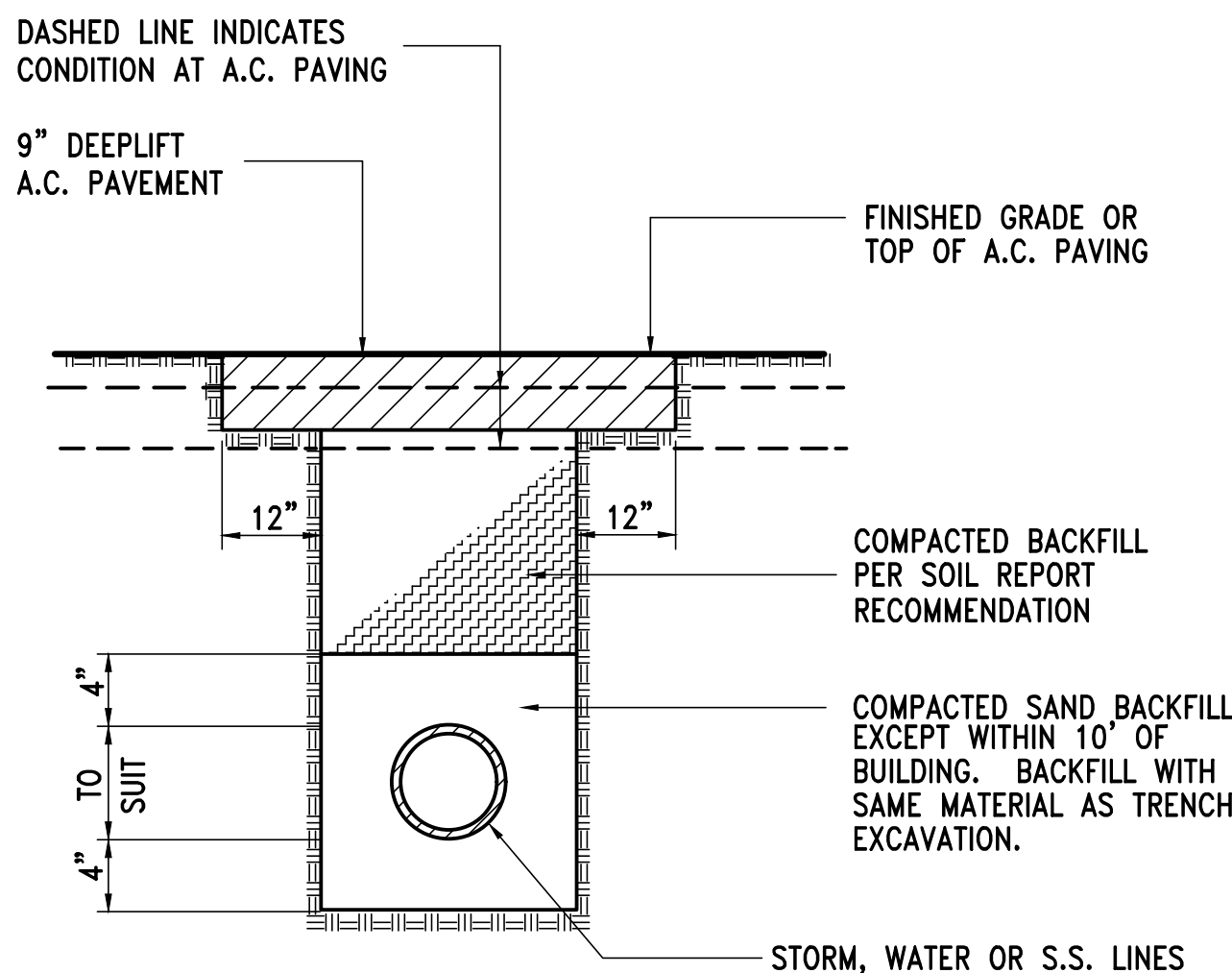
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DISABLED ACCESS RAMP WITH FLARES

N. T. S.

2



NON-PVC PIPE BEDDING DETAIL

N. T. S.

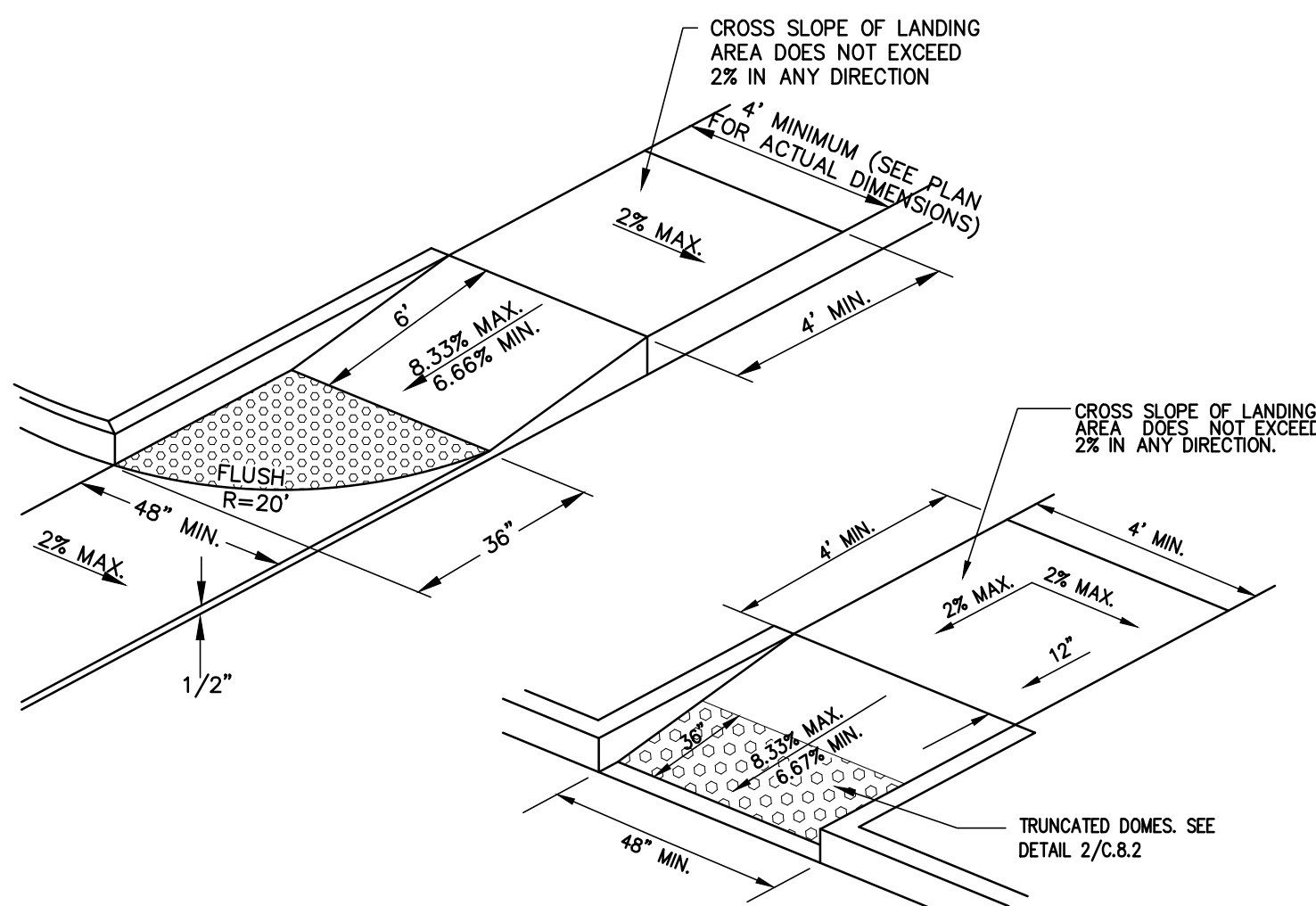
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N. T. S.

9

N. T. S.

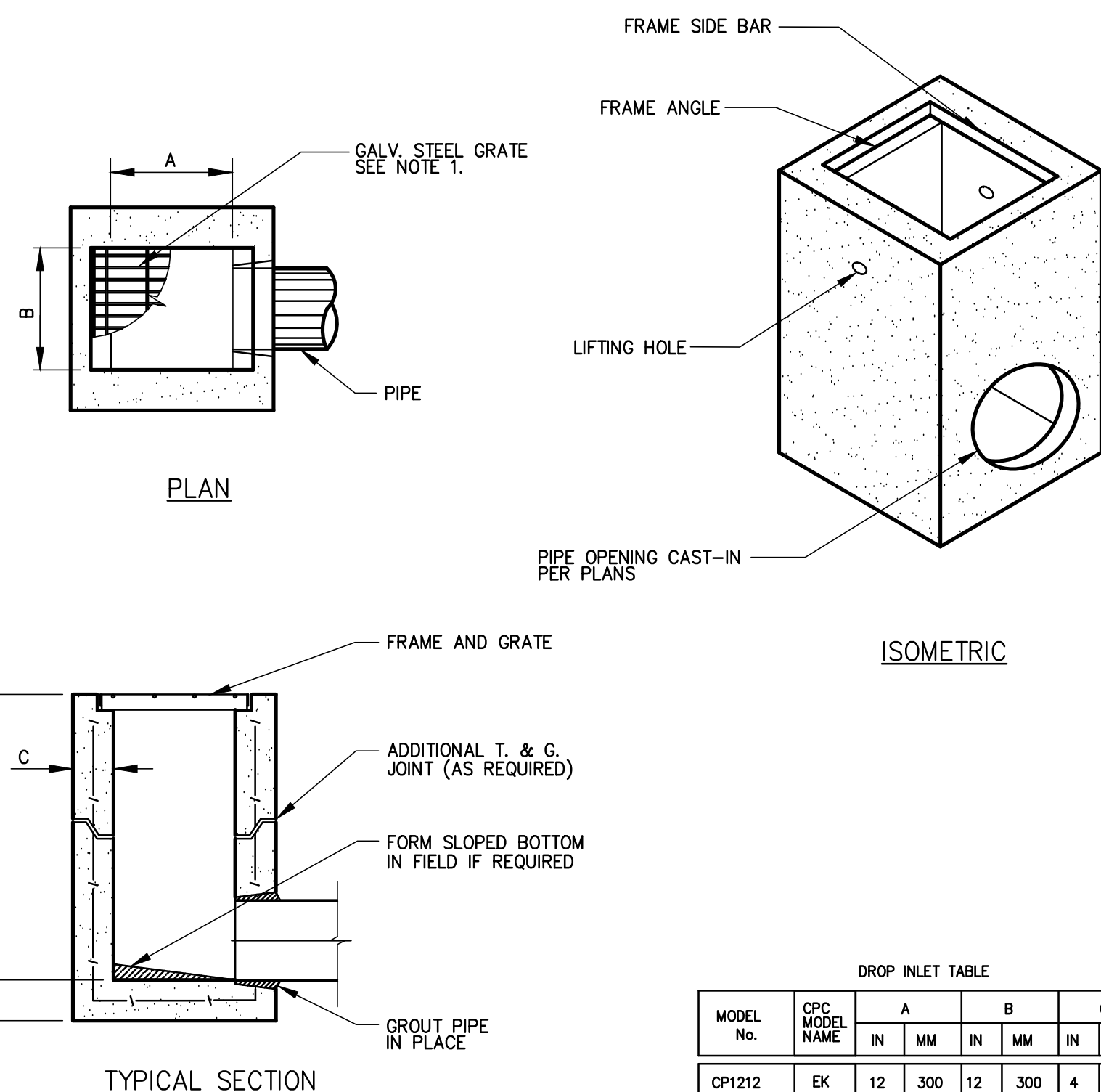
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DISABLED ACCESS RAMPS

N. T. S.

3



US CONCRETE PRECAST GROUP (OR EQUAL)
STORM DRAIN DROP INLET/JUNCTION BOX

N. T. S.

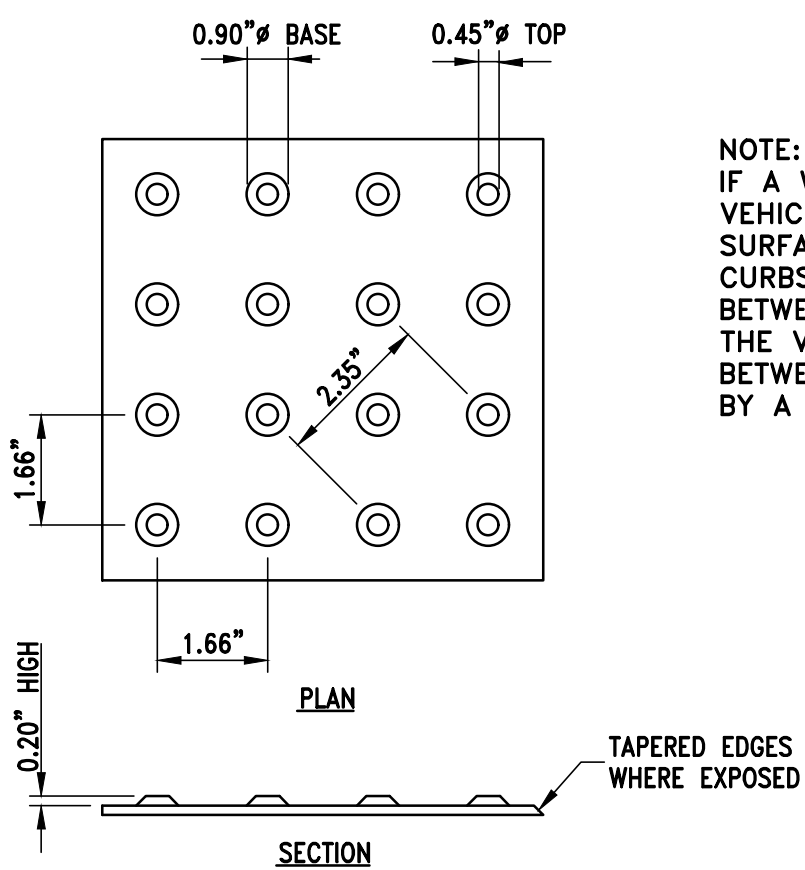
7

N. T. S.

10

N. T. S.

14



TRUNCATED DOMES

N. T. S.

4

- NOTES:
1. FRAMES AND GRATES MAY BE SPECIFIED FOR PEDESTRIAN OR H20 TRAFFIC LOADING. ALL GRATES ARE BICYCLE PROOF. OPTIONAL GRATE LOCKING DEVICE AVAILABLE ON REQUEST SEE DRAWING 'LOOK' ON PAGE 1-7 OF THE CENTRAL PRECAST CATALOG. CLOSED-MESH GRATES OR CAST IRON FRAME AND GRATES ARE AVAILABLE ON REQUEST.
 2. FOR SURFACE AND DISCHARGE OPTIONS AVAILABLE SEE DRAWING NO. 'DI-50' PAGE 1-6 AND 'DI-DO' PAGE 1-5 OF THE CENTRAL PRECAST CATALOG.
 3. FRAMES AND GRATES DETAILS SEE PAGES 1-8, 1-9, AND 1-10 OF THE CENTRAL PRECAST CATALOG.
 4. WALL THICKNESSES ON ALL D.I.S. CAN BE CHANGED UPON REQUEST. 5. 18" WIDE D.I.'S REPLACE THE OLD 18" WIDE BOX GR & 1K.

NOTE:
JUNCTION BOXES ARE SAME STRUCTURE AS CATCH BASINS
BUT WITH A SOLID RIM GRATE
CATCH BASIN & JUNCTION BOXES SHALL BE CP2436 (24"x36")
UNLESS OTHERWISE NOTED ON THE PLANS.

DROP INLET TABLE						
MODEL No.	CPC MODEL NAME	A		B		C
		IN	MM	IN	MM	IN
CP1212	EK	12	300	12	300	4 100
CP1818	OK	18	450	18	450	5 125
CP1824	1K*	18	450	24	600	5 125
CP2424	2K	24	600	24	600	5 125
CP2430	3K	24	600	30	750	5 125
CP3030	5K	30	750	30	750	6 150
CP2436	1L	24	600	36	900	6 150
CP3636	1M	36	900	36	900	6 150
CP2448	3L	24	600	48	1200	6 150
CP3648	3M	36	900	48	1200	6 150
CP4848	1R	48	1200	48	1200	6 150

NO.	REVISION	BY	NO.	REVISION	BY
1	PERMIT 1st SUBMITTAL		1		
2			2		
3			3		
4			4		
5			5		

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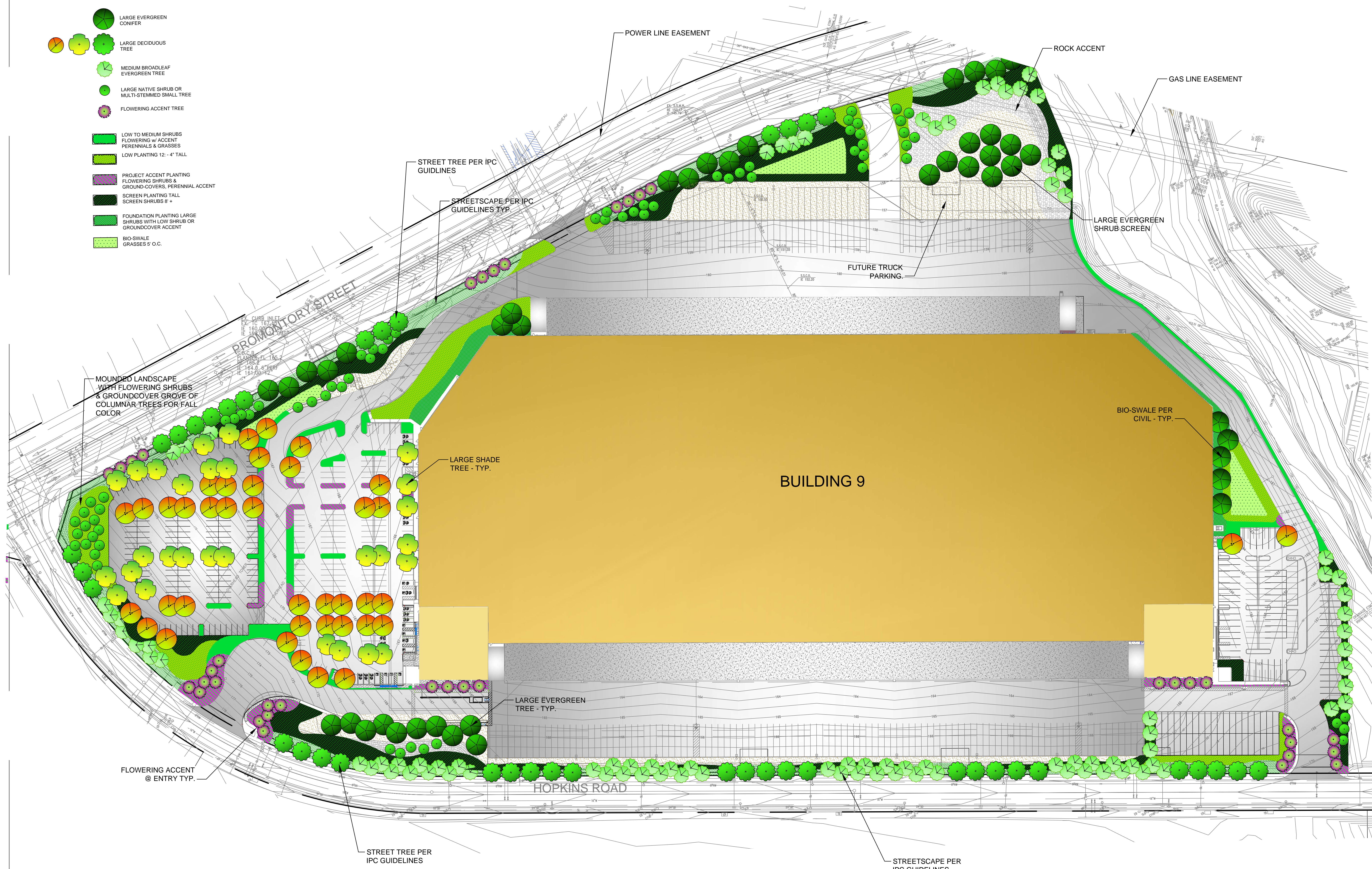


TRACY

DETAILS
I.P.C. - BUILDING 9
PROLOGIS

CALIFORNIA

DATE	02/03/2020
SCALE	N.T.S.
DESIGNER	M.F.B.
JOB NO.	A09500-182
SHEET	C.7.2
OF	12 SHEETS



LANDSCAPE LEGEND

- LARGE EVERGREEN CONIFER
- LARGE DECIDUOUS TREE
- MEDIUM BROADLEAF EVERGREEN TREE
- LARGE NATIVE SHRUB OR MULTI-STEMMED SMALL TREE
- FLOWERING ACCENT TREE
- LOW TO MEDIUM SHRUBS FLOWERING w/ ACCENT PERENNIALS & GRASSES
- LOW PLANTING 12" - 4" TALL
- PROJECT ACCENT PLANTING FLOWERING SHRUBS & GROUND-COVERS, PERENNIAL ACCENT
- SCREEN PLANTING TALL SCREEN SHRUBS 8' +
- FOUNDATION PLANTING LARGE SHRUBS WITH LOW SHRUB OR GROUNDCOVER ACCENT
- BIO-SWALE GRASSES 5' O.C.

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 60'-0"

LANDSCAPE CALCULATIONS:

TOTAL PARKING AREA = 163,937 S.F.
PARKING AREA INCLUDES THE FOLLOWING:
1. PAVEMENT INCLUDING ISLANDS, STALLS, AISLES AND ACCESS DRIVES
2. ADJACENT BUILDING FRONTAGE LANDSCAPE AREA INC. WALKS
PARKING AREA LANDSCAPE REQUIRED = 32,787 S.F. (20% OF PARKING AREA)
PARKING AREA LANDSCAPE PROVIDED = 33,256 S.F. (20%)
NO. OF STANDARD PARKING SPACES = 322
TREES REQUIRED = 64 (1/5 SPACES)
TREES PROVIDED = 70
REQUIRED PARKING AREA SHADE = 65,574 S.F. (MIN. 40% OF PARKING AREA)
PARKING AREA SHADE PROVIDED AT MATURITY = 66,568 (41%)
36 LARGE SHADE TREES @ 100% 40' DIAMETER (1,296 S.F.) = 45,216 SF
34 LARGE SHADE TREES @ 50% 40' DIAMETER (628 S.F.) = 21,352 SF
MINIMUM STREETSCAPE LANDSCAPE REQUIRED:
PROMONTORY STREET - 25' SETBACK
HOPKINS ROAD - 15' SETBACK



HPA, Inc.
383 4th Street, Suite 101
Oakland, CA 94607
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com

1464 Popinjay Drive
Reno, NV.
p: 775 829 1364
email: bhatch00@charter.net

Owner:
 PROLOGIS

3353 Gateway Blvd.
Fremont, CA 94538
tel: (510) 656-1900

Project:
International Park of Commerce - Bldg 9

TRACY, CA

Consultants:
CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title:
PRELIMINARY LANDSCAPE PLAN

Project Number: 17335
Drawn by: DZ
Date: 11/20/17

Revision:	
1-27-20	REVISED SITE

Sheet:
LC1.1

PLANT LIST

SYM. NO. BOTANICAL NAME COMMON NAME SIZE WATER REGIME MATURE HABIT

TREES

CEDRUS DEODARA	DEODAR CEDAR	24" BOX		L	80' X 40'
QUERCUS WISLIZENII	INTERIOR LIVE OAK	24" BOX		VL	50' X 50'
QUERCUS ILEX	HOLLY OAK	24" BOX		VL	40' X 40'
QUERCUS COCCINEA	RED OAK	24" BOX		M	70' X 50'
LAURUS N. 'SARATOGA'	SWEET BAY	24" BOX		L	25' X 20' MULTI-STEM
OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX		L	25' X 25'
PISTACIA C. 'KEITH DAVEY'	CHINESE PISTACHE	24" BOX		L	50' X 30'
ULMUS 'FRONTIER'	FRONTIER ELM	24" BOX		M	50' X 60'
ZELKOVA S. 'VILLAGE GREEN'	JAPANESE ZELKOVA	24" BOX		M	55' X 50'
LAGERSTROEMIA 'DYNAMITE RED'	CRAPE MYRTLE	24" BOX		L	15' X 15'
QUERCUS V. 'HERITAGE'	HERITAGE OAK	24" BOX		L	50' X 40'
ULMUS PARVIFLORIA 'TRUE GREEN'	EVERGREEN ELM	24" BOX		M	50' X 30'
ARBUTUS UNEDO	STRAWBERRY TREE	24" BOX		L	20' X 20'
MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	15 GAL.		VL	15' X 15' MULTI-STEM

EVERGREEN SCREENING SHRUBS

RHUS OVATA	SUGAR BUSH	5 GAL.		VL	8' X 12' PLANT 8'-0" OC
CEANOTHUS 'CONCHA'	CEANOTHUS	5 GAL.		L	6' X 8' PLANT 7'-0" OC
ARBUTUS U. 'COMPACTA'	DW. STRAWBERRY	5 GAL.		L	8' X 10' PLANT 6'-0" OC
ARCTOSTAPHYLOS 'HOWARD MCMINN'	MANZANITA	5 GAL.		L	8' X 8' PLANT 9'-0" OC
ELAAGNUS PUNGENS	SILVERBERRY	15 GAL.		L	10' X 10' PLANT 8'-0" OC
DODONEA VISCOSA	HOP BUSH	15 GAL.		L	8' X 10' PLANT 8'-0" OC

GRASSES OR GRASS LIKE

FESTUCA MAIREI	ATLAS FESCUE	1 GAL.		L	2' X 3' PLANT 2'-6" OC
PENNISETUM S. 'KARLEY ROSE'	FOUNTAIN GRASS	1 GAL.		L	3' X 3'
MUHLENBERGIA RIGENS	DEER GRASS			L	4' X 4' PLANT 3' OC
HELICHOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL.		L	2' X 2' PLANT 2' OC
CALAMAGROSTIS A. 'KARL FOESTER'	FEATHERREED	1 GAL.		L	2' X 3' PLANT 3' OC
PENNISETUM ORIENTALE	ORIENTAL FOUNTAIN GRASS	1 GAL.		L	3' X 3' PLANT 3'-0" OC
LOMANDRA LONGIFOLIA 'BREEZE'	BREEZE MAT RUSH	5 GAL.		L	3' X 3' PLANT 2'-6" OC

DELTA 16 ADDITIONAL PLANT MATERIAL

CISTUS X SKANBERGII	SKANBERG ROCKROSE	5 GAL.		L	3' X 3' PLANT 2'-6" OC
OLEA 'LITTLE OLLIE'	DW OLIVE	15 GAL.		L	6' X 5' PLANT 6'-0" OC
PUNICA GRANATUM 'CHICO'	POMEGRANATE	5 GAL.		L	5' X 5' PLANT 4'-6" OC

LEGEND

SEEDED GRASSES

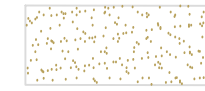
SEEDED NATIVE BIO-SWALE GRASS MIX



COMBINATION OF MULCHES TO BE UTILIZED IN FINAL DESIGN

4\"/>

4\"/>



3\"/>

2'-4\"/>

AND TEXTURE TO BLEND WITH TAN ROCK MULCH.



BARK MULCH-ALL PLANTERS NOT DESIGNATED FOR ROCK, D.G.



2'-4\"/>

AND TEXTURE TO BLEND WITH TAN ROCK MULCH.

WATER EFFICIENT LANDSCAPE REQUIREMENTS

AUTOMATIC CONTROLLER W/ ET DATA, REPEAT CYCLING

IRRIGATION ZONES PER PLANT WATER REQUIREMENTS

RAIN SENSOR TO BE SPECIFIED

SOIL AMENDMENTS TO BE INCORPORATED

PLANTER SURFACE AREAS TO BE MULCHED

WATER USAGE TO MEET STATE WATER EFFICIENT LANDSCAPE STANDARD

SYM. NO. BOTANICAL NAME COMMON NAME SIZE WATER REGIME MATURE HABIT

DROUGHT TOLERANT SHRUBS

CEANOTHUS 'YANKEE POINT'	YANKEE POINT CEANOTHUS	5 GAL.		L	4' X 6'
LANTANA M. 'DW. YELLOW'	DW. LANTANA	5 GAL.		L	2' X 4' PLANT 3' OC
CISTUS SALVIFOLIUS	ROCK ROSE	5 GAL.		L	2' X 4'
RHAMNUS C. 'MOUND SAN BRUNO'	COFFEEBERRY	5 GAL.		L	5' X 6' PLANT 7' OC
NERIUM OLEANDER 'PETITE SALMON'	PETITE OLEANDER	5 GAL.		L	5' X 5' PLANT 5'-0" OC
CALLESTEMON C. 'LITTLE JOHN'	DW. BOTTLE BRUSH	5 GAL.		L	3' X 3' PLANT 3' OC
PHOLOMIS FRUITICOSA	JERUSALEM SAGE	5 GAL.		L	4' X 4' PLANT 4' OC
ROSMARINUS O. 'TUSCAN BLUE'	UPRIGHT ROSEMARY	5 GAL.		L	4' X 4' PLANT 4'-0" OC
COLEONEMA 'SUNSET GOLD'	COLEONEMA	5 GAL.		M	3' X 5'
LAVANDULA 'IRENE DOYLE'	LAVANDER	5 GAL.		L	2' X 2'
SALVIA LEUCANTHA 'MIDNIGHT'	MEXICAN SAGE	1 GAL.		L	3' X 5'
BACCHARIS 'CENTENNIAL'	COYOTE BRUSH	1 GAL.		L	2' X 6' PLANT 5' OC
ROSMARINUS O. 'COLLINGHAM'	ROSEMARY	1 GAL.		L	2' X 6' PLANT 5' OC
COTONEASTER D. 'LOWFAST'	BEARBERRY COTONEASTER	1 GAL.		L	1' X 6' PLANT 4' OC
MYOPORUM 'PUTAH CREEK'	MYOPORUM	1 GAL.		L	1' X 6' PLANT 6' OC
RHAPIOLEPSIS 'PINK DANCER'	INDIA HAWTHORN	5 GAL.		L	3' X 4'
ARCTOSTAPHYLOS 'EMERALD GREEN'	MANZANITA	5 GAL.		L	1' X 4' PLANT 4' OC

PERENNIALS

OENOTHERA SPECIOSA 'ROSEA'	MEXICAN PRIMROSE	1 GAL.		L	1' X 2'
DIANELLA R. 'LITTLE REV'	FLAX LILY	1 GAL.		M	1.5' X 1.5'
DIETES V. 'VARIEGATA'	FORT NIGHT LILY	1 GAL.		L	3' X 3'
HEMEROCALLIS - HYBRIDS	EVERGREEN DAYLILY	1 GAL.		M	1' X 1.5'



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Owner:



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Fremont, CA 94538
tel: (510) 656-1900



Project:

International Park
of Commerce - Bldg 9

TRACY, CA



Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER



Title:

Project Number: 17335

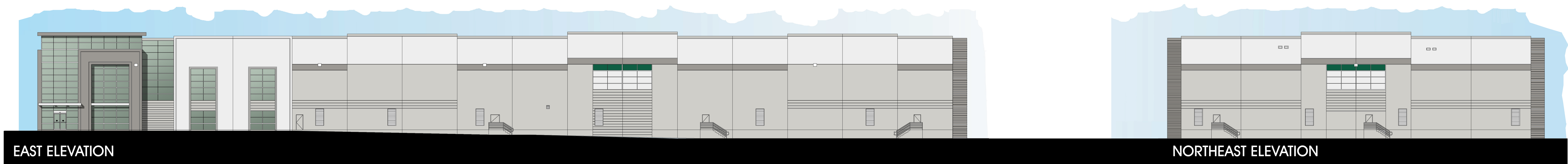
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Date: 11/20/17

Revision:

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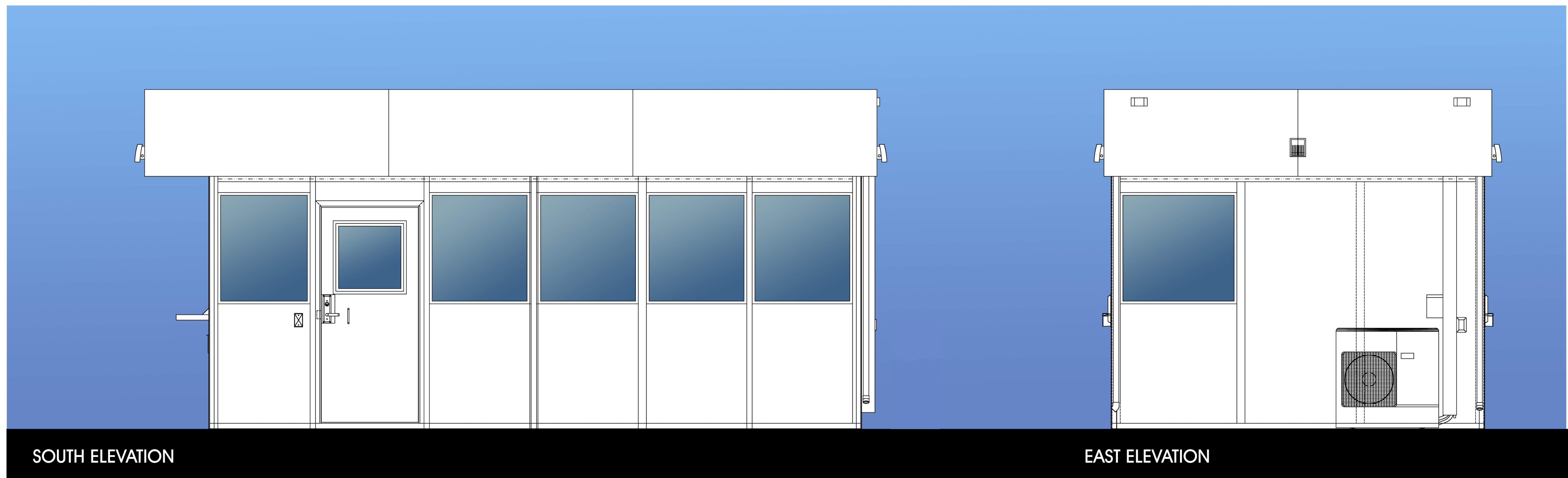
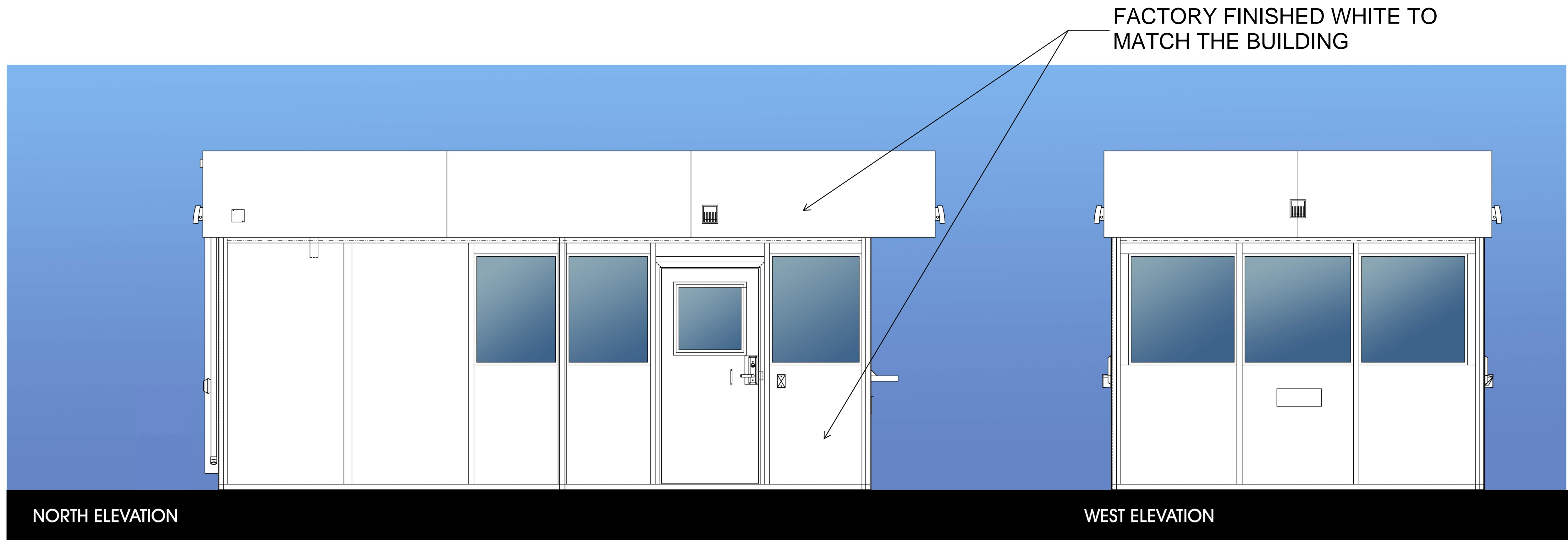
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IPC 9

TRACY, CA





IPC 9

TRACY, CA



CITY OF TRACY
DETERMINATION OF THE
DEVELOPMENT SERVICES DIRECTOR

Application Number D20-0008

A determination of the Development Services Director approving a Development Review application for the addition of perimeter fencing, guard shack, canopies, smoker's shelter and additional parking located at 6653 Hopkins Road (Assessor's Parcel Number 209-120-09). The owner is Prologis and applicant is HPA, Inc..

The following considerations were relevant in evaluating this application: Existing and planned infrastructure improvements, such as adjacent roadways, existing site improvements, storm drain systems, the project's visual impact on Hopkins Road as well as other adjacent properties and on-site circulation.

Staff has reviewed the application and determined that the following City regulations apply:

TMC Sec 10.08.3920 et seq.: Development Review
TMC Sec 10.08.3440 et seq.: Off-Street Parking Requirements
Cordes Ranch Specific Plan
City of Tracy Design Goals and Standards

The Development Services Director has determined that the proposed project is consistent with the Cordes Ranch Specific Plan Environmental Impact Report (EIR), approved by the City Council on September 3, 2013, and the General Plan EIR approved by the City Council on February 1, 2011. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required. An analysis of the project shows that there will be no significant on or off-site impacts as a result of this particular project which were not already discussed in the Cordes Ranch and General Plan EIRs. There is also no evidence of any significant impacts to occur off-site as a result of the project, as traffic, air quality, land use and other potential cumulative impacts have already been considered within the original environmental documentation. No new evidence of potentially significant effects has been identified as a result of this project.

THE DEVELOPMENT SERVICES DIRECTOR, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY APPROVES THE DEVELOPMENT REVIEW APPLICATION AS DESCRIBED IN THE PLANS RECEIVED BY THE DEVELOPMENT SERVICES DEPARTMENT ON FEBRUARY 18, 2020, SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (EXHIBIT "1") AND BASED ON THE FOLLOWING FINDINGS:

Development Review Findings:

1. The design and location of the proposed perimeter fencing, guard shack, canopies, smoker's shelter and additional parking is a quality addition to the project site. These additions to the adjacent industrial building will provide for the tenant's needs on their site.
2. The establishment and operation of the proposed new site improvements will conform to the requirements and the intent of the City of Tracy General Plan, Municipal Code, and

Development Services Determination
IPC Building 9 Guard Shack, Etc.
May 12, 2020
Page 2

Cordes Ranch Specific Plan. The proposal for the perimeter fencing, guard shack, canopies, smoker's shelter and additional parking is compatible with the existing distribution center and conforms to the industrial land uses permitted within the Specific Plan.

Andrew Malik, Development Services Director

Date of Action

**DEVELOPMENT SERVICES DEPARTMENT
CONDITIONS OF APPROVAL
Perimeter fencing, guard shack, canopies, smoker's shelter and additional parking
adjacent to the 640,973 Square Foot Industrial Building
Application Number D18-0020**

A. General Provisions and Definitions

1. These Conditions of Approval shall apply to the real property described as 6653 Hopkins Road, Assessor's Parcel Number 209-120-09, Application Number D20-0008, addition of perimeter fencing, guard shack, canopies, smoker's shelter and additional parking adjacent to the 640,973 square foot industrial building (hereinafter "Project").
2. The following definitions shall apply to these Conditions of Approval:
 - a. "Applicant" means any person, or other legal entity, defined as a "Developer".
 - b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed engineer designated by the City Manager, or the Development Services Director, or the City Engineer to perform the duties set forth herein.
 - c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, Cordes Ranch Specific Plan, ordinances, resolutions, policies, procedures, and the City's Design Documents (including the Standard Plans, Standard Specifications, Design Standards, and relevant Public Facility Master Plans).
 - d. "Development Services Director" means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
 - e. "Conditions of Approval" shall mean the conditions of approval applicable to the perimeter fencing, guard shack, canopies, smoker's shelter and additional parking adjacent to the 640,973 square foot industrial building, Application Number D20-0008. The Conditions of Approval shall specifically include all Development Services Department conditions set forth herein, including all Planning and Engineering Division conditions set forth herein.
 - f. "Project" means the real property described as 6653 Hopkins Road, Assessor's Parcel Number 209-120-09, Application Number D20-0008, perimeter fencing, guard shack, canopies, smoker's shelter and additional parking adjacent to the 640,973 square foot industrial building.
 - g. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who

applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.

3. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to: the Planning and Zoning Law (Government Code sections 65000, et seq.), the Subdivision Map Act (Government Code sections 66410, et seq.), the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and the Guidelines for California Environmental Quality Act (California Administrative Code, Title 14, Sections 1500, et seq., "CEQA Guidelines").
4. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City Regulations.
5. Pursuant to Government Code section 66020, including section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

B. Planning Division Conditions of Approval

1. Except as otherwise modified herein, the project shall be developed in accordance with the plans received by the Development Services Department on February 18, 2020. Prior to the issuance of any building permits, any deviations from the approved site plan or elevations shall be evaluated for substantial compliance with the approved plans, to the satisfaction of the Development Services Director. Should any deviations be determined not to be in substantial compliance with the approved plans, they shall be reviewed in a new Development Review application process.
2. Prior to issuance of a building permit, a detailed landscape and irrigation plan showing the landscaping shall be submitted for approval by the Development Services Director. All landscape and irrigation improvements shall be designed and installed per the requirements of the City of Tracy Off-Street Parking Requirements, the Water Efficient Landscape Guidelines, and all other applicable City standards.
3. No signs are approved as part of this application. All signs for the project shall be reviewed under a separate sign permit application in accordance with Tracy Municipal Code (TMC) and Cordes Ranch Specific Plan (CRSP) Standards.
4. No roof mounted equipment, including, but not limited to, HVAC units, vents, fans, antennas, sky lights and dishes whether proposed as part of this application, potential future equipment, or any portion thereof, shall be visible from any public right-of-way,

including I-205. Prior to the issuance of a building permit, the parapet walls shall be raised to a height adequate to screen equipment, or a screening system, integrated with the design of the overall building to the satisfaction of the Development Services Director shall be approved.

5. All exterior lighting shall be directed downward, onto the parking and maneuvering surface and away from the public rights-of-way.
6. All PG&E transformers, phone company boxes, trash enclosures or compactors, Fire Department connections, backflow preventers, irrigation controllers, and other on-site utilities, shall be vaulted or screened from view from any public right-of-way, behind structures or landscaping, to the satisfaction of the Development Services Director.
7. The applicant shall pay all applicable fees for the project, including, but not limited to, development impact fees, building permit fees, plan check fees, grading permit fees, encroachment permit fees, inspection fees, school fees, or any other City or other agency fees or deposits that may be applicable to the project.
8. All improvements shall be consistent with the Tracy Municipal Code, Cordes Ranch Specific Plan, Standard Plans, and other applicable City Regulations.
9. Where landscape planters are parallel and adjacent to the side of vehicular parking spaces, a 12" wide concrete curb shall be placed adjacent to the parking space to allow for pedestrian access to vehicles without damage to the landscape areas.
10. Prior to issuance of a building permit, bicycle parking spaces shall be provided in accordance with Tracy Municipal Code Section 10.08.3510 to the satisfaction of the Development Services Director.
11. Prior to final inspection or certificate of occupancy, carpooling/ridesharing and electric vehicle parking spaces shall be clearly marked, per the requirements of the Natural Resources and Sustainability section of the CRSP.
12. Prior to final inspection of certificate of occupancy, on-site circulation signs shall be installed to the satisfaction of the Development Services Director.
13. No outdoor storage of materials is permitted on the site.

C. Fire Department Conditions of Approval

1. Construction documents shall be submitted to the South San Joaquin County Fire Authority for on-site improvements and installation of guard shack and turnstiles.
 - a. On-Site Improvements shall show the turf block is capable of supporting the imposed load of a fire apparatus weighing at least 75,000 pounds and locations of new and/or existing fire hydrants.

b. Construction permit shall include the installation of security gates across a fire apparatus access roads shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times. All electrically operated automatic gates across fire apparatus access roads shall be equipped with traffic preempting optical signal receivers compatible with the emitters utilized by the Fire Department, which will activate the gate and override all command functions of the gate controller. Knox Switches shall be provided at automatic gates. The traffic preemptive optical signal receiver and key switch shall be provided on both sides of an automatic access gate where an exit loop is not provided. The automatic gate shall have a battery backup or manual mechanical disconnect readily accessible to emergency personnel in case of power failure. All gates must meet Fire Department standards deemed necessary by the fire code official for rapid, reliable access. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200. All manual gates shall be equipped with a Knox-Box containing a key to the gate, or an approved Knox-Padlock.

D. Building Division Conditions of Approval

1. Prior to building permit issuance and construction of the proposed guard shack, smoking enclosure, 8' fence, awning/canopies, and parking expansions applicant shall submit construction documents, plans, specifications and/or calculations to the Building Safety Division, which meet all requirements of Title 24 California Code of Regulations and City of Tracy Municipal Codes, as applicable. If the guard shack and/or smoking shelter will be factory built structures (opposed to site built/inspected) they shall be CA HCD approved units as applicable.