

# ELLIS SPECIFIC PLAN

Tracy, California

*Prepared for*  
The City of Tracy

*Submitted by*  
The Surland Companies

**Ellis APPROVED**

Application No. SPA11-0002, Tracy Resolution 2013-012,  
January 22, 2013

**Ellis AMENDED**

Application No. SPA15-0003, Tracy Ordinance 1251, April 3, 2018  
(incorporated herein)

Application No. SPA19-0001, Tracy Ordinance 1266, March 5, 2019  
Amendment to Fence Regulations and Minimum Lot Width  
Requirements (attached hereto)

**Avenues APPROVED**

Application No. SPA16-0003, Tracy Ordinance 1262, September 18, 2018

**Ellis and Avenues AMENDED**

Application No. SPA20-0007, Tracy Ordinance 1305, May 4, 2021





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**CHAPTER 5. GLOSSARY**

**APPENDIX**

- A1 Ellis Pattern Book: Urban Design Associates
- A2 Ellis Additional Landscape Features/Character Elements And Sign Program: Gates+Associates
- B1 Avenues Pattern Book: Urban Design Associates
- B2 Avenues Additional Landscape Features/Character Elements And Sign Program: Gates+Associates
- C Ellis Specific Plan Area
- D Amendments

# Chapter 1. Introduction





# 1.1 Background

Ellis is a planned mixed-use community being built in Tracy, California. The original Ellis Specific Plan was approved by the Tracy City Council on January 22, 2013 by City Council Resolution 2013-012. The Avenues Specific Plan was approved by the Tracy City Council on September 18, 2018 by City Ordinance 1262. On May 4, 2021, the Tracy City Council approved certain amendments to the Ellis Specific Plan to merge the Avenues Specific Plan area into the Ellis Specific Plan. The City Council approval formally dissolved the Avenues Specific Plan as an adopted, statutory specific plan area under Article 8 of Title 7 of the Government Code, and added the approximately 95-acre Avenues area to the existing approximately 321-acre Ellis Specific Plan area, thereby expanding the Ellis Specific Plan area to comprise the entire combined 416-acre area. The amended Ellis Specific Plan supersedes the previously approved Ellis Specific Plan and the previously approved Avenues Specific Plan.

As amended, the Ellis Specific Plan area is now comprised of two “Neighborhoods”, the Ellis Neighborhood and the Avenues Neighborhood, which are described in Chapter Two and Chapter Three of this Ellis Specific Plan. Although both Neighborhoods are now part of the Ellis Specific Plan, the development rules and regulations and zoning designations for each Neighborhood have not changed from rules, regulations and designations that applied in the previous specific plans. Merging the Avenues Specific Plan area into the Ellis Specific Plan was intended to, among other things, simplify the administration of the two projects and facilitate the inclusion of the Avenues Specific Plan area in the Ellis Property Owners Association (EPOA).



Figure 1.1 The Vision for Ellis

# 1.2 Specific Plan Authorization



Figure 1.2 View of the proposed Aquatic Park

## 1.2.1 STATE AUTHORITY

Specific Plans are authorized by Section 65450 et seq. of the California Government Code. As set forth in the Government Code, Specific Plans must contain the information outlined below. The location of this information in each Chapter for each Neighborhood in the ESP is shown in bold following each item.

- The distribution, location, and extent of the uses of land within each Neighborhood.
  - › Chapter 2: Sections 2.1–2.2 for the Ellis Neighborhood
  - › Chapter 3: Sections 3.1–3.2 for the Avenues Neighborhood
- The proposed distribution, location, and extent of major components of public and private transportation, wastewater conveyance, water drainage, solid waste disposal, energy, and other essential facilities.
  - › Chapter 2: Section 2.2 for the Ellis Neighborhood
  - › Chapter 3: Section 3.2 for the Avenues Neighborhood



Figure 1.3 Pedestrian-oriented spaces create a hometown feel.



Figure 1.4 View of the Ellis site

- Standards and Criteria by which development will proceed and standards of conservation, development, and utilization of natural resources.
  - › Chapter 2, Section 2.3 and Appendix A1 for the Ellis Neighborhood
  - › Chapter 3, Section 3.3 and Appendix B1 for the Avenues Neighborhood
- A program of implementation measures including development regulation, capital improvements, public works projects, and financing measures.
  - › Chapter 2, Section 2.1 and 2.3 for the Ellis Neighborhood
  - › Chapter 3, Section 3.1 and 3.3 for the Avenues Neighborhood

The ESP has two appendices for each Neighborhood:

- **APPENDIX A1** Ellis Pattern Book: Urban Design Associates
- **APPENDIX A2** Ellis Additional Landscape Features/Character Elements And Sign Program: Gates+Associates
- **APPENDIX B1** Avenues Pattern Book: Urban Design Associates
- **APPENDIX B2** Avenues Additional Landscape Features/Character Elements and Sign Program: Gates+Associates

### 1.2.2 CITY OF TRACY AUTHORITY

*Under Section 10.20.010 Authority for Specific Plans of the Tracy Municipal Code under the California Planning and Zoning Law, the City Council is authorized to prepare, adopt, and implement a Specific Plan for any area covered by the City of Tracy General Plan. (Gov't Code 65450 and following. This includes areas within the City boundaries, the City's sphere of influence, or the General Plan planning area. (Ord. No. 1126, § 1, 11-18-2008)*



Figure 1.5 Front porches create a sense of community.



Figure 1.6 View of the multi-use Village Center

## 1.3 Relationship to Other Plans

As set forth in greater detail herein, this Specific Plan fulfills the goals, objectives, and policies of the General Plan. It is also consistent with the San Joaquin County Airport Land Use Plan, and the 1998 Master Plan for the Tracy Municipal Airport. The ESP contains considerable detail related to the regulations and guidelines required to implement the vision of a new community at Ellis.

### 1.3.1 CITY OF TRACY GENERAL PLAN

The General Plan was adopted by the City Council in July 2006 and amended in February 2011. In a departure from the previous General Plan adopted in 1993, the General Plan envisions that the City will preserve its ‘hometown feel’ by creating residential neighborhoods with a sense of place that are diverse, attractive, safe, walkable, and affordable. In pursuit of this vision, the updated General Plan contains an extensive *Community Character Element*. It is a primary objective of the ESP not only to comply with the General Plan, but also to become a project for the implementation of the General Plan with its *Community Character Element*.



Figure 1.7 Landscaped, pedestrian-friendly streets create memorable places (Highland Avenue, Tracy).

### 1.3.2 CITY OF TRACY INFRASTRUCTURE MASTER PLANS

The City is in the process of updating its master plans for water, wastewater, stormwater, and roads to be consistent with, and to implement, the General Plan. However, the original Ellis Specific Plan was adopted prior to the City’s initiation of its master plan updates, and as a result, the Ellis Neighborhood is subject to a City-approved Finance and Implementation Plan (FIP) that establishes the Ellis Neighborhood’s fair share of development impact fees and addresses the infrastructure needs of the Ellis Neighborhood in such a manner as to correspond to the updated infrastructure master plans to the extent practicable. The

proponents of the original Ellis Specific Plan worked closely with the City to ensure that development of the Ellis Neighborhood would be incorporated in the baseline assumptions of the infrastructure master plans that were under development at that time.

In contrast, the Avenues Specific Plan was prepared and adopted after the City initiated its master plan updates, and development of the Avenues Neighborhood will be subject to conformance with the City's updated infrastructure master plans.

### **1.3.3 COUNTY AND CITY AIRPORT PLANS**

The Tracy Municipal Airport is located to the southeast of the Ellis Specific Plan area. Land uses within certain zones in the vicinity of the airport are regulated by the San Joaquin County Airport Land Use Commission (ALUC). The San Joaquin Council of Governments serves as the ALUC and has adopted the San Joaquin County Airport Land Use Plan, the latest version of which was adopted in 2009. In 1998, the City of Tracy adopted the Master Plan for the Tracy Municipal Airport (Tracy Airport Master Plan).

It is a policy of the Safety Element of the General Plan that new development be consistent with the County and City airport plans. As set forth in greater detail herein, the amended ESP complies with all applicable sections of the City of Tracy Airport Master Plan and the San Joaquin County Airport Land Use Plan.

### **1.3.4 ZONING**

This document serves as the zoning document for all property within the amended ESP area.

# 1.4 How to Use the Neighborhood Plans and Pattern Books

This ESP will serve as a regulatory tool in the development of Ellis Specific Plan area. It is a document to be used by designers, developers, builders, planners, and regulators. The ESP incorporates Pattern Books (Appendices A1 and B1) for each Neighborhood that set forth standards for the development of buildings on lots. Together, the ESP with the Pattern Books comprise the administrative document governing the development of the two Neighborhoods. The body of the ESP generally governs horizontal development of lots with their land uses, parks, public landscaping, roads, and utilities; the Pattern Books generally govern the vertical development on established lots, including the placement of buildings on lots and the exterior architecture of buildings. Chapter 4. Plan Review describes the process of developing the Ellis community using the ESP and the Pattern Books, from site design through building permit.

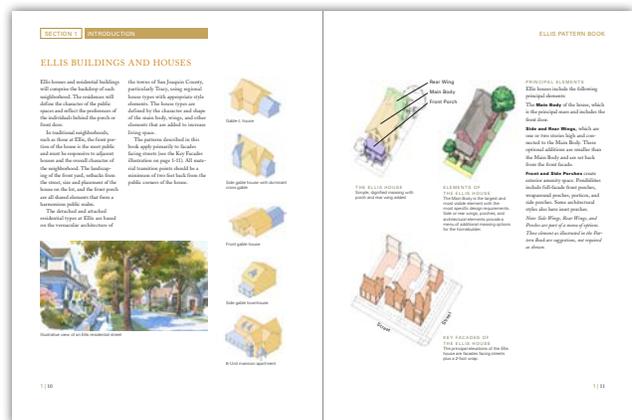


Figure 1.8 Example page from the Ellis Pattern Book (Appendix A1)

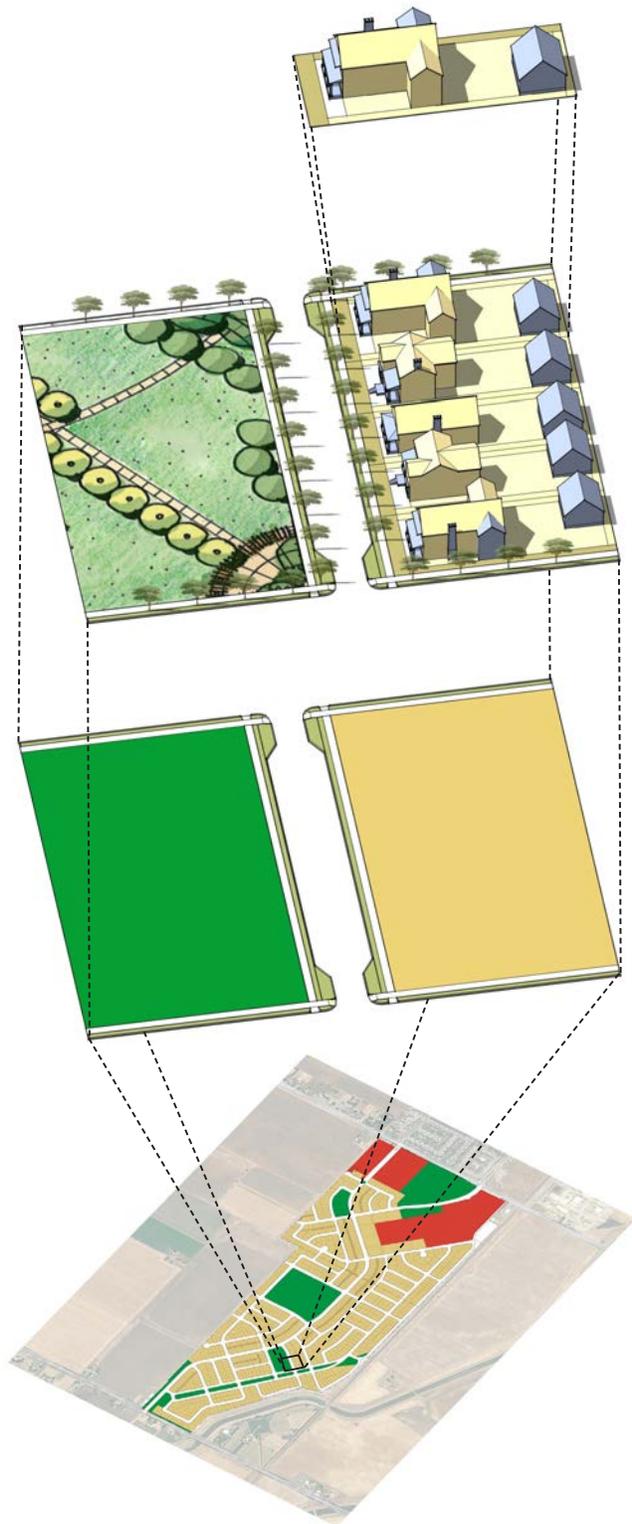
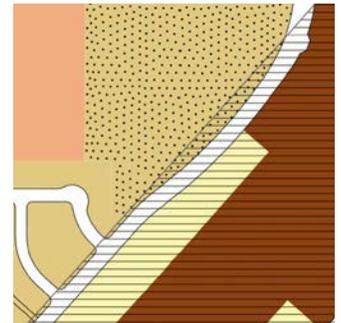


Figure 1.9 From House to Community

ELLIS SPECIFIC PLAN ZONING SUMMARY			
LAND USE DESIGNATION	GROSS ACRES	UNITS / GROSS ACRES***	RANGE OF UNITS ALLOWED / MAXIMUM NON-RESIDENTIAL SF
 Residential Estate	17	*****	1 to 9.4*****
 Residential Mixed*	260	4 to 9	1,000 to 2,250
 Village Center*	14	0 to 25	0 to 50 units/ 140,000 sf *****
 Limited Use*	30	NA	430,000 sf of self-storage 40,000 sf of office*****
<b>Total</b>	<b>321</b>		<b>ESP includes 1,000 and maximum of 2,250 residential units ** and 180,000 SF non-residential</b>
<p>* Acres for public rights-of-way, parks, and special landscape features are included within Gross Acres Calculations designations</p> <p>** Not including secondary residential units</p> <p>*** Units per gross acre is to be calculated less Aquatic Park, School Site, Outer Approach Zone, and Pipeline encumbered acres</p> <p>**** 430,000 square feet of self-storage and boats and recreational vehicles (passive uses) and 40,000 square feet of office uses, subject to ALUCP restrictions</p> <p>***** Development is limited in the 2009 ALUCP Outer Approach/Departure Zone to 1 residential unit per 5 acres, which equates to a maximum of 9.4 residential units based on 47 total acres in the Outer Approach/Departure Zone.</p> <p>***** The total traffic count generated by the Village Center will not exceed that of 140,000 sf of non-residential and 50 units of residential without additional traffic analysis.</p> <p>Note Consistent with City requirements, the ESP includes a park dedication of 4 acres per 1,000 people. Ellis will feature 3 park acres per 1,000 population generated of Neighborhood Parks and 1 park acre per 1,000 population generated of Community Parks (4 park acres per 1,000 population generated total).</p>			

Table 1.1 ESP Zoning Summary

# Chapter 2. Ellis Neighborhood Plan





## 2.1 Land Use and Development Standards

### 2.1.1 LAND USE CONCEPT

The proposed project is a comprehensive land use plan (Specific Plan per Government Code Section 65450 et seq.) for the development of approximately 321 acres primarily defined in the City of Tracy General Plan as TR-Ellis (Figure 2.2). The Ellis Neighborhood includes a broad mix of residential housing types and densities, neighborhood parks, a Village Center, ancillary and low intensity commercial uses, and an opportunity to include a Family-Oriented Aquatic Park (Aquatic Park) serving as a Community Park. A multimodal transit hub (Transit Center), with ACE train and Tracer bus service will be incorporated in the event such a use becomes desirable and feasible.

The plan will accommodate a minimum of 1,000 to a maximum of 2,250 residential units, not including secondary residential units; 180,000 square feet of retail, civic, office, and other commercial uses; 430,000 square feet of self-storage and boats and recreational vehicles (passive uses); and, consistent with City requirements, 4 acres per 1,000 people of parks.

The Ellis Neighborhood includes 1,000 to 2,250 residences (as noted above) to be built on 321 gross acres. The overall site density will be between 4 and 9 units per gross acre.

Three residential neighborhoods, the Village Neighborhood, Garden Neighborhood, and Town & Country Neighborhood, will comprise Ellis (Figure 2.3). Each neighborhood will have its own distinct sense of place, reinforcing the General Plan goal of creating a hometown feel. All neighborhoods will have a grid of pedestrian-scaled streets. A system of neighborhood parks will be integrated into the residential street grid.

Blocks are sized to support a mix of housing types all designed to meet a wide range of income and family needs. When completed, the three neighborhoods



Figure 2.1 The Ellis Village Center

will include a spectrum of housing opportunities and neighborhood parks.

The community will be constructed using traditional neighborhood design principles, creating a pedestrian-friendly network of streets and parks. In certain cases, garages will be kept off the street and will be accessed by way of rear driving lanes, also known as alleys. The architecture of all buildings will represent a number of residential styles historically popular in the Tracy region.

The Ellis Pattern Book (architectural and site design guidelines) was created to guide the design of all buildings (see Appendix A1). This document calls for a mix of regional vernacular architectural styles such as: Craftsman, Farmhouse Victorian, Colonial Revival, European Country, Mediterranean Revival, and Spanish Colonial.

A system of parks will provide the community with both active and passive recreation opportunities. Generally, parks range in character from urban to rural, and in use from active to passive. These amenities vary in scale and are designed to provide a sense of place.

All of the streets will be publicly owned and maintained. These streets will be built to the standards established by the ESP.

Table 2.1 on page 8 of this section provides a summary of the proposed land use designations at Ellis.

**2.1.2 LAND USE PLAN**

**2.1.2.1 General Description**

The General Plan Land Use Designation for the residential uses in the Ellis Neighborhood area is primarily Traditional Residential-Ellis (TR-Ellis), depicted in the General Plan Land Use Designations (Figure 2.4). The Ellis Neighborhood Zoning summary (Figure 2.6) illustrates the general location and relationship of all the primary land use areas. This Land Use Designations diagram will serve as the main reference and guideline for all future planning work and implementation activities in the Ellis Neighborhood Area.



Figure 2.2 Ellis Property Boundary, 321 Acres

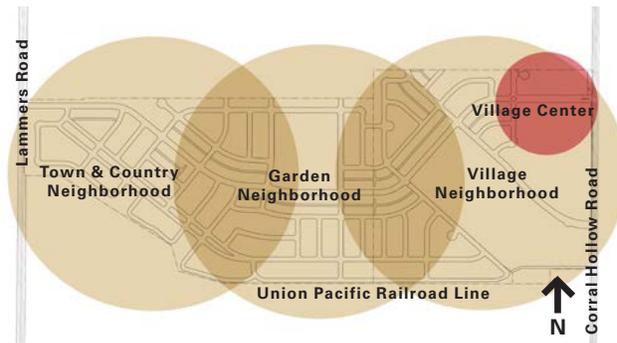


Figure 2.3 Ellis' three neighborhoods and Village Center

The Ellis Neighborhood Plan proposes a residential community that will provide a wide variety of housing types and lifestyle choices. Residential is the predominant land use. The residential land uses will be supported by parks, commercial uses, and a mixed-use Village Center.

All residential units are planned at a low to high density to facilitate the construction of a broad range of housing types.

The Ellis Neighborhood Plan and the Pattern Book (Appendix A1) provide the development regulations for Ellis. Development topics not covered by the Ellis Neighborhood Plan or the Pattern Book (Appendix A1) are regulated by Title 10 of the Tracy Municipal Code (TMC) or other City standards as applicable (See Section 4.8 of the ESP).

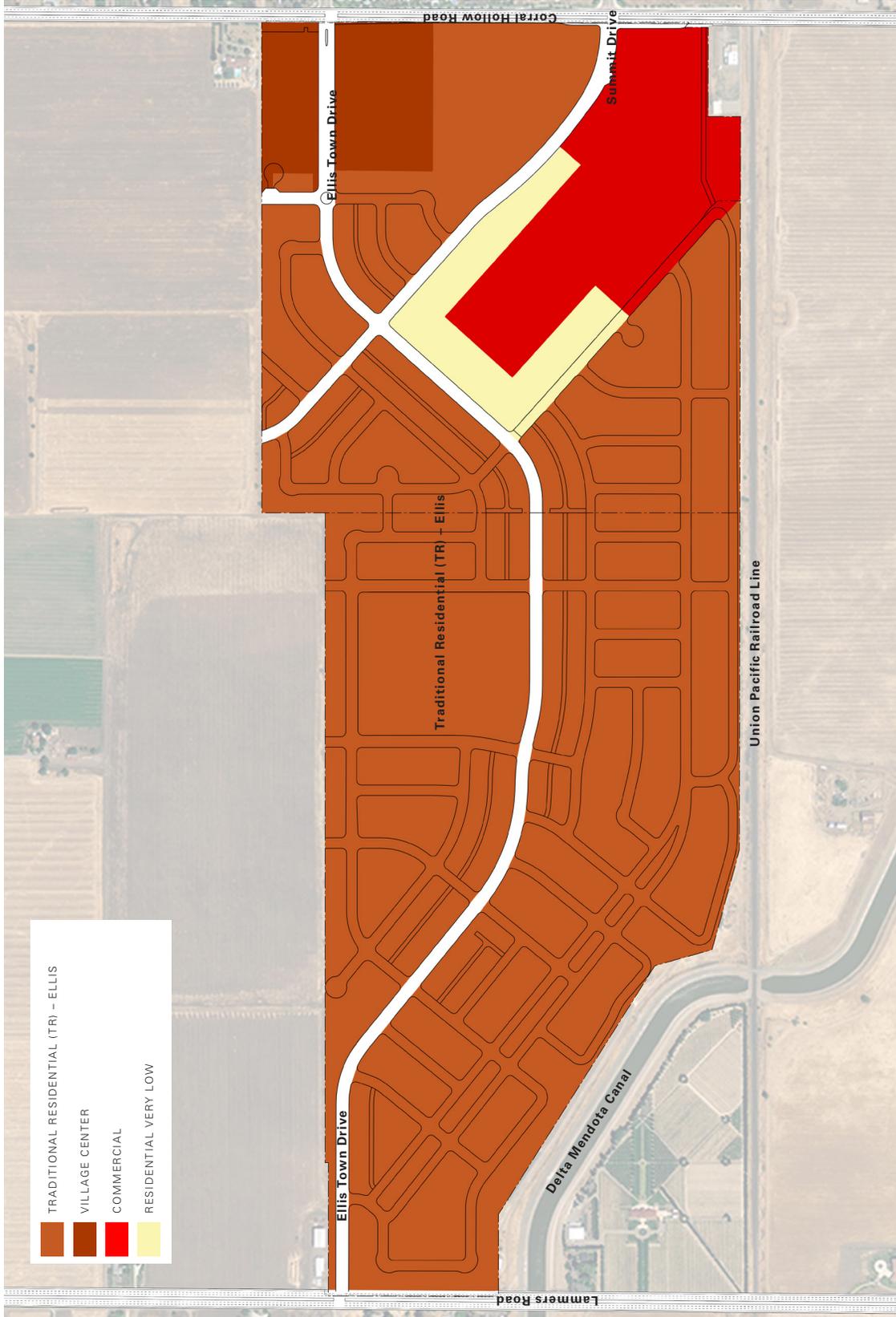


Figure 2.4 General Plan Land Use Designations



Figure 2.5 Illustration of Ellis neighborhood

### 2.1.2.2 Residential Land Use

The goal of mixing residential densities is to provide a range of housing choices to the residents of Tracy. The Ellis community will be characterized by three residential neighborhoods: the Village Neighborhood, Garden Neighborhood, and Town & Country Neighborhood. The Village Center will be built out over time in response to market demand.

The primary Residential Land Use Designation for Ellis is Traditional Residential–Ellis (TR–Ellis). Per the General Plan, TR areas consist of a mix of residential densities and housing types reminiscent of traditional neighborhoods, ranging from single-family detached housing to attached medium and high density housing types, sometimes adjacent to (or above) retail, commercial, or other compatible uses. TR allows a mix of a wider range of housing types, lot sizes, and density ranges compared with typical Residential Very Low (RVL), Residential Low (RL), Residential Medium (RM), and Residential High (RH).

#### Residential Mixed

The primary zoning for Ellis is Residential Mixed. Consistent with TR–Ellis, Residential Mixed requires lot types to be intermixed. The resulting community character will project a “hometown feel,” including moderate building setbacks, variety in house size, sitting porches, and a mix of architectural styles. Lot types range from narrow lots to wide lots. The exact location of each lot type shall be established at the time of Tentative Map approval, based on the mixing

criteria in the Ellis Neighborhood Plan and Pattern Book (Appendix A1). These mixing criteria are documented in 2.1.4.6 Residential Lot Type Diversity. Zoning standards are documented in the Pattern Book. For development standards not addressed by the Ellis Neighborhood Plan for the area designated Residential Mixed, the requirements applicable to the Medium Density Cluster Zone (MDC) in the Tracy Municipal Code shall apply.

#### Residential Estate

In addition to Residential Mixed, Ellis has an area (approximately 17 acres) that is designated Residential Estate. The vision for the Residential Estate area is to have 9 large lots each ranging in size from approximately one to two acres. The General Plan designation for this area is Residential Very Low, which has a density range of 0.1 to 2.0 dwelling units per gross acre. The area designated Residential Estate is limited by the San Joaquin County Airport Land Use Plan (ALUCP) Outer Approach/Departure Zone to a maximum of 9 residential units.

Zoning standards shall be associated with the Residential Estate lot type documented in the Pattern Book. For any development standards not addressed by the Ellis Neighborhood Plan for the area designated Residential Estate, the requirements applicable to the Residential Estate Zone in the Tracy Municipal Code shall apply.

#### Housing Diversity by Design

All residential land uses are planned around a concept known as ‘diversity by design.’ Diversity by design is achieved by emphasizing a variety of housing types and sizes, classic architecture in simple forms, wonderful public space, and walkable access to parks. Diversity is thus accomplished without sacrificing the kinds of amenities that today’s homebuyers and renters desire.

Blocks in Ellis are sized to support a mix of housing types all designed to meet a wide range of income and family needs. When completed, Ellis will have a spectrum of housing opportunities.

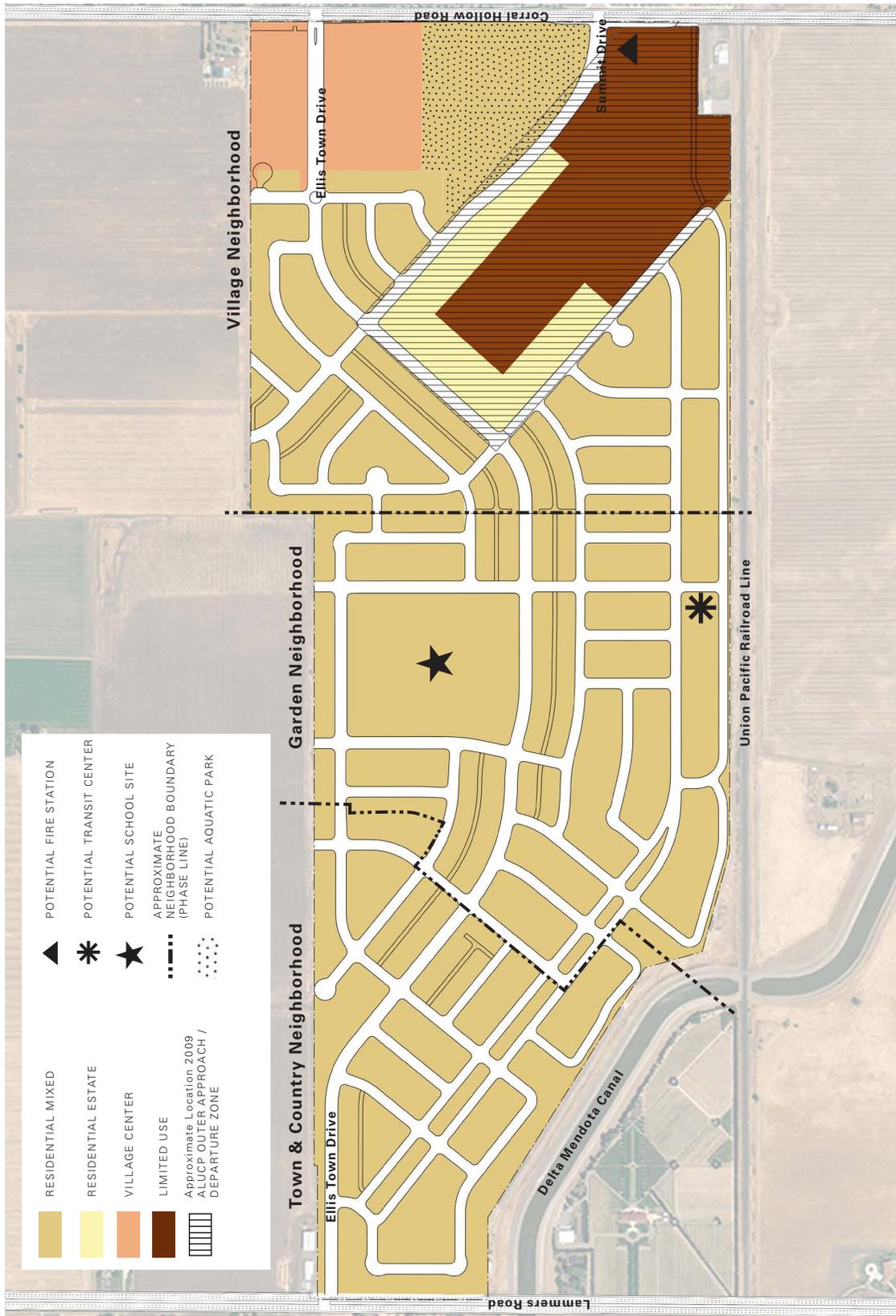


Figure 2.6 Ellis Neighborhood Zoning

Note 1: Pursuant to the City of Tracy General Plan, parks and special landscape features are allowed within residential land use designations. For an illustration showing the prescribed location of parks and special landscape features, see Section 2, Figure 2.71.

Note 2: Pursuant to the City of Tracy General Plan, lanes are allowed within residential land use designations. The precise location of such facilities will be determined upon the approval of detailed plans. Diagrams in the ESP are illustrative and not intended to indicate the percent or location of lane loaded lots. In general, lanes are encouraged parallel to higher traffic interior streets and along view corridors.

ELLIS SPECIFIC PLAN ZONING SUMMARY			
LAND USE DESIGNATION	GROSS ACRES	UNITS/GROSS ACRES***	RANGE OF UNITS ALLOWED/ MAXIMUM NON-RESIDENTIAL SF
 Residential Estate	17	*****	1 to 9.4*****
 Residential Mixed*	260	4 to 9	1,000 to 2,250
 Village Center*	14	0 to 25	0 to 50 units/ 140,000 sf *****
 Limited Use*	30	NA	430,000 sf of self-storage 40,000 sf of office*****
<b>Total</b>	<b>321</b>		<b>ESP includes 1,000 and maximum of 2,250 residential units ** and 180,000 SF non-residential</b>
<p>* Acres for public rights-of-way, parks, and special landscape features are included within Gross Acres Calculations designations</p> <p>** Not including secondary residential units</p> <p>*** Units per gross acre is to be calculated less Aquatic Park, School Site, Outer Approach Zone, and Pipeline encumbered acres</p> <p>**** 430,000 square feet of self-storage and boats and recreational vehicles (passive uses) and 40,000 square feet of office uses, subject to ALUCP restrictions</p> <p>***** Development is limited in the 2009 ALUCP Outer Approach/Departure Zone to 1 residential unit per 5 acres, which equates to a maximum of 9.4 residential units based on 47 total acres in the Outer Approach/Departure Zone.</p> <p>***** The total traffic count generated by the Village Center will not exceed that of 140,000 sf of non-residential and 50 units of residential without additional traffic analysis.</p> <p>Note Consistent with City requirements, the ESP includes a park dedication of 4 acres per 1,000 people. Ellis will feature 3 park acres per 1,000 population generated of Neighborhood Parks and 1 park acre per 1,000 population generated of Community Parks (4 park acres per 1,000 population generated total).</p>			

Table 2.1 Ellis Neighborhood Plan Zoning Summary

2.1.2.3 Village Center

Permitted uses for the Village Center are described in 2.1.4.2 Permitted Uses and listed in Table 2.2. The plan will accommodate up to 140,000 square feet of non-residential uses in the Village Center, as well as up to 50 high-density residential units, possibly in a mixed-use configuration with residential over commercial. Residential units in the Village Center may be apartments, townhouses, condominiums, and/or live/work units (see 2.1.4.2 Permitted Uses).

Access to the Village Center for most vehicles will be by way of Ellis Town Drive. Visitor parking will be on-street and behind shops and connected to Ellis Town Drive via pathways. Sidewalks will link the Village Center directly to adjacent residential neighborhoods and the bikeway network.

Zoning standards for the Village Center shall be as documented in the Pattern Book (Appendix A1). For any development standards not addressed by the Ellis Neighborhood Plan for the area designated Village Center, the requirements applicable to the Community Shopping Center Zone in the Tracy Municipal Code shall apply.



Figure 2.7 Illustration of the Village Center

2.1.2.4 Limited Use

The Limited Use designation is intended to allow for up to 40,000 square feet of office uses and business services, and 430,000 square feet of self-storage and storage of boats and recreational vehicles (passive uses), including a unit for Ellis Storage Managers Living Quarters as a part of the Ellis Storage Office, subject to restrictions of the San Joaquin County Airport Land Use Compatibility Plan (ALUCP) Outer Approach/Departure Zone. See 2.1.4.2 Permitted Uses.

Zoning standards for the Limited Use area shall be as documented in the Pattern Book. For any development standards not addressed by the Ellis Neighborhood Plan for the area designated as Limited Use, the requirements applicable to the General Highway Commercial Zone in the Tracy Municipal Code shall apply.

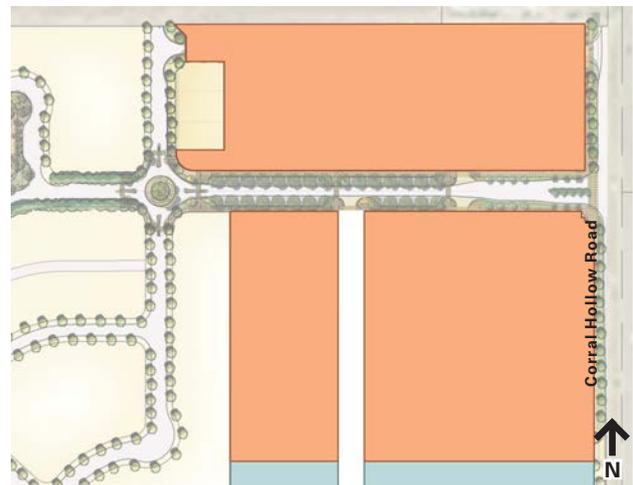


Figure 2.8 Illustrative Plan of the Village Center

#### 2.1.2.5 Public Facilities

A minimum of 4 acres per 1,000 people will be dedicated to public use as parks based on 3.21 residents per residential unit (see Table 2.1). A description of all of the public facilities, public uses, and associated land use designations for Ellis follows.

**POLICE:** The Tracy Police Department will serve Ellis.

**FIRE:** The South County Fire Authority will serve Ellis.

**TRANSIT CENTER:** The ACE Train and Tracer bus service may serve Ellis via a multimodal transit hub. The Ellis Neighborhood Plan includes a potential 5-acre site along the existing rail line, approximately halfway between Corral Hollow and Lammers Roads within the TR-Ellis area. Uses on this site would include a train stop, bus transfer stop, and commuter parking spaces sufficient to serve the transportation uses.

**SCHOOLS:** The Jefferson School District and Tracy Unified School District are responsible for providing elementary schools for the residents of Ellis. The construction of a new elementary school may be necessary to serve the residents of Ellis. If the District determines that an elementary school in the Ellis area is necessary, Ellis will provide a potential 12- to 16-acre site for purchase by the District within the Ellis Neighborhood Plan boundary.

On-site school drop off loops shall be designed and installed by the school district at the time of school construction. Access drives shall be provided from the streets to serve on-site drop off loops.

**PARKS (P):** A portion of the Ellis Neighborhood Area is reserved for parks. Consistent with City requirements, the Ellis Neighborhood Plan includes a park dedication of 4 acres per 1,000 people. Ellis will feature 3 park acres per 1,000 population generated of Neighborhood Parks and 1 park acre per 1,000 population generated of Community Parks (4 park acres per 1,000 population generated total) based on 3.21 residents per residential unit. The Aquatic Park will be used as credit for the Community Park requirement if the land dedication offer is accepted.

The park system is designed to serve a broad cross-section of residents by providing a diverse mix of active and passive recreational opportunities. It is also designed to be in compliance with the City of Tracy General Plan requirements and State of California's Quimby Act.

The proposed Aquatic Park is an allowable use in Residential Mixed. Uses in the Aquatic Park may include a competition swimming pool, recreation pool, wet play structures, recreational rivers, and support facilities.

Neighborhood parks are also an allowable use in Residential Mixed and Residential Estate. Figure 2.70 shows an illustrative distribution of neighborhood parks including the prescribed location. The precise location of such facilities will be determined upon submittal of detailed plans.

For illustrative descriptions of the parks, see Section 2.2.6 Parks Network.

### 2.1.3 PHASING

#### 2.1.3.1 Description of Phases (Neighborhoods)

The Ellis Neighborhood Plan Area is divided into three neighborhoods defined by density, intensity, and character. The neighborhood boundaries, development ideas, and land uses are summarized in this section. In general, each neighborhood approximately represents a phase of development. Development is expected to begin in the respective neighborhoods in the order indicated, but the build-out of the neighborhoods is expected to overlap significantly. The Ellis Pattern Book (Appendix A1) provides development standards and design guidance. The neighborhoods described in this section are subject to future refinements as detailed development plans are finalized.



Figure 2.9 Illustrative Phasing Diagram



Figure 2.10 Illustrative View of Village Center



Figure 2.11 Illustrative View of the Village Neighborhood

### 2.1.3.2 Village Neighborhood (Phase 1)

#### General Description

The Village Neighborhood will include the land in the eastern portion of the Plan Area. Phase 1 is adjacent to Corral Hollow Road to the east, the railroad line to the south, Phase 2 to the west, and agricultural land to the north.

The non-residential program will be built out over time in response to market demand.



Figure 2.12 Village Neighborhood (Phase 1)

#### Land Use

This section of the community will contain a mix of uses. The Ellis Neighborhood Plan will accommodate up to 140,000 square feet of non-residential space in pedestrian-oriented buildings in the Village Center.

Housing in the Village Center may occur in attached unit types and/or mixed-use or live/work buildings.

The Village Neighborhood may also contain the Aquatic Park. Public parks will be the primary gathering places for Ellis residents and the citizens of Tracy. They will serve as a venue for hosting competitions, community events, concerts, and festivals. Defining elements of the neighborhood include:

- Aquatic Park
- Neighborhood retail
- A mix of residential uses
- Neighborhood parks



Figure 2.13 Illustrative View of the Garden Neighborhood

### 2.1.3.3 Garden Neighborhood (Phase 2)

#### General Description

The Garden Neighborhood will be located in the central portion of the Plan Area. This Phase is adjacent to the Union Pacific Railroad line to the south and agricultural land to the north.

#### Land Use

The Garden Neighborhood will include a mix of single-family detached unit types. Units will be organized around a series of centrally-located neighborhood parks and connected to the Village Center by community and neighborhood streets, sidewalks, and paths. Supporting uses will include both active and passive recreational uses.

Primary access to the neighborhood will be from the main east-west Community Streets. These streets provide direct connections to Lammers and Corral Hollow Roads. Defining elements of the neighborhood include:

- Interconnected street network
- A mix of housing types and lot sizes
- School site
- Neighborhood park



Figure 2.14 Town & Country Neighborhood (Phase 2)



Figure 2.15 Illustrative View of Town & Country Neighborhood

### 2.1.3.4 Town & Country Neighborhood (Phase 3)

#### General Description

The Town & Country Neighborhood will be located in the western portion of the Ellis Neighborhood Plan Area. Phase 3 is defined by Lammers Road to the west, agricultural land to the north, Phase 2 to the east, and the Delta Mendota Canal to the south.

#### Land Use

The Town & Country Neighborhood will include single-family residential uses adjacent to parks and open spaces.

Primary access to the neighborhood will be from Lammers Road. Defining elements of the neighborhood include:

- Quiet residential streets
- Rural landscape design
- Neighborhood park



Figure 2.16 Garden Neighborhood (Phase 3)

## 2.1.4 GENERAL LAND USE REGULATIONS

### 2.1.4.1 Purpose and Applicability

The purpose of this section is to provide land use development standards that apply throughout the Ellis Neighborhood Plan Area. The following sections describe property development standards including permitted uses, height limits, parking, underground utilities, resource conservation measures, sign regulations, fencing, and special landscape requirements. Design guidelines are included in the Ellis Pattern Book (Appendix A1). All improvements shall follow the Tracy Municipal Code (TMC) unless specified herein. The permit review process however is described in ESP Section 4: Plan Review.

It is anticipated and understood that, in order to meet the objectives of the *Community Character Element* of the General Plan and fully implement the objective of a mix of housing types, there may be minor variations to both the ESP and Pattern Book as the ESP moves through the implementation process. Any variation other than a minor variation as determined by the Development and Engineering Services Director must receive Planning Commission and City Council review in accordance with the TMC as a Specific Plan Amendment.

### 2.1.4.2 Permitted Uses

This section sets forth the uses permitted within each of the land use designations listed below and described in Section 3. 2.

For the purposes of this ESP, all permitted and conditionally permitted uses are described in Table 2.2. All uses listed are permitted by right, except those uses specifically listed as *Conditional*. Conditional uses are defined as those which require special consideration of their impacts on the neighborhood and land uses in the vicinity and/or of their physical organization and design. A conditional use shall obtain Conditional Use Permit (CUP) approval in accordance with the TMC.

All permitted uses are allowed either alone or in combination with any other permitted uses within a parcel. If a proposed use is not explicitly listed below, the Development and Engineering Services Director may determine the use is permitted, conditionally permitted, or prohibited, based on the purpose and intent of this Ellis Neighborhood Plan and the proposed use's similarity to the listed uses which are described on the following pages.

Uses <sup>1</sup>	Village Center	Residential Mixed	Residential Estate	Limited Use
Retail and consumer services, such as grocery stores, drug stores, hardware stores, clothing and shoe stores, department stores, miscellaneous retail (excluding boats, automobiles, and other motorized vehicles), gas stations/ service stations (not including repair work), veterinary clinics, pet grooming, photography studios, and personal services (e.g., hair, nail and tanning salons, and garment pressing, repairs, and alterations)	P	NP	NP	NP
Eating and/or drinking establishments (with or without entertainment) without serving alcohol and providing entertainment after 11:00 p.m. <sup>2</sup>	P	NP	NP	NP
Eating and/or drinking establishments that serve alcohol and provide entertainment after 11:00 p.m. <sup>2</sup>	C	NP	NP	NP
Recreational uses, such as instructional dance studios, gymnastics studios, martial arts studios, fitness clubs, video arcades, bowling alleys, sports training facilities, and bounce houses/ trampoline parks	P	NP	NP	NP
Business services, such as computer and office supply, duplication, mailing/shipping, and print shops	P	NP	NP	p <sup>3</sup>
Offices, such as business and professional offices, administrative offices, medical and dental offices, banks, and pharmacies	P	NP	NP	p <sup>3</sup>
Lodging, such as hotels and motels	P	NP	NP	NP
Public facilities, such as schools, fire stations, parks, athletic fields, aquatic parks (as noted on Fig. 3.6), recreation centers, art galleries and museums, performing arts centers, transit facilities and stations, libraries, and meeting halls	P	P	p <sup>3</sup>	NP
Educational, cultural, and institutional uses, such as private schools and day care centers, places of assembly, private meeting halls, and private museums	P	C	NP	NP
Self-storage/mini-storage and storage of boats, recreational vehicles, trailers, vehicles, and contractor trucks/ vehicles	NP	NP	NP	p <sup>3, 4</sup>
Agricultural crops	NP	NP	NP	p <sup>3</sup>
Vehicle Sales, Service, & Rental	NP	NP	NP	NP
Multi-family dwellings / Attached Residential <sup>5, 6</sup>				
Live/work units <sup>7</sup>	p <sup>9</sup>	NP	NP	NP
Townhouses <sup>10</sup>	P	P	NP	NP
Mansion Apartments <sup>11</sup>	P	P	NP	NP
Single-family dwellings / Detached Residential <sup>12</sup>	NP	P	p <sup>3</sup>	NP
Public Utilities	P	P	p <sup>3</sup>	p <sup>3</sup>

Table 2.2 Permitted and Conditionally Permitted Uses

P = Permitted  
 C = Conditionally Permitted (CUP required, per TMC)  
 NP = Not Permitted

Accessory uses and temporary uses shall be allowed as provided in the Tracy Municipal Code (TMC).

Notes:

1. Outdoor merchandise sales and displays, or storage of merchandise, equipment, supplies (including automobiles, trailers, and other vehicles or containers), or other materials, are not permitted, unless approved by Ellis Pattern Book Certification/Development Review or Temporary Use Permit.
2. "Entertainment" means such uses as live music, disc jockeys, dancing, karaoke, comedy shows, modeling, or live performances.
3. Permitted, subject to restrictions of the San Joaquin County Aviation System Airport Land Use Compatibility Plan (ALUCP)
4. Storage or parking of semi-trucks and semi-trailers is not permitted. Manager living quarters is permitted as an accessory use. Washing, cleaning, and light maintenance/servicing of motor homes, travel trailers, boats, and rental moving vans is permitted for owners, customers, and clients of the Ellis storage facility.
5. "Intentionally left blank."
6. See Appendix A1: Ellis Pattern Book, Section 3, Attached Residential
7. Residential living space that also includes an integrated work space principally used by one or more residents. Work activity shall be limited to office, the making of arts and crafts, including painting, graphic production, photography, print, ceramics, sculpture, needlework, tapestry making, pottery making, hand weaving, and other activities compatible with residential use. Primary access from the public sidewalk to residential living space shall be provided through the work space. Permitted work activities shall be classified as a business.
8. "Intentionally left blank."
9. Work activities that require hazardous assembly, including fabrication, manufacturing, and repair or processing operations, such as welding and woodworking, require approval of a conditional use permit.
10. Buildings used as a residence for multiple households where all dwelling units have a dedicated entrance accessed directly from the public sidewalk or publicly accessible open space.
11. Buildings used as a residence for multiple households where dwelling units are accessed from a common lobby or shared hallway.
12. See Appendix A1: Ellis Pattern Book, Section 2, Detached Residential

2.1.4.3 Height Limits

This section sets forth the building height limit within each of the land use designations described in Section 2.1.2 Land Use Plan. Ellis building height regulations are documented in Table 2.3.

BUILDING HEIGHT LIMITS		
LAND USE DESIGNATIONS	DESCRIPTION	MAXIMUM HEIGHT(1)
<b>RE</b>	Residential Estate	35 feet
<b>RM</b>	Residential Mixed	35 feet <sup>(2)(4)</sup>
<b>VC</b>	Village Center	45 feet <sup>(4)(5)</sup>
<b>LU</b>	Limited Use	35 feet <sup>(5)</sup>
<b>TABLE CATEGORY KEY</b>		
<b>NOTES</b>		
(1) Measurement of buildings heights shall be as defined by the Tracy Municipal Code (TMC)		
(2) No maximum height limit for the Aquatic Park		
(3) One freestanding water tower landmark may extend up to 40 feet high		
(4) Flag poles and banner poles are permitted in Village Center, Limited Use, and Aquatic Park at heights up to 50 feet		
(5) Towers and other architectural or ornamental features may extend above the permitted building height by up to 10 feet. All roof-mounted mechanical equipment, including but not limited to: HVAC equipment, vents, skylights, fans, hoods, antennas, satellite dishes, and access hatches or ladders shall be at or below the height of the exterior parapet wall and not visible from any public right-of-way		

Table 2.3 Height Limits

**2.1.4.4 Parking/Loading/Landscaping/Pedestrian Access/Bike Parking**

**Off-Street Parking Requirements**

Off-street parking shall be provided in the Ellis Neighborhood Plan in accordance with the City of Tracy off-street parking requirements (Tracy Municipal Code, Article 26) except as otherwise specified below. The standard parking requirements shall be modified per Table 2.4.

**Loading Space**

Loading spaces shall be provided in the ESP in accordance with the City of Tracy loading space requirements (Tracy Municipal Code, Article 26) except as otherwise specified below.

Loading spaces for uses within the Village Center (VC), and Limited Use (LU) land use areas will be provided for in accordance with the following allowances and requirements:

- 1 No off-street loading spaces for non-residential uses are required for occupancy of 8,000 square feet or less of gross floor area.
- 2 Loading and unloading areas must be designated and posted.

<b>PARKING SPACES REQUIRED</b>	
<b>USES</b>	<b>MINIMUM PARKING SPACES REQUIRED</b>
Multi-family Residential in the Village Center	1.25 space per unit, including guest parking
Cafes, restaurants and other establishments for the sales and consumption of food and beverages in the Village Center	One space per 250 square feet of gross non-residential floor area. On-street parking spaces along Ellis Town Drive, that are within 300 feet of the Village Center, may be counted towards meeting the minimum number of parking spaces required. (For any non-residential uses in the Village Center)
Self Storage	One space for the manager and one space per 400 gross square feet of any office or retail components

Table 2.4 Parking Spaces Required

Landscaping Requirements for Parking Areas

- 1 Landscaping in parking areas shall be provided in the Ellis Neighborhood Plan in accordance with the City of Tracy landscaping requirements (Tracy Municipal Code, Article 26) except as otherwise specified below.
- 2 The minimum width of any landscape area within a parking lot shall be 5 feet.
- 3 In all landscape areas, low shrubs, ornamental grasses, perennials, annuals, and/or groundcover must be installed in addition to canopy trees. Turf is not permitted. All landscape areas within a parking lot must be irrigated.
- 4 Landscaping shall consist of plant materials and special hardscape, and shall include a combination of trees, shrubs, ground cover, and may include enhanced paving on walking surfaces.
- 5 Landscaping requirements for parking areas shall not apply to storage uses inside the security fence boundary.

Bicycle Parking Areas

Designated bicycle parking areas for Village Center (VC), Limited Use (LU), and Multi-Family within Residential Mixed (RM) zoning, and for the Aquatic Park, shall be provided in accordance with the following standards:

- A Required number of slots:
  - **MULTI-FAMILY** – 0.5 spaces per multiple-family unit
  - **VILLAGE CENTER (VC)** – 1 space per 20 required parking spaces
  - **AQUATIC PARK (P)** – 1 space per 20 required parking spaces
- B A sidewalk or hard surface is required to connect bike parking areas to bike lanes and/or bike trails.
- C Equipment racks that allow the bike frame and at least one wheel to be locked to the rack are required.
- D Bicycle parking areas should be as well-lit as vehicle parking lots and should be located in areas visible from paved sidewalks and the intended destination.
- E Bicycle parking shall be located on the site within two-hundred (200') feet of the public entrance to each building or use.

2.1.4.5 Underground Utilities

All utility distribution facilities (including but not limited to electric, gas, water, communication, and cable television lines), including utility service laterals and equipment, installed in and for the purpose of supplying service to any building or property shall be vaulted, except equipment appurtenant to underground facilities, such as risers from concealed ducts and poles supporting street lights.

2.1.4.6 Residential Lot Type Diversity

Residential diversity refers to the criteria that will be used to establish the location of various residential lot types to encourage an interesting and compatible neighborhood mix and to discourage the domination of a sub-area by only one or only a few lot types. The Ellis Neighborhood residential mixing requirements are as follows:

**Attached Types**

- 1 No more than 200 apartment units or condominium units located together.
- 2 No more than 800 linear feet of one lot type along the same street face without a break. A break is defined as a physical interruption. Breaks must be a minimum of 200 linear feet and can be created by the use of a park or another lot type.

**Detached Types**

- 1 No more than 1,200 linear feet of one lot type along the same street face without a break. A break is defined as a physical interruption. Breaks must be a minimum of 200 linear feet and can be created by use of a park or another lot type. Street rights-of-way can also be part of a break.

**Note:**

- 1 Within each neighborhood (Village, Garden, and Town & Country) there shall be a minimum of four different lot types. A single lot type may represent up to 50% of the lot mix.
- 2 Approved lot types are documented in the Pattern Book. Front-loaded versus Rear-loaded lots constitutes two different lot types.
- 3 For housing diversity requirements please refer to Pattern Book.

<b>TR-ELLIS – RESIDENTIAL MIXED</b>			
<b>LOT TYPE</b>	<b>RESIDENTIAL MIXED LOW</b>	<b>RESIDENTIAL MIXED MEDIUM</b>	<b>RESIDENTIAL MIXED HIGH</b>
<b>Townhouse</b>			X
<b>Live/Work</b>			X
<b>Mansion Apartments</b>			X
<b>Courtyard</b>			X
<b>Green Court</b>			X
<b>30 R</b>			X
<b>40 R</b>		X	
<b>45 R</b>		X	
<b>50 R</b>		X	
<b>50 F</b>		X	
<b>55 R</b>		X	
<b>55 F</b>		X	
<b>60 R</b>		X	
<b>60 F</b>		X	
<b>65 R</b>	X		
<b>65 F</b>	X		
<b>70 F</b>	X		
<b>80 F</b>	X		
<b>100 F</b>	X		
<b>GENERAL DIVERSITY REQUIREMENTS</b>			
<b>Single-Family Lots</b>		<b>Courtyard and Green Court Lots</b>	
30 or fewer lots = 1 floor plan/2 elevations		52 or fewer lots = 2 floor plans/2 elevations	
31 to 50 lots = 2 floor plans/2 elevations		53 or more lots = 3 floor plans/3 elevations	
51 or more lots = 3 floor plans/3 elevations			

Table 2.5 TR-Ellis – Residential Mixed

2.1.4.7 Resource Conservation Measures

Ellis has been designed and planned with environmental sustainability measures in mind. Such measures include compliance with new water efficiency standards for landscaping, walking paths, community connectivity, and Class 1 bike paths. Non-residential development will be consistent with the requirements for Neighborhood Electric Vehicles (NEV). Ellis is also located on a commuter rail line with a current transit stop less than two miles away.

Building plans shall show characteristics of each feature, material, component and manufactured devices proposed to be installed to meet current building energy efficiency standards.

2.1.4.8 Private Property Signs

Signs in the Ellis Neighborhood Plan Area on private property shall be regulated by Title 10, Article 35 of the Tracy Municipal Code, except as specified in Section 2.1.4.8 of the Ellis Specific Plan and Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program. The signs included in this Ellis Sign Program shall be permitted as shown. The approval process shall include only building permit, and a sign permit processed in accordance with Title 10, Article 35 of the Tracy Municipal Code.

In addition, the design of the landscape features/character elements in Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program shall be permitted as shown. All signs including monument signs are permitted according to Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program.

Sign Area

The maximum allowed sign area shall be based on building frontage and calculated as described in Title 10, Article 35, of the Tracy Municipal Code. As it pertains to calculating sign area, “building frontage” shall mean the building elevations facing a street, plaza, mall, or parking area. Where the building contains multiple uses, “building frontage” shall mean the linear frontage of that portion of the building between the occupancy separation walls.

Projecting Signs (along Corral Hollow Road)

One projecting sign is permitted on each character element (silo and granary) along Corral Hollow Road. The maximum area of each face of each sign is eighty (80) square feet. Signs may be internally or externally lit.

#### 2.1.4.9 Fencing

Fencing shall be provided in the Ellis Neighborhood Plan in accordance with the City of Tracy fencing requirements (Tracy Municipal Code, Article 24) except as otherwise specified in the Ellis Specific Plan as amended by Tracy Ordinance 1266, March 5, 2019. The permitted maximum height within any required front yard shall be no greater than three feet measured vertically from the top of the fence to the grade of the sidewalk nearest the property line. Model home fencing may extend into the public right-of-way to include public sidewalks in fenced areas.

A screening fence or boundary wall six feet (6') to twelve feet (12') in height, measured from the finished grade of the commercial property line, separating the commercial zone property from adjoining zones, shall be permitted around both permanent and temporary outdoor/self storage uses.

#### 2.1.4.10 Outdoor Merchandise Display or Storage

Permanent outdoor display or storage of merchandise, equipment, supplies (including automobiles, trailers, and other vehicles), or other material is prohibited unless explicitly approved by the City through Pattern Book Certification or approved through a Temporary Use Permit, regulated under the TMC. An exception is for Ellis Storage moving trucks, which may be parked at the Ellis storage site.

#### 2.1.4.11 Special Requirements

##### Railroad

The minimum permitted setback to habitable space from the centerline of the Union Pacific Railroad track shall be 100 feet.

##### Pipelines

The minimum permitted setback to habitable space from the centerline of the combined existing Pacific Gas & Electric (PG&E) and Chevron easements shall be 100 feet.

#### 2.1.4.12 Subdivision

All subdivisions shall be generally conforming to the layout on Figure 2.6 Ellis Neighborhood Zoning Summary. Diagrams in the Ellis Neighborhood Plan Area are illustrative and not intended to represent the precise final layout. The exact location of blocks, streets, lanes, and public facilities will be determined upon the approval of detailed plans. In general, typical blocks will be approximately 200 feet wide by 500 feet long and streets/lanes are based on the types documented in Section 2.2.

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## 2.2 Infrastructure

### 2.2.1 VEHICULAR ACCESS

Ellis is located adjacent to the current City limit of the City of Tracy and will be annexed into the City. Ellis has close proximity to Interstate 580, which connects the Central Valley with the East Bay and the Bay Area farther to the west. Ellis also has access to Interstate 205, running east/west, and has access to Interstate 5, running to Los Angeles and other points south. More immediate to the Ellis parcel, the area is connected to the City of Tracy by Lammers Road and Corral Hollow Road. Corral Hollow is a city arterial, however Lammers Road currently terminates at the southwestern edge of Ellis, near the Delta Mendota Canal. Lammers Road is planned to be improved to a six-lane expressway in the future. Urbanization of Ellis will require improvements to streets both within and beyond its boundary, particularly Lammers Road. East/west community streets will also provide main connections for the Ellis community to Corral Hollow and Lammers Roads, and therefore connectivity to the City of Tracy itself.

The land use concept for Ellis contains a framework for circulation consisting of both a Primary Street Network and an Internal Street Network (Figure 2.17 and Figure 2.18). Proposed access to the community will be provided by new main entrances from Corral Hollow Road and Lammers Road, the main north / south arterials defining the edges of Ellis. A main community street, named Ellis Town Drive, will align with Peony Road, connecting the new community to the residential development to the east. Ellis Town Drive will lead from the Village Center and proposed Aquatic Park to Lammers Road. Lammers Road will provide access to Ellis on the western edge of the community. A second main community street will align with the existing signaled intersection of Corral Hollow Road and Middlefield Road. The new street will be called Summit Drive and will lead from

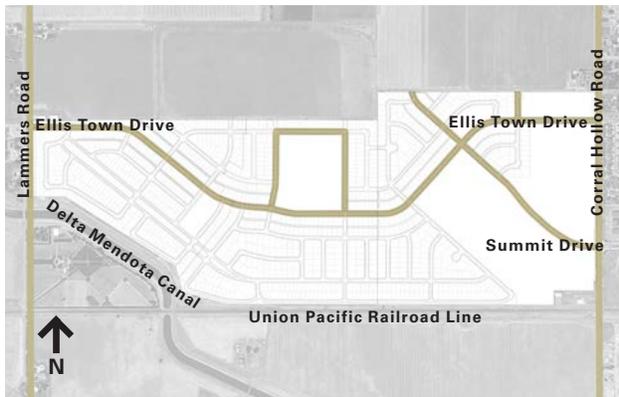


Figure 2.17 Primary Street Network

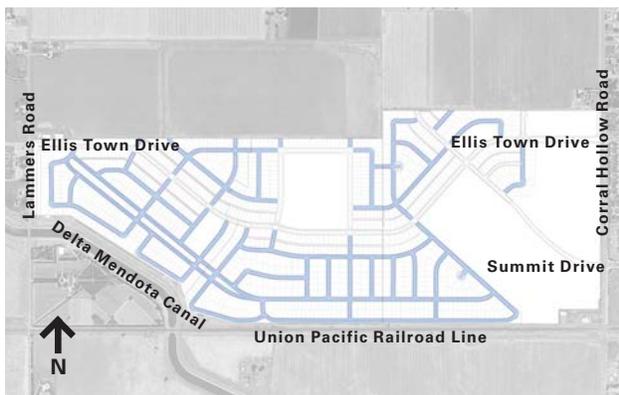


Figure 2.18 Internal Street Network

Corral Hollow Road to the north, through the Village Neighborhood, and may eventually connect to future community streets to the north of the Ellis Neighborhood Plan area. Through the environmental review process, including the City's certification of the ESP Revised Environmental Impact Report (Revised EIR), mitigation measures will be adopted and incorporated into the project to ensure compliance with, and implementation of, the City's General Plan goals, objectives, and policies concerning traffic congestion and other circulation issues, in accordance with the Ellis Program's Finance and Implementation Plan.

#### 2.2.1.1 Street Network and Hierarchy

A grid pattern of different street types (see Figure 2.23 Street Hierarchy), each with a different character and function, will serve the transportation needs of the community. With sidewalks on all streets, and bike-ways on many, the streets will become the armature for the pedestrian and bicycle network as they connect the residential neighborhoods, and parks within and beyond Ellis.

All streets will accommodate movement of emergency vehicles (including Fire and Public Safety vehicles).

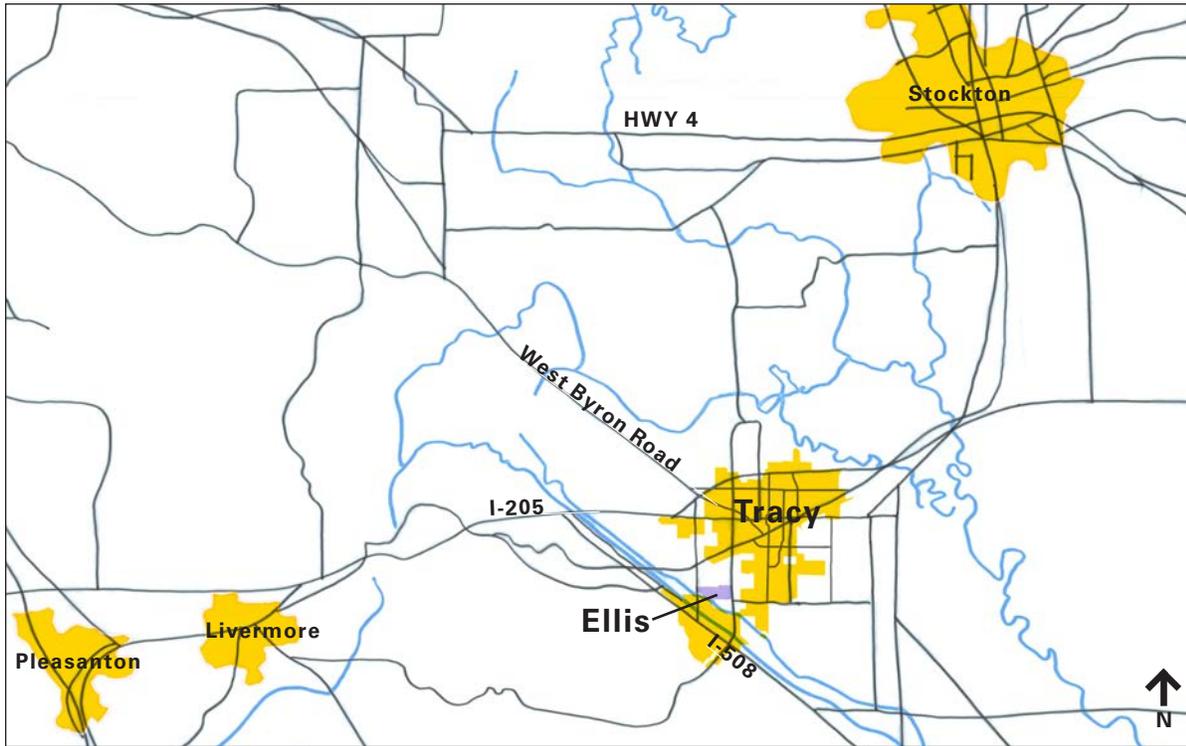


Figure 2.19 Regional Roads

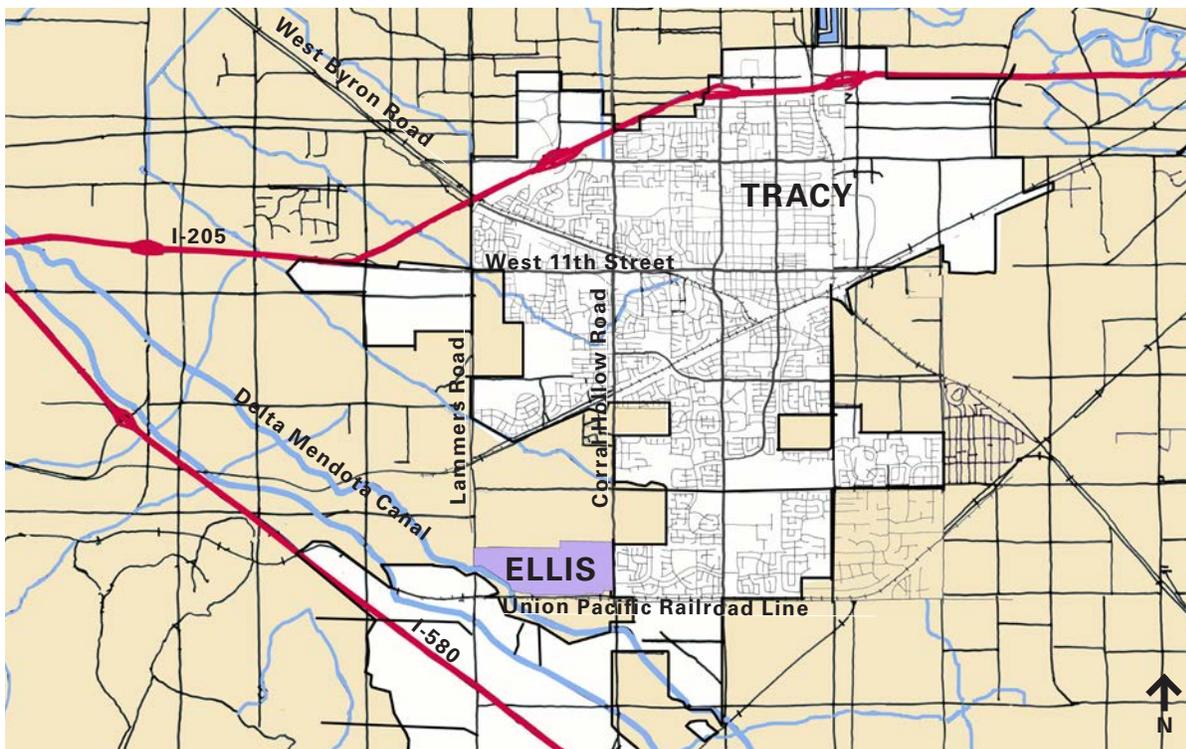


Figure 2.20 Vicinity Roads

In order to create pedestrian-friendly streets, the project design includes pedestrian/bicycle safety and traffic calming measures in excess of jurisdiction requirements. Roadways are designed to reduce motor vehicle speeds and encourage pedestrian and bicycle trips by featuring traffic calming measures. The Ellis Neighborhood Plan traffic calming menu of measures includes: traffic signals, all-way stop signs, two-way stop signs, on-street parking, bulb-outs at intersections, speed tables, traffic circle with all-way stops, knockdowns, chicanes, medians, closures (cul-de-sacs), diverters, education, forced turn lanes, etc. Figure 2.21 illustrates some of these techniques. More detailed measures may be utilized in specific areas, such as specially lit

crosswalks in the Village Center, to promote safety. 100% of streets and intersections will be considered for improvements. The final type and location of all traffic-calming elements will be determined at the time of Vesting and Tentative Map approval. All streets will be publicly owned and maintained. Streets will be built to the standards established by applicable City Engineering Design and Construction Standards and Standard Plans, except as modified by the ESP.

Figure 2.24 through Figure 2.29 identify streets by type: Regional Arterial, Entry, Community, Village Center, Neighborhood, and Lanes. The City is to accept dedicated streets and lanes, with the final location to be determined during Vesting and Tentative Map development.

Controlling Vehicle Movement



Traffic Signal



All-way Stop Sign



Two-way Stop Sign

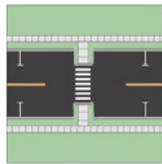
Narrowing the Street



On-street Parking



Bulb-out Intersection  
(intersection of a  
Community Street and a  
Neighborhood Street)



Speed Table

Deflecting the Vehicle Path



Traffic Circle with  
All-way Stop



Knockdown  
(intersection of two  
Community Streets)



Chicane/  
Deflection

Figure 2.21 Traffic-Calming Measures



Figure 2.22 Pedestrian-friendly Streets

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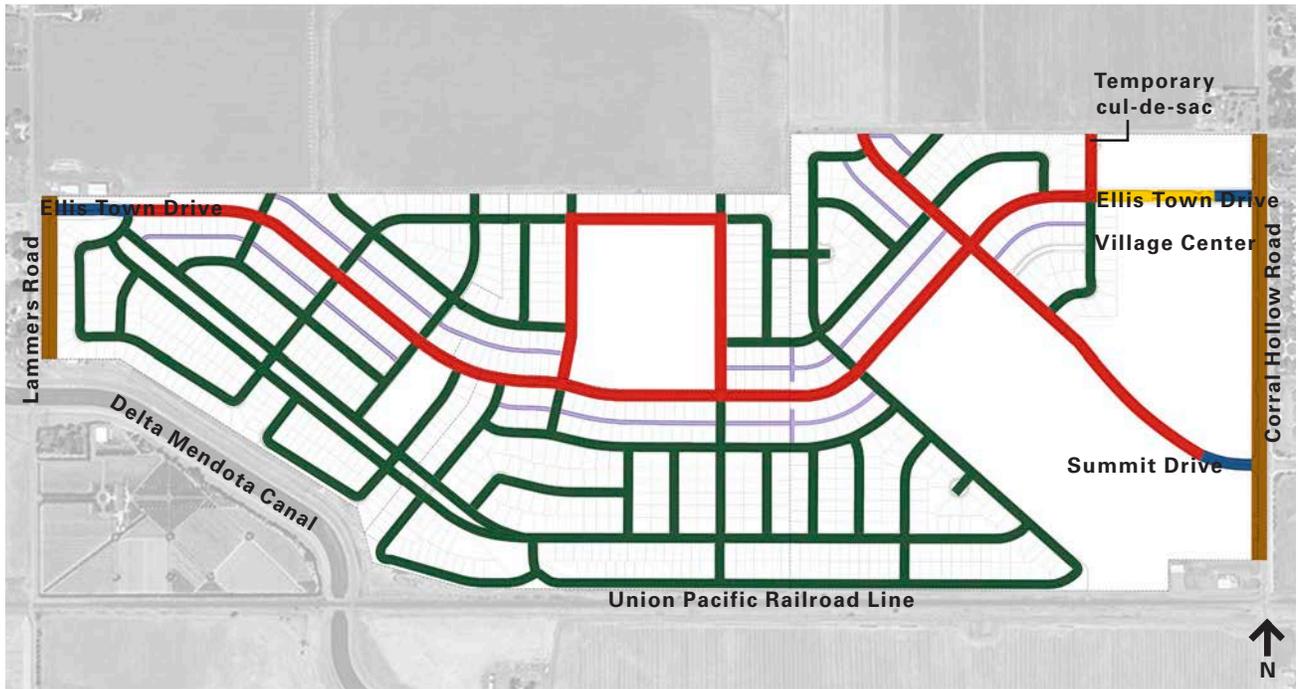


Figure 2.23 Street Hierarchy

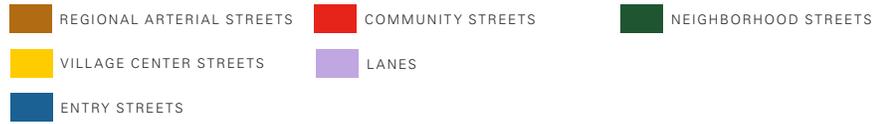




Figure 2.24 Regional Arterial Streets



Figure 2.25 Entry Streets





Figure 2.26 Community Streets

	COMMUNITY STREET A		COMMUNITY STREET A PARK ALTERNATIVE 2		COMMUNITY STREET B
	COMMUNITY STREET A PARK ALTERNATIVE 1		PARK ALTERNATIVE COMMUNITY STREET B		



Figure 2.27 Village Center Street

	VILLAGE CENTER STREET A
--	-------------------------

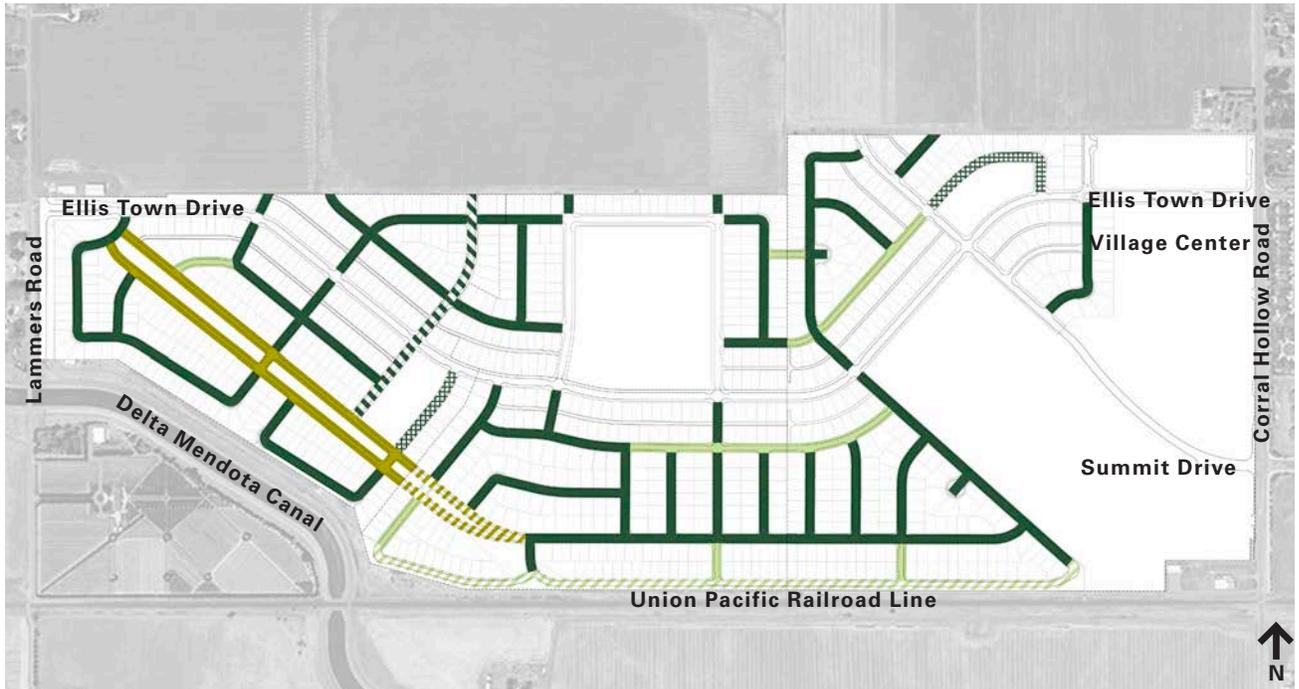


Figure 2.28 Neighborhood Streets

	NEIGHBORHOOD STREET A		NEIGHBORHOOD STREET B		NEIGHBORHOOD STREET E
	NEIGHBORHOOD STREET A ALTERNATIVE		NEIGHBORHOOD STREET B (RAILROAD ALTERNATIVE)		NEIGHBORHOOD STREET E (EASTERN)
	NEIGHBORHOOD STREET A PARK ALTERNATIVE				



Figure 2.29 Lanes

	LANE A		LANE A (ALTERNATE)
--	--------	--	--------------------

Pursuant to the City of Tracy General Plan, lanes are allowed within residential land use designations. The precise location of such facilities will be determined upon the approval of detailed plans. Diagrams in the ESP are illustrative and not intended to indicate the percent or location of lane loaded lots. In general, lanes are encouraged parallel to higher traffic interior streets and along view corridors.

2.2.1.2 Regional Arterial: Lammers Road

Designation: A (Cross-section at the time of connection of Ellis Town Drive to Lammers Road)

Definition

Lammers Road is an existing undivided two lane roadway that serves as a major north/south connection for the City of Tracy and is located on the western boundary of the City’s existing developed area. The only on-street bicycle lanes within Lammers Road are located on the eastern side of the roadway in the segment north of Eleventh Street. The posted speed limit within the City is 45 miles per hour. Lammers Road is designated as a future expressway in the 1994 Roadway Master Plan. The Ellis project will be responsible for construction of the connection of Ellis Town Drive to Lammers Road per street section shown in Figure 2.31.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	45 MPH
<b>TRAVEL LANES</b>	Two-way, two lanes; dedicated turn lane at intersection
<b>PARKING</b>	None
<b>R.O.W. WIDTH</b>	180 feet
<b>TRAVEL LANE WIDTH</b>	12 feet
<b>CURB TYPE</b>	None
<b>SIDEWALK WIDTH</b>	None
<b>BICYCLE LANE</b>	None
<b>PARK STRIP</b>	None
<b>LANDSCAPE</b>	A row of street trees underplanted with low water use grasses with backdrop of columnar trees planted in a windrow; transitional area to be planted with low water use grasses and/or shrubs (irrigated); see Section 2.2.7.3, 2.2.7.6 and Table 2.6, Table 2.7, and Table 2.8



Figure 2.30 Key Plan: Regional Arterial – Lammers Road, Designation A (Cross-section at the time of connection of Ellis Town Drive to Lammers Road)

 REGIONAL ARTERIAL A (AT TIME OF CONNECTION)

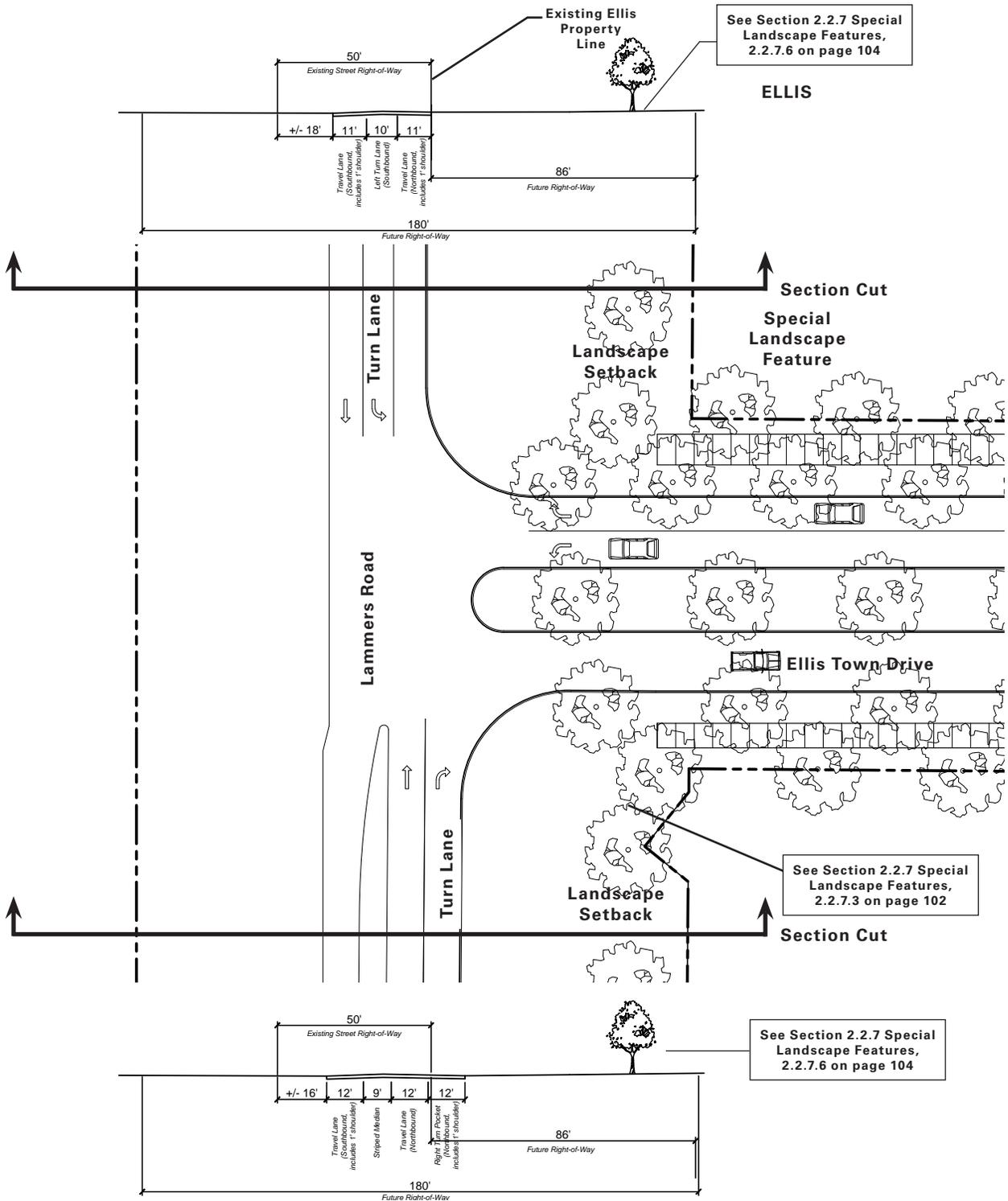


Figure 2.31 Existing Section and Plan: Regional Arterial – Lammers Road, Designation A (Cross-section at the time of connection of Ellis Town Drive to Lammers Road)

Designation: A (Final Build-out)

Definition

Lammers Road is designated as a future expressway and may be built to such standards in final build-out. According to the City of Tracy General Plan, expressways are designed to prioritize traffic movement with very limited access. This type of road has a 1/4 mile minimum spacing of access points and traffic control at major intersections provided by grade-separated facilities.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	45 MPH
<b>TRAVEL LANES</b>	Two-way divided roadway, six lanes with dedicated turn lane at intersection
<b>PARKING</b>	None
<b>R.O.W. WIDTH</b>	180 feet
<b>TRAVEL LANE WIDTH</b>	12 feet
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	10-foot multi-use path, one side
<b>BICYCLE LANE</b>	Class 2, both sides
<b>PARK STRIP</b>	6 feet at curb and 30 foot dedicated landscape setback behind sidewalk on the east side only
<b>LANDSCAPE</b>	A row of street trees underplanted with low water use grasses and/or shrubs, and backed by a windrow of columnar trees (irrigated); see Section 2.2.76 and Table 2.6, Table 2.7, and Table 2.8



Figure 2.32 Key Plan: Regional Arterial – Lammers Road, Designation A (Final Build-out)  REGIONAL ARTERIAL A (FINAL BUILD-OUT)

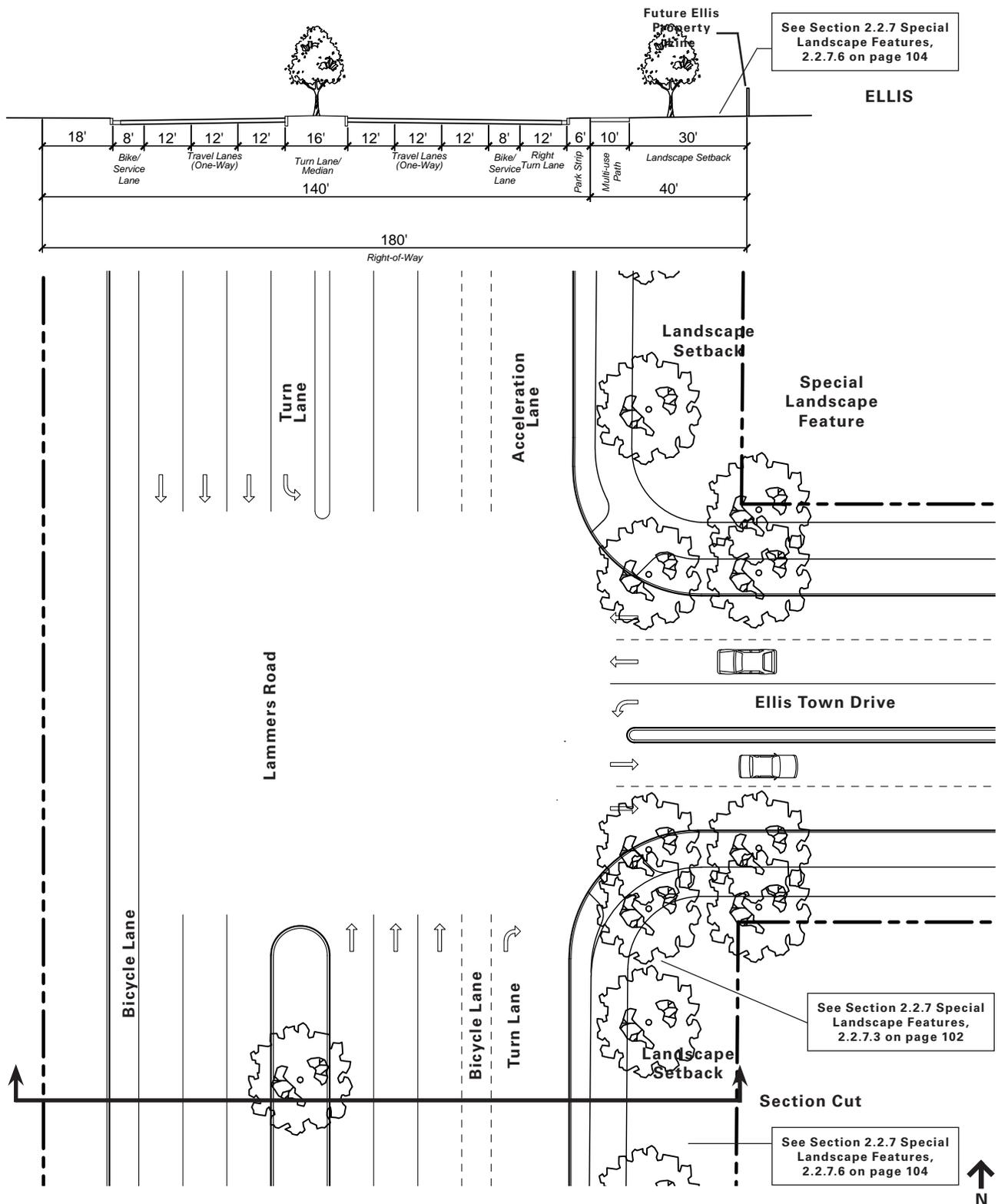


Figure 2.33 Build-out Section and Plan: Regional Arterial – Lammers Road, Designation A (Final Build-out)

2.2.1.3 Entry Street

Designation: A

Definition

Ellis Town Drive will be a primary entrance accommodating the largest traffic volumes entering and exiting the community from Lammers Road. Adjacent uses include special landscape features and residences. This street will have large trees in both the median and the park strip to celebrate the entrance. No on-street parking is allowed. A signal will be constructed by others at this new intersection prior to final build-out of Lammers Road.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	25 MPH
<b>TRAVEL LANES</b>	Two-way, two lanes maximum
<b>PARKING</b>	None
<b>R.O.W. WIDTH</b>	86 feet
<b>TRAVEL LANE WIDTH</b>	12 feet minimum
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	8 feet on one side; 10-foot multi-use path on the other side
<b>BICYCLE LANE</b>	Class 1, one side
<b>PARK STRIP</b>	10 feet at curb on both sides
<b>LANDSCAPE</b>	Double row of street trees underplanted with low water use grasses, shrubs, and/or groundcover (irrigated); planted median with trees (irrigated); see Section 2.2.7.3 and Table 2.6, Table 2.7, and Table 2.8



Figure 2.34 Key Plan: Entry Street A

ENTRY STREET A

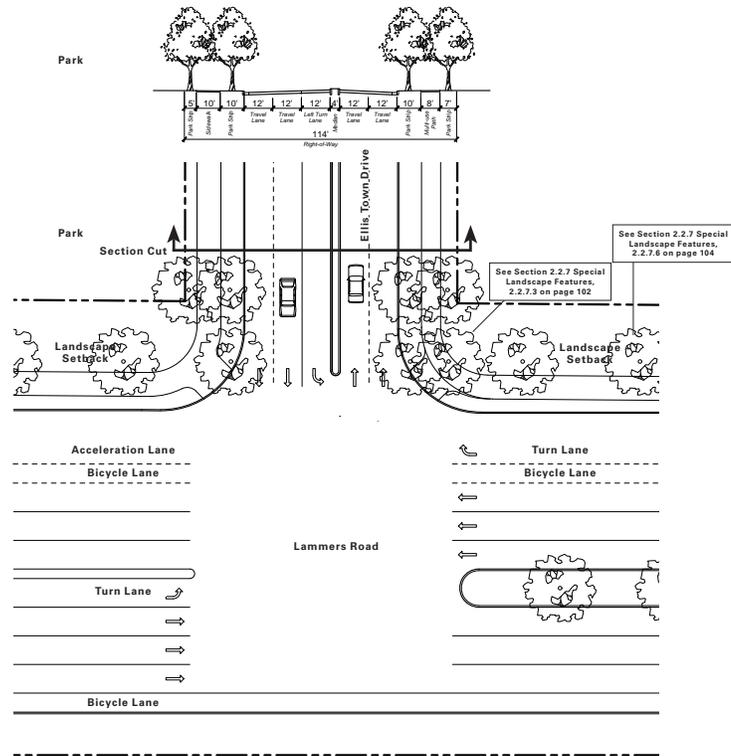
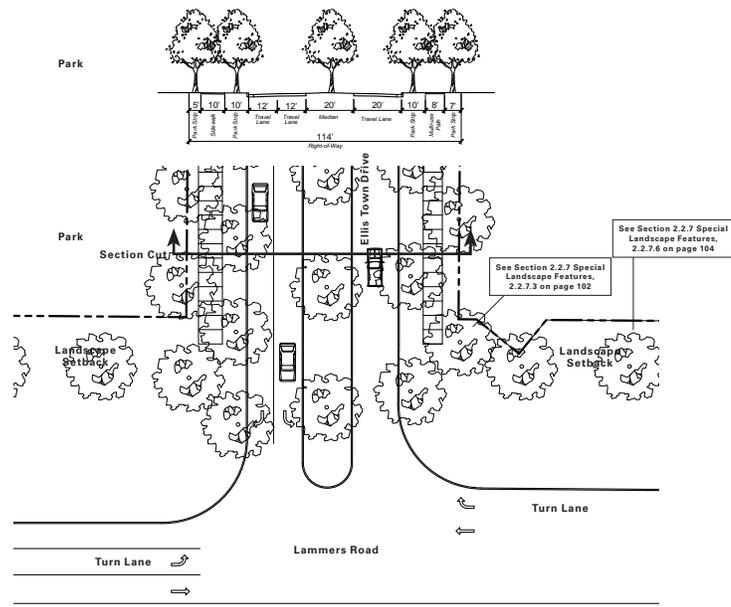


Figure 2.35 Proposed Section and Plan: Entry Street A  
 Potential for separate through, left, and right turn lanes for the westbound traffic at Lammers Road may be evaluated based on a City traffic analysis funded by the City Master Plans or other public source. City shall initiate such an analysis no later than within thirty (30) days of submittal of a tentative map, including this cross section, and shall complete the analysis within ninety (90) days from time of initiation. Any cost increases, aside from dedications of right-of-way, related to this cross section shall be reimbursable by the City Master Plans or other public source.



2.2.1.4 Regional Arterial: Corral Hollow Road

Designation: B (Partial Ultimate Improvement Condition)

Definition

Corral Hollow Road is an existing roadway that serves as a major north/south connection for the City of Tracy. Along the eastern boundary of the ESP, Corral Hollow Road is an undivided two lane roadway with an on-street bike lane, curb, gutter and sidewalk along the western side of the roadway. The posted speed limit along the project frontage is 45 miles per hour. Corral Hollow Road is designated as a major arterial in the City of Tracy General Plan. Major arterials are intended to serve as the major routes of travel within the city. Arterials can provide some direct but limited access to adjacent parcels. These limitations can include restrictions on spacing and turn movements into and out of driveway locations. Major arterials can also serve as bicycle and pedestrian routes. In its final build-out, this road has dedicated left and right turn lanes in both the north and southbound directions.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	45 MPH
<b>TRAVEL LANES</b>	Two-way divided roadway, four lanes with dedicated turn lanes at intersection
<b>PARKING</b>	None
<b>R.O.W. WIDTH</b>	130 to 150 feet
<b>TRAVEL LANE WIDTH</b>	11 to 12 feet
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	10-foot multi-use path on the west side, 5-foot existing sidewalk on the east side
<b>BICYCLE LANE</b>	Class 2, both sides
<b>PARK STRIP</b>	8 feet at the curb and 12-foot dedicated landscape zone behind sidewalk on the west side, existing park strips on the east side are of variable width
<b>LANDSCAPE</b>	Double row of street trees with single row of evergreen background trees; underplanted with low water use grasses, shrubs, and/or groundcover (irrigated); tree pattern broken in areas to allow views into commercial sites; planted median with trees (irrigated); see Sections 2.2.7.4, 2.2.7.5 and Table 2.6, Table 2.7, and Table 2.8



Figure 2.36 Key Plan: Regional Arterial B – Corral Hollow Road, Designation B (Partial Ultimate Improvement Condition)

REGIONAL ARTERIAL B

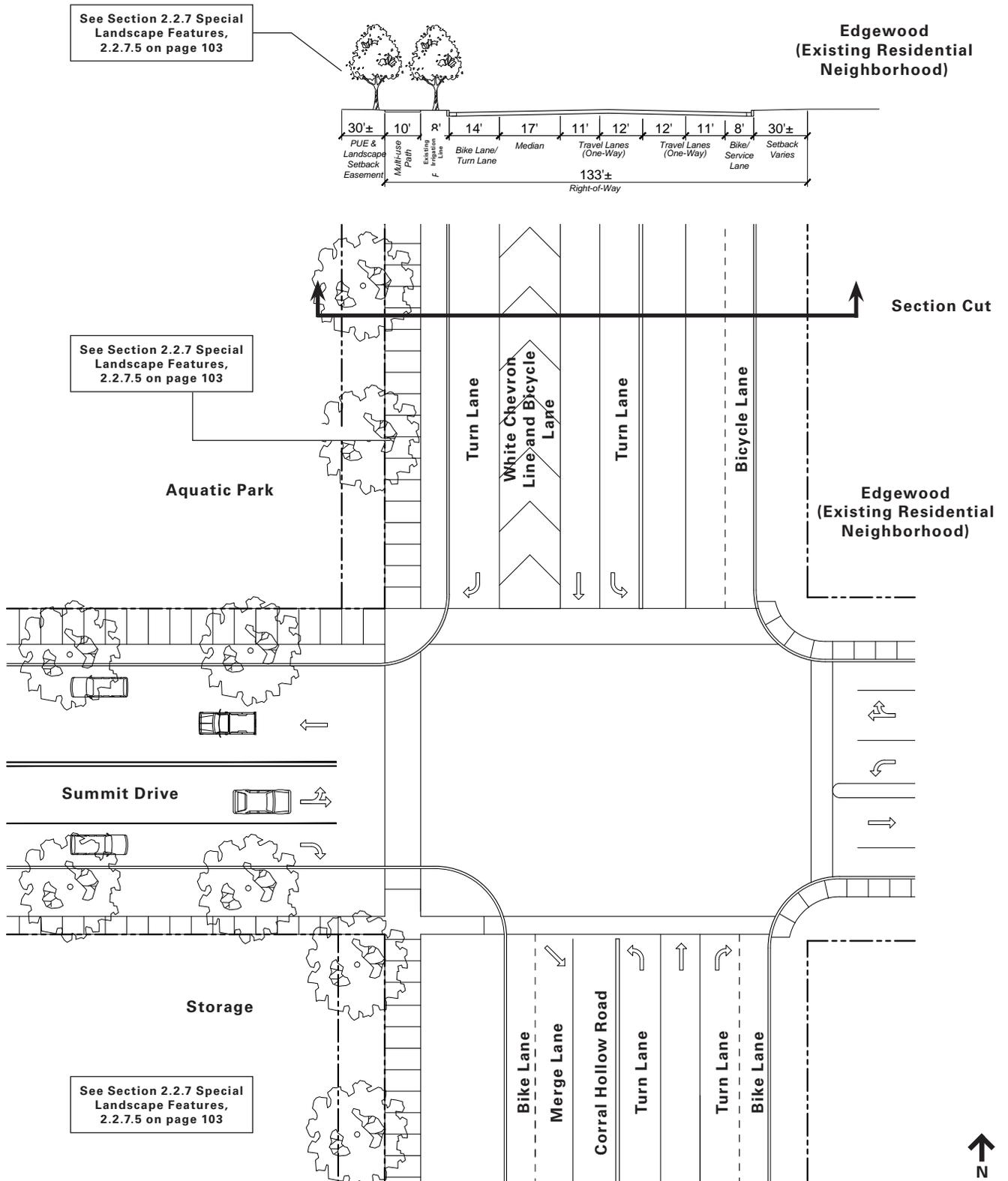


Figure 2.37 Partial Ultimate Improvement Section and Plan: Regional Arterial – Corral Hollow Road, Designation B (Partial Ultimate Improvement Condition)

2.2.1.5 Entry Street

Designation: B

Definition

Summit Drive will be a primary entrance accommodating high traffic volumes entering and exiting the community from Corral Hollow Road. This street will have large trees in the park strips to celebrate the entrance. No on-street parking is provided. Summit Drive within the ESP will extend existing Middlefield Road from its current terminus at the existing signalized intersection with Corral Hollow Road to the west and north through the Village Neighborhood.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	25 MPH
<b>TRAVEL LANES</b>	Two-way, three lanes
<b>PARKING</b>	None
<b>R.O.W. WIDTH</b>	91 feet
<b>TRAVEL LANE WIDTH</b>	12 feet minimum
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	10-foot multi-use path on one side; 5-foot sidewalk on other side
<b>BICYCLE LANE</b>	Class 1, one side
<b>PARK STRIP</b>	6-foot park strip on north side and width varies on south side
<b>LANDSCAPE</b>	Special landscape treatment featuring palms, accent planting and iconic elements (irrigated); see Section 2.2.7.2 and Table 2.6, Table 2.7, and Table 2.8



Figure 2.38 Key Plan: Entry Street B

ENTRY STREET B

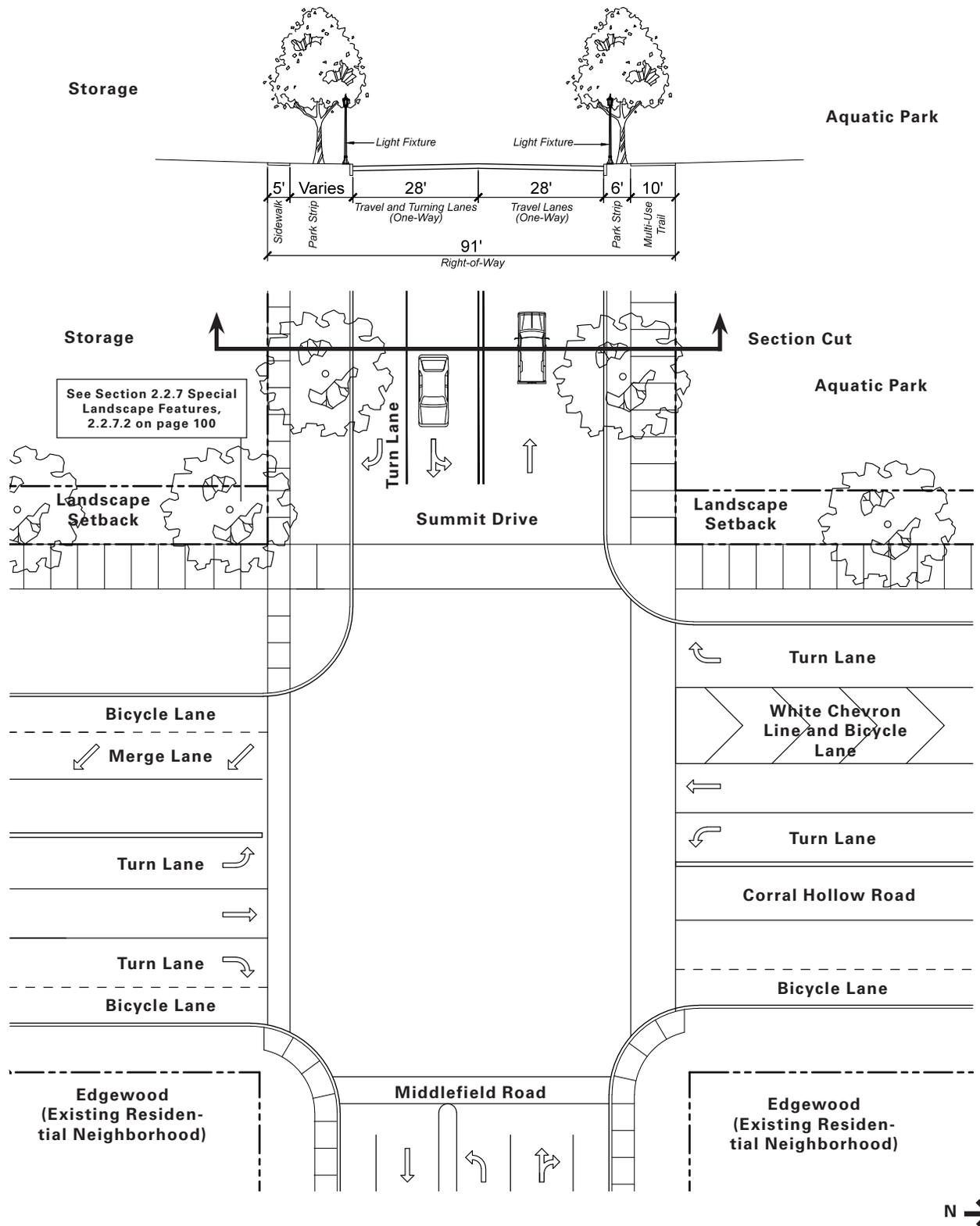


Figure 2.39 Proposed Section and Plan: Entry Street B

2.2.1.6 Entry Street

Designation: C (Ellis Town Drive)

Definition

Ellis Town Drive will be a primary entrance accommodating high traffic volumes entering and exiting the community from Corral Hollow Road. Adjacent uses include the Village Center. This street will have large trees in both the median and the park strip to celebrate the entrance and organize traffic entering the Village Center and this street will align with the existing non-signalized intersection at Peony Drive. A signal will be constructed by the City at this expanded intersection prior to the final build out of Corral Hollow Road.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	25 MPH
<b>TRAVEL LANES</b>	Two-way divided, three lanes
<b>PARKING</b>	None
<b>R.O.W. WIDTH</b>	86 feet
<b>TRAVEL LANE WIDTH</b>	12 feet minimum
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	10-foot multi-use path on one side; 10-foot sidewalk on other side
<b>BICYCLE LANE</b>	Class 1, one side
<b>PARK STRIP</b>	varies, both sides
<b>LANDSCAPE</b>	Special landscape treatment featuring palms, accent planting, and iconic elements (irrigated); see Section 2.2.7.1 and Table 2.6, Table 2.7, and Table 2.8



Figure 2.40 Key Plan: Entry Street C (Ellis Town Drive)

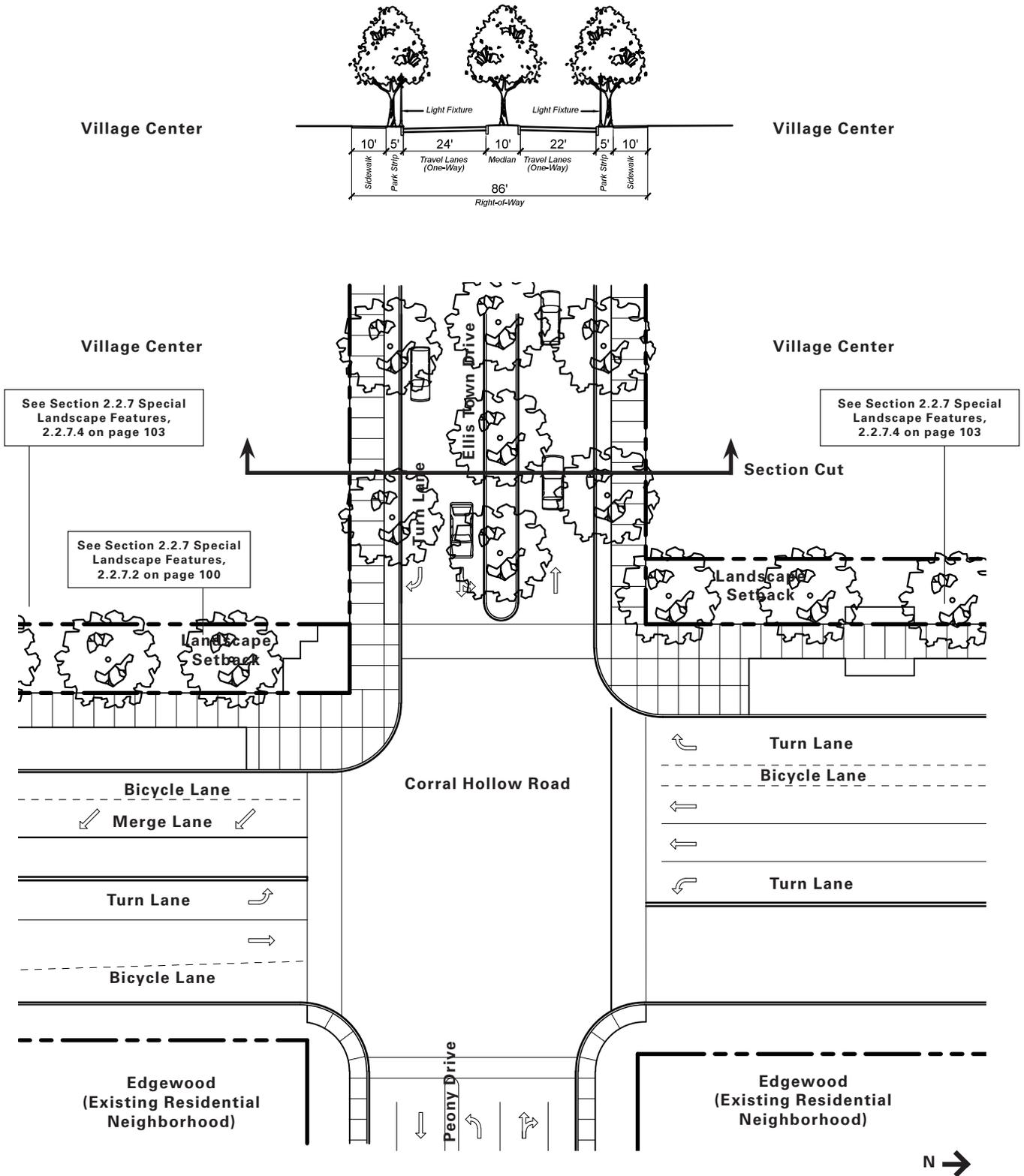


Figure 2.41 Proposed Section and Plan: Entry Street C (Ellis Town Drive)

2.2.1.7 Community Street

Designation: A

Definition

This street will be a link providing the main access for vehicles and bicycles across the community. Adjacent land uses will include residences and parks. On-street parking will be permitted on both sides of the street. A Class 1 bicycle lane on one side will be provided along the length of the street. This street shall employ several traffic control measures (as defined in Figure 2.21) in order to facilitate pedestrian connectivity as it creates the signature address of the community.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	25 MPH
<b>TRAVEL LANES</b>	Two-way, two lanes
<b>PARKING</b>	Parallel, both sides
<b>R.O.W. WIDTH</b>	68 feet
<b>TRAVEL LANE WIDTH</b>	11 feet
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	8 feet on one side; 10-foot multi-use path on other side
<b>BICYCLE LANE</b>	Class 1, one side
<b>PARK STRIP</b>	6 feet, both sides; except park alternatives
<b>LANDSCAPE</b>	Single row of street trees with low water use grasses, shrubs, and groundcover (irrigated); pedestrian access through landscape strip to be provided as necessitated by parking; see Table 2.6, Table 2.7, and Table 2.8



Figure 2.42 Key Plan: Community Street A



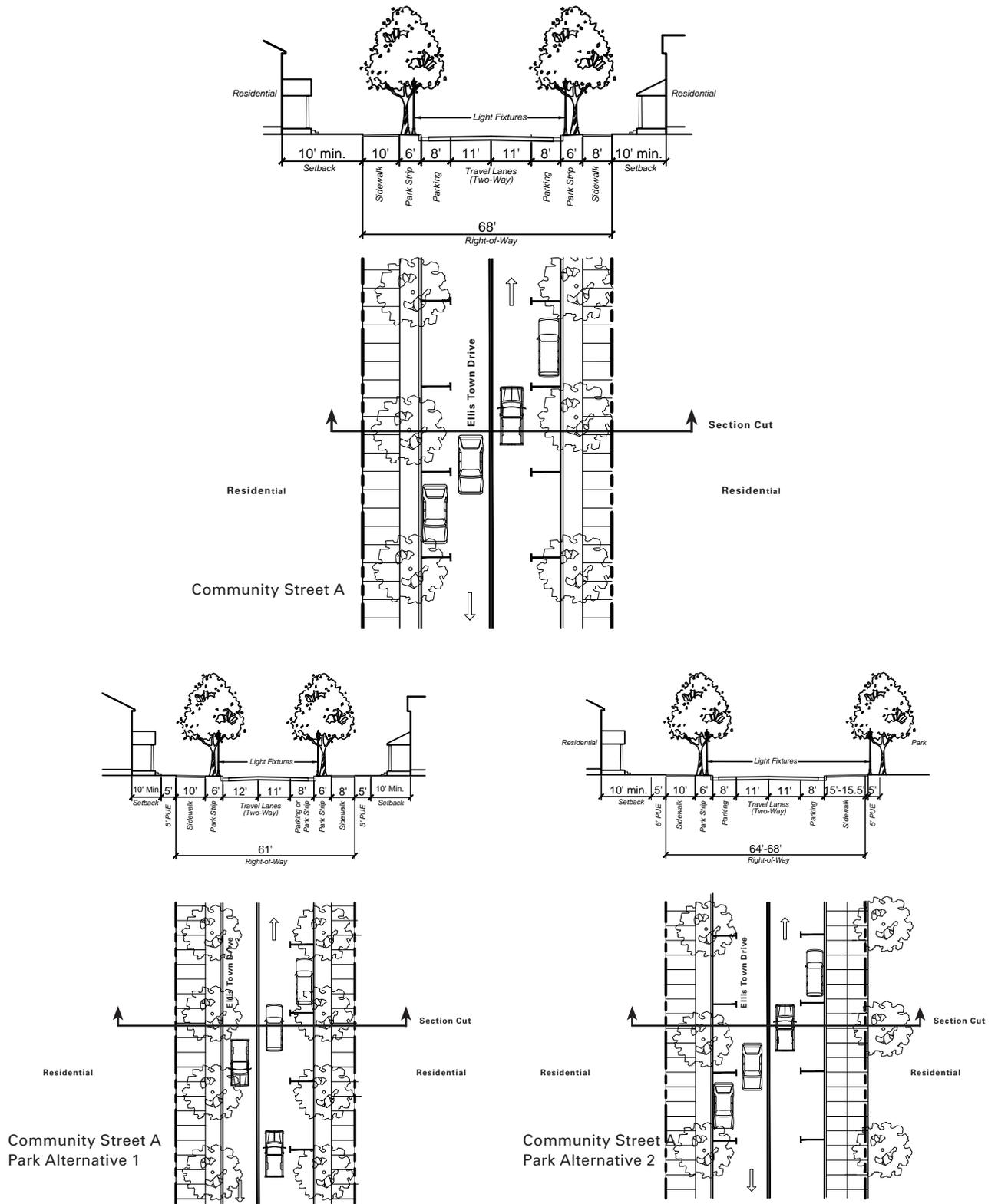


Figure 2.43 Proposed Section and Plan: Community Street A

2.2.1.8 Community Street

Designation: B

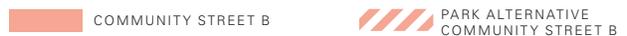
Definition

As a street running along the edges of neighborhoods and through the community, its adjacent land uses will include various types of residences, as well as parks and special landscape features. In addition to providing connectivity, the street is designed to connect to potential future development north of Ellis. On-street parking will be provided on both sides. A Class 1 bicycle lane on one side will be provided along the length of the street.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	25 MPH
<b>TRAVEL LANES</b>	Two-way, two lanes
<b>PARKING</b>	Parallel, both sides; offset by park strip on opposite side
<b>R.O.W. WIDTH</b>	65 feet
<b>TRAVEL LANE WIDTH</b>	11 feet
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	5 feet on one side; 10-foot multi-use path on the other
<b>BICYCLE LANE</b>	Class 1, one side
<b>PARK STRIP</b>	6 feet, both sides; except park alternative
<b>LANDSCAPE</b>	Single row of street trees with low water use grasses, shrubs, and groundcover (irrigated); pedestrian access through landscape strip to be provided as necessitated by parking; see Table 2.6, Table 2.7, and Table 2.8



Figure 2.44 Key Plan: Community Street B



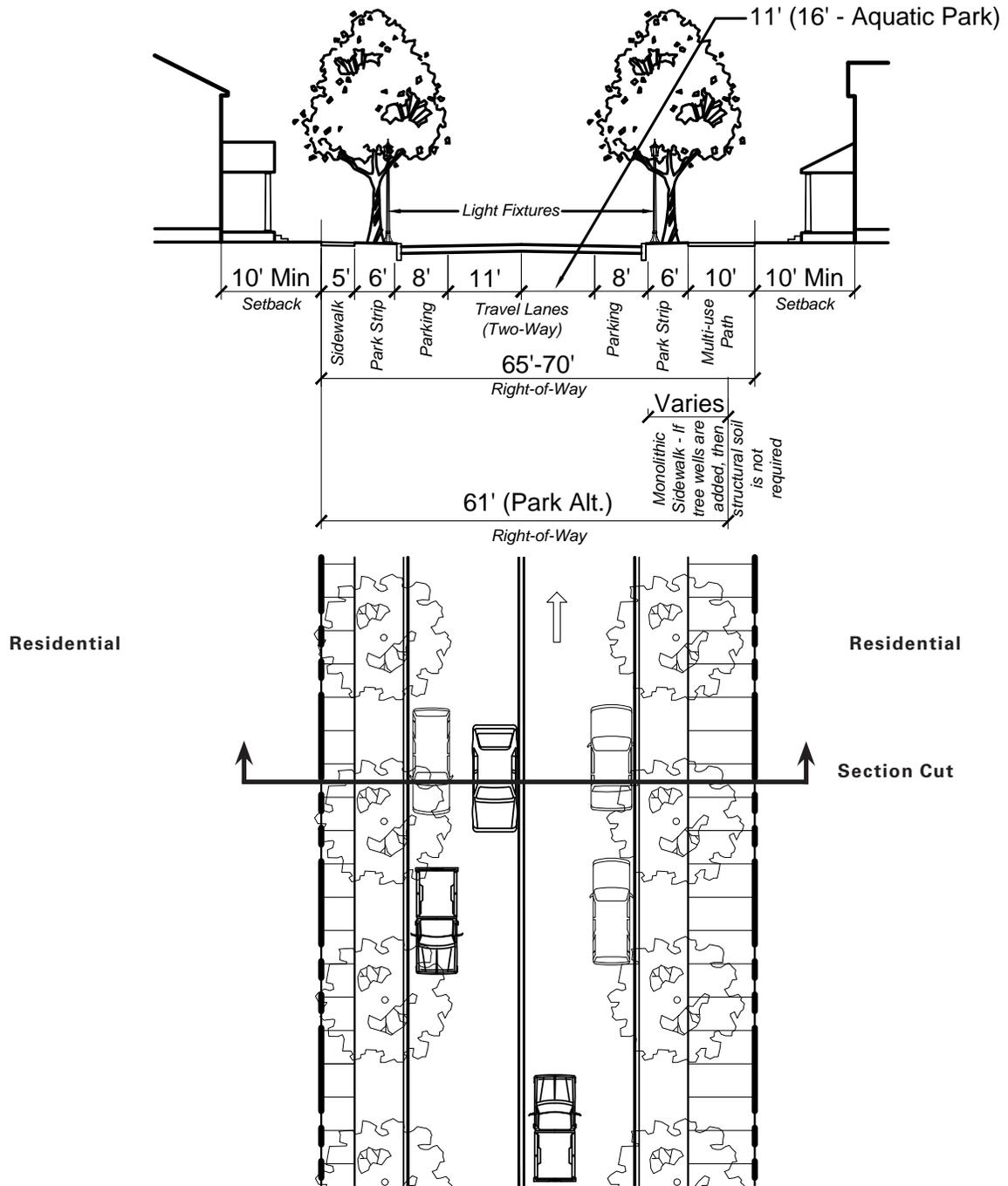


Figure 2.45 Proposed Section and Plan: Community Street B

2.2.1.9 Community Street

Designation: C

Definition

As a street running near the edges of the community, its adjacent land uses will include various types of residences, as well as parks and special landscape features. The street is designed to provide main connections through the community. On-street parking will be provided on both sides. A Class 1 bicycle lane on one side will be provided along the length of the street.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	25 MPH
<b>TRAVEL LANES</b>	Two-way, two lanes
<b>PARKING</b>	Parallel, both sides
<b>R.O.W. WIDTH</b>	63 feet
<b>TRAVEL LANE WIDTH</b>	10 feet
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	5 feet on one side; 10-foot multi-use path on the other
<b>BICYCLE LANE</b>	Class 1, one side
<b>PARK STRIP</b>	6 feet, both sides
<b>LANDSCAPE</b>	Single row of street trees with low water use grasses, shrubs, and groundcover (irrigated); pedestrian access through landscape strip to be provided as necessitated by parking; see Table 2.6, Table 2.7, and Table 2.8

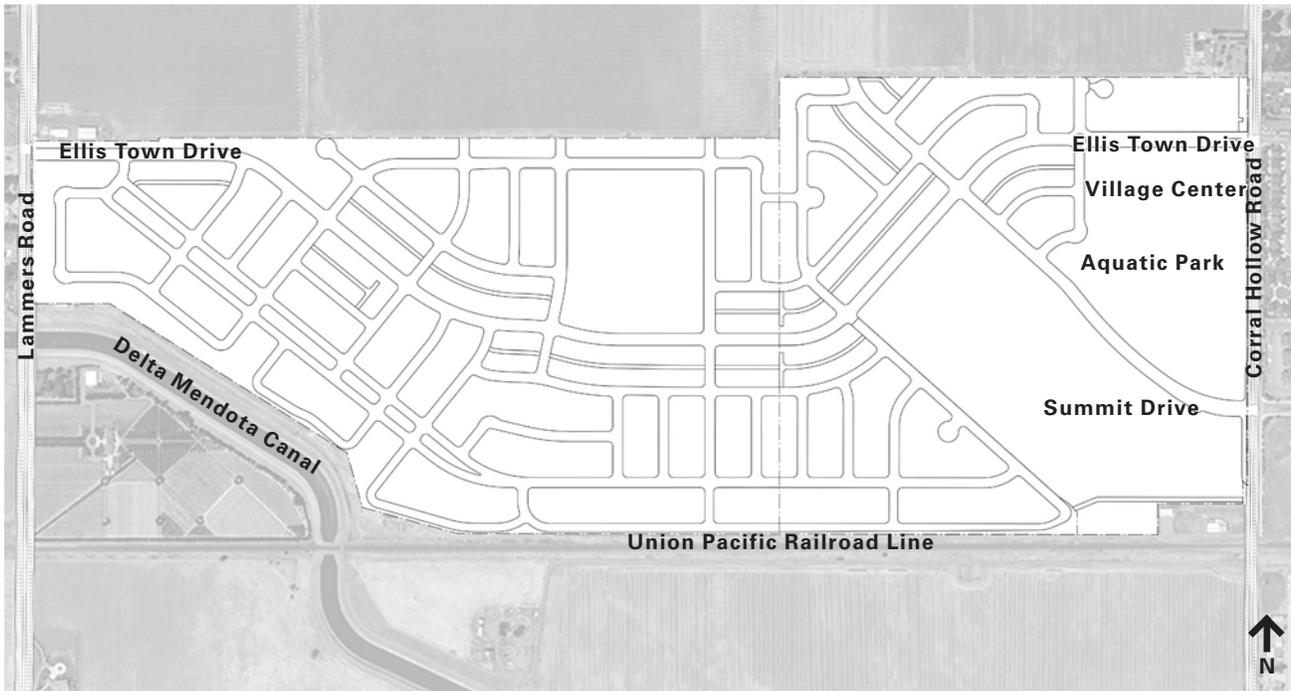


Figure 2.46 Key Plan: Community Street C

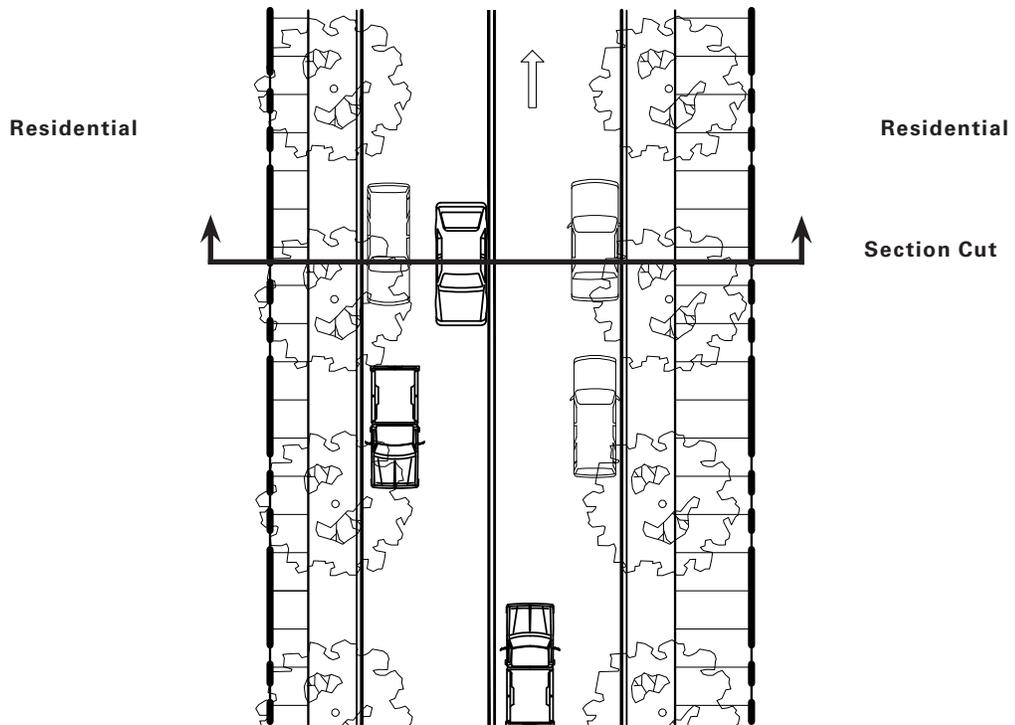
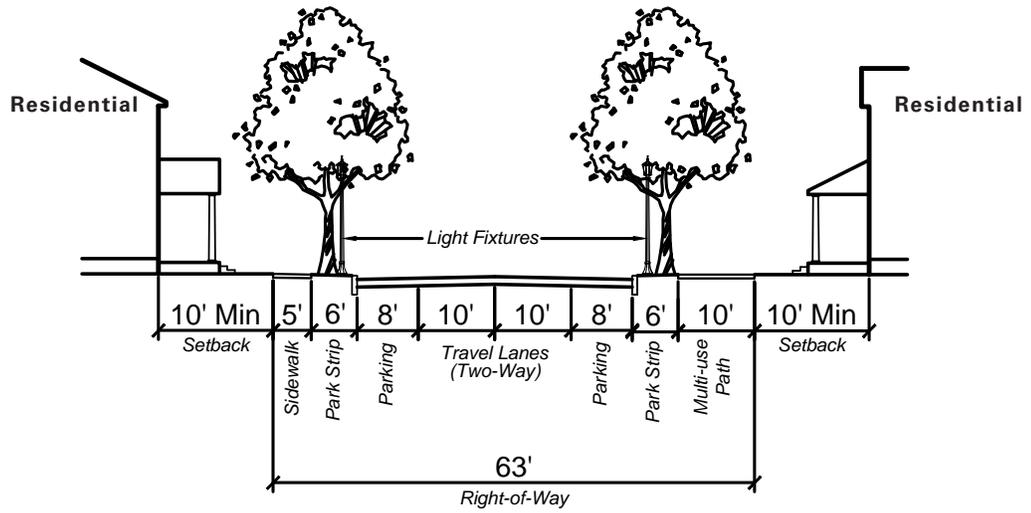


Figure 2.47 Proposed Section and Plan: Community Street C

2.2.1.10 Village Center Street

Designation: A

Definition

This street is designed to encourage pedestrian and commercial activity in the heart of the Village Center. Adjacent land uses will include retail, civic, office, and residential uses. Diagonal on-street parking is provided to support active uses and create a main street environment. Wide sidewalks will be located in front of Village Center buildings to accommodate outdoor dining and other such uses. Trees near curbs will provide shade without reducing the usable width for pedestrians. Bulbouts and associated crosswalks, located at corners and mid-block, will facilitate pedestrian street crossings and will help calm traffic.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	25 MPH
<b>TRAVEL LANES</b>	Two-way, two lanes maximum
<b>PARKING</b>	Diagonal, both sides
<b>R.O.W. WIDTH</b>	86 feet
<b>TRAVEL LANE WIDTH</b>	12 feet
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	13 feet on both sides
<b>BICYCLE LANE</b>	Class 1, one side
<b>PARK STRIP</b>	None
<b>LANDSCAPE</b>	Double row of street trees (irrigated) in grates and islands; see Table 2.6, Table 2.7, and Table 2.8



Figure 2.48 Key Plan: Village Center Street A

VILLAGE CENTER STREET A

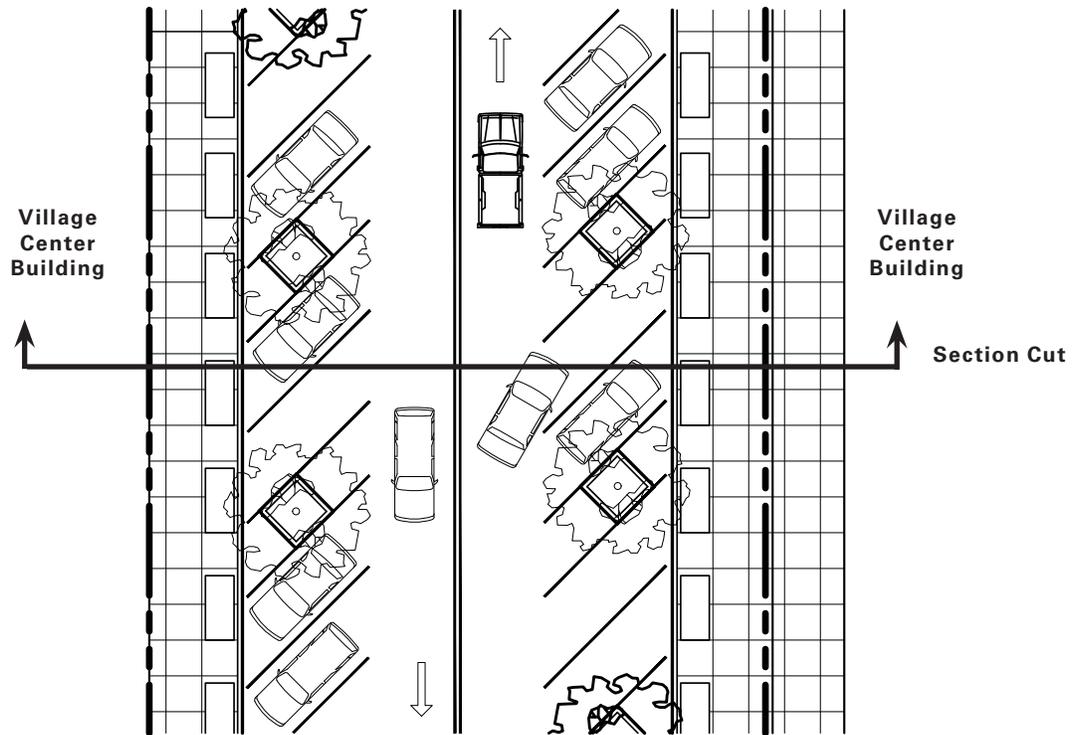
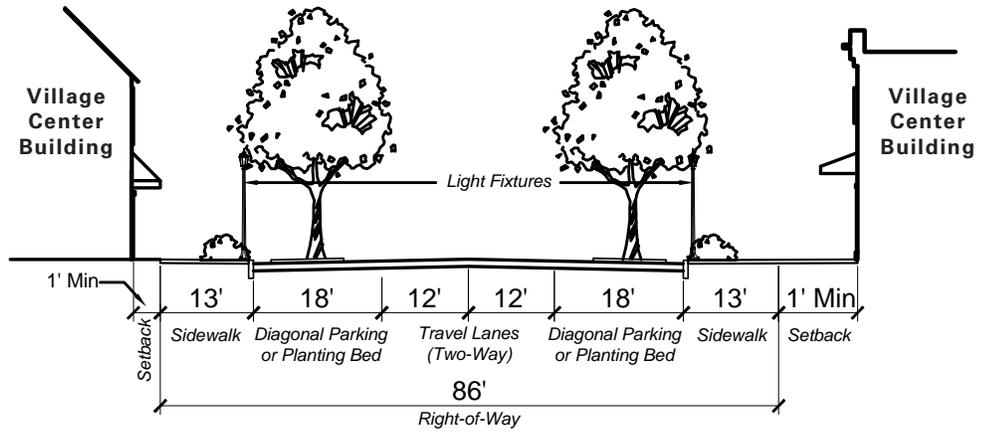


Figure 2.49 Proposed Section and Plan: Village Center Street A

2.2.1.11 Neighborhood Street

Designation: A

Definition

This will be a moderate-scale street providing local access throughout the community. It accommodates on-street parking on both sides.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	25 MPH
<b>TRAVEL LANES</b>	Two-way, two lanes
<b>PARKING</b>	Parallel, both sides
<b>R.O.W. WIDTH</b>	56 feet
<b>TRAVEL LANE WIDTH</b>	10 feet
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	4 or 5 or 8 feet, both sides; except park alternatives
<b>BICYCLE LANE</b>	None
<b>PARK STRIP</b>	5 or 6 feet, both sides; except park alternatives
<b>LANDSCAPE</b>	Single row of street trees with low water use grasses, shrubs, and groundcover (irrigated); pedestrian access through landscape strip to be provided as necessitated by parking; see Table 2.6, Table 2.7, and Table 2.8

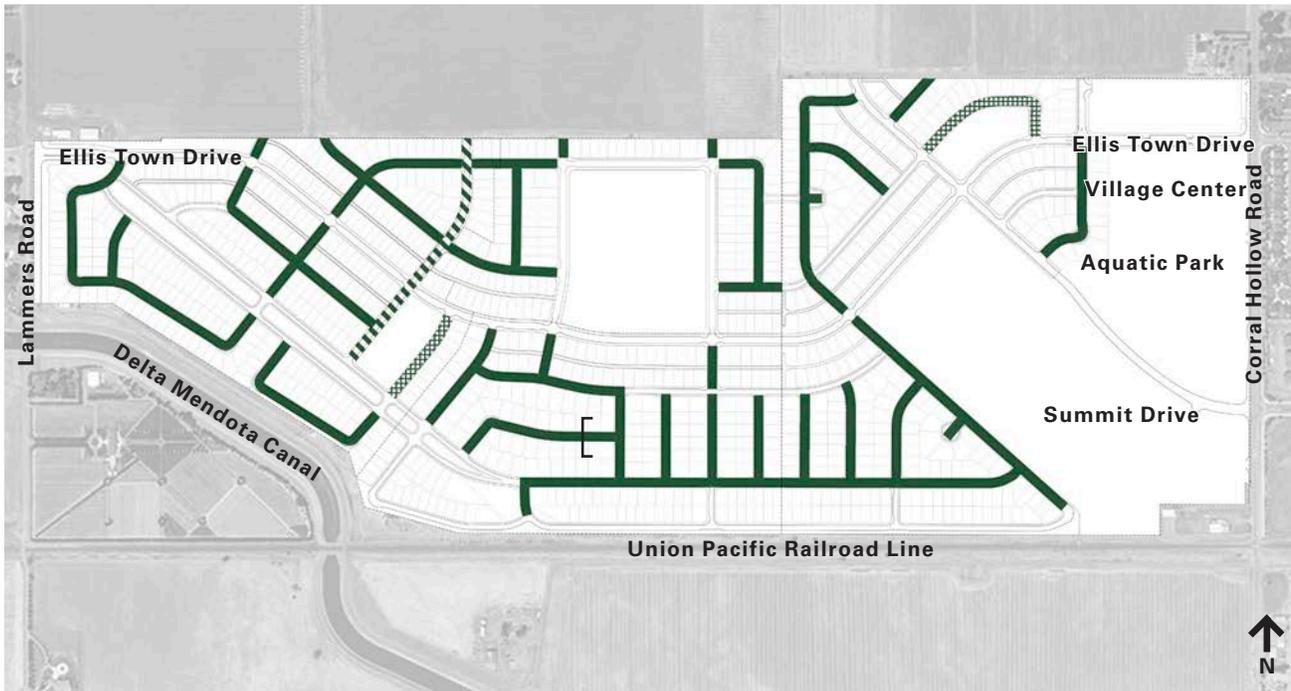


Figure 2.50 Key Plan: Neighborhood Street A



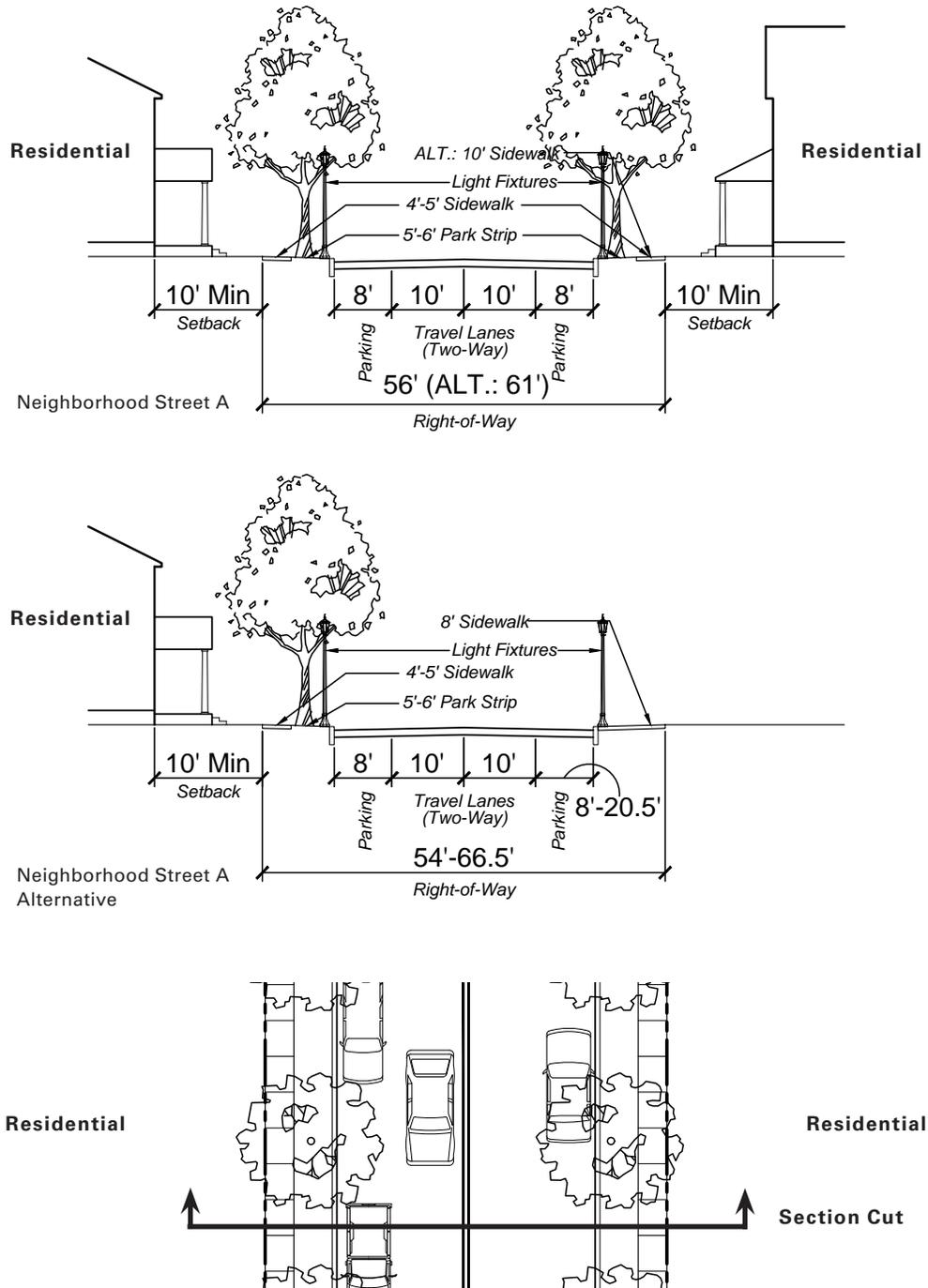


Figure 2.51 Proposed Section and Plan: Neighborhood Street A

2.2.1.12 Neighborhood Street

Designation: B

Definition

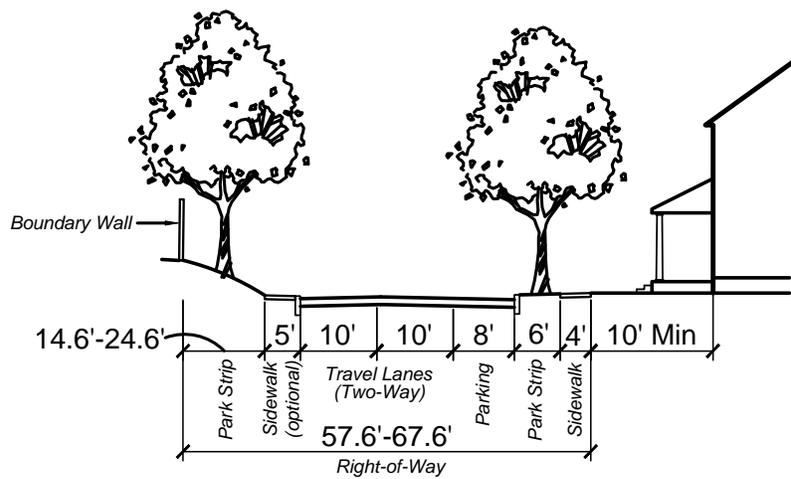
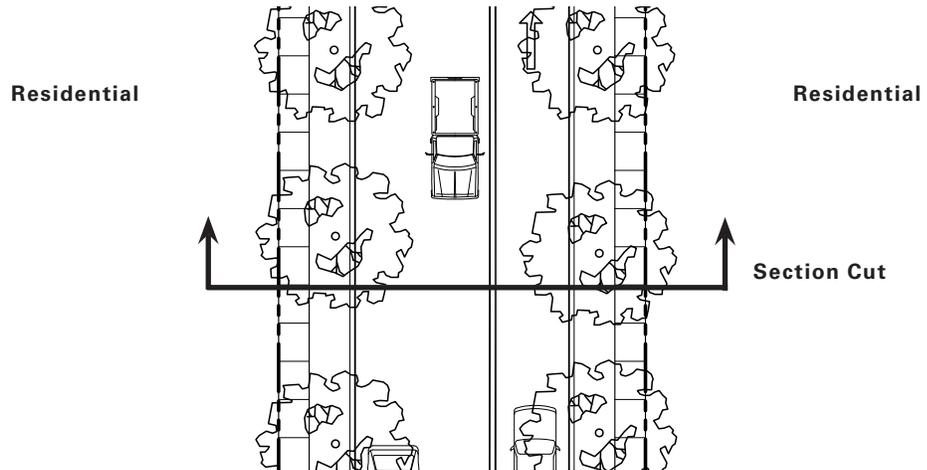
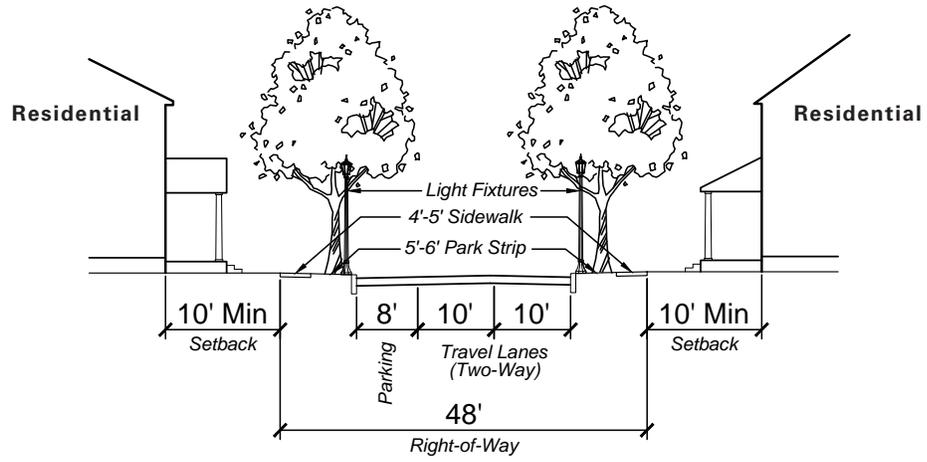
This local street will be a small-scale street providing access throughout the community. The street accommodates on-street parking on one side. Street cross-section B may replace street cross-section A when traffic volumes permit.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	25 MPH
<b>TRAVEL LANES</b>	Two-way, two lanes
<b>PARKING</b>	Parallel, one side
<b>R.O.W. WIDTH</b>	48 feet
<b>TRAVEL LANE WIDTH</b>	10 feet
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	4 to 5 feet, both sides; except railroad alternative
<b>BICYCLE LANE</b>	None
<b>PARK STRIP</b>	5 to 6 feet, both sides; except railroad alternative
<b>LANDSCAPE</b>	Single row of street trees with low water use grasses, shrubs, and groundcover (irrigated); pedestrian access through landscape strip to be provided as necessitated by parking; see Table 2.6, Table 2.7, and Table 2.8



Figure 2.52 Key Plan: Neighborhood Street B





Railroad Alternative

Figure 2.53 Proposed Section and Plan: Neighborhood Street B

2.2.1.13 Neighborhood Street

Designation: E

Definition

This residential boulevard has one lane of one-way traffic on either side of an area classified as open space and named the “Native Preserve,” as well as parallel parking along its length. The Native Preserve, is located within the public right-of-way, with no sidewalks on its edges.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	25 MPH
<b>TRAVEL LANES</b>	One-way, one lane on either side of the Native Preserve
<b>PARKING</b>	Parallel, one side each direction
<b>R.O.W. WIDTH</b>	Varies (due to width of Native Preserve)
<b>TRAVEL LANE WIDTH</b>	16 feet (including flush curb)
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	4 to 5 feet, one side each direction; except park alternative
<b>BICYCLE LANE</b>	None
<b>PARK STRIP</b>	6 to 7 feet, both sides in both directions; except park alternative
<b>LANDSCAPE</b>	Single row of street trees with low water use grasses, shrubs, and groundcover (irrigated); pedestrian access through landscape strip to be provided as necessitated by parking; see Section 2.2.6.8 and Table 2.6, Table 2.7, and Table 2.8

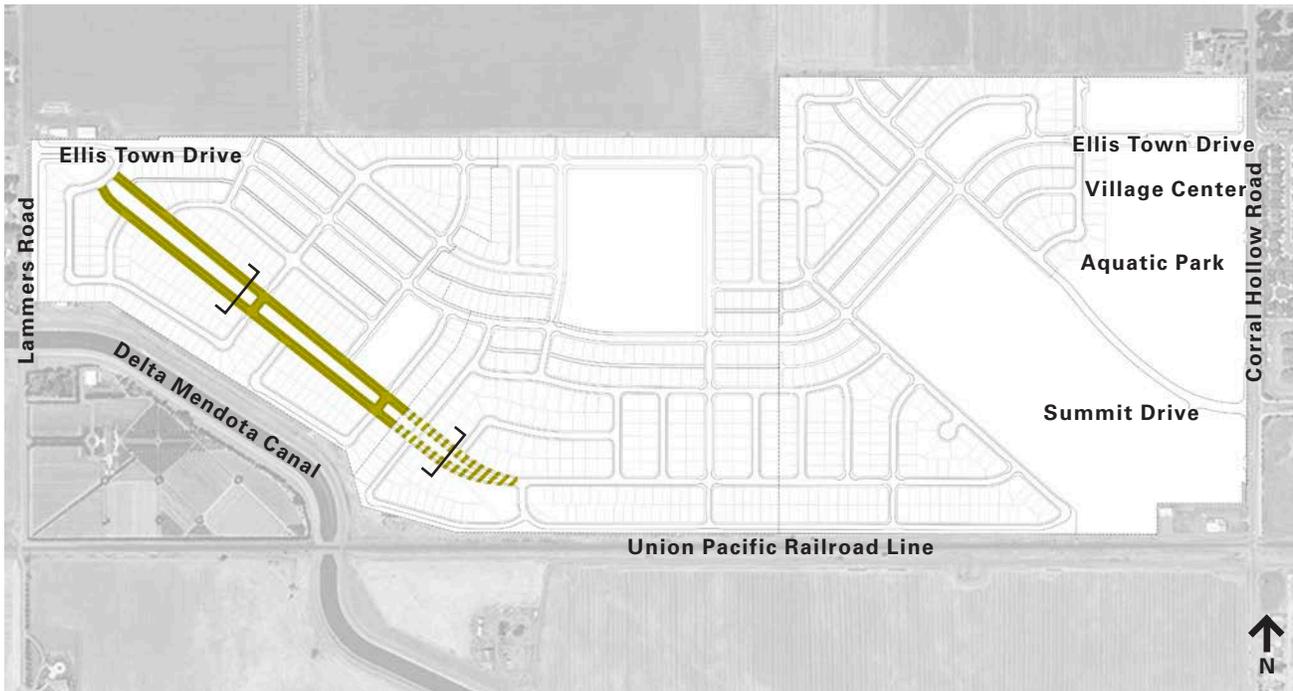
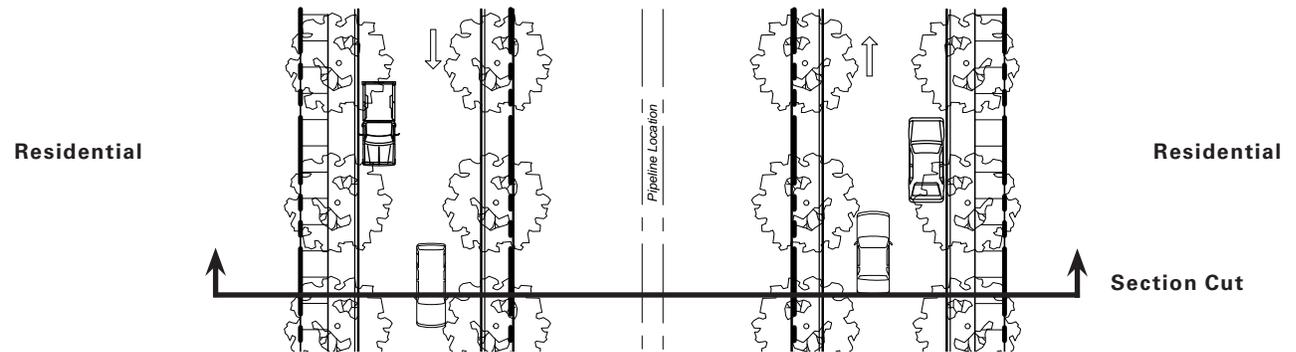
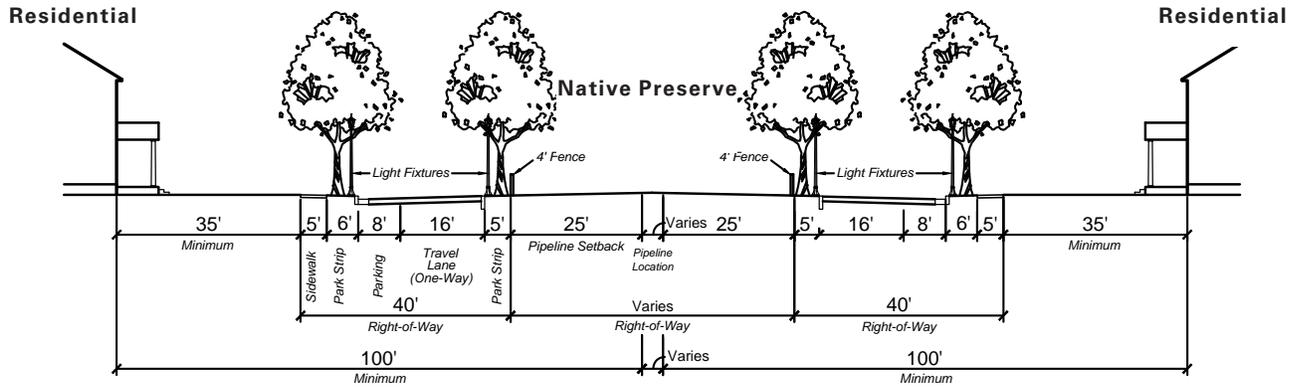
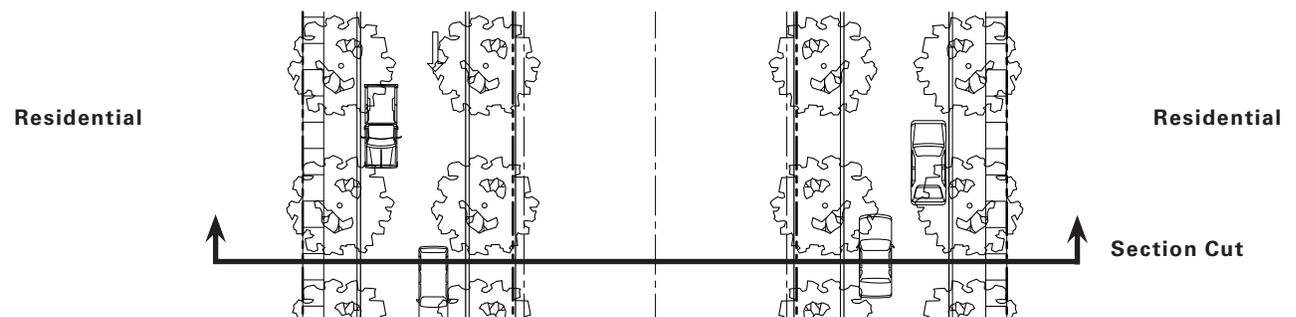
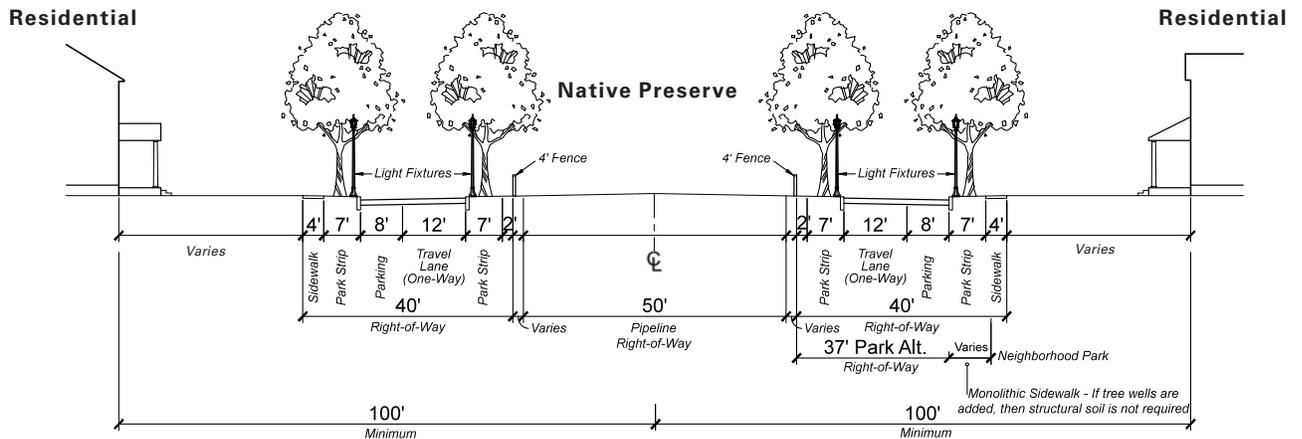


Figure 2.54 Key Plan: Neighborhood Street E





Neighborhood Street E



Neighborhood Street E (Eastern)

Figure 2.55 Proposed Section and Plan: Neighborhood Street E

2.2.1.14 Neighborhood Street

Designation: H

Definition

This local street will be a small-scale, one-way street providing access throughout the community. The street accommodates on-street parking on both sides.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	25 MPH
<b>TRAVEL LANES</b>	One-way
<b>PARKING</b>	Parallel, both sides
<b>R.O.W. WIDTH</b>	46 feet
<b>TRAVEL LANE WIDTH</b>	10 feet
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	4 feet, both sides
<b>BICYCLE LANE</b>	None
<b>PARK STRIP</b>	6 feet, both sides
<b>LANDSCAPE</b>	Single row of street trees with low water use grasses, shrubs, and groundcover (irrigated); pedestrian access through landscape strip to be provided as necessitated by parking; see Table 2.6, Table 2.7, and Table 2.8

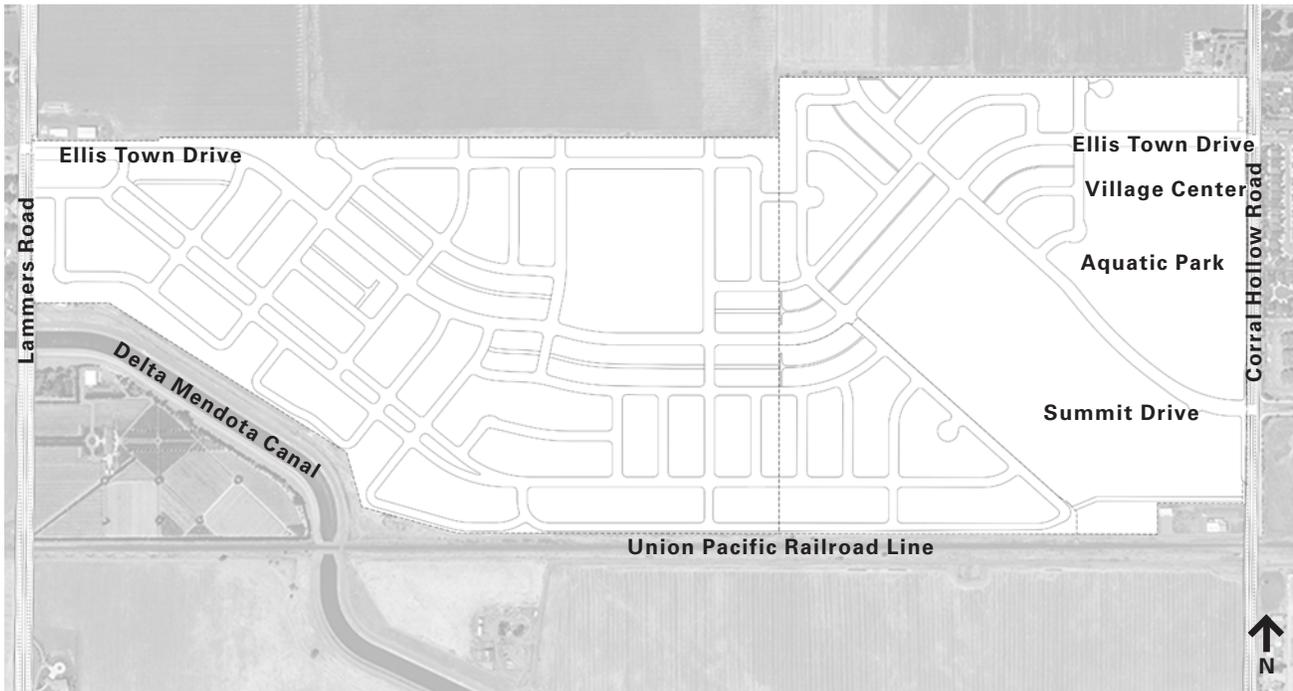


Figure 2.56 Key Plan: Neighborhood Street H  
 Location of street sections will require review and approval by the City in applicable tentative map(s).

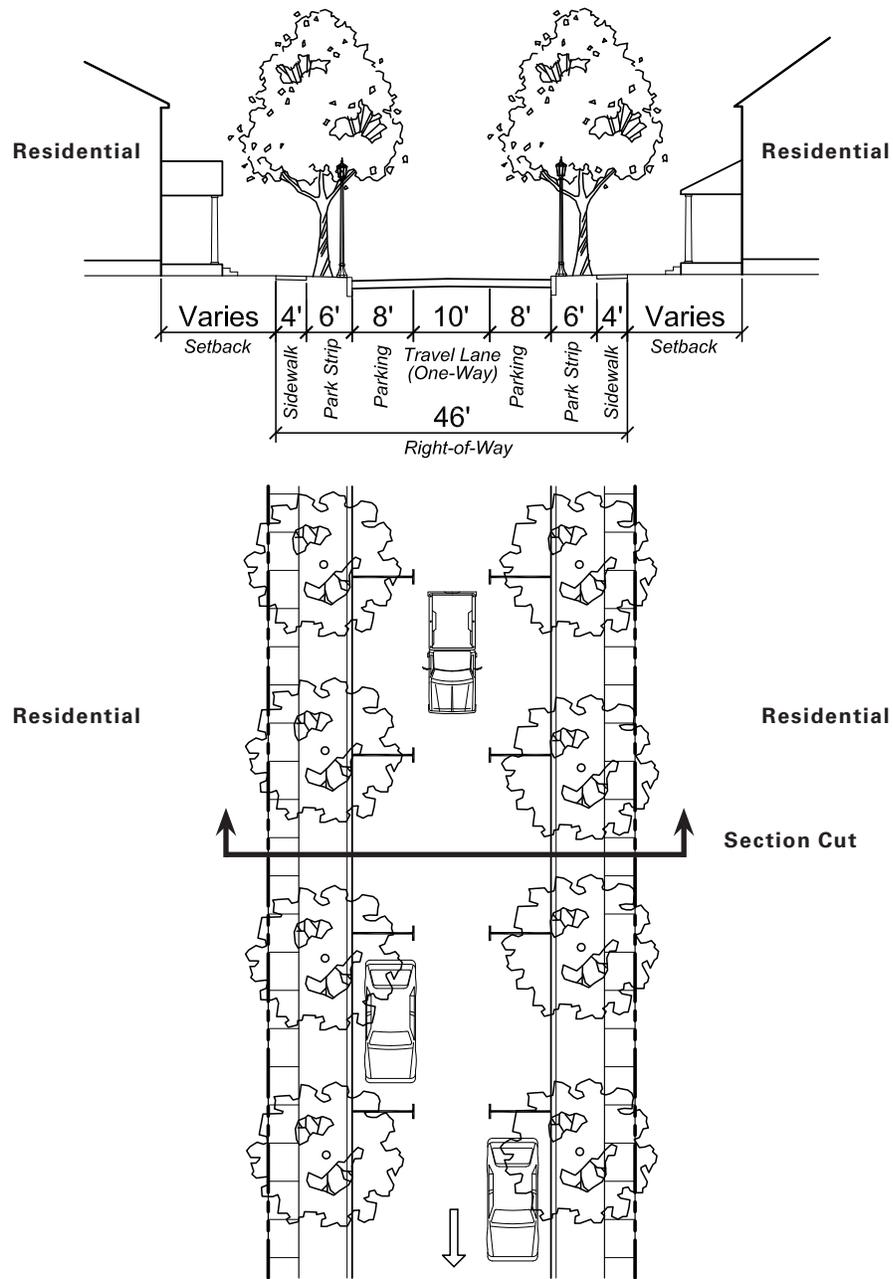


Figure 2.57 Proposed Section and Plan: One-Way Street Parking Both Sides

2.2.1.15 Neighborhood Street

Designation: I

Definition

This local street will be a small-scale, one-way street providing access throughout the community. The street accommodates on-street parking on one side.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	25 MPH
<b>TRAVEL LANES</b>	One-way
<b>PARKING</b>	Parallel, one side
<b>R.O.W. WIDTH</b>	38 feet
<b>TRAVEL LANE WIDTH</b>	10 feet
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	4 feet, both sides
<b>BICYCLE LANE</b>	None
<b>PARK STRIP</b>	6 feet, both sides
<b>LANDSCAPE</b>	Single row of street trees with low water use grasses, shrubs, and groundcover (irrigated); pedestrian access through landscape strip to be provided as necessitated by parking; see Table 2.6, Table 2.7, and Table 2.8

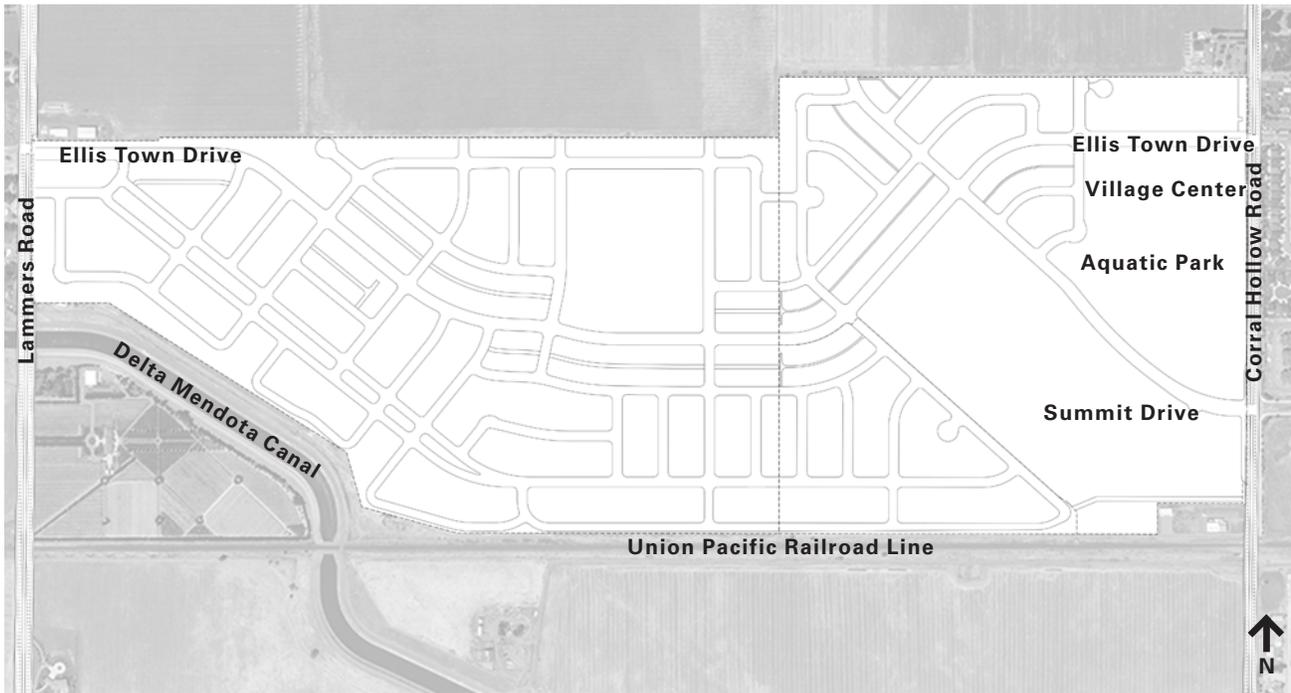


Figure 2.58 Key Plan: Neighborhood Street I  
 Location of street sections will require review and approval by the City in applicable tentative map(s).

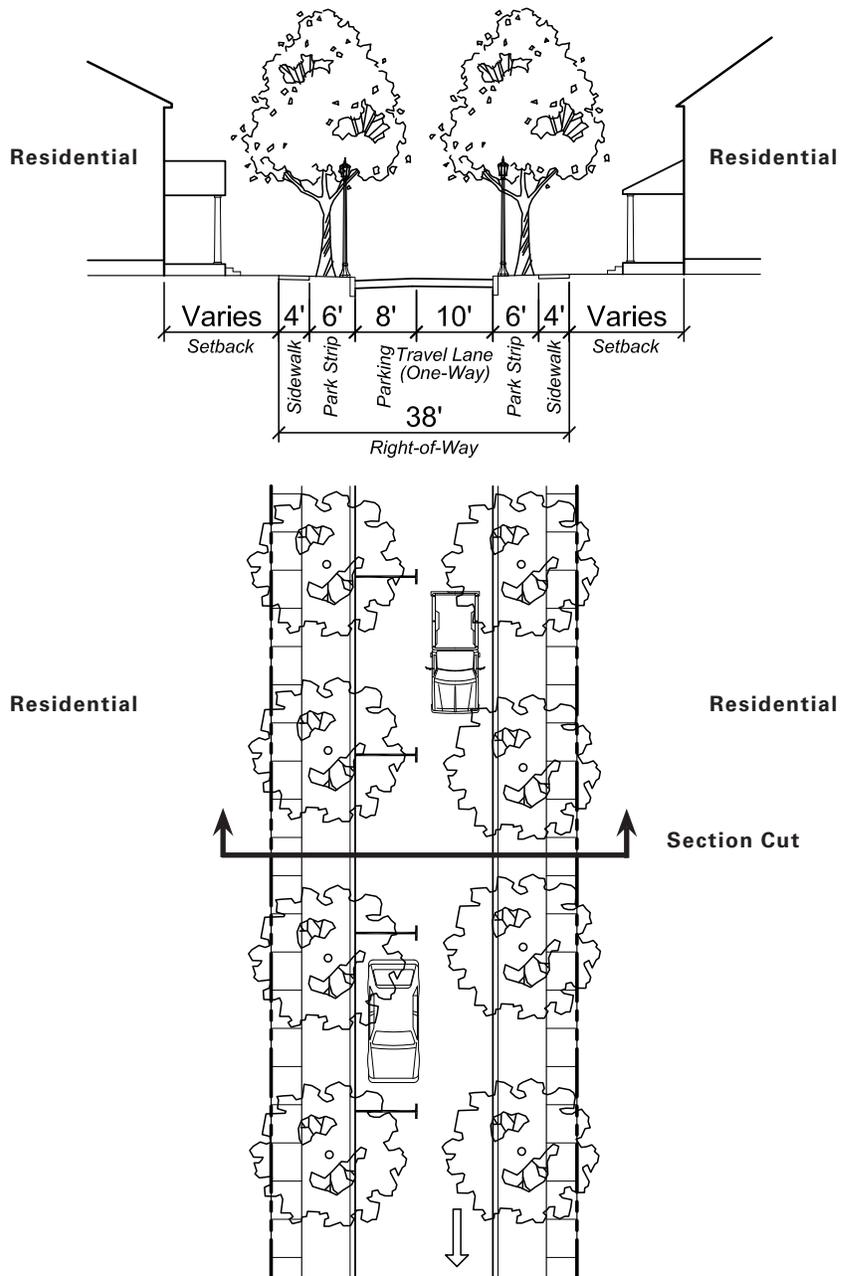


Figure 2.59 Proposed Section and Plan: One-Way Street Parking One Side

2.2.1.16 Neighborhood Street

Designation: J

Definition

This local street will be a small-scale street providing access throughout the community. The street does not accommodate on-street parking.

<b>MOVEMENT</b>	Free
<b>DESIGN SPEED</b>	25 MPH
<b>TRAVEL LANES</b>	Two-way, two lanes
<b>PARKING</b>	None
<b>R.O.W. WIDTH</b>	40 feet
<b>TRAVEL LANE WIDTH</b>	10 feet
<b>CURB TYPE</b>	Raised
<b>SIDEWALK WIDTH</b>	4 feet, both sides
<b>BICYCLE LANE</b>	None
<b>PARK STRIP</b>	6 feet, both sides
<b>LANDSCAPE</b>	Single row of street trees with low water use grasses, shrubs, and groundcover (irrigated); see Table 2.6, Table 2.7, and Table 2.8

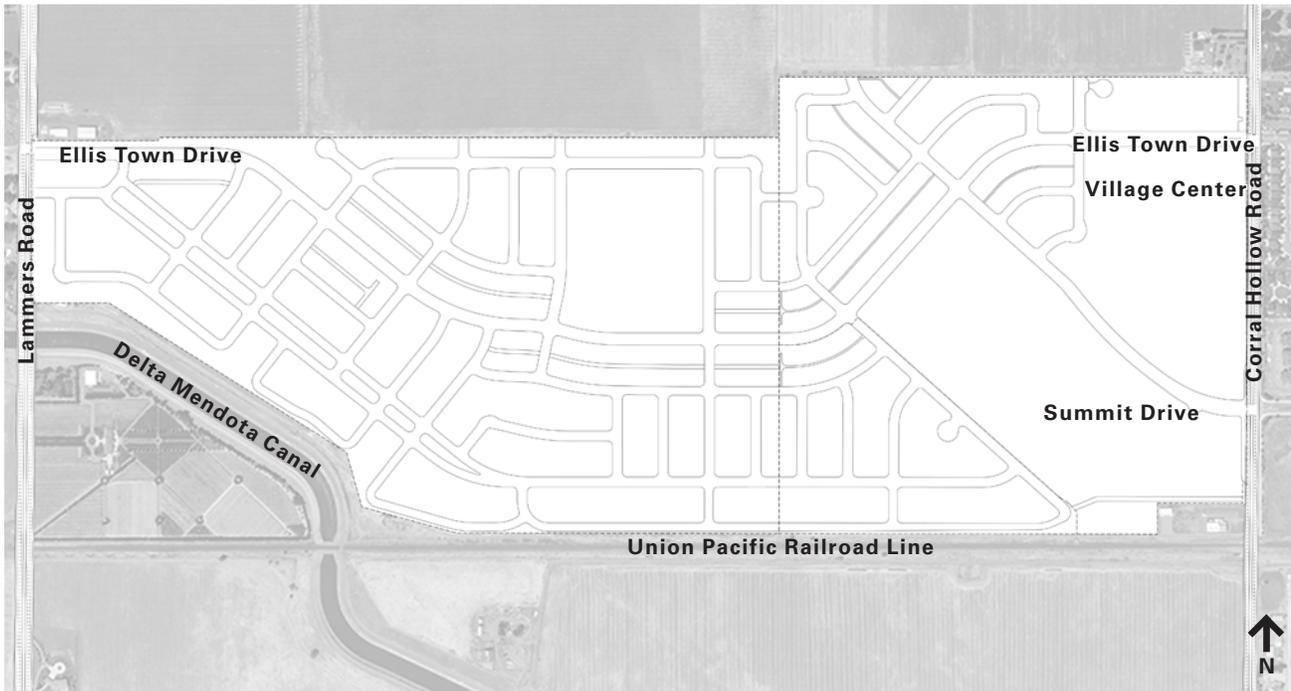


Figure 2.60 Key Plan: Neighborhood Street J  
 Location of street sections will require review and approval by the City in applicable tentative map(s).

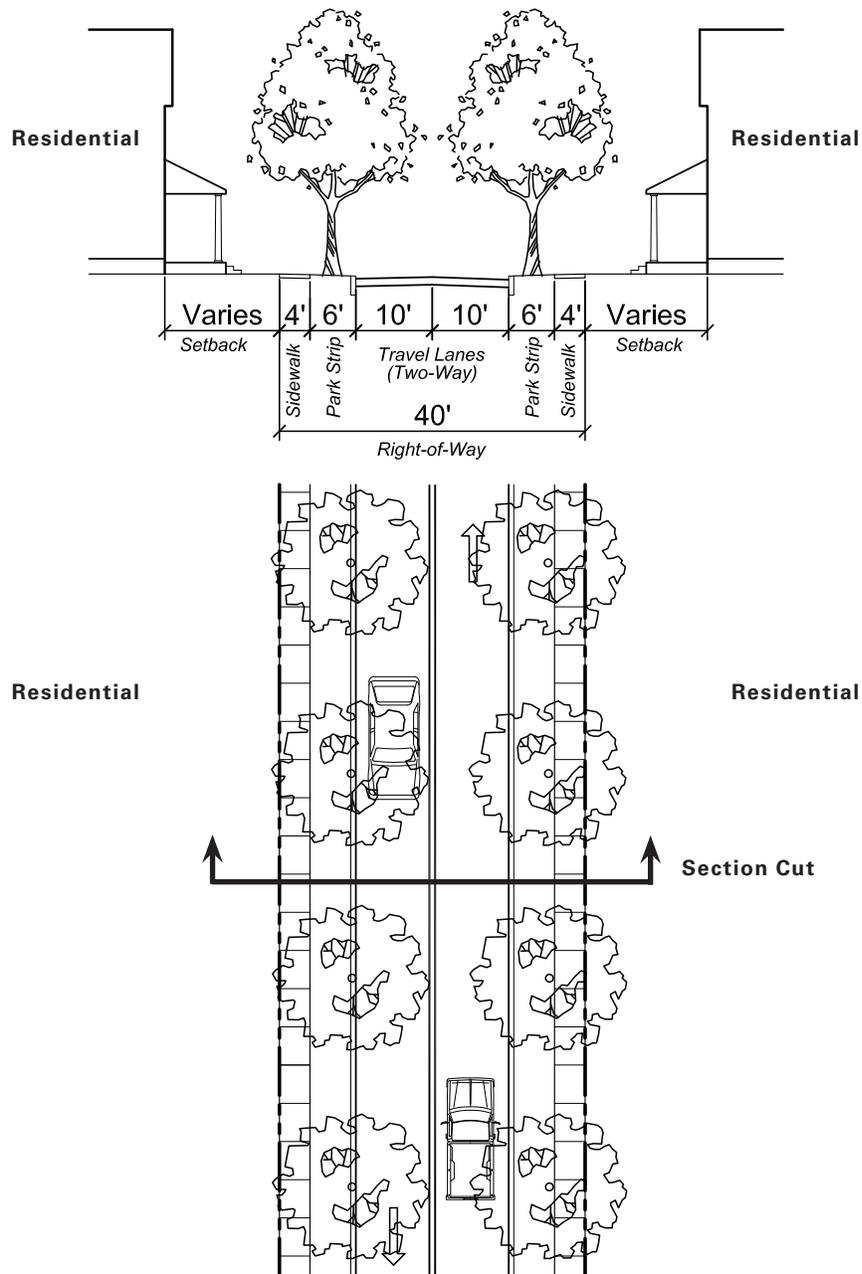


Figure 2.61 Proposed Section and Plan: No Parking C

2.2.1.17 Lane

Designation: A

Definition

The lane will provide primary access to off-street residential parking. Lanes are designed to accommodate trash collection and dry utilities. Dead-end lanes may not extend farther than 150 feet from a public street.

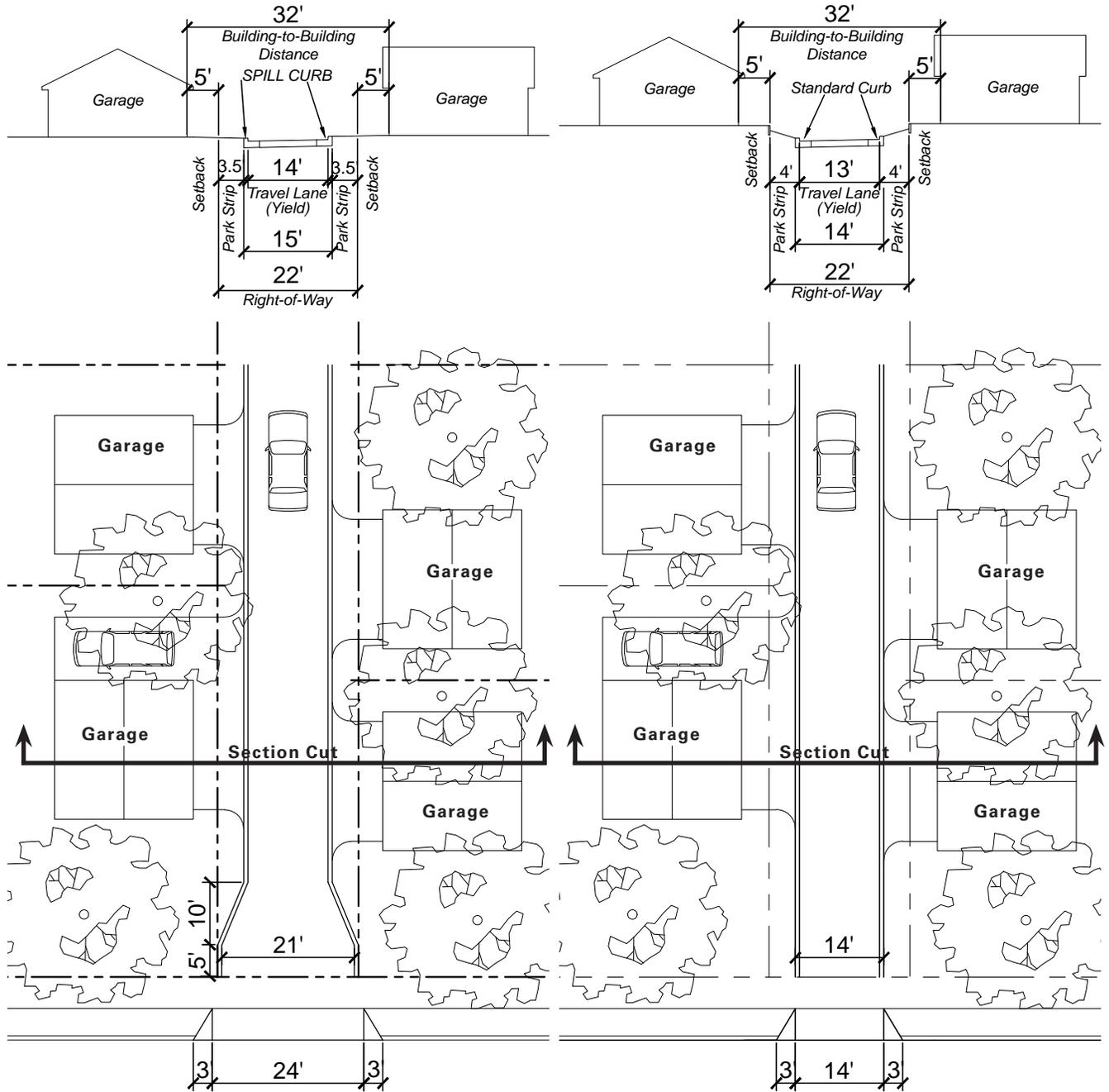
<b>MOVEMENT</b>	Yield
<b>DESIGN SPEED</b>	10 MPH
<b>TRAVEL LANES</b>	One-way
<b>PARKING</b>	None
<b>R.O.W. WIDTH</b>	22 feet
<b>TRAVEL LANE WIDTH</b>	13 to 14 feet
<b>CURB TYPE</b>	Spill or Standard
<b>SIDEWALK WIDTH</b>	None
<b>BICYCLE LANE</b>	None
<b>PARK STRIP</b>	3.5 feet, both sides
<b>LANDSCAPE</b>	Low water use grasses, shrubs, and groundcover in park strip (irrigated)



Figure 2.62 Key Plan: Lane A

LANE A
  LANE A (ALTERNATE)

Pursuant to the City of Tracy General Plan, lanes are allowed within residential land use designations. The precise location of such facilities will be determined upon the approval of detailed plans. Diagrams in the ESP are illustrative and not intended to indicate the percent or location of lane loaded lots.



Lane A (Village 1B, Gardens, and Town & Country)

Lane A Alternate (Village 1A)

Figure 2.63 Proposed Section and Plan: Lane A

**2.2.2 PEDESTRIAN SYSTEM PLAN**

The streets, blocks, and parks of Ellis will be designed to accommodate the needs of pedestrians and cyclists (Figure 2.64 Area Wide Pedestrian Plan and Figure 2.65 Pedestrian and Trail Systems Plan).

Ellis will have a diverse and well-developed pedestrian circulation network. All streets in the community will have sidewalks on at least one side; many will have sidewalks on both sides. The network of sidewalks and paths will connect the Village Center with the residential neighborhoods. Paths and trails will extend the pedestrian system through the natural areas and parks.

The pedestrian network will be enhanced by traffic-calming strategies at critical locations. The traffic calming will occur where pedestrians might conflict with automobiles. Landscape strips between back of curb and multipurpose path and/or sidewalk shall have designated pedestrian crossings retained on either side with steel headers.



Figure 2.64 Area Wide Pedestrian Plan

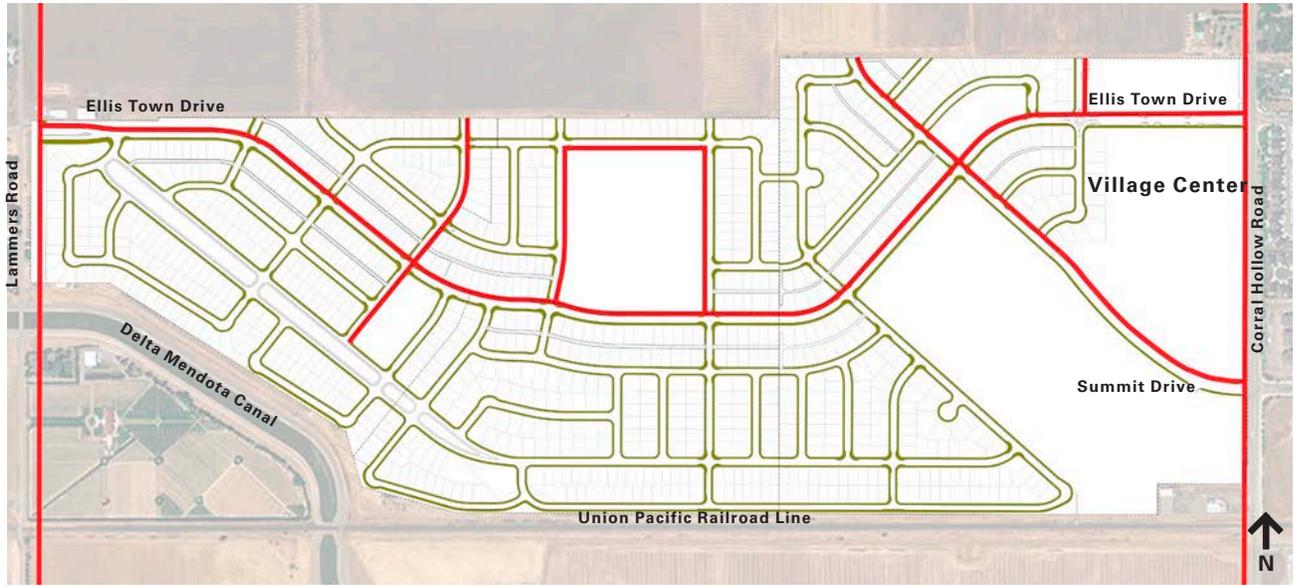


Figure 2.65 Pedestrian and Trail Systems Plan

-  SIDEWALKS
-  MULTI-USE PATHS

### 2.2.3 BICYCLE SYSTEM PLAN

A comprehensive bicycle circulation network plays an integral role in making Ellis an exceptionally livable community.

A 10-foot, multi-use bike/pedestrian path runs through portions of the community to facilitate and encourage non-vehicular travel among neighborhoods and parks. Many parks will have bike racks.

Canopy trees will be planted the length of paths for shade.

The trail system necessitates multiple street crossings. In some cases, crossings may occur mid-block. To ensure safe crossings, special planting to maximize visibility, bollards, traffic-calming devices, and signage may be used to slow both vehicular traffic on streets and pedestrian/bike traffic on paths. Signage may indicate that cyclists have the right-of-way.

The bicycle network will link to the broader City of Tracy and San Joaquin County Bikeway Systems. Bike rack parking for cyclists will be provided as part of the joint use Village Center parking reservoir.

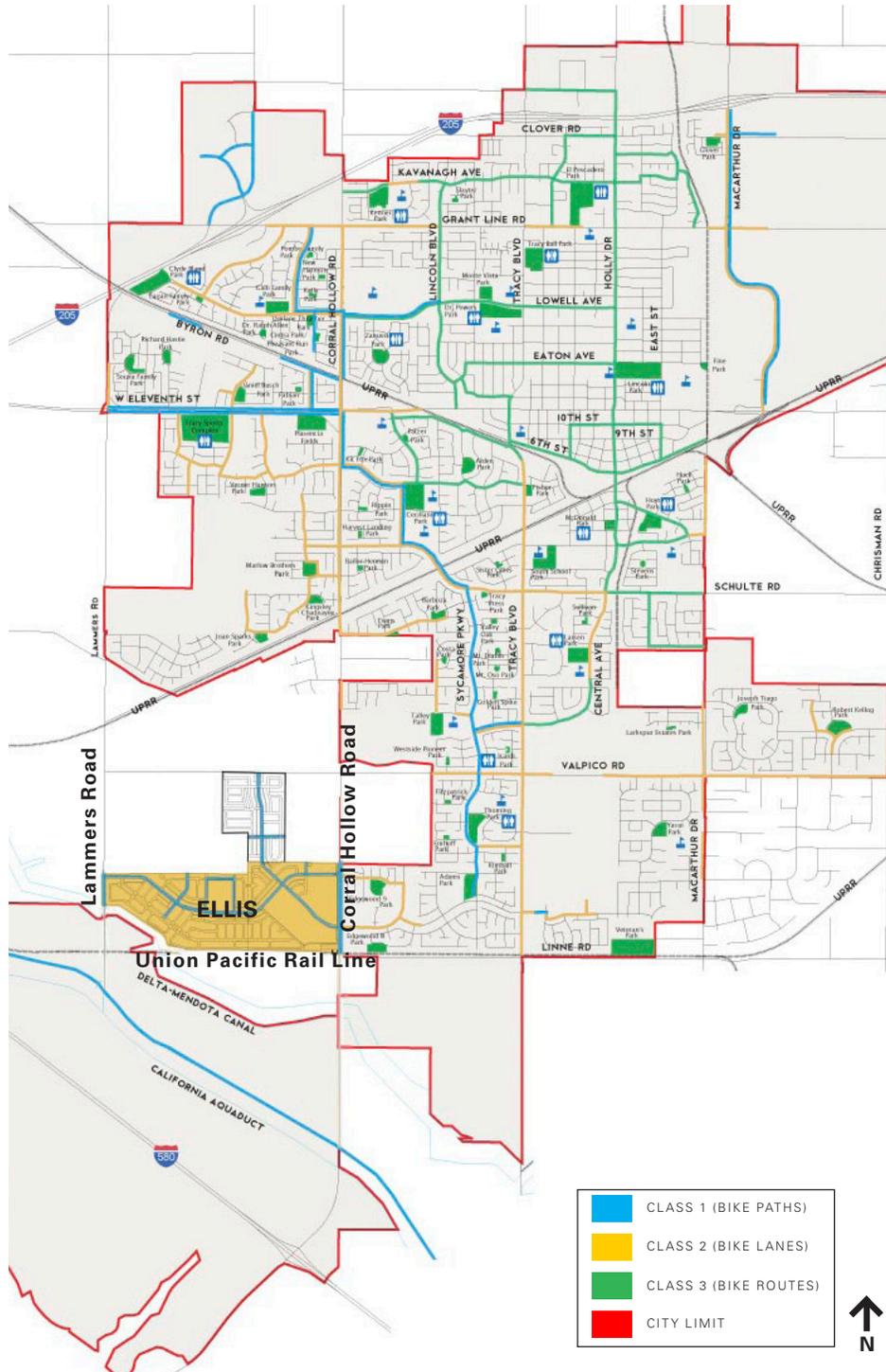


Figure 2.66 Ellis as it relates to existing bikeways in the City of Tracy

SOURCE: City of Tracy

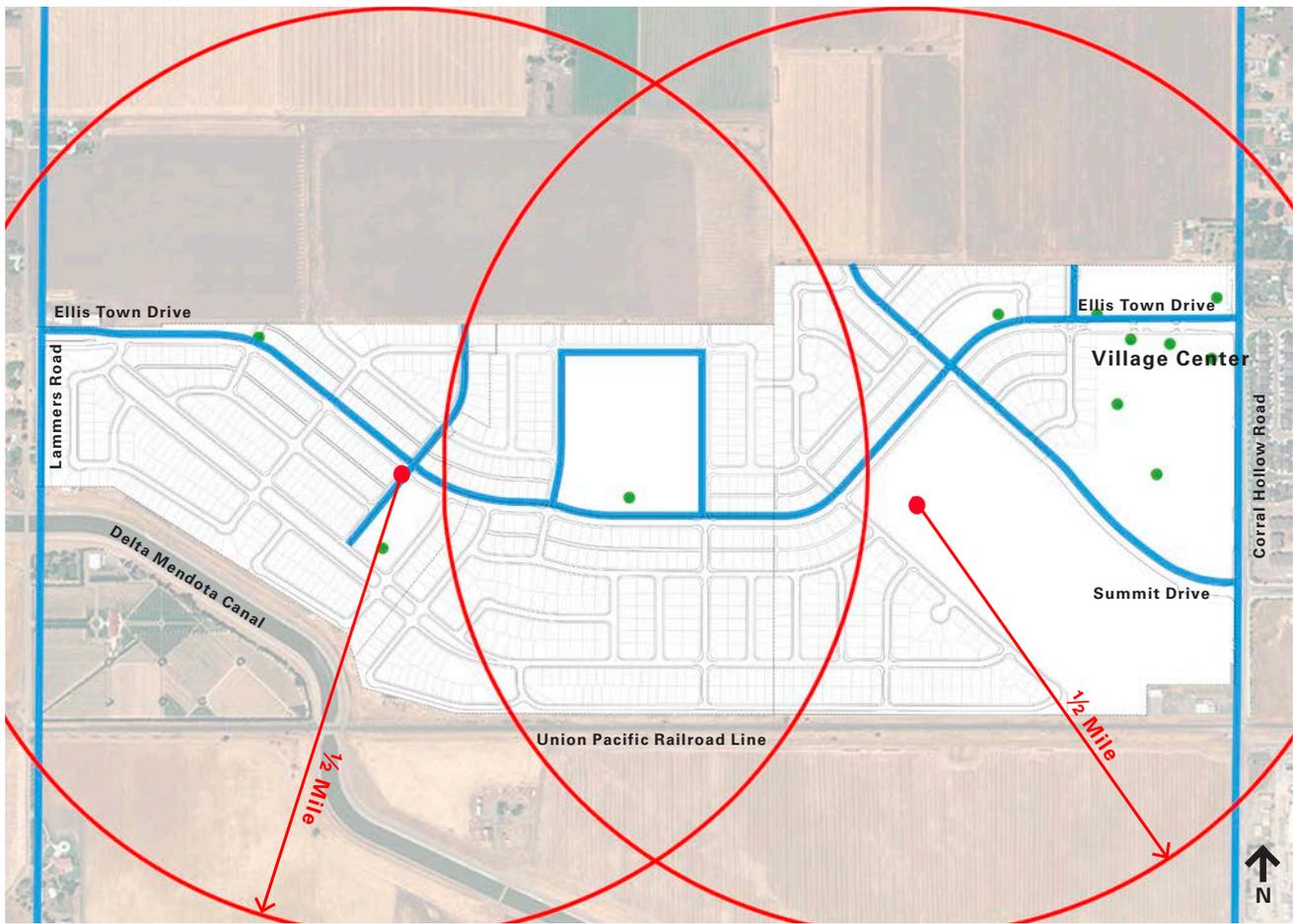


Figure 2.67 Bicycle Systems Plan

- CLASS 1 (BIKE PATHS)
- APPROXIMATE LOCATION OF PROPOSED BIKE RACKS (IN PARKS AND VILLAGE CENTER)

**2.2.4 PUBLIC TRANSPORTATION**

Ellis will be a walkable, human-scaled, community characterized by a hometown feel that makes it memorable. Ellis will be served by a variety of public transportation options, accommodating the needs of a wide variety of users.

At a regional scale, the community will be served by the Altamont Commuter Express (ACE) which is a passenger rail line running between Stockton and San Jose, with a BART connection to the Bay area from Pleasanton. The ACE transportation system was

jointly created by many transit organizations in 1997 to best serve the communities along its rail. One can connect to ACE service through the SMART/ACE General Public Dial-A-Ride, an on-call service that picks up commuters at individual addresses and transports them to the ACE station. Regional bus service is also available within San Joaquin County, through the San Joaquin Regional Transit District, County Area Transit, the San Joaquin Commuter bus, Greyhound, and Amtrak California.

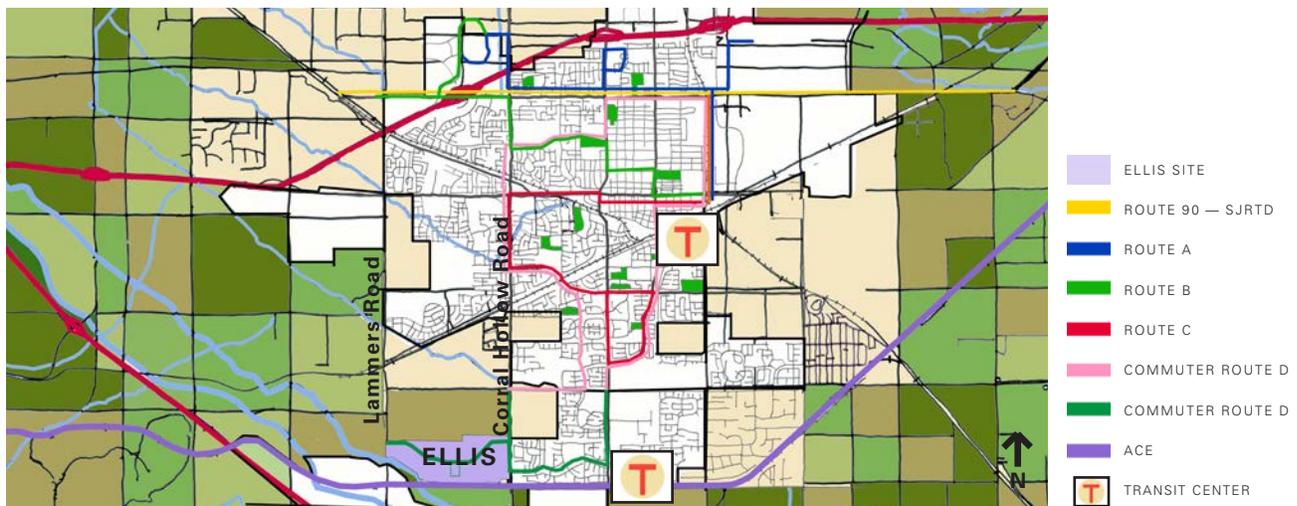


Figure 2.68 Regional Transit Map

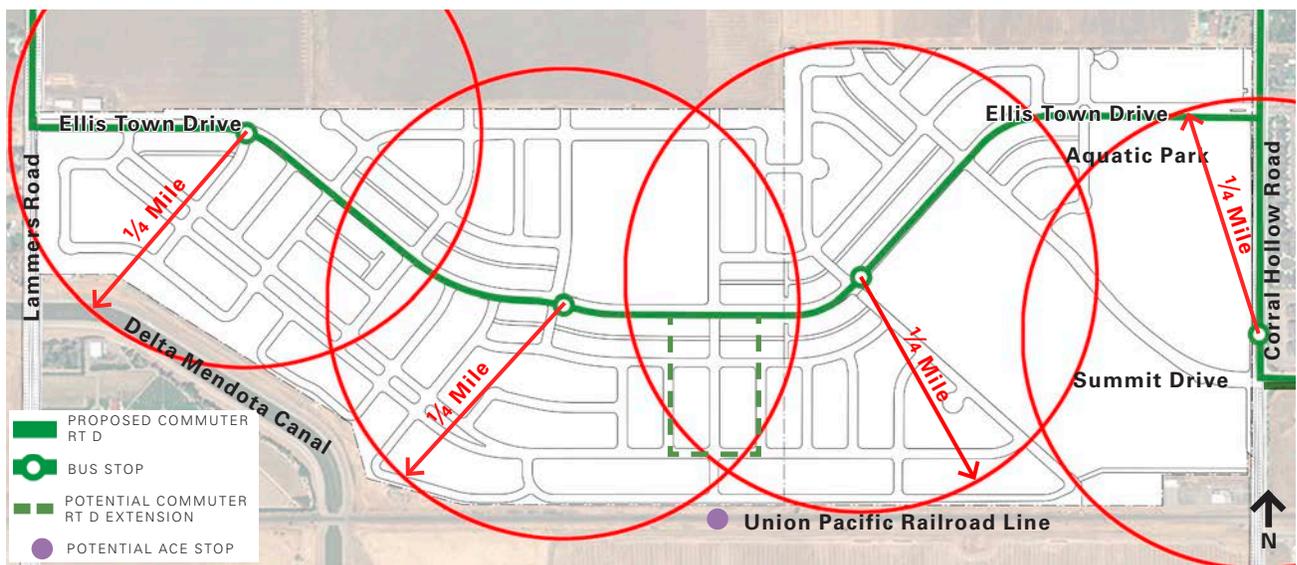


Figure 2.69 Public Transportation Plan

Transit access to the Ellis site will be provided by the City's TRACER bus system. TRACER will provide a proposed commuter route along Ellis Town Drive through the ESP area with four major stops. A potential commuter route connection to provide access to a potential Altamont Commuter Express (ACE) stop will be provided just south of the Ellis property boundary. The TRACER service will provide service to the City of Tracy Multimodal Transit Center with connecting service to the Altamont Commuter Express (ACE) rail, San Joaquin County Regional Transit (SJRTD) regional bus service, Greyhound, and the proposed future high speed rail service and BART connections to the Bay Area and beyond. As the City further develops to the south and the west, the bus service will be extended along Ellis Town Drive to Lammers Road and bus stops/pull outs will be located at intersections and provide for a 1/4 mile to 1/2 mile walking distance from origins and destinations within the ESP to the bus stops to promote transit travel.

### 2.2.5 PARKING NETWORK

Residential parking will be on and off-street, some parking may be accessed by way of residential driveways and the proposed rear lane network. Most street types include on-street visitor parking as well. Neighborhood parks are typically served by on-street parking.

Both the Village Center and proposed Aquatic Park will be served by a series of designated lots and on-street convenience parking. Together these elements create a parking reservoir that is designed to efficiently accommodate long-, medium-, and short-term needs, as well as multi-use parking. Village Center off-street parking will be shared use. Shared-use parking refers to spaces that are available to multiple functions. Employees will park in designated areas behind mixed-use buildings. Shoppers and visitors will park in short-term spaces directly behind the stores and in on-street spaces marked for rapid turnover.

### 2.2.6 PARKS NETWORK

The Ellis parks network is designed to provide a wide array of active and passive recreation opportunities to meet the range of needs within the community. Consistent with City requirements, the Ellis Neighborhood Plan includes a park dedication of 4 acres per 1,000 people. Ellis will feature 3 park acres per 1,000 population generated of Neighborhood Parks and 1 park acre per 1,000 population generated of Community Parks (4 park acres per 1,000 population generated total). The proposed Aquatic Park will be used as credit for the Community Park requirement if built at Ellis.

The intention in the design of parks is to create public spaces that offer:

- 1 A variety of active and passive recreational opportunities for all age groups;
- 2 Recreational amenities within walking distance of residents' homes;
- 3 Integration with the local and regional trail and bike path system; and
- 4 Access to at least one public street.

A pro rata share of parks will be built as needed to serve the eventual number of units developed. Parks will be a minimum of one acre, or less if approved by the Parks Commission.

Each neighborhood park provides a selection of amenities. Together, they offer a range of active and passive recreation opportunities traditionally found in larger parks. These amenities may include walking paths, sports fields, play areas, court games, and community gathering spaces. The Ellis Community Facilities District (ECFD) has been formed specific to Ellis and will collect assessment fees sufficient to ensure a high standard of maintenance for this innovative approach to park design and integration (see Section 2.3.5). All parks and open space dedicated to the City will be accepted by the City with maintenance funding provided through ECFD and maintained as prescribed in the Ellis Maintenance Agreement (EMA) between the City and the EPOA with the

exception of the Aquatic Park. Ellis Neighborhood Plan parks shall be developed in conformance with the Ellis Neighborhood Plan and City construction standards.

The anticipated surrounding density of use has been considered in the programming of each park. Over time, amenities offered in a park may be adjusted to reflect changing recreation trends and demographics with agreement between the EPOA and City.

In some cases, homes front on the parks creating a unique and desirable residential design. These parks feature more passive and social uses, such as open greens and bocce. Landscape buffers, including low walls, fences, and planting separate public from private spaces. Sports and other more active park uses are located in parks separated from residences by streets.

Each park has an individual character and distinct features designed to create a strong sense of place. The extensive multi-use path system encourages residents to walk or bicycle between parks and neighborhoods. A unifying visual theme throughout Ellis ensures that residents feel at home in all of the parks in the community. On-street parking is available as part of the neighborhood residential parking for those who choose to drive. The regular street tree pattern may be interrupted at parks to announce them as special features along the street, creating visual interest and variety. Where residential neighborhood parking is provided located along park frontage, landscape strips are removed to facilitate access. All park names shall be as approved by City Council as part of the ESP, the park names in the ESP to be used at the parks may be changed by mutual agreement of the City and EPOA.

Group mailboxes may be located adjacent to parks but will not be counted as recreation amenities or count toward park acre requirements.

All Ellis neighborhood parks shall be built by the Ellis project. Ellis parks as a part of this Neighborhood Plan which include neighborhood park concept plans (park components, elements, size, name, theme) for neighborhood parks, shall be built by the project,

according to the specific plan concept plan as approved by City Council, with no other modifications, if the project proponent proposes a modification, any additional cost caused by such modification shall be the responsibility of the project, and funded by the project. To encourage walking and biking to parks no additional parking shall be provided in excess of typical neighborhood street parking within the residential neighborhood. Neighborhood parks total park acreage requirement shall be based on three acres per 1,000 residents established by the overall specific plan total residents (total residents shall be 3.21 per single family detached unit, 2.0 for attached residential units of 6 units or less, and 1.6 for attached residential units of 100 or more), final total acreage of parks must equal three acres per thousand for the number of final residential units at build out of the Ellis Neighborhood Plan, if there is a shortfall of acreage the project shall pay the neighborhood park fee established in the specific plan or finance plan per unit for additional units. Parks may be one to three acres in size, and shall be included in the ECFD for maintenance and repair funding. Both linear and special use parks as defined in the Specific Plan are eligible in the ESP as neighborhood parks. The project shall provide a bond to the City in the amount of \$500,000 for each park acre appearing on an approved final map for residential units, and/or improvement plans. The project shall start construction of the first neighborhood park by the 400th building permit, and shall start construction of an additional neighborhood park by each 400th building permit thereafter. All parks shall be maintained in accordance with the Ellis maintenance manual. The maintenance manual will be updated by developer periodically to include improvements which have been installed in public parks, landscape areas, and other public improvements within the ECFD boundaries, and updated versions shall be provided to the City and EPOA. The City and EPOA may amend and make changes to existing improvements standards or guidelines which are part of the manual upon mutual agreement.

The Illustrative Parks, Preserve, and Special Landscape Feature Plan (Figure 2.70) illustrates the neighborhood park concept system. Individual elements of this system are listed below. Parks listed but not shown in Figure 2.71 may be located and used at a later date anywhere within the Ellis Neighborhood Plan Area, as approved by the City through a Tentative Map process.

**A** The proposed Aquatic Park is a regional aquatic facility, which may include a 25-yard indoor pool, 25- to 50-meter outdoor pool, children's pool and spray pad, lazy river, slides, cabanas, fitness center, locker rooms and restrooms. It is designed to minimize hardscape, maximize green space, and help buffer winds. The range of activities makes it a family recreation destination.

**B** The Village Green anchors the Village Center and acts as a portal to the Ellis residential neighborhoods. Located just west of the Village Center on "Ellis Town Drive," the Village Green has a strong visual presence when entering the community from Corral Hollow Road. The park serves as the ceremonial center of Ellis and features a multi-purpose lawn, play area, bocce court, and picnic areas.

**C** Not Used

**D** The Dog Park includes areas for shaded seating and public art as well separated small and large dog areas. A landscape strip buffers and screens adjacent residences. The perimeter of the park is fenced for safety.

**E** Homestead Park provides a recreation hub for multiple generations. Features a train themed play area, picnic area with shade structure and open green for informal games and relaxation. The park also promotes neighborhood gathering with a focal element expressing the railway theme.

**F** Western Park includes play areas, a multi-purpose field suitable for youth soccer or baseball and a group picnic area with shade structure.

**G** Schoolhouse Park includes play area with shaded picnic area, a multi-purpose lawn and main promenade that connects multi-purpose path with school entry.

**H** The Orchard evokes the agrarian character of the community with a windrow of columnar trees, and orchard grid planting interspersed with open lawn. An ornamental garden area is located at the eastern end of the park.

**I** Native Preserve is a linear Special Landscape Feature that runs the length of the Pacific Gas and Electric (PG&E) and Chevron easements. This area will be fenced off and planted with drought tolerant grasses or other compatible plantings. Alternatively, this area may be leased to an entity and put to compatible uses such a vineyard.

**J** Boulder Park provides a rock-themed play element, small picnic area and an open green suitable for games such as volleyball or badminton. A focal element and ornamental garden reinforce the theme.

**K** Sports Park includes a basketball court, multi-use sports field, play area and picnic area with shade structure.

**L** Railroad Park features a train themed play area, picnic area with shade structure and open green for informal games and relaxation. The park also promotes neighborhood gathering with a focal element expressing the railway theme.

**M** Nature Park is designed to serve multiple generations with a themed play area, picnic area with shade structure, tennis court, multi-use sports field, and skate feature. A focal element reinforces the nature theme.

**N** Butterfly Park offers a tranquil neighborhood setting with an ornamental garden, fountain or gazebo, bocce court and information kiosk. A water play element is also provided. Park elements reinforce the butterfly theme.



Figure 2.70 Illustrative Parks, Preserve, and Special Landscape Features Plan





Figure 2.73 Conceptual Aquatic Park Sign (See Ellis Sign Program for details, final design may vary)



Figure 2.75 View of concept for the Aquatic Park



Figure 2.74 Traditional architecture example



Figure 2.76 Wet deck with interactive play structure example

Photo: Water Technology

Vehicles enter the Aquatic Park from Summit Drive. Parking is located along the western length of the facility.

The aquatic facilities are separated by landscape buffers to ensure a visually pleasant environment throughout the facility, and within each activity area. Lush landscaping cools the area by minimizing hardscape and providing ample shade. A planted berm screens views of the parking area from Summit Drive.



Figure 2.77 Conceptual proposed Aquatic Park



Figure 2.79 Outdoor pool example



Figure 2.78 Lazy river example

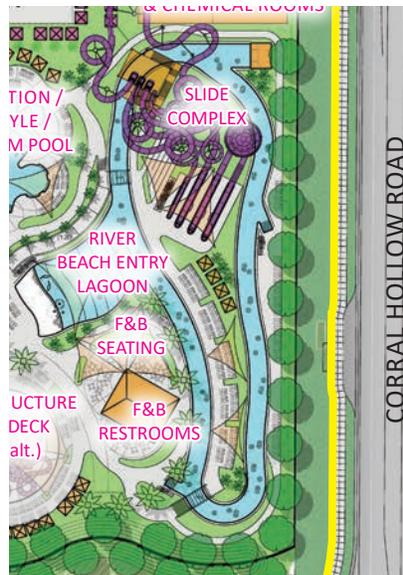


Figure 2.80 Conceptual lazy river and slides  
Note: Configuration and amenities to be based on final design

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2.2.6.2 Village Green

(Figure 2.70, B)

This park is located at the western edge of the Village Center. It creates a transitional gateway between the Village Center and the residential neighborhoods of Ellis.

An entry portal and clock tower create a strong focal point visible when entering the community along Ellis Town Drive. A plaza and promenade area with benches and shade trees provides a space for organized events, such as farmers market, art fairs, flea markets, and other community functions and celebrations. An open multi-purpose lawn provides flexible space for sports, games, parties, and gatherings, with a portal at one end that doubles as a screen for movies in the park.

Terraced steps provide informal seating at the edge of the lawn. The park offers play areas for both 2 to 5 and 5 to 12 year-olds, bocce courts, and ornamental planting areas. Picnic tables, shade structures, and a range of seating options are provided throughout the park. Railway-themed elements add character throughout the park.

The neighborhood’s mailboxes are located under an iconic shade structure at the western edge of the park.



Figure 2.81 Illustrative Plan

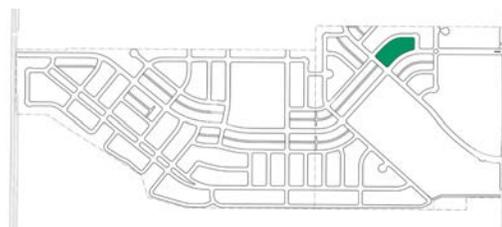


Figure 2.82 Key Plan

**CONCEPTUAL PROGRAM**

**TYPE** Neighborhood Park

**USES/FEATURES**

- A Specimen Tree
- B Clock Tower/Information Kiosk
- C Multi-purpose Lawn
- D Play Areas (2–5 and 5–12)
- E Bocce Courts
- F Picnic with Shade
- G Ornamental Planting
- H Portal and Park Sign (Large)
- I Portal (Removable Movie Screen)
- J Mailboxes/Iconic Shade Structure
- K Bike Racks



Figure 2.85 Ornamental planting



Figure 2.83 Railway themed play example



Figure 2.86 Bocce courts example

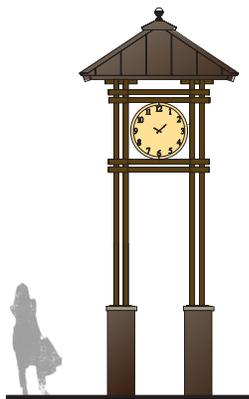


Figure 2.84 Clock tower



Figure 2.87 Portal/movie screen

2.2.6.3 Dog Park

(Figure 2.70, D)

The Dog Park provides separate areas, each with double gated entries, for small and large dogs. Each area includes a drinking fountain with dog bowl, dog waste stations, and may offer dog agility features and water mist elements. A plaza between the two areas provides seating and an community information board. Shaded seating and tables are located throughout the park. Pathways and seating areas may be paved with concrete or decomposed granite. Furnishings and elements may include metal, wood, concrete or GFRC (glass fiber reinforced concrete). Shade trees are dotted throughout the park, creating an attractive edge and cool areas for the dogs. A 30-foot landscaped buffer screens adjacent residences. A 10-foot buffer is provided along the south edge of the park. The park is fenced for safety. Public art and boulders may also be included as part of the park. Parallel ADA-accessible parking to be provided on-street.

CONCEPTUAL PROGRAM	
<b>TYPE</b> Park	
<b>USES/FEATURES</b>	
A Small Dog Area	O Bike Rack
B Large Dog Area	P Double Entry Gate With Regulatory Signage
C 5-Foot Perimeter Fence	Q Not used
D Seating Area	R Drinking Fountain With Dog Bowl
E Boulders	S Maintenance Access Gate Through Dividing Fence
F Water Play Feature	T Decomposed Granite Paving
G Lounge Chair	U Natural Turf
H 30-Foot Landscape Buffer	V Connection to Storage Site
I 10-Foot Landscape Buffer	W Trees over mulch
J Picnic Table With Shade Structure	X Not used
K Park Sign	Y Dog Play Area
L Trash And Recycling Receptacle	Z Not used
M Leash Holder	
N Kiosk	

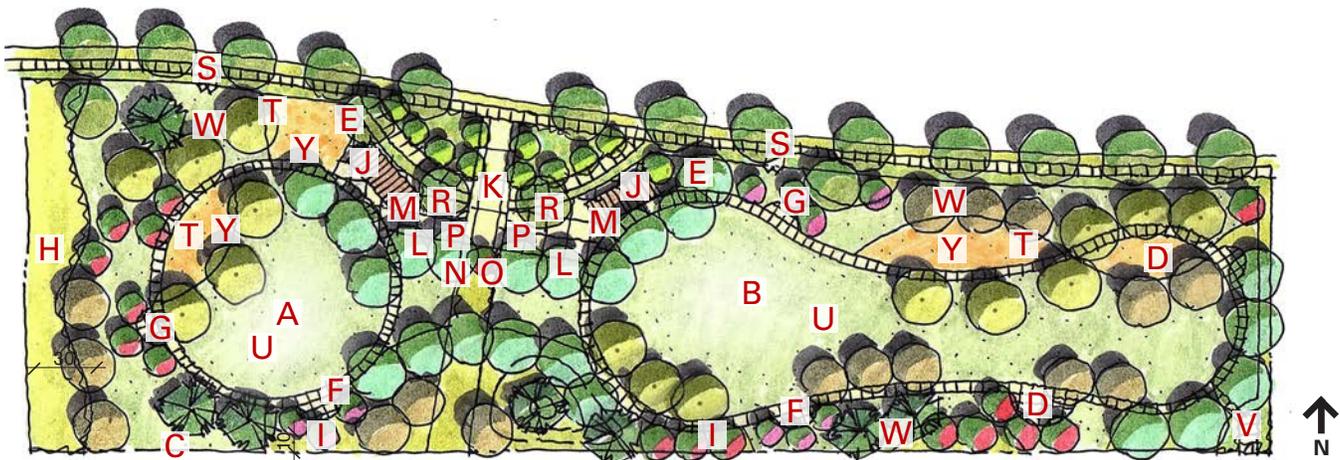


Figure 2.88 Illustrative Plan

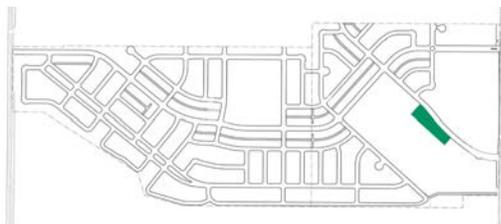


Figure 2.89 Key Plan



Figure 2.90 Mister example



Figure 2.91 Naturalistic agility structures

2.2.6.4 Homestead Park

Homestead Park provides a recreation hub for multiple generations. The park offers a small play element and water play feature, a basketball court, a small skate feature and an open green for volleyball, badminton or other informal activities.

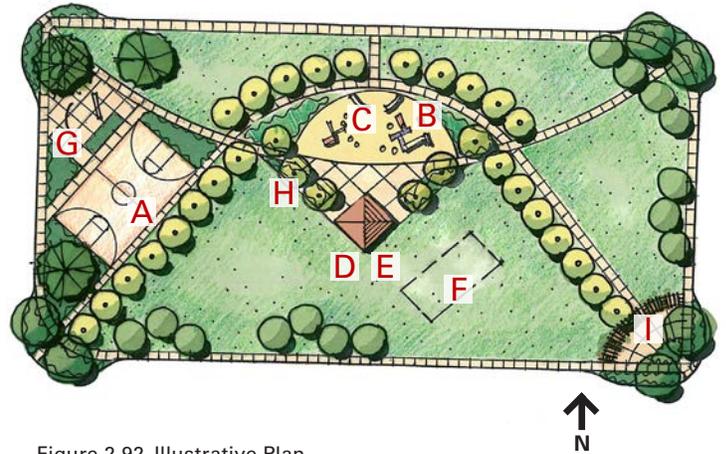


Figure 2.92 Illustrative Plan



Figure 2.93 Water play feature example

CONCEPTUAL PROGRAM	
<b>TYPE</b>	Neighborhood Park
<b>USES/FEATURES</b>	
A	Full Basketball Court
B	Play Element
C	Water Play Element
D	Picnic (Large)
E	Shade Structure
F	Open Green/Volleyball/Badminton
G	Skate Spot
H	Drinking Fountain
I	Park Sign (Large)



Figure 2.94 Basketball example

2.2.6.5 Western Park

(Figure 2.70, F)

Western Park offers active recreation including a multi-use soccer/youth ballfield and a large play area. The park also features a shaded picnic area and plaza with focal element for neighborhood gathering. Parallel ADA-accessible parking to be provided on-street.

CONCEPTUAL PROGRAM	
<b>TYPE</b>	Neighborhood Park
<b>USES/FEATURES</b>	
A	Play Area (Full) and Activity Courts
B	Picnic (Large)
C	Shade Structure
D	Soccer/T-ball Multi-Use Field and Viewing Steps
E	Drinking Fountain
F	Focal Element (Allowance)
G	Park Sign (Large) and/or Kiosk
H	Bike Racks
I	Special Landscape Feature (see Section 2.2.7.9)
J	Pickleball Court
K	Game Zone
L	Kiosk
M	Amphitheater Steps



Figure 2.95 Illustrative Plan

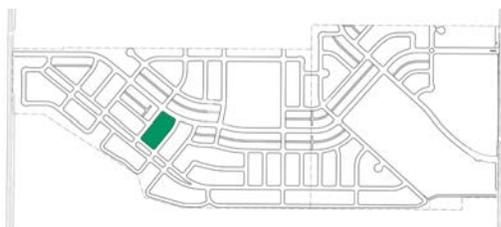


Figure 2.96 Key Plan



Figure 2.97 Multi-use field example

2.2.6.6 Schoolhouse Park

(Figure 2.70, G)

This park is generally located at north-east edge of the school. It provides a different type of play experience for users between Village Green Park and Western Park.

At the entry there is sign wall that invites you to the promenade with double row of trees and benches. The park offers a play area for both 2 to 5 and 5 to 12 year-olds. An open multi-purpose lawn provides a flexible extension of the play area. Shaded picnic area and seat wall will provide a range of seating options around the park. Parallel ADA-accessible parking to be provided on-street or part of the school parking lot.

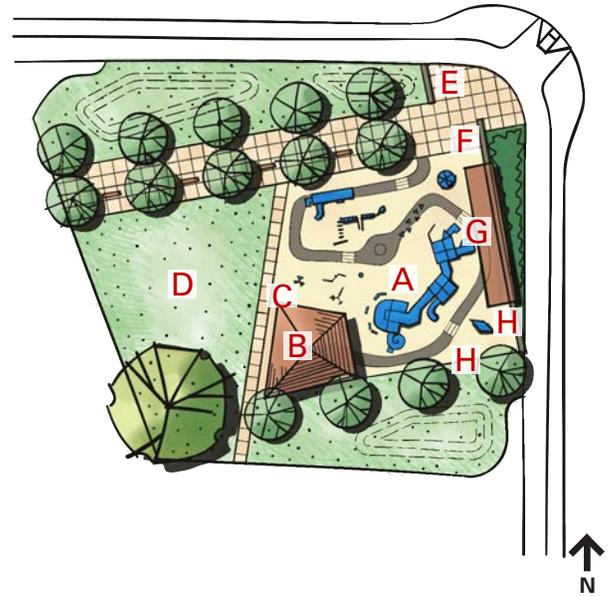


Figure 2.98 Illustrative Plan

CONCEPTUAL PROGRAM	
<b>TYPE</b>	Neighborhood Park
<b>USES/FEATURES</b>	
A	Play Area (full)
B	Picnic
C	Drinking Fountain
D	Multi-use Lawn
E	Park Sign
F	Bike Racks
G	Shade Structure
H	Seat Wall/Fence



Figure 2.100 Play area example

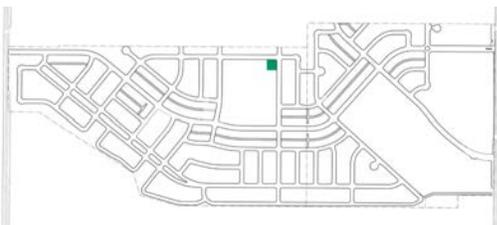


Figure 2.99 Key Plan



Figure 2.101 Play area example

2.2.6.7 The Orchard

(Figure 2.70, H)

The Orchard runs along the north side of Ellis Town Drive east of Lammers Road. The Orchard acts as a gateway for visitors, and provides a serene homecoming for busy residents at day’s end. A windrow of columnar trees creates a backdrop for open lawn.

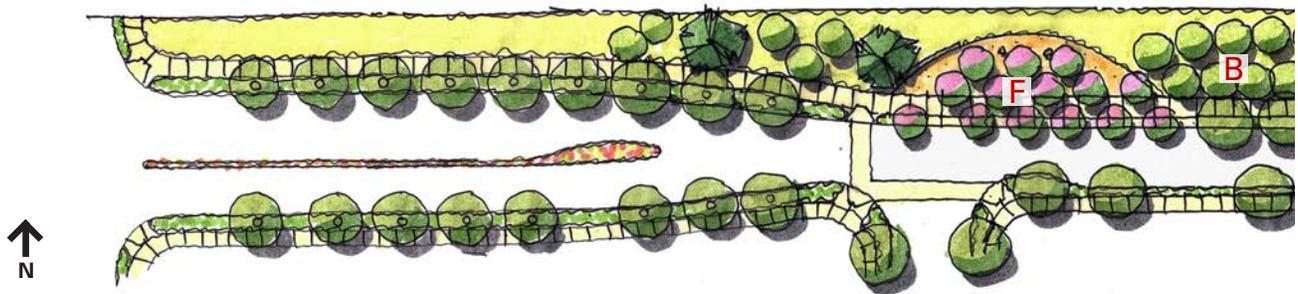


Figure 2.102 Illustrative Plan

CONCEPTUAL PROGRAM	
<b>TYPE</b>	Neighborhood Park
<b>USES/FEATURES</b>	
A	Park Sign (Small)
B	Ornamental orchard/demonstration garden
C	Fitness stations
D	Multipurpose lawn
E	Gazebo
F	Picnic area



Figure 2.104 Gazebo example

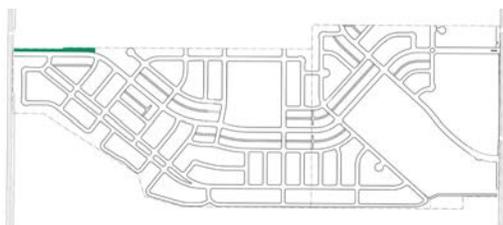


Figure 2.103 Key Plan



Figure 2.105 Orchard example

The Orchard (continued)

The linear nature of the park makes it ideal for walking. A multi-use path runs the entire length of the park.

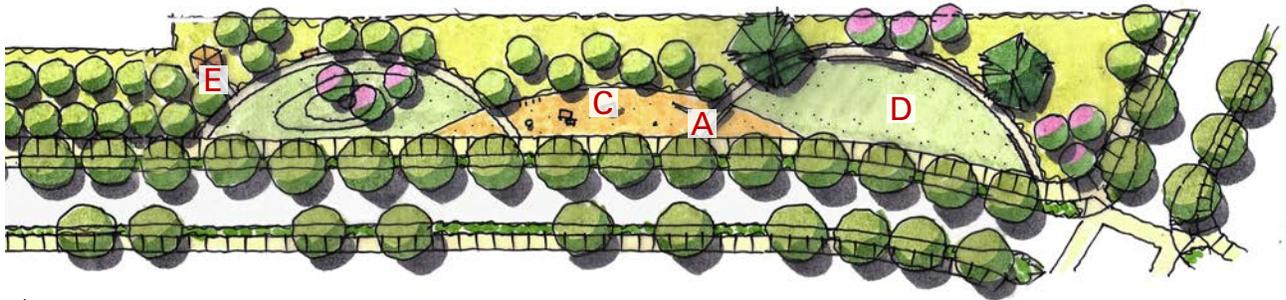


Figure 2.106 Illustrative Plan



Figure 2.107 Demonstration garden example



Figure 2.108 Fitness Stations example

2.2.6.8 Native Preserve  
(Figure 2.70, I)

The Native Preserve runs the length of the Pacific Gas and Electric (PG&E) and Chevron pipeline easements. The Native Preserve will be a significant visual amenity. It will be enclosed with a split rail fence and planted with low, drought tolerant ornamental grasses and perennials. The split rail fence may be concrete or vinyl. Barrier plants, such as, but not limited to Carpet Rose and Berberis may be planted along the edge to discourage access and use. Alternatively, the area of the Native Preserve may be leased to an entity and put to compatible uses such as a vineyard. In this case all plantings and structures will reflect easement restrictions. Management and maintenance agreements would ensure appropriate caretaking of the property. No trees are planted within the easement, however street trees are located in the adjacent park strip. A maintenance access gate is provided at each median segment.



Figure 2.110 Native Preserve concept

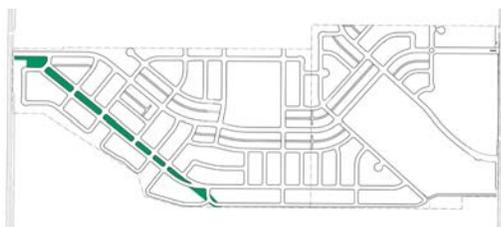


Figure 2.111 Key Plan

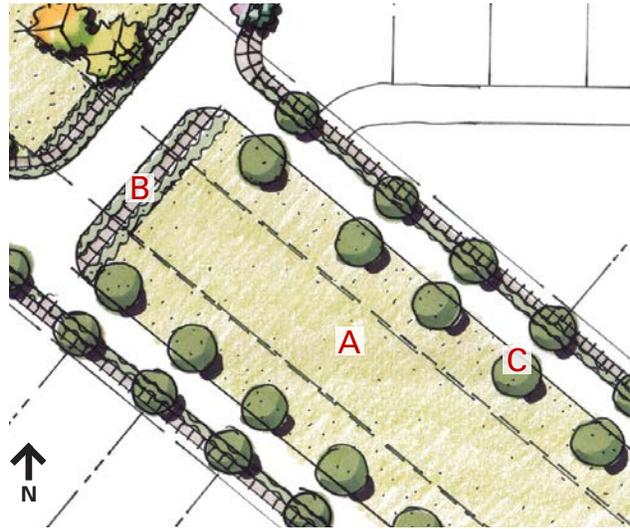


Figure 2.109 Illustrative Plan, typical



Figure 2.112 Split rail fence example



Figure 2.113 Split rail fence example

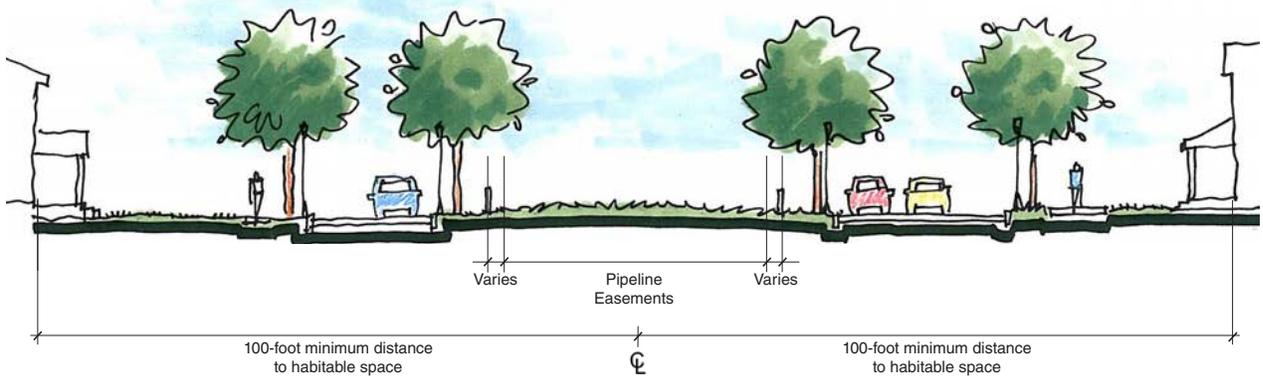


Figure 2.114 Illustrative section of the Native Preserve



Figure 2.116 Illustrative Plan of the southern edge

2.2.6.9 Boulder Park

Boulder Park features a rock themed play element, a picnic area and an open green suitable for volleyball, badminton, informal play or relaxation. An ornamental rock garden reinforces the park theme.

CONCEPTUAL PROGRAM	
<b>TYPE</b>	Neighborhood Park
<b>USES/FEATURES</b>	
A	Play Element
B	Picnic Small
C	Open Green/Volleyball/ Badminton
D	Focal Element (Allowance)
E	Ornamental Garden
F	Park Sign (Small)

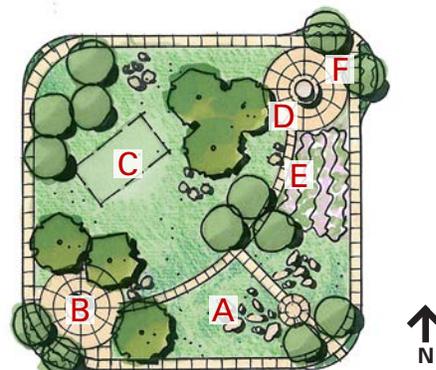


Figure 2.117 Illustrative Plan



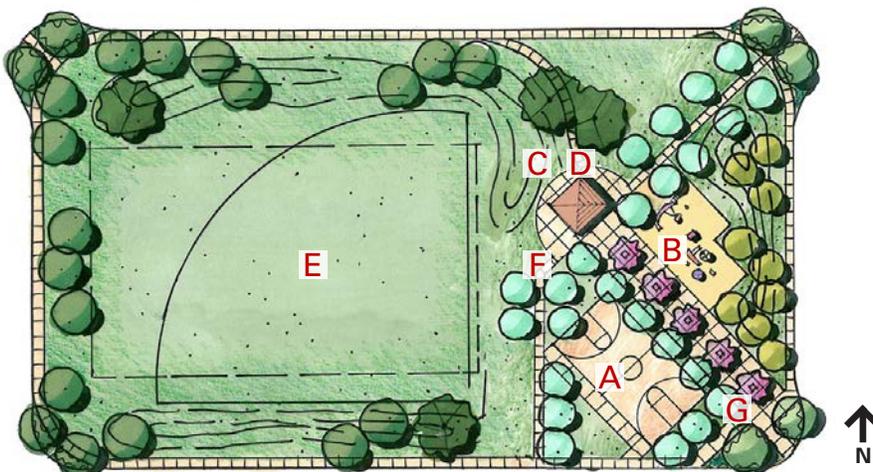
Figure 2.118 Open green, volleyball, and badminton example



Figure 2.119 Play element example

2.2.6.10 Sports Park

Sports Park provides active recreation opportunities including basketball and a multi-use soccer/youth ball-field. A full play area and picnic area with shade structure are also included.



CONCEPTUAL PROGRAM	
<b>TYPE</b>	Neighborhood Park
<b>USES/FEATURES</b>	
A	Full Basketball Court
B	Play Area (Full)
C	Picnic Large
D	Shade Structure
E	Soccer/T-ball Multi-Use Field
F	Drinking Fountain
G	Park Sign (Large)

Figure 2.120 Illustrative Plan



Figure 2.121 Multi-use field example

2.2.6.11 Railroad Park

This park celebrates local railroad history with a train themed play area, picnic area with shade structure and open green for informal play. A plaza with a focal element makes this park ideal for neighborhood gatherings.

CONCEPTUAL PROGRAM	
<b>TYPE</b>	Neighborhood Park
<b>USES/FEATURES</b>	
A	Play Area (Small)
B	Picnic Large
C	Shade Structure
D	Open Green/Volleyball/ Badminton
E	Drinking Fountain
F	Focal Element (Allowance)
G	Park Sign (Large)

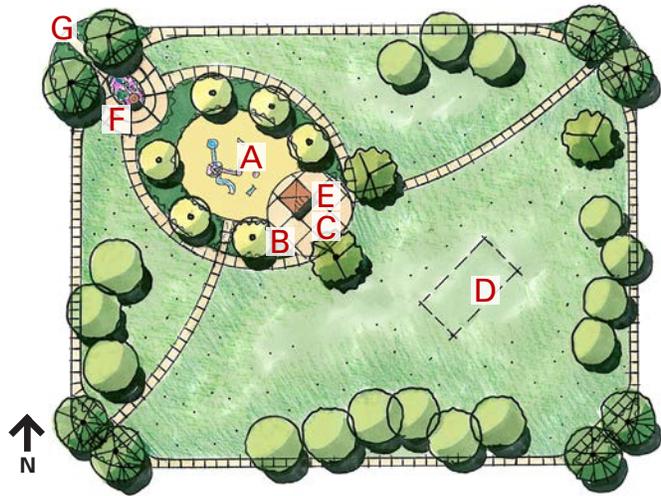


Figure 2.122 Illustrative Plan



Figure 2.123 Themed play structure example

2.2.6.12 Nature Park

Nature Park celebrates natural systems while providing a wide range of recreational uses. The park includes a themed play area, picnic area with shade structure, tennis court and multi-use sports field. A small skate feature and a dog park are also provided. A focal element, such as an interactive sundial, animal footprints or faux fossils, reinforces the theme.

CONCEPTUAL PROGRAM	
<b>TYPE</b>	Neighborhood Park
<b>USES/FEATURES</b>	
A	Play Area (Full)
B	Picnic Large
C	Shade Structure
D	Tennis
E	Soccer/T-ball Multi-Use Field
F	Skate Spot
G	Drinking Fountain
H	Focal Element (Allowance)
I	Park Sign (Large)

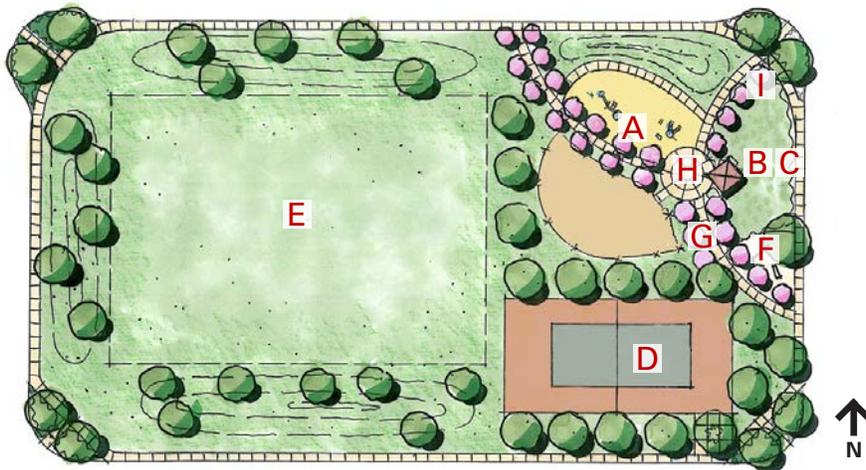


Figure 2.124 Illustrative Plan



Figure 2.125 Play area example

2.2.6.13 Butterfly Park

This tranquil park features an ornamental garden to attract butterflies. A bocce court, water play element, information kiosk and a focal element, such as a fountain or gazebo all promote neighborhood gathering. A small picnic area and open green are also included.

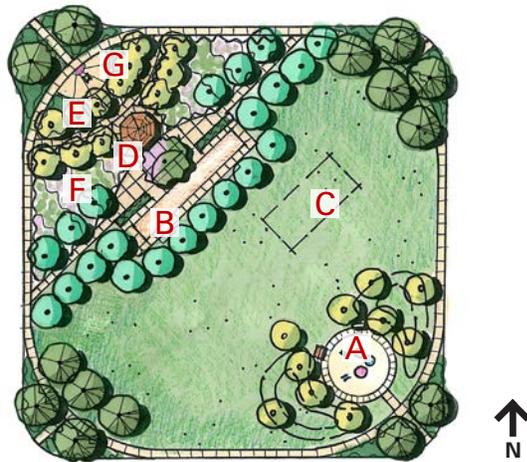


Figure 2.126 Illustrative Plan

**CONCEPTUAL PROGRAM**

**TYPE** Neighborhood Park

**USES/FEATURES**

- A Water Play Element
- B Bocce
- C Open Green/Volleyball/Badminton
- D Fountain/Gazebo
- E Informational Kiosk
- F Ornamental Garden
- G Park Sign (Small)



Figure 2.127 Butterfly-friendly landscaping example



Figure 2.128 Water play element example



Figure 2.129 Butterfly landscape art example

### 2.2.7 SPECIAL LANDSCAPE FEATURES

The Ellis Neighborhood Plan includes numerous special landscape features that will contribute to both the desirability and livability of the new community. These special landscape features include distinct community entries, generously landscaped street frontage and intersection nodes, landscape buffers and edges, pedestrian links, and common areas.

The character of these special-use areas reflects the agrarian heritage of the site as well as the historic elements of the original settlement at Ellis, established in 1869.

#### 2.2.7.1 Ellis Town Drive Entry at Corral Hollow Road

This is the primary entry for the Ellis community and is also the entry to the Village Center. As such, it plays a key role in establishing the character for the community. The northwest corner of the intersection may feature a landmark Water Tower bearing the Ellis logo to announce the community. A sign projecting from the tower is described in Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program. A subordinate Silo element with a similar projecting sign will be located at the secondary Village Center entrance (see Figure 2.135). The Water Tower, Silo, and low stone walls appear as remnants of a historic California settlement as a reference to Ellis' agrarian history.

The Water Tower includes painted and galvanized metal. The Water Tower spans the sidewalk. The Water Tower will be externally lit to illuminate the Ellis name and logo. The signage on both may be internally or externally lit. Sign structures (poles) with banners line Corral Hollow Road north and south of the Water Tower.

The southwest corner of the intersection includes an iconic Pump House feature. Like the Water Tower, the Pump House is a reference to the area's agrarian history. The Pump House is shown in Figure 2.131. The Pump House will be externally lit. The Pump House will be located on private property.

Date palms planted in a row create a distinctive backdrop for the Water Tower and Pump House and continue along Ellis Town Drive into the Village Center. A low stone wall (which may be partially removed based on Village Center building locations) and planted median further highlight the entry.

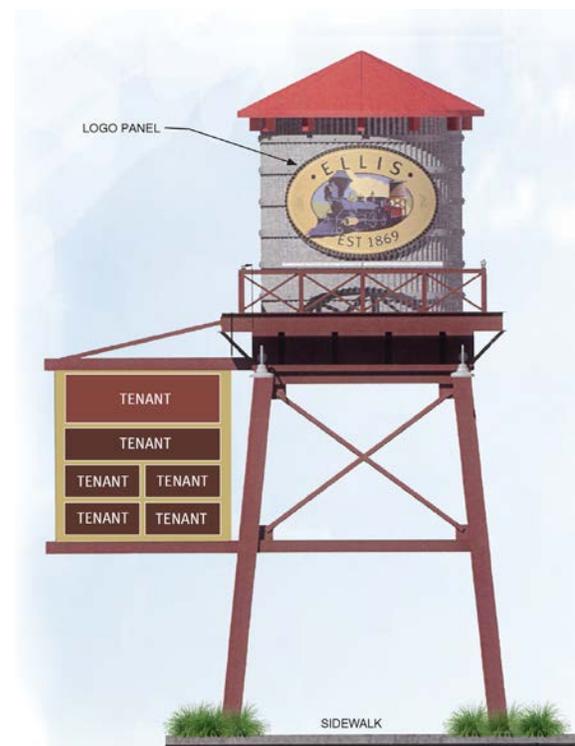


Figure 2.130 Water Tower landmark element (See Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program for further detail)



Figure 2.131 Pump House (see Appendix A2: Ellis Additional Landscape Features/ Character Elements And Sign Program for further detail)

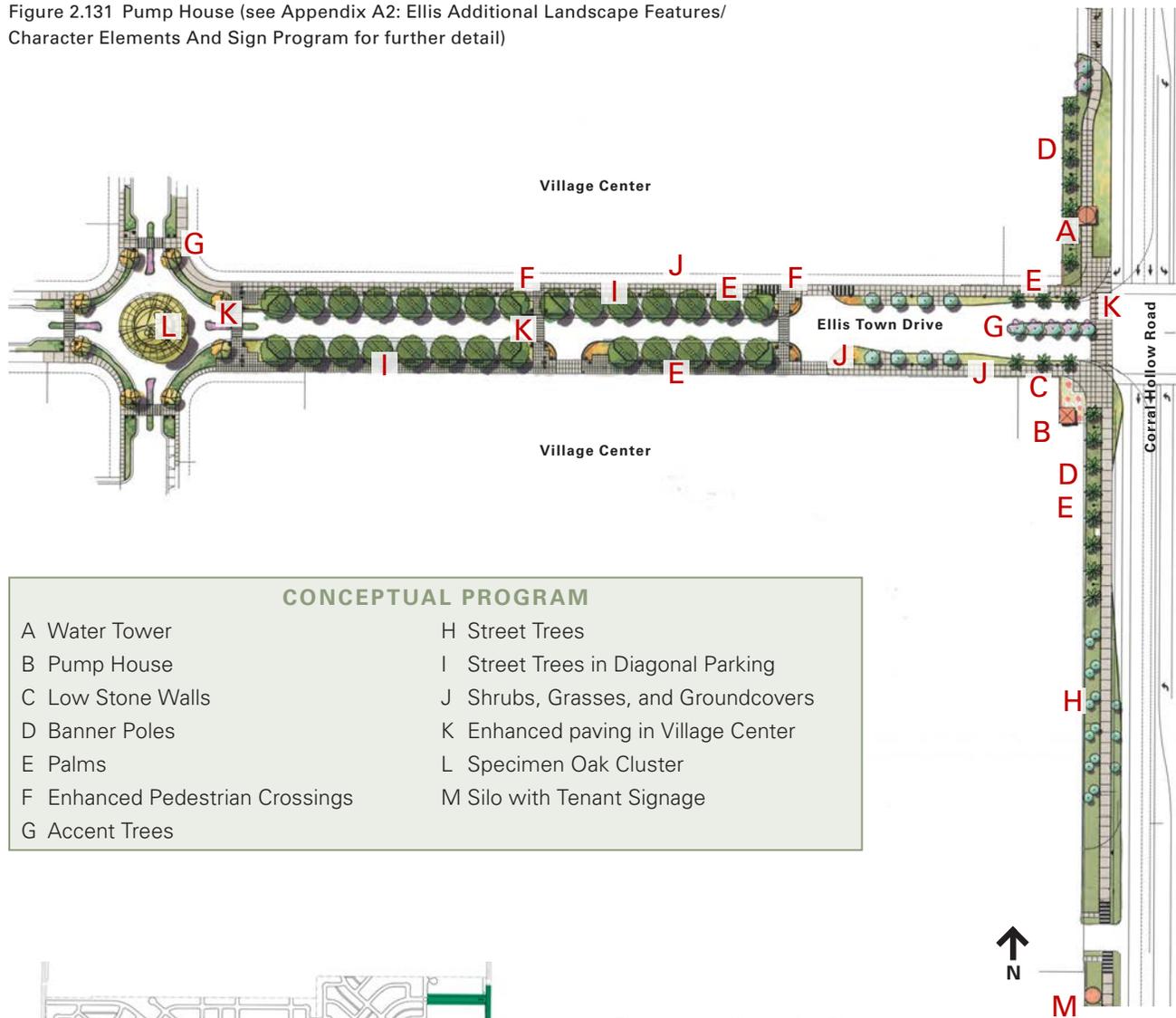


Figure 2.132 Key Plan

Figure 2.133 Illustrative Plan



Figure 2.134 Low stone wall example



Figure 2.135 Silo (see Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program for further detail)

2.2.7.2 Summit Drive Entry at Corral Hollow Road

The Summit Drive entry will express the character of the community with rural agrarian style plantings and monumentation. A row of palms line Corral Hollow Road near Summit Drive echoing the entry at Ellis Town Drive to the north. Entry monument signage at the Aquatic Park is located on Corral Hollow Road north of Summit Drive.

The storage office with historical theme and a granary element bearing the Ellis logo are located on the south side of Summit Drive. The storage office and granary design character may be natural, stained or colored painted wood look or galvanized metal. The storage office may include signage. See Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program for further details.

The Ellis logo or lettering on the storage office and storage identification signage may be externally lit. The granary features a projecting sign that may be either externally or internally lit. Tree planting will be carefully located to preserve sight lines to signage.

CONCEPTUAL PROGRAM	
A	Aquatic Park Entry Monument (Sign)
B	Feather Palms
C	Accent Planting
D	Low Stone Wall
E	Iconic Granary Element with Logo
F	Barn/Self Storage Office, Signage
G	Trees in Orchard Grid
H	Signs for Self Storage

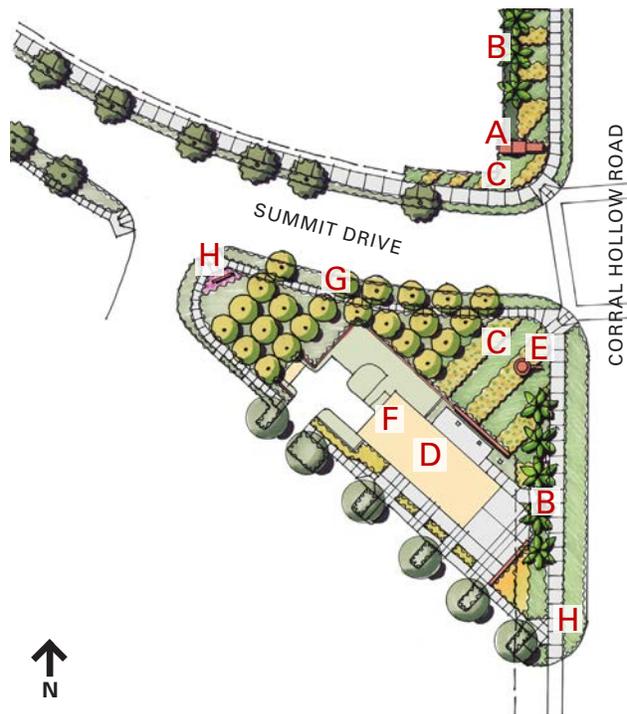


Figure 2.137 Illustrative Plan

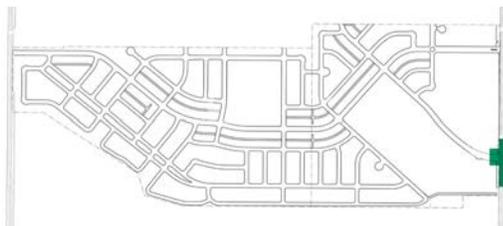


Figure 2.136 Key Plan



Figure 2.138 Iconic Barn Feature – North Elevation



Figure 2.139 Aquatic Park Entry Monument (See Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program for further details, final design may vary)



Figure 2.140 Granary with signage (See Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program for further detail)

2.2.7.3 Lammers Road Entry at Ellis Town Drive

The Lammers Road Entry supports the rural theme of Ellis with a barn-like entry structure (Block and Tackle Building), accent planting and large shade trees. The Ellis community logo will be placed on the side elevations. The structure’s design character may include a natural, stained or colored painted wood look or galvanized metal. See Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program for further details. The Lammers Streetscape includes a double row of trees underplanted drought tolerant groundcovers and/or grasses and backed by a wind-row of columnar trees, such as Carpinus. Planting at the corners is located to protect sight lines and allow views into Orchard Park from the south and the entry structure from the north.



Figure 2.141 Block and Tackle Building, Lammers Road elevation



Figure 2.142 Entry Building, Ellis Town Drive elevation

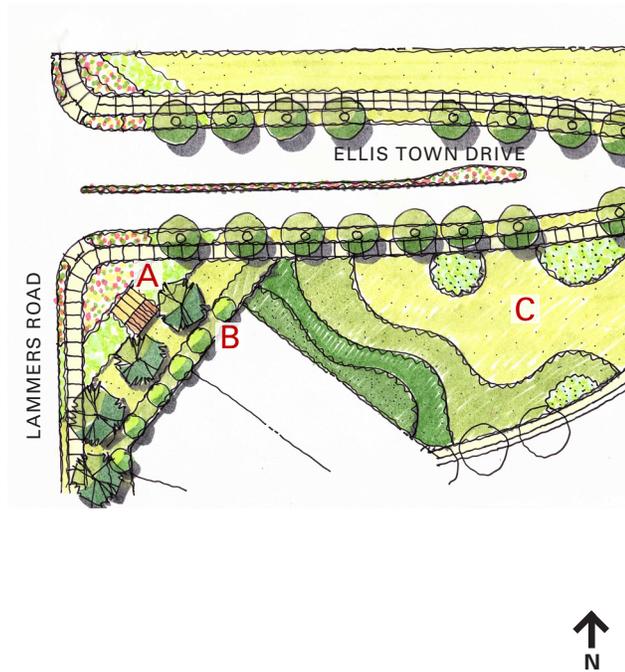


Figure 2.143 Illustrative Plan

**CONCEPTUAL PROGRAM**

- A Block and Tackle Building
- B Orchard-like Planting
- C Native Preserve

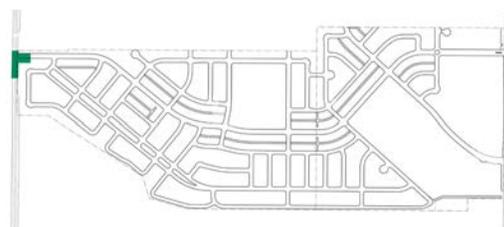


Figure 2.144 Key Plan

2.2.7.4 Corral Hollow Road Streetscape at Commercial Edge at Commercial Edge

The typical street tree pattern will be broken along Corral Hollow Road at the Village Center to announce the commercial area and allow views toward the commercial uses.

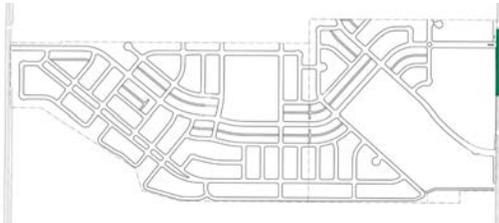


Figure 2.145 Key Plan

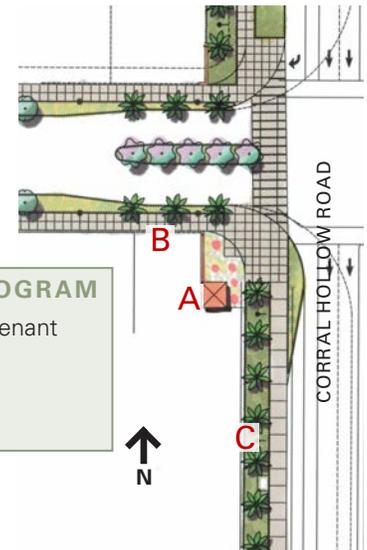


Figure 2.146 Illustrative Plan

2.2.7.5 Corral Hollow Road Streetscape at Aquatic Park  
Corral Hollow Road is informally planted with a single row of evergreen trees as a backdrop and deciduous street trees for seasonal interest. At the Aquatic Park, an 8- to 10-foot fence or theme wall screened with vines or shrubs provides privacy and softens noise from the street. A bus turnout and transit shelter are located along the Aquatic Park Frontage. The model of the shelter is per City of Tracy Standards. Color may vary to be consistent with Ellis character, advertising panel(s) within the shelter shall be used for Aquatic Park.

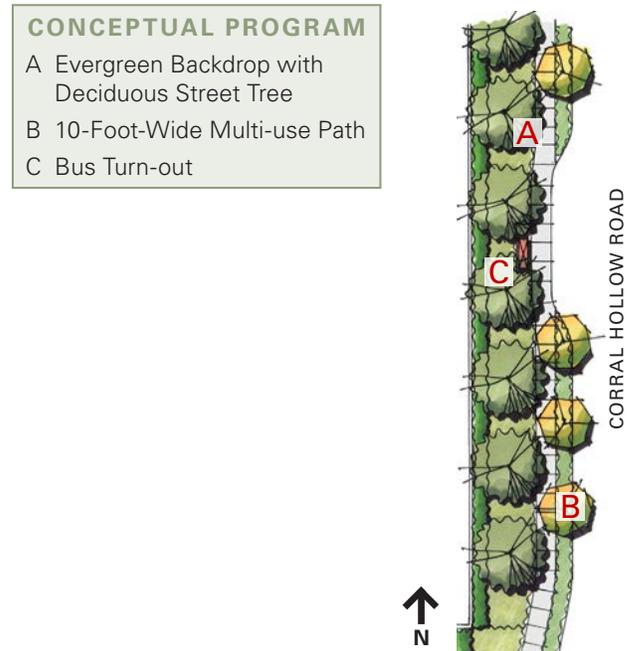


Figure 2.147 Illustrative Plan

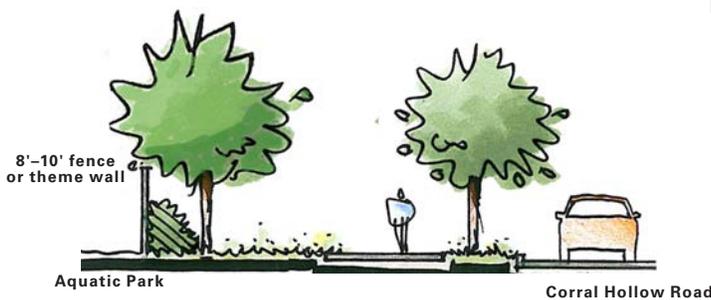


Figure 2.148 Corral Hollow Drive at Aquatic Park

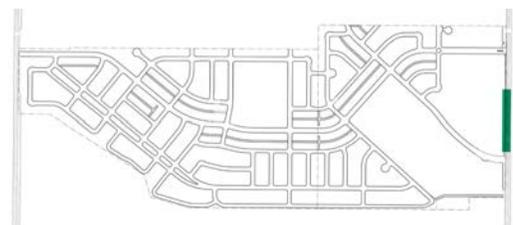


Figure 2.149 Key Plan

2.2.7.6 Lammers Road Streetscape

The Ellis community is anticipated to develop from east to west, thus it will be several years before the Ellis Town Drive entrance from Lammers Road will be constructed. When the initial connection of Ellis Town Drive is made at Lammers Road, an orchard-like grid of trees against a backdrop of columnar trees, such as Carpinus, will be planted in front of a 6-8-foot-tall community Theme Wall. A transition zone will be planted with fescue that can be partially mowed in curved patterns to create interest. As Lammers Road is constructed to its ultimate width, this no-mow fescue transition zone will be removed.

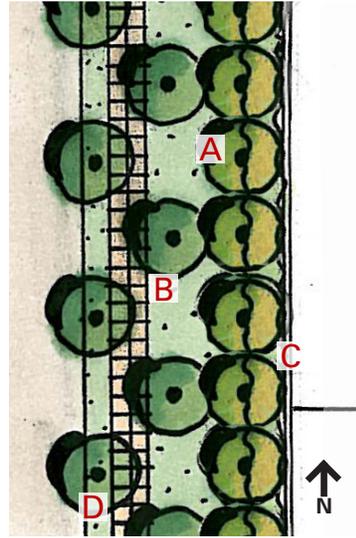


Figure 2.150 Illustrative Plan

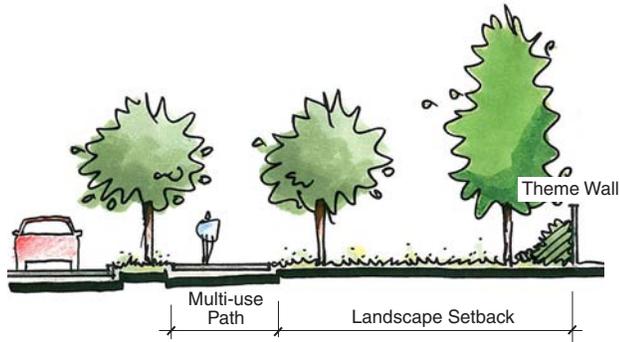


Figure 2.151 Lammers Road streetscape

CONCEPTUAL PROGRAM	
A	Planting
B	Mowed and/or Unmowed Fescue
C	Theme Wall
D	Multi-use Path

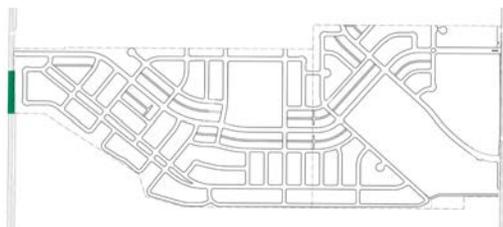


Figure 2.152 Key Plan



Figure 2.153 Orchard-like planting and theme wall

2.2.7.7 Northern Edge

The northern edge of the site at the Village Center and along Ellis Town Drive at the entry from Lammers Road may include a 4- to 6-foot view fence and may include a windrow of trees. This creates a green edge as vehicles approach the site from the north. Where the northern edge is at rear yards of homes there will be 6- to 8-foot wood fence or masonry wall.

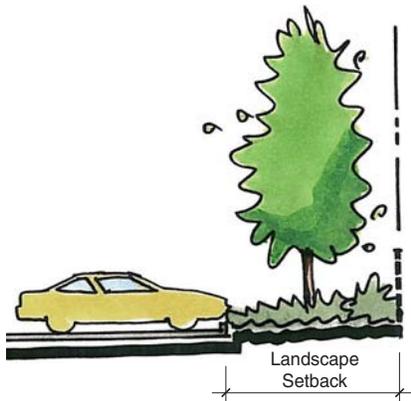


Figure 2.154 Landscape edge at Village Center

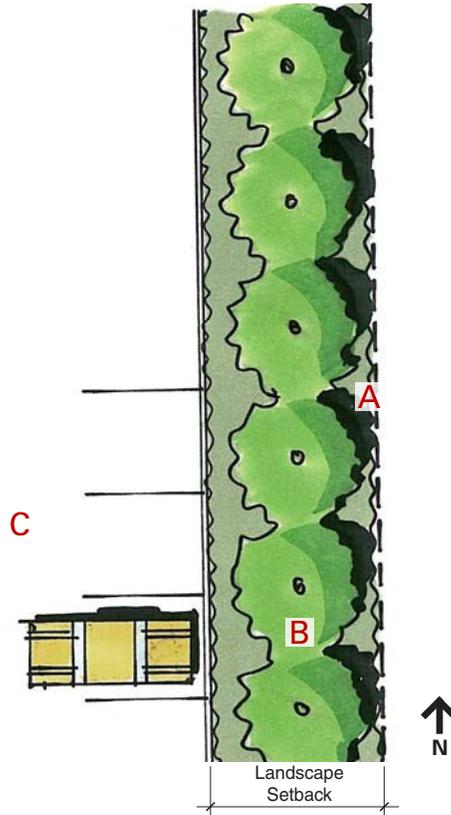


Figure 2.157 Illustrative Plan

CONCEPTUAL PROGRAM	
A	Fence
B	Windrow of Trees
C	Village Center and Commercial Parking



Figure 2.155 Landscape buffer

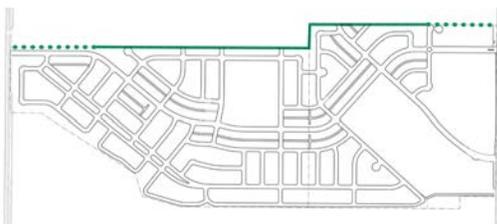


Figure 2.156 Key Plan



Figure 2.158 View fence

2.2.7.8 Union Pacific Railroad Edge

A 10-foot wall will run along the southern property edge from Lammers Road to the western edge of the storage building. A segment of the storage site will also have the 10- to 12-foot wall. A fifty-foot minimum setback is required from the Ellis property line to any habitable structure.

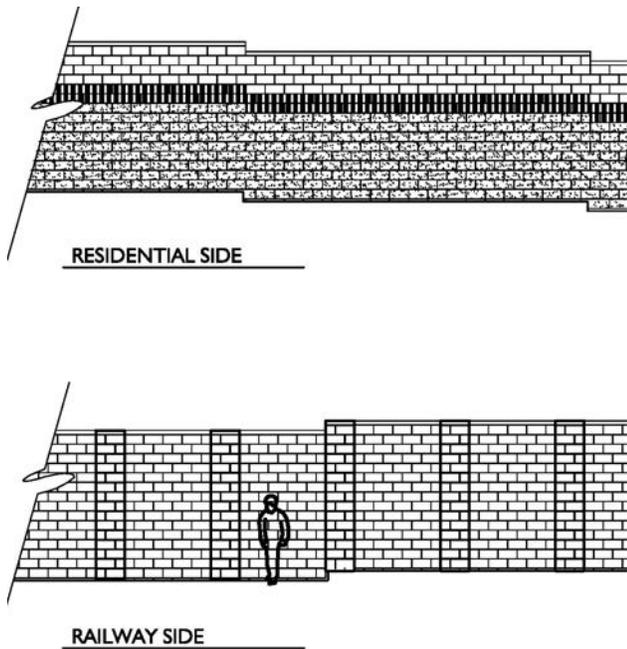


Figure 2.159 Boundary wall design concept (Village Neighborhood only)

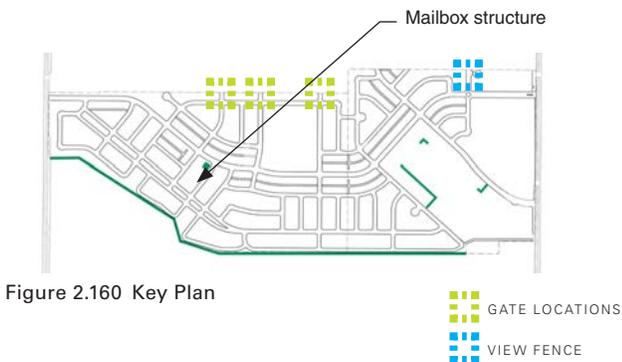


Figure 2.160 Key Plan

2.2.7.9 Mailbox Structure

A mailbox structure with community mailboxes will be located adjacent to Western Park. See also Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program for pavilion and sign design.

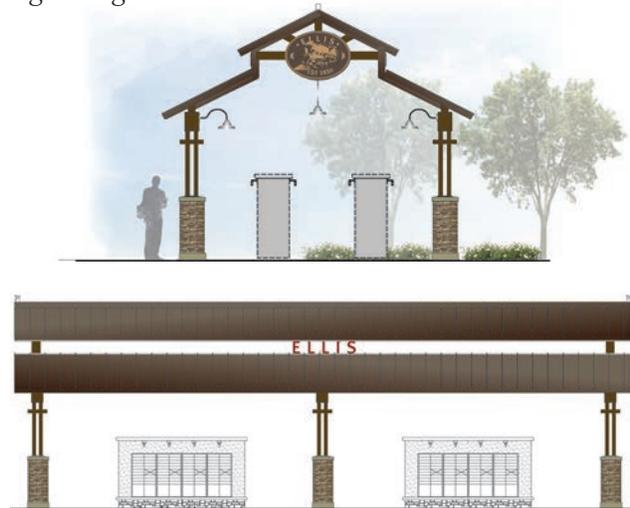


Figure 2.161 Mailbox structure

2.2.7.10 Agricultural Edge

The edges of the community adjacent to existing agricultural uses will be defined with 8-foot privacy fences, or a view fence (where access is not available for vehicles). Where streets terminate at site boundaries, operational gates will be used in lieu of guardrails to provide for emergency vehicle access if needed.

These fences shall be removed at the time development occurs adjacent to the Neighborhood Plan area when roadways are connected to these streets.

Conceptual Program

- 1 8-foot privacy fence
- 2 8-foot rolling gate



Figure 2.162 Eight-foot privacy fence and eight-foot rolling gate

### 2.2.8 LIGHTING, SIGNAGE AND FURNISHINGS

The streetscapes, parks, and public open spaces of Ellis will have a rich array of signs, furnishings, and landscape elements that will provide a unified community feel. Emphasis is on a palette of materials that reflect Ellis' heritage as a small town agrarian community. The detailing and textural character should reinforce the pedestrian-friendly orientation of the Ellis community.

#### 2.2.8.1 Lighting

Ornamental street lights will be traditional in character and at a pedestrian-scale. They will be used for all streets, parks, public open spaces, trails, bike paths, and walkways. Parking lot lighting will also be ornamental but taller. The style of street lights shall be similar to street lights found in Downtown Tracy. All streets and parks shall be lit to provide safe evening passage. While parks are not lit for evening use, where houses front onto the parks, the pedestrian access to residences shall be lit.

In the Village Center, light standards may be double-headed. Light standards shall be located with sufficient clearance provided to ensure that light accessories do not project into parking. Provision may also be made in the Village Center for 'twinkle' lighting of street trees and holiday lighting of trees in the Village Green. Bollard lighting in the same style as street lighting may be used. Sternberg banner arms should be used where banners are to be located.

Lighting on the paseos or connections between Ellis Town Drive and the rear parking areas of the Village Center may include decorative ornamental lights mounted on buildings or overhead arbors. Special ornamental lighting may also be incorporated into thematic monuments at park entries.

All fixtures will be cut-off luminaires to control light and glare. The lighting specified, although traditional in appearance, will have state-of-the-art luminaires for lighting efficiency and glare reduction.

Light fixtures will direct lighting patterns downward in either a symmetrical or asymmetrical lighting pattern on the ground with very little glare. The post lights, specified to be mounted at a height of 14 feet, are scaled to pedestrians. This is an optimal height which balances lighting efficiency and performance, while providing direct illumination of pedestrian areas for facial illumination, thereby providing a safe night-time environment.

The lighting will be evenly spaced along the street and between the street trees. Closer spacing will be required in the Village Center and similar areas requiring more illumination. Street trees are specified to have a 7- to 8-foot clearance to street lights in order to provide adequate room for the proper lighting performance.



Figure 2.163 Ornamental pedestrian street lighting



Figure 2.164 Typical street lamp example

2.2.8.2 Public Property Signs

Signs in the Ellis Neighborhood Plan Area in the public right-of-way, the public parks, or on public property, shall be regulated by Title 10, Article 35 of the Tracy Municipal Code and CalTrans regulations, except as specified in Section 2.2.8.2 of the Ellis Specific Plan and Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program. The signs included in this Ellis Sign Program shall be permitted as shown. The approval process shall include only building permit, and a sign permit processed in accordance with Title 10, Article 35 of the Tracy Municipal Code. For purposes of indemnifying the City, all temporary signage to be located within street right-of-ways, as approved in the Ellis Neighborhood Plan, will require one all-inclusive encroachment permit.

In addition, the design of the landscape features/character elements in Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program shall be permitted as shown.

Signage within all common areas of Ellis, such as the streetscape, parks, and special landscape features, should be minimized to that which is essential for safety, orientation, and identification. Signage should be integrated into the overall design of the park or streetscape. Where appropriate, street lights may incorporate street signage to minimize visual clutter. Park entries will incorporate identity signage. Park signage may also be incorporated into thematic elements within the park, such as low walls or thematic monuments.



See Appendix A2: Ellis Additional Landscape Features/Character Elements And Sign Program for further details.

Figure 2.165 Examples of signs in the public right-of-way

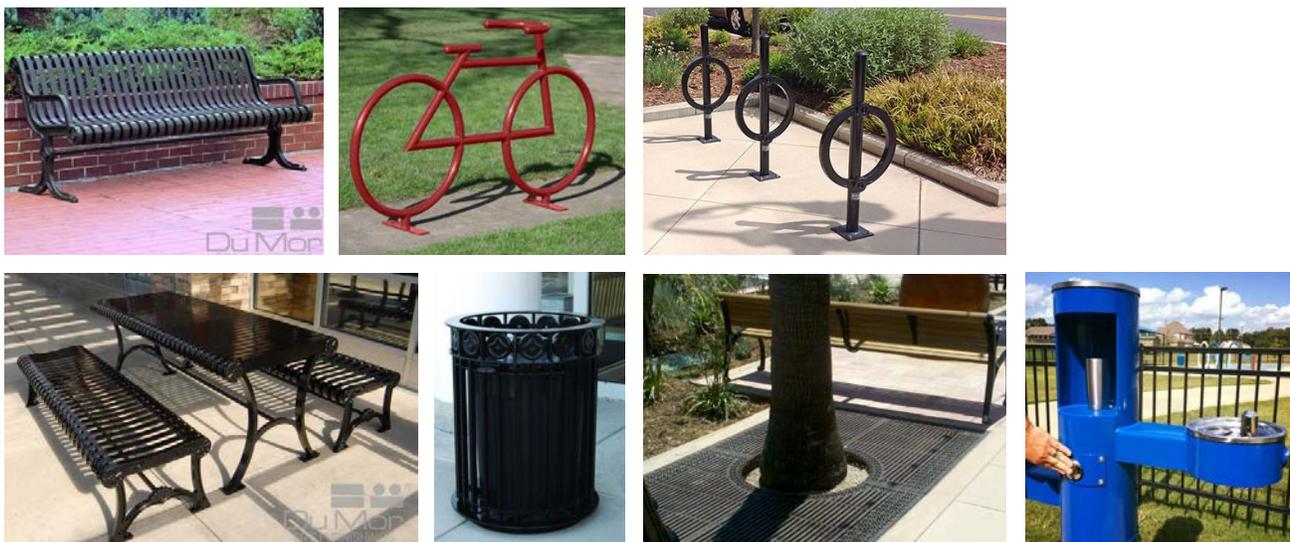


Figure 2.166 Site furnishings

Elements	Description	Manufacturer, Model, Finish, Color
Street Lighting	Ornamental Traditional Acorn	Sternberg Birmingham series, Dark Bronze Textured, LED, or equal
Street/Wayfinding Poles	Ornamental Traditional	Sternberg Richmond and/or Lexington series, Dark Bronze Textured, LED, or equal
Street/Wayfinding Signs	Decorative metal panel	Custom color, font and design to complement Ellis logo
Banner Poles	Ornamental Traditional	Sternberg Birmingham series with Sternberg Banner Arms, Dark Bronze Textured, or equal
Pet Station/Other Community Signs	Decorative metal panel	Custom color, font and design to complement Ellis logo
Benches	Ornamental Traditional	Dumor 140 series, black powdercoat with custom lettering, or equal
Trash/Recycling	Ornamental Traditional	Dumor 148 series or equal
Bike Rack	Traditional	Maglin MBR200 series with custom lettering, black powdercoat, or equal
	Custom, Decorative	Decorative bike rack with custom coloring to match Ellis logo, Huntoo Bicycle-B Rack, or approved equal
Tree Grate	Ornamental Iron	Iron Age Designs Interlaken, natural finish, or equal
Tree Guard	Ornamental	Iron Age Designs Basic, Powdercoat, Special Rust #47, or equal
Drinking Fountain with bottle filler and hose bibb	Ornamental Traditional	MDF Most Dependable Fountains, 10145SM with attached pet fountain, recessed hose bibb and lock door, black, or equal
Picnic Tables	Ornamental	Dumor, 448 and 443 series, black, or equal
Shade Structure	Decorative	May be prefabricated or custom; materials may include wood, metal, stone, stone veneers, may include Ellis logo or lettering, may be solid, perforated or slatted
Play Equipment/Elements	Thematic, Educational, Innovative Play Elements	Play equipment and elements may be themed, custom or prefabricated; materials may include metal, wood, GFRC or other materials, sand and water may be used judiciously for play value.
Spray Fire Hydrant	Dog Play Amenity	Dog-On-It Item #7270
Drinking Fountain w/ bottle filler & bucket filler	Pedestal Bottle Filler	MDF: 10155 SM with optional jug filler in black
Seatwall	Custom cast-in-place concrete seatwalls	Custom cast-in-place concrete seatwalls
Adirondack Chairs	Adirondack chairs	Loll Designs: Tall Adirondack chair, white
Picnic Table	3 or 4 seat tables	Wabash Valley: PODP51, Portage Collection 46" square table with 4 seats, inground mount, round perforation, in silver. For accessible table, order PODP61, Portage Collection 46" Accessible Square Table with 3 seats, inground mount, in silver (table top, leg, and seats)
Light colored bench	Steel mesh bench	Wabash Valley: C01111C, Covington Collection Bench with back, 6' long, surface mount, round perforation, in silver (bench and leg)
Shade structure	Shade structure	May be prefabricated or custom; materials may include wood, metal, stone veneer, with solid roof for maximum sun protection, approximately 16' x 34'
Leash holder	Dog Leash Holder	BYO Recreation: Dog Leash Holder, Model: 2619-UP, green
5' tall Omega Fence	5' tall mesh fence system	Omega Architectural Fence system: square cap, 3x3 post, 5' tall, black powder coat
Message Kiosk	Message Kiosk	OCC Outdoors: Kiosk-2633, 2 sided, 42" wide x 78.5" tall x 3" thick

Figure 2.167 Ellis specifications (or equal as approved by the developer)



Figure 2.168 Play equipment and elements

2.2.8.3 Furnishings

Site furnishings will include a simple palette of durable traditional street and park furnishings, including bike racks, trash receptacles, and benches. The selection of site furniture will incorporate elements found throughout Tracy, to provide a visual connection between Ellis and the Tracy community.

While there is a consistent vocabulary of street furniture and lighting proposed for Ellis, it is also a key concept that each park will have its own identity within the park system. To this end, unique play equipment, shade structures, and other park furnishings may be specified to enhance a particular park theme. Park furnishings and equipment should be thoroughly evaluated for durability, ADA compliance, and consistency with visual character.

2.2.8.4 Streetscape Types

The streetscapes of Ellis will vary. Primary streets will have landscaped park strips between the sidewalk and curb. These park strips will be planted with ornamental, drought-tolerant landscape materials, the park strips or landscape strips will be planted with trees which shall be counted as a City tree for each lot/residence, no residential front yard City trees shall be required. Where parking is provided on streets with alley-loaded homes, pedestrian access through the park strips must be provided at a minimum of every 40 feet. Where parking is provided along park frontage, park strips may be eliminated to facilitate access.

Sustainable Landscape Design

Some streets will include more intimate, narrow rights-of-way with travel lanes having sidewalks at curb edges. On these streets, landscaped front yards with regularly-spaced shade and ornamental trees will provide scale and beauty.

The landscape system will be designed to reflect current best practices in landscape sustainability, including some or all of the following:

- Emphasize drought tolerant native or climate adapted plants
- Use California native plants where possible
- Minimize the use of lawn, except for recreational purposes
- Group plants by water use, i.e. hydrozones.
- Design high efficiency, weather-based irrigation systems
- Space plants to avoid the need for shearing
- Choose diverse plant palettes
- Incorporate on-site landscape stormwater management wherever feasible, including vegetated bioswales, rain gardens, infiltration planters, pervious paving, etc.
- Use recycled content landscape materials and furnishings
- Design high efficiency landscape lighting systems
- Minimize light pollution and trespass



Figure 2.170 Neighborhood street without a landscaped park strip

2.2.8.5 Street Trees

The landscape system will reflect the Ellis community vision of shady, pedestrian-friendly streets, remnants of agrarian planting palettes consistent with the heritage of the site, and a diverse plant palette which complements the architectural character of the houses. It is expected that recycled water will be available for irrigation of public streets, including Ellis Town Drive, Summit Drive, and common areas in the future. Street trees have been carefully selected for recycled water tolerance.

- Large canopy trees will line the community streets. Medium-sized canopy trees will enclose the neighborhood streets.

- Accent trees will be used to define the community, neighborhood intersections, and pedestrian street crossings, as well as identify entries to parks.
- Orchard-like grid tree planting may be used in the entry areas to reinforce the agrarian theme. Trees in the orchard may be flowering, non-fruit-producing trees.
- The parks will be planted with a diversity of trees to provide shade and seasonal interest, as well as to define outdoor rooms within the parks.

STREET	USE	BOTANICAL NAME	COMMON NAME
<b>CORRAL HOLLOW ROAD</b>			
	Street Tree	Fraxinus pennsylvanica	Green Ash
	Background Trees	Elaeocarpus decipiens	Japanese Blueberry Tree
		Phoenix dactylifera ‘Medjool’	Medjool Date Palm
<b>LAMMERS ROAD</b>			
	Street Tree	Pistacia chinensis ‘Keith Davey’	Chinese Pistache
	Accent Tree	Quercus wislizenii	Interior Live Oak
		Chionanthus retusus	Chinese Fringe Tree
		Quercus virginiana	Southern Live Oak
	Columnar Tree	Carpinus betulus ‘Fastigiata’	Hornbeam
<b>ELLIS TOWN DRIVE</b>			
	Street Tree	Ulmus parvifolia	Chinese Evergreen Elm
	Accent Trees	Pistacia chinensis ‘Keith Davey’	Chinese Pistache
		Lagerstroemia indica	Crape Myrtle
		Cercis canadensis	Eastern Redbud
<b>ELLIS TOWN DRIVE ENTRY</b>			
	Median	Phoenix dactylifera ‘Medjool’	Medjool Date Palm
	Accent	Zelkova serrata ‘Musashino’	Sawleaf Zelkova
		Pistacia chinensis ‘Keith Davey’	Chinese Pistache
		Quercus wislizenii	Interior Live Oak
<b>SUMMIT DRIVE</b>			
	Street Trees	Quercus palustris	Pin Oak
	Accent Trees	Arbutus ‘Marina’	Arbutus Marina
		Chionanthus retusus	Chinese Fringe Tree
		Laurus nobilis ‘Saratoga’	Saratoga Laurel

Table 2.6 Tree List (to be adapted to respond to the specifics of each individual site and use)

STREET	USE	BOTANICAL NAME	COMMON NAME
PARK AND SPECIAL LANDSCAPE FEATURE TREES		Acer sp.	Maple
		Arbutus Marina	Arbutus
		Carpinus betulus 'Frans Fontaine'	European Hornbeam
		Cedrus deodara	Deodar Cedar
		Cercis occidentalis	Western Redbud
		Ceanothus 'Standard'	California Lilac
		Chionanthus retusus	Chinese Fringe Tree
		Chitalpa x. tshkentensis	(no common name)
		Cinnamomum camphora	Camphor Tree
		Citrus	
		Cupressocyparis leylandii	Leyland Cypress
		Cupressus sempervirens	Italian Cypress
		Dodonea viscosa 'Standard'	Hopseed Bush
		Geijera parviflora	Australian Willow
		Koelreuteria paniculata	Chinese Flame Tree
		Laurus saratoga	Saratoga Bay Laurel
		Lophotstemon confertus	Brisbane Box
		Magnolia grandiflora	Southern Magnolia
		Melaleuca quinquenervia	Cajeput Tree
		Nyssa sylvatica	Sour Gum
		Olea europaea (fruitless varieties)	Olive
		Phoenix dactylifera 'Medjool'	Medjool Date Palm
		Pistacia chinensis	Chinese Pistache
		Podocarpus species	Fern Pine
		Quercus sp.	Oak
		Sapium sebiferum	Chinese Tallow Tree
		Sophora japonica	Japanese Pagoda Tree
		Tilia cordata	Little Leaf Linden
		Ulmus parvifolia	Chinese Evergreen Elm
		Ulmus sp.	Elm
		Vitex agnus-castus	Chaste Tree
		Zelkova serrata	Sawleaf Zelkova

Table 2.6 Tree List continued

BOTANICAL NAME	COMMON NAME	BOTANICAL NAME	COMMON NAME
Abelia sp.	Abelia	Kniphofia	Red Hot Poker Plant
Acacia species	Acacia	Lantana species	Lantana
Acanthus mollis	Bear's Breech	Lavandula sp.	Lavender
Adenanthos	(no common name)	Ligustrum sp.	Privet
Agapanthus species	Lily-of-the-Nile	Leymus 'Canyon Prince'	Canyon Prince Wild Rye
Agave attenuata	Fox Tail Agave	Lomandra longifolia	(no common name)
Alyogyne huegelii	Blue Hibiscus	Loropetalum chinense	Red Fringe Flower
Anigozanthos	Kangaroo Paw	Liriope muscari	Big Blue Lily Turf
Arbutus unedo 'Compacta'	Dwarf Strawberry Tree	Mahonia repens	(no common name)
Arctostaphylos species	Manzanita	Mimulus sp.	Monkey Flower
Baccharis pilularis	Dwarf Coyote Brush	Miscanthus sinensis 'Adagio'	(no common name)
Berberis	Barberry	Muhlenbergia rigens	Deer Grass
Buddleja davidii	Butterfly Bush	Myrica californica	Pacific Wax Myrtle
Buxus species	Boxwood	Myrtus communis	Myrtle
Calamagrostis 'Karl Foerster'	Reed Grass	Nandina sp.	Heavenly Bamboo
Callistemon 'Little John'	Weeping Bottlebrush	Nepeta faassenii	Catmint
Camellia species	Camellia	Nerium oleander	Oleander
Carex	Berkeley Sedge	Olea 'Little Ollie'	Olive
Carpenteria californica	Bush Anemone	Osteopermum sp.	African Daisy
Ceanothus species	Wild Lilac	Penstemon sp.	Beardtongue
Chaenomeles	Flowering Quince	Pennisetum sp.	Fountain Grass
Cistus species	Rockrose	Phormium tenax	New Zealand Flax
Coleonema species	Breath of Heaven	Pittosporum crassifolium	(no common name)
Coreopsis	(no common name)	Pittosporum tenuifolium	(no common name)
Correa pulchella	(no common name)	Polystichum munitum	Western Sword Fern
Dietes sp.	Iris	Rhamnus 'Eve Case'	Coffeeberry
Erigeron karvinskianus	Fleabane	Rhaphiolepis sp	Indian Hawthorn
Escallonia sp.	Escallonia	Rhododendron	Rhododendron
Euonymus sp.	Euonymus	Rosa sp.	Rose
Euryops pectinatus	Golden Bush Daisy	Rosmarinus sp.	Rosemary
Festuca californica	California Fescue	Salvia sp.	Sage
Galvezia speciosa	Island Bush Snapdragon	Santolina sp.	Lavender Cotton
Geranium sp.	Cranesbill	Scaevola sp.	(no common name)
Grevillea	(no common name)	Senecio cineraria	Dusty Miller
Hebe species	Hebe	Sollya heterophylla	Australian Creeper
Helictorichon sempervirens	Blue Oat Grass	Spirea sp.	Spirea
Hemerocallis sp.	Day Lily	Syringa vulgaris	Lilac
Hesperaloe parviflora	Red Yucca	Teucrium sp.	Germander
Heteromeles arbutifolia	Toyon	Trachelospermum jasminoides	Star Jasmine
Heuchera sanguinea	Coral Bells	Tulbaghia violacea	Society Garlic
Hydrangea sp.	Hydrangea	Viburnum sp.	Viburnum
Ilex aquifolium	Holly	Westringia fruticosa	Coast Rosemary
Iris douglasiana	Douglas Iris	Xylosma congestum	Shiny Xylosma
Juncus patens 'Elk Blue'	California Gray Rush	Zauschneria californica	California Fuchsia

Table 2.7 Recommended Shrubs /Perennials

BOTANICAL NAME	COMMON NAME
<i>Arctotheca calendula</i>	Cape Weed
<i>Bergenia crassifolia</i>	Winter-Blooming Bergenia
<i>Ceanothus species</i>	Wild Lilac
<i>Convolvulus mauritanicus</i>	Ground Morning Glory
<i>Coprosma 'Verde Vista'</i>	(no common name)
<i>Dymondia margaretae</i>	(no common name)
<i>Festuca sp.</i>	Fescue
<i>Fragaria chiloensis</i>	Wild Strawberry
<i>Gazania sp.</i>	(no common name)
<i>Helictotrichon sempervirens</i>	Blue Oat Grass
<i>Hemerocallis sp.</i>	Day Lily
<i>Iris douglasiana</i>	Douglas Iris
<i>Lantana sp.</i>	Lantana
<i>Liriope muscari</i>	Lily Turf
<i>Myoporum parvifolium</i>	(no common name)
<i>Osteospermum fruticosum</i>	Trailing African Daisy
<i>Rosmarinus officinalis 'Prostratus'</i>	Prostrate Rosemary
<i>Scaevola 'Mauve Clusters'</i>	(no common name)
<i>Stipa pulchra</i>	Purple Needlegrass
<i>Trachelospermum asiaticum</i>	(no common name)
<i>Vinca minor</i>	Dwarf Periwinkle

Table 2.8 Recommended Groundcovers

BOTANICAL NAME	COMMON NAME
<i>Campsis radicans</i>	(no common name)
<i>Clematis armandii</i>	Evergreen Clematis
<i>Clytostoma callistegioides</i>	Lavender Trumpet Vine
<i>Distictis sp.</i>	Trumpet Vine
<i>Hardenbergia violacea</i>	Happy Wanderer
<i>Jasminum polyanthum</i>	Jasmine
<i>Parthenocissus tricuspidata</i>	Boston Ivy
<i>Solanum jasminoides</i>	Potato Vine
<i>Wisteria sinensis</i>	Chinese Wisteria

Table 2.9 Recommended Vines

## 2.2.9 UTILITIES

To the extent available, existing systems that are of adequate capacity will be utilized to serve the Ellis project. In the event that the existing infrastructure does not have sufficient capacity to serve the project, additional improvements will be constructed to supplement or provide additional capacity.

Ellis will be served from the City's existing water supply sources as indicated in the *Water Supply Assessment* (WSA) by West Yost Associates.

The City's existing water supplies are sufficient to meet the City's water needs.

The Ellis Program water improvements required for the Ellis Neighborhood Plan maximum buildout have been completed and no further water improvements except typical in-tract water lines are required. All program improvements including PRV's shall be program costs.

### 2.2.9.1 Domestic Water Distribution

The City of Tracy has established three pressure zones for its treated water distribution system; Zones 1, 2, and 3. Two additional zones (Zones 4 and 5) have been proposed for future use to support proposed development in the foothills. The project is located in both the Zone 2 and 3 pressure zones.

Zone 2 has a service elevation range of 75–150 ft and a static pressure range of 40–85 psi. The existing 20-inch water main within Corral Hollow Road is a Zone 2 facility. This 20-inch main will serve as the distribution pipe for the Ellis Neighborhood Plan.

Zone 3 serves above elevation 150, however it is currently an isolated system serving only the Patterson Pass Business Park and the Prologis Business Park through the Patterson Pass booster pump station several miles west of the project site. A new Zone 3 booster pump station will be constructed at the City's water treatment plant. A pressure reducing station is located near Summit Drive at the northern Ellis Neighborhood Plan boundary.

### Initial Project Phases

Each phase of development with the Ellis Neighborhood Plan will need to complete a water line loop within the development area. Water mains within Phase 1 of the Ellis Neighborhood Plan connects directly to the existing 20-inch main in Corral Hollow Road.

### Ultimate Project Build-out

The Ellis Neighborhood Plan's water distribution network is part of the Westside Planning Area Pressure Zone 3. At project build-out, redundant loops will be provided between Corral Hollow Road and a future 20-inch water transmission main to be constructed within the Ellis Neighborhood Plan from Corral Hollow Road to a connection point near Lammers Road to serve Ellis and other properties.

### 2.2.9.2 Wastewater Generation

*Average Dry Weather Flow (ADWF)*: The ADWF is the average daily wastewater flow generated by the project. Residential lot types are divided into three categories: residential mixed low, residential mixed medium, and residential mixed high.

*Peak Wet Weather Flow (PWWF)*: The Peak Wet Weather Flow is the peak flow that will occur on a typical day based on normal variation in wastewater flow generation. A peaking factor of 2.5 is used to convert the ADWF to a peak flow per the City of Tracy Design Standards.

### Initial Project Phases

The average daily project wastewater generated for subsequent phases of development will depend on the phasing limits and the amount of residential units proposed to be built.

#### Ultimate Project Build-out

The estimated average daily project wastewater generation is shown on Table 2.10. The estimated projected PWWF is shown on Table 2.11.

#### 2.2.9.3 Wastewater Treatment

The City of Tracy provides wastewater collection, conveyance, treatment, and disposal for areas within the City Limits. The existing Wastewater Treatment Plant's current capacity is 10.8 Mgd with an expected expansion that will increase capacity to 12.0 Mgd, and eventually to 16.0 Mgd. The existing outfall pipe, constructed in the 1970's, from the Wastewater Treatment Plant to the Old River will also be replaced during the Plant expansion to make use of the existing full wastewater treatment capacity and the future expansion.

#### Initial Project Phases (Including Proposed Aquatic Park)

The Wastewater Treatment Plant currently has capacity, and will initially serve the proposed Aquatic Park, storage development, and eight hundred residential units of the initial buildout. At such time as the Plant reaches full capacity, modifications to the plant will need to be completed to increase its treatment capability.

#### Ultimate Project Build-out

For the ultimate build-out of the project, the existing treatment plant will need to be modified to increase its current capacity.

The Ellis Program Finance & Implementation Plan identifies the improvements required for the Ellis Neighborhood Plan maximum buildout.

#### 2.2.9.4 Wastewater Conveyance

The proposed site wastewater system to serve the Ellis Neighborhood Plan Area will be constructed to follow the existing ground slope of the site. Based on existing topographic information, the terrain slopes from the southwest corner of the site to the northeast corner of the site. The approximate slope of the existing terrain in this general direction is less than 1%. In addition, the approximate slope in the west-east direction is less than 0.5%, which means that the existing site is moderately flat. The project's wastewater line will convey flow toward Corral Hollow Road. The on-site collection system could range from 8- to 15-inch diameter wastewater line, with much of the 15-inch diameter line on the eastern side of the site near the discharge to Corral Hollow Road. The slope of the proposed pipe will depend upon site layout, site conditions and pipe layout. The slope selected will provide a minimum self-cleaning velocity of 2.0 feet per second, which is the City of Tracy standard. A proposed wastewater trunk main will be installed by the City in phases within Corral Hollow Road and will connect to the existing 21-inch diameter wastewater trunk line on Corral Hollow Road that dead ends at the intersection of Parkside Drive. A temporary line may be installed.

#### Phase 1 (Including Proposed Aquatic Park)

The proposed Aquatic Park, five hundred fifty residential units, the commercial (storage) and Village Center are permitted to connect to the east side transmission system through a tie-in constructed into the wastewater main at Peony Drive.

#### Phase 1

Should access to the line not be required by the proposed Aquatic Park, then an additional 250 residential units may discharge to this line. All residential units, commercial and Village Center shall be shifted to the Corral Hollow Sewer Conveyance System upon completion of the Corral Hollow Sewer Conveyance System upgrade, and installation of the Corral Hollow Sewer main to Ellis Town Drive by the City.

**Average Dry Weather Flow (ADWF)  
Wastewater System Demand and Capacity Requirements Ultimate Site**

Zoning	Lot Type	Number of DU/AC	gpd per DU/AC	Residential gpd
Residential Mixed	Mixed Low	505	264	133,320
Residential Mixed	Mixed Medium	1705	216	368,280
Residential Mixed	Mixed High	40	176	7,040
1Acre Estate Lots	Very Low Density	9	264	2,376
Village Center (AC)		15	1140	17,100
Limited Use Zone (AC) Public Storage & Dog Park		33	100	3,300
Aquatic Park (AC)		16	1140	18,240
<b>Total ADWF (gpd)</b>				<b>549,656</b>
<b>Total ADWF (Mgd)</b>				<b>0.55</b>

*Notes:*

1. Wastewater generation rates and the peaking factor of 2.5 are per the City of Tracy Design Standards.
2. Design of sewer lines shall be based on City design standards and calculations for fee credits and reimbursements shall be based on wastewater generation rates in the approved applicable fee program for the project.

Table 2.10 Wastewater System Demand and Capacity Requirements – Average Dry Weather Flow (ADWF)

**Peak Wet Weather Flow (PWWF)  
Wastewater System Demand and Capacity Requirements**

ADWF	0.55 Mgd
Peaking Factor (PF)	2.50
<b>PWWF</b>	<b>1.37 Mgd</b>

*Notes:*

1. Wastewater generation rates and the peaking factor of 2.5 are per the City of Tracy Design Standards.
2. Design of sewer lines shall be based on City design standards and calculations for fee credits and reimbursements shall be based on wastewater generation rates in the approved applicable fee program for the project.

Table 2.11 Wastewater System Demand and Capacity Requirements – Peak Wet Weather Flow (PWWF)

### Initial Project Phases

A new wastewater trunkline main, which would support full buildout, would extend north from Ellis Town Drive along Corral Hollow Road. Ellis will be served by a combination of the City's existing wastewater infrastructure and the new trunk line. The initial project phases may use existing capacity in the Corral Hollow Sewer Conveyance System (CHSCS) for three hundred thirty residential units.

### Ultimate Project Build-out

Ellis will be served by the City's existing wastewater infrastructure and existing Wastewater Treatment Plant Capacity. The ultimate Ellis Program may use the existing Corral Hollow Sewer Conveyance Capacity for three hundred thirty units, Village Center, and the storage uses and the additional conveyance capacity created in the phase one upgrade of the CHSCS, which shall serve an additional one thousand seven hundred fifty residential units. The final project phases shall use existing capacity or participate in a subsequent phase of expansion of the CHSCS. The existing Treatment Plant Capacity shall serve eight hundred residential units, the Aquatic Park, Village Center, and the storage uses. Modifications or expansions to the Treatment plant may be required for an additional one thousand four hundred fifty residential units, if so, these units will participate in the next expansion or Phase 1 expansion.

The Ellis Program Finance & Implementation Plan identifies the improvements required for the Ellis Neighborhood Plan maximum buildout.

#### 2.2.9.5 Storm Drain Peak Flow

The Rational Method is used for calculating the peak flow rate. The Runoff Coefficients used in the Rational Method calculations are per the City of Tracy Design Standards and are shown on the accompanying tables.

The proposed site storm drainage system will be constructed to follow the existing ground slope of the site. Based on existing topographic information, the

terrain slopes from the southwest corner of the site to the northeast corner of the site. The approximate slope of the existing terrain in this general direction is less than 1%. In addition, the approximate slope in the west-east direction is less than 0.5%, which means that the existing site is moderately flat.

Table 2.12 shows results of analyses for a 10-year storm event with a time of concentration of 114 minutes. The peak flow rate from the existing site is 26 cubic feet per second (cfs). Decreasing the time of concentration to 65 minutes, the peak flow for the proposed site, at full build-out, is 63 cfs. The peak flow for Phase 1 (including the Aquatic Park) is 44 cfs with a time of concentration of 31 minutes. This analysis is preliminary and subject to refinement during engineering design. The proposed storm drain collection system will include a network of gravity lines and inlet structures. Pipe sizes may range from 12- to 42-inch diameter.

#### 2.2.9.6 Storm Drainage Conveyance

Ellis is located entirely within the City's Westside Channel Watershed as defined in the Citywide Storm Drainage Master Plan, Final Report Dated December 2010. It occupies the southernmost, upstream portion of the Westside Channel Watershed. Provision has been made in existing downstream storm drainage facilities to accept attenuated (metered) storm runoff from the project site as needed. Applicable downstream storm drainage infrastructure that can collect and convey future storm runoff from Ellis includes trunk line storm drains and open channels serving residential subdivisions to the north to DET 5 (Plasencia Field) and facilities downstream of DET 5 associated with the City's Westside Channel Outfall System.

A new regional Detention Basin #3A is planned to be constructed on the north side of Valpico Road. This Detention Basin will store, treat for water quality, and attenuate runoff from the collective existing and future development within a portion of the Westside Channel Watershed including Ellis.

**10 Year Event – Existing Site**

Using Rational Method (Q=CIA)  
 Time of Concentration (t<sub>c</sub>) = 114 min  
 Intensity (I) = 0.32 in/hr

Description	C Value	I in/hr	Area ac	Volume cfs
Existing Site	0.25	0.32	320.00	25.60
<b>Q<sub>E</sub> (Peak Flow)</b>				<b>26</b>

**10 Year Event – Proposed Site**

Using Rational Method (Q=CIA)  
 10 Year Event, t<sub>c</sub> = 65 min  
 Intensity (I) = 0.42 in/hr

Description	C Value	Total Rainfall feet	Area ac	Volume cfs
<b>Total Area</b>			<b>320.0</b>	
Residential Lots	0.35	0.42	179.7	26.4
Parks	0.20	0.42	21.7	1.8
Roads	0.95	0.42	68.6	27.4
Limited Use Zone	0.25	0.42	26.2	2.8
Village Center/Commercial	0.65	0.42	7.8	2.1
Aquatic Park	0.44	0.42	16.0	3.0
Q <sub>p</sub> (Peak Flow)				63.4
<b>Q<sub>p</sub> (Peak Flow)</b>				<b>63</b>

**Retention Basin Sizing**

t<sub>c</sub> = 48 hr  
 Total Rainfall = 3.12 inches (0.26 ft)

Description	C Value	Total Rainfall feet	Area ac	Volume acre-ft
<b>Total Area</b>			<b>320.0</b>	
Residential Lots	0.35	0.42	179.7	16.4
Parks	0.20	0.42	21.7	1.1
Roads	0.95	0.42	68.6	16.9
Limited Use Zone	0.25	0.42	26.2	1.7
Village Center/Commercial	0.65	0.42	7.8	1.3
Aquatic Park	0.44	0.42	16.0	1.8
Basic Retention Volume				39.3
<b>Total Retention Basin Volume = Basic Volume x 2</b>				<b>78.60</b>

Notes:

- C Values are per the City of Tracy Design Standards, December 2008  
 Residential Lots = Low Density (Single Family) C=0.35  
 Parks = Lawn or Landscaping C= 0.20  
 Roads = Paving C = 0.95  
 Limited Use Zone = Rural Residential (1–5 Acres) C= 0.25  
 Village Center/Commercial = High Density C=0.65  
 Aquatic Park — See Below

Aquatic Park C Value Calculation

	Acres	C Value	AxC
Parking Lot	3.48	0.95	3.30
Lazy River/Building/Decking, etc.	3.18	0.60	1.91
Remainder — Natural	9.35	0.20	1.87
		Composite C Value	0.44

- Retention Basin sizing is per the City of Tracy Design Standards, December 2008
- "I" Values were generated using the City of Tracy Design Standards Table 5-1 "Rainfall Intensity Curve"

Table 2.12 Storm Sewer System Demand and Capacity Requirements – Build-out (BKF Engineers)

#### Phase 1 (Including Proposed Aquatic Park)

In the event that the proposed regional Detention Basin #3A is not constructed prior to development of Phase 1 of the Ellis Project, stormwater runoff from Phase 1 will be retained on-site or at a nearby location. Based on the City of Tracy Design Standards the Basic Retention Volume (BRV) is 18.1 acre-feet or as approved by the City Engineer.

#### Initial Project Phases

Retention basin(s) constructed with Phase 1 could be expanded, relocated, and/or duplicated prior to the next phase of Ellis.

Alternatively, all or a portion of the regional Westside Channel Stormwater Detention Basin #3A could be constructed to serve the Ellis project. A stormwater conveyance system could be constructed to serve the Ellis project or upsized to serve the regional stormwatershed.

#### Ultimate Project Build-out

Ultimately, the regional Westside Channel stormwater Detention Basin #3A will serve the Ellis project. When constructed, any interim retention basins would be filled and may be developed. Conveyance of stormwater from Basin #3A shall be through percolation and, if necessary, a gravity or pumped system to the Westside Channel Detention Basin that will serve the regional storm watershed including the Ellis Property. The Basin #3A Operations and Maintenance manual shall include provisions for treatment of the basin bottom to maintain the percolation rate.

#### 2.2.9.7 Stormwater Quality/Best Management Practices

Ellis shall comply with the Applicable Law for Stormwater Quality.

The Ellis project implements stormwater management techniques or Best Management Practices (BMPs) to comply with the SWQC Manual. All Ellis project stormwater treatment will occur at Detention Basin #3A.

The Ellis Program Finance & Implementation Plan identifies the improvements required for the Ellis Neighborhood Plan maximum buildout.

The primary treatment control measure for the Ellis Program will be to incorporate infiltration into Detention Basin 3A, capable of treating the required stormwater runoff volume from the entire subbasin.

#### 2.2.9.8 Solid Waste Disposal

Ellis' mixed uses including recreation, housing, office, and commercial development will generate solid waste. However, based on the City of Tracy General Plan Revised EIR, capacity at the Foothill Sanitary Landfill that serves the City is currently available and is anticipated to accommodate Ellis through the life of the General Plan. Tracy Delta Solid Waste Management, Inc. is currently City's service provider for the collection, transportation, and disposal of refuse and garbage, including the collection of recyclable material. Ellis would be served by the City's service provider at that time.

#### 2.2.9.9 Energy

Pacific Gas and Electric provides electricity and natural gas to the residents and businesses within both the City and County. Ellis would utilize energy-saving technologies through implementing sustainable building practices including materials and mechanical systems that reduce energy consumption. Additionally, based on the General Plan's Circulation Element policies to promote the use of alternative transportation including walking, biking and transit use in order to reduce driving and thus energy use, Ellis contains a network of walking and biking facilities both within and adjacent to the project that would link to other City networks.

## 2.3 Infrastructure Funding and Phasing

### 2.3.1 INTRODUCTION

A number of public and capital facilities are required to support the development of Ellis. Various items of off-site public utility infrastructure may need to be expanded, upgraded, or developed. All utilities need an extension of conveyance facilities to the Ellis site. Development also necessitates a complete road network within Ellis to allow access to all parts of Ellis, as well as sidewalks, bike paths, and street features to ensure that the community retains a pedestrian-friendly quality. Beyond these basic needs, the project will also place demands on other public facilities. Ellis will include internal public facilities that will make the community distinctive and will ensure a balanced mix of housing, neighborhood retail and services, and a high quality of community life as Ellis develops. This section describes the funding and phasing alternatives for these facilities.

### 2.3.2 PUBLIC FACILITIES FUNDING SOURCES

All public infrastructure necessary for development of Ellis will be constructed through a combination of funding sources including, but not limited to, the following:

- Private capital from developer in the form of development impact fees and in-kind facilities development
- Bond proceeds
- Utility connection charges, and rates charged to end-users
- Assessments on Ellis real property (including Community Facilities Districts)
- Credits and reimbursements related to oversizing, etc.
- State and/or federal funding for affordable housing, transit-oriented facilities, and other special facilities
- Other partnerships with public and private entities

In the absence of other sources, private capital from the developer will cover all infrastructure funding requirements except for the Aquatic Park. The funding of the Park will be the responsibility of the City. Funding for all or a portion of the Aquatic Park may be provided in accordance with a Development Agreement.

Ellis parks and landscape systems will be incrementally implemented over time to match the needs of the growing Ellis community. Parks will be constructed by the Ellis project: The bonding of parks may occur as a part of any final map or as a part of park improvement plans.

The Ellis Neighborhood Plan provides regulations on the character and amenities proposed for each park. As the park system is implemented, detailed designs will be developed for the construction of each park. Modifications and refinements of individual park designs, including park location, will be considered a minor variation and will follow the Minor Variation process outlined in Section 4.6 of this ESP.

### 2.3.3 USES OF PUBLIC FACILITIES FUNDS

The public and capital facilities that may be required and may be financed to support the development of Ellis include:

- Water supply from the City for the project
- Project's share of the City's domestic John Jones Water Treatment Facility
- Domestic water conveyance
- Project's share of the City's existing Wastewater Treatment Facility and its expansion to 16 MGD
- Wastewater conveyance
- Recycled water conveyance within the Ellis project
- Off-site stormwater detention facility
- Stormwater conveyance
- Dry utilities extension to the project
- Off-site road improvements
- On-site water, wastewater conveyance, recycled water, stormwater, and dry utility conveyance
- On-site roads, sidewalks, and trails
- Village Center, parks, and open space
- Monuments and parks
- Public area landscape and lighting
- Parks and signage
- Project's share of regional transportation facilities
- Project's share of school facilities
- Project's share of public safety facilities
- Project's share of library facilities

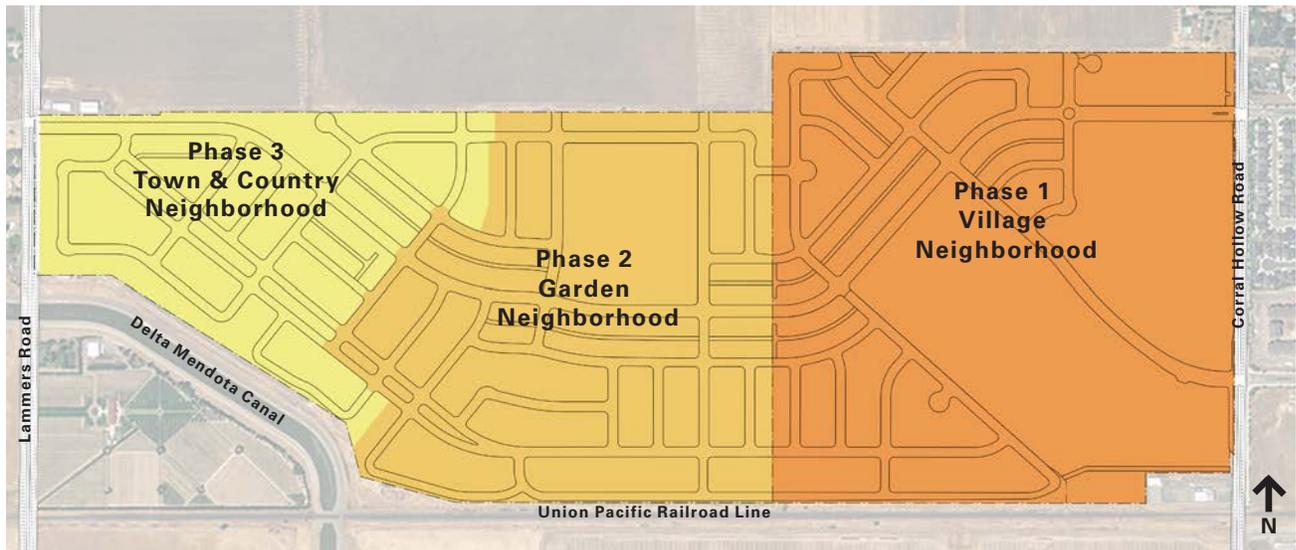


Figure 2.171 Illustrative Phasing Diagram

### 2.3.4 PHASING

Figure 2.171 shows the projected general order of development of the Ellis project.

Infrastructure planning is a particular challenge in light of the City Growth Management Ordinance (GMO). If infrastructure facilities are developed too far in advance of their need, the project could become financially infeasible. On the other hand, it is impractical to plan, design, and construct infrastructure in very small increments. The ESP therefore attempts to build in flexibility for the financing and development of infrastructure so that feasible options may be selected as the pace of development becomes more apparent.

### 2.3.5 MAINTENANCE AND OPERATIONS

The operations and maintenance of the Aquatic Park detailed in the ESP will be the responsibility of the City.

The maintenance of the roads, parks, and other public amenities, detailed in the Ellis Neighborhood Plan will be funded through a combination of any and all of the following:

- Standard City maintenance responsibility
- Community Facilities District
- Payment by residents of Ellis for City water and wastewater conveyance user fees
- Other utilities (such as electricity, natural gas, and telephone) and services (such as solid waste collection) will be maintained through fees and charges of the appropriate service providers.

Some City maintenance and operations functions will be performed by City staff or through City contracts and reimbursed from these special assessments and/or fees. Utilities will be maintained by the appropriate service providers.

The generous, tree-lined streetscape system, extensive park system, and visual icons are integral components of the Ellis community character. To ensure the desired quality of the maintenance and management of the landscape and park system, an Ellis Property Owners Association (EPOA) will be utilized. The EPOA will implement the maintenance of:

- Frontage along Corral Hollow Road
- Frontage along Lammers Road
- Interior streetscape system within the public right-of-way
- Native Preserve
- Special landscape feature areas
- Public art
- Signage elements in the public right-of-way which are non-regulatory

The CFD will include a comprehensive identification of long-term replacement costs, escalation factors, and ultimate build-out of the total landscape system in determining the assessment fee. This anticipatory approach will ensure that appropriate maintenance levels are preserved.

The City and EPOA have or shall enter into a maintenance agreement to set forth and facilitate among other things the required maintenance obligations, standards for maintenance, and other associated obligations(s) as well as compliance with the Ellis operations and maintenance manual, to ensure the long-term maintenance of all public park and landscape areas, and other public improvements within the ECFD boundaries. The City shall maintain all parks, the EPOA shall maintain all other public landscaping. The City and Owner or EPOA may amend and make changes agreed upon to the maintenance agreement, maintenance responsibility, and the Ellis operations and maintenance manual upon mutual consent.

### 2.3.6 IMPLEMENTATION

Implementation of the Financing Plan may require the execution of several elements including, but not limited to, the following:

- A Development Agreement (DA) or Development Agreements
- Reimbursement and credit agreements
- Covenants, conditions and restrictions
- Applications and grants for State and Federal funding
- Bond financing
- Community Facilities District (CFD)
- Property Owners Association (POA)

# Chapter 3. Avenues Neighborhood Plan





# 3.1 Land Use and Development Standards

## 3.1.1 LAND USE CONCEPT

The Avenues Neighborhood has its distinct sense of place, reinforcing the General Plan goal of creating a hometown feel. The Avenues employs traditional neighborhood design principles, utilizing a pedestrian-friendly network of streets and a centrally located park. The park is positioned to provide the neighborhood and the community with a central focus, with both active and passive recreational opportunities. Blocks are sized to support a mix of housing types and to promote walkability. Along the main thoroughfare through the neighborhood, garages will be kept off the street and will be accessed by way of rear driving lanes, also known as alleys. The architecture of buildings will represent a number of residential styles historically popular in the Tracy region, further discussed in Appendix B1: Avenues Pattern Book.

## 3.1.2 LAND USE PLAN

The General Plan Land Use Designation for the Avenues Neighborhood Plan area is Residential Low (RL), which permits 2.1 to 5.8 dwelling units per acre. The zoning designation is Ellis Specific Plan. The Avenues Neighborhood Plan and Pattern Book provide the development regulations for the Avenues. Development topics not covered by the Neighborhood Plan or the Pattern Book are regulated by Title 10 of the Tracy Municipal Code (TMC) and other City standards as applicable (See Chapter 4 Plan Review).

The Avenues Neighborhood Plan area is approximately 95 gross acres designated for residential uses. The overall site density is between 4 and 5 units per gross acre. The range is provided to allow flexibility in designing and subdividing the Avenues project area. The minimum number of residential units in the Avenues shall not be lower than 380 and shall not exceed 480. These figures do not include second units.

Figure 3.1 shows the Avenues Neighborhood Plan area, anticipated street pattern, and neighborhood park location. The precise location of such facilities will be determined in the Tentative Map (see 4.2 Subdivisions). All of the streets, including alleys, will be publicly owned and maintained. Refer to Section 3.3 Infrastructure for street standards.

The Residential land use designation applies to the entire Avenues Neighborhood Plan area and permits the following:

- Single-family detached residential
- Accessory Dwelling Units, attached or detached
- Parks and other public recreation facilities
- Community centers, senior centers, teen centers
- Community service buildings, such as Fire Stations, Police Stations, Post Offices, or other public facilities
- Public educational and institutional facilities

Consistent with City requirements, the Avenues Neighborhood Plan includes a park obligation of 4 acres per 1,000 people. Avenues will feature 3 park acres per 1,000 population generated of Neighborhood Parks dedication and 1 park acre per 1,000 population generated of Community Parks obligation (4 park acres per 1,000 population generated total). Population will be based on City of Tracy Parks Master Plan (new development), April 2013.

### 3.1.3 DEVELOPMENT STANDARDS

#### 3.1.3.1 Lot Development

Development standards for residential uses are established in Table 3.1. Development standards for ADUs, vision clearance for corner lots, ordinary projections into yards and courts, and pools and pool equipment shall be consistent with the TMC and the Low Density Residential (LDR) zone.

#### 3.1.3.2 Parking

Off-street parking shall be provided in accordance with the TMC requirements and City standards for off-street parking. Driveways for front-loaded residential lots may be grouped together or separated.

#### 3.1.3.3 Fences, Walls, and Hedges

Refer to City of Tracy Ordinance 1266 adopted March 5, 2019, Ellis Specific Plan Amendment for fence requirements and setbacks.

Temporary model home fencing may extend into the public right of way to include public sidewalks. Sidewalks on opposite side of street must remain open for public use.

A screening fence or boundary wall, separating the Avenues from adjacent undeveloped properties is permitted. This includes temporary gates at streets to be extended off-site in the future (see 3.2.7.5 Agricultural Edge). The Avenues is not intended to be a gated community.

#### 3.1.3.4 Landscaping

The builder shall landscape all publicly visible areas.

#### 3.1.3.5 Subdivision Design

The conceptual subdivision layout is shown in Figure 3.1. Typical blocks are approximately 200 feet wide by a range of approximately 400 feet to approximately 700 feet long.

For blocks containing front-loaded detached houses, the block length shall be no longer than 1,200 linear feet without a break. For rear-loaded blocks containing detached houses, the block length shall be no longer than 950 linear feet without a break. A break is defined as a physical interruption, such as a street or alley, park, public open space, or a change in lot type comprised of at least 200 linear feet. Perimeter blocks are exempt from the block length requirement.

AVENUES NEIGHBORHOOD PLAN RESIDENTIAL DEVELOPMENT STANDARDS		
DEVELOPMENT STANDARDS	FRONT-LOADED LOTS, DETACHED	REAR-LOADED LOTS, DETACHED
Lot Size	4,500 sq ft min	3,600 sq ft min.
Lot Width	45 ft min.; provided, however, lots on cul-de-sacs or knuckles shall have a minimum width of 35' at the front property line	38 ft min.; provided, however, lots on cul-de-sacs or knuckles shall have a minimum width of 35' at the front property line
Lot Depth	90 ft min.	80 ft min.
Front Yard Setback	10 ft. min. Face of garage: 18 ft min.	10 ft min. Garages shall be within rear 1/3 of the lot accessed from alley
Interior Side Yard Setback	5 ft min.	5 ft min.
Street Side Yard Setback	10 ft min.	10 ft min.
Rear Yard Setback	House: 10 ft min. Garage: 5 ft min.	House: 10 ft min. Garage: 5 ft min.
Height	2½ stories or 35 feet, whichever is less	2½ stories or 35 feet, whichever is less
Lot Coverage	55% max	55% max
Open Space in Rear of front-loaded lots and Interior Yard of rear-loaded lots	750 sq ft min.	550 sq ft min.
Distance Between Accessory Buildings	No requirement	No requirement
Distance Between Main Buildings	No requirement	No requirement
Shade Structures	Shade structures and detached accessory buildings shall meet the front, side, and rear yard setbacks unless located on the rear 1/3 of lot or 70 ft back from front property line, in which case minimum rear setback and interior side yard setback is 0 ft. 2	Shade structures and detached accessory buildings shall meet the front, side, and rear yard setbacks unless located on the rear 1/3 of lot or 70 ft back from front property line, in which case minimum rear setback and interior side yard setback is 0 ft. 2
Encroachment 1	<p>Porches and/or balconies: 5' into Front Yard and Street Side Setback</p> <p>Bay Windows: 2' into Front Yard and Street Side Setback</p> <p>Fireplace and/or media nook: 2' into Side Yard and Street Side Setback</p> <p>Air Conditioning (A/C) units: 4' into the Side Yard Setback, provided that at least one side of the lot maintains the minimum setback for access to the front and rear yards.</p>	<p>Porches and/or balconies: 5' into Front Yard and Street Side Setback</p> <p>Bay Windows: 2' into Front Yard and Street Side Setback</p> <p>Fireplace and/or media nook: 2' into Side Yard and Street Side Setback</p> <p>Air Conditioning (A/C) units: 4' into the Side Yard Setback, provided that at least one side of the lot maintains the minimum setback for access to the front and rear yards.</p>

<sup>1</sup> Only permitted if not encroaching into a public utility easement.

<sup>2</sup> This exception to minimum setbacks does not apply to garages.

Table 3.1 Residential Development Standards

### 3.1.4 PRIVATE PROPERTY SIGNS

Signs in the Avenues Neighborhood Plan Area on private property shall be regulated by Title 10, Article 35 of the Tracy Municipal Code, except as specified in Section 3.1.4 of the Avenues Neighborhood Plan and Appendix B2: Avenues Additional Landscape Features/Character Elements And Sign Program. The signs included in this Avenues Sign Program shall be permitted as shown. The approval process shall include only a building permit, and a sign permit processed in accordance with Title 10, Article 35 of the Tracy Municipal Code. Regulatory signs not approved as part of the Avenues Neighborhood Plan shall comply with City Standards or California Department of Transportation (Caltrans/California Manual on Uniform Traffic Control Devices (CA-MUTCD) standards where applicable.

In addition, the design of the landscape features/character elements in Appendix B2: Avenues Additional Landscape Features/Character Elements And Sign Program shall be permitted as shown.

#### 3.1.4.1 Utilities

All utility distribution facilities (including, but not limited to, electric, gas, water, communication, and cable television lines), including utility service laterals and equipment, installed in and for the purpose of supplying service to any building or property shall be vaulted, except equipment appurtenant to the underground facilities, such as risers from concealed ducts and poles supporting street lights.

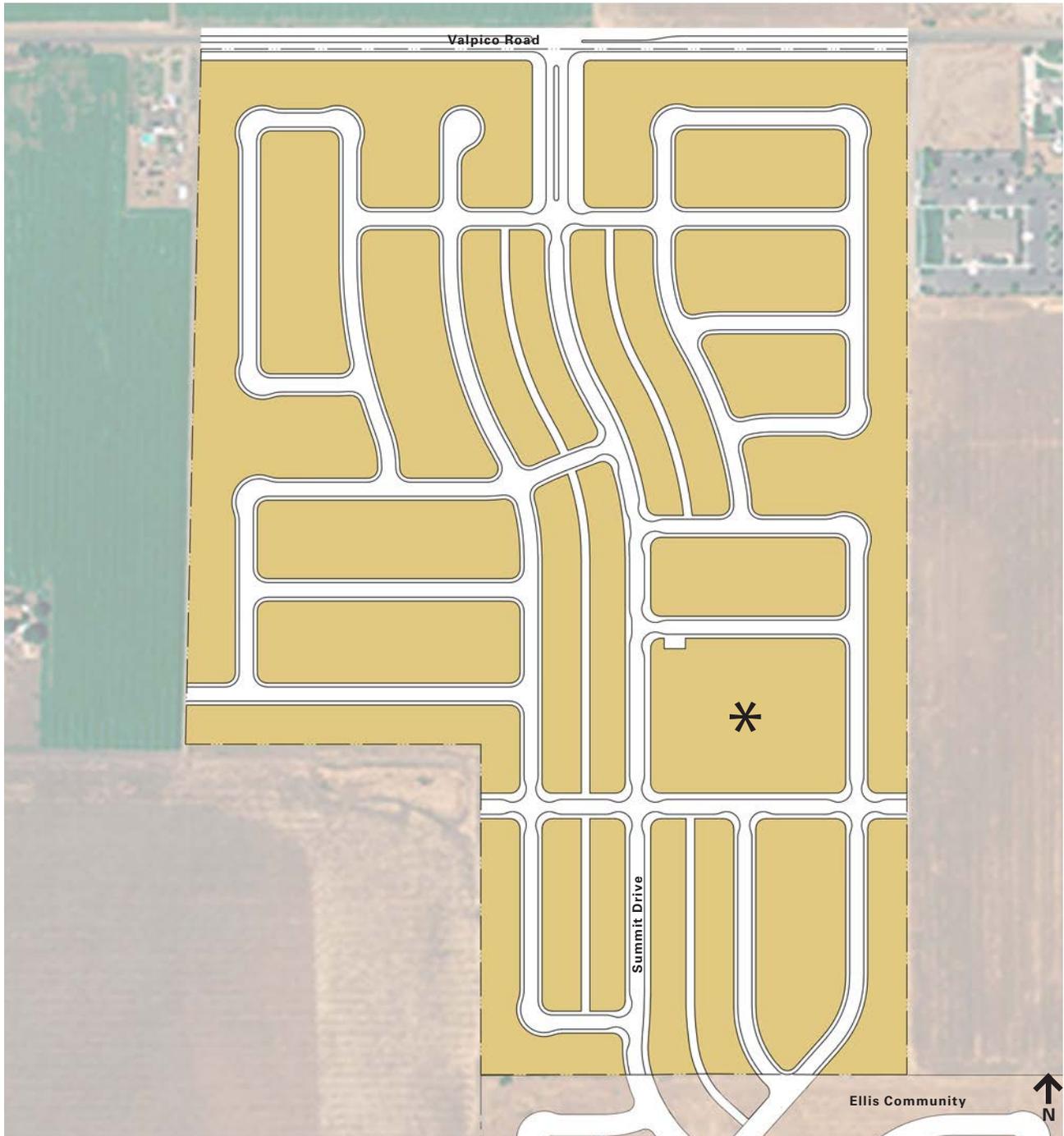


Figure 3.1 Avenues Neighborhood Plan Subdivision Layout/Zoning

- AVENUES NEIGHBORHOOD PLAN
- \* CONCEPTUAL PARK LOCATION

**Note 1:** Pursuant to the City of Tracy General Plan, parks and special landscape features are allowed within residential land use designations. For an illustration showing the prescribed location of the park and special landscape features, see Figure 3.18

**Note 2:** Pursuant to the City of Tracy General Plan, lanes are allowed within residential land use designations. The precise location of such facilities will be determined upon the approval of detailed plans. Diagrams in the Avenues Neighborhood Plan are illustrative and not intended to indicate the percent or location of lane loaded lots. In general, lanes are encouraged parallel to higher traffic interior streets and along view corridors.

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## 3.2 Infrastructure

### 3.2.1 VEHICULAR ACCESS

The Avenues is located in the southeastern area of the City of Tracy, south of Valpico Road and west of Corral Hollow Road. The Avenues is in close proximity to Interstate 580, which connects the Central Valley with the East Bay and the Bay Area farther to the west. The Avenues also has access to Interstate 205, running east/west, and has access to Interstate 5, running north to Sacramento and to Los Angeles and other points south. More immediate to the Avenues parcel, the area is connected to the City of Tracy by Valpico Road and Summit Drive. Urbanization of the Avenues will require improvements to streets both within and beyond its boundary, particularly Valpico Road.

The Avenues contains a framework for circulation consisting of both a Community and a Neighborhood Streets Network (Figure 3.3). Primary access to the community is provided by the main entrance at Valpico Road. Summit Drive connects this entrance to the Ellis subdivision to the south.

#### 3.2.1.1 Street Network and Hierarchy

A grid pattern of different street types (see Figure 3.3 Street Hierarchy), each with a different character and function, serves the transportation needs of the community. With sidewalks on all streets and a multi-purpose path on some, the streets are the armature for the pedestrian and bicycle network as they connect the residential neighborhoods and park within the Avenues.

The Avenues street network includes pedestrian/bicycle safety and traffic calming measures. Roadways are designed to reduce motor vehicle speeds and encourage pedestrian and bicycle trips by featuring traffic calming measures. The menu of Avenues Neighborhood Plan traffic calming measures includes traffic signals, all-way stop signs, two-way stop signs, on-street parking, bulb-outs at intersec-

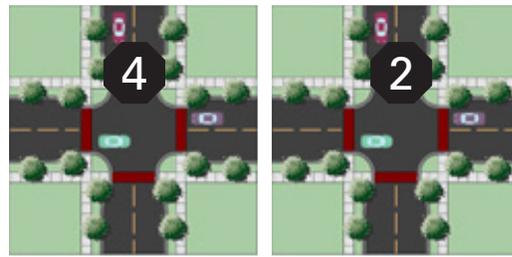


Figure 3.1 Multi-purpose path

tions, knockdowns, etc. Figure 3.2 illustrates some of these techniques. The final type and location of all traffic-calming elements will be determined at the time of Tentative Map approval, with bulb-outs being as per the Avenues Neighborhood Plan. Any traffic calming measures used shall not result in a travel way less than 22 feet, with the exception of alleyways as detailed in Figure 3.13 Proposed Section and Plan: Lane A. All streets will be publicly owned and maintained. Streets will be built to the standards established by applicable City Engineering Design and Construction Standards and Standard Plans, except as modified by the Avenues Neighborhood Plan. All landscaping, medians, and special landscape features shall be maintained by the Ellis Property Owners Association (EPOA) and funded by the Ellis Community Facilities District (ECFD). The park shall be maintained by the City and funded by the ECFD.

Figure 3.4 through Figure 3.13 identify streets by type: Regional Arterial, Entry, Community, Neighborhood, and Lanes. The lengths shall be established through the approvals of a Tentative Map and Final Map.

Controlling Vehicle Movement



All-way Stop Sign

Two-way Stop Sign

Narrowing the Street

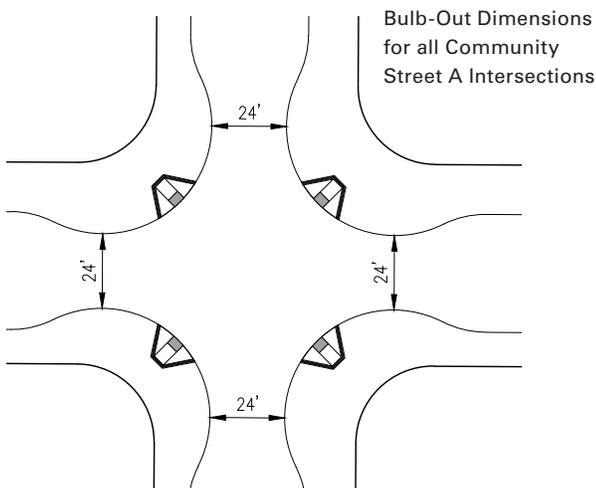


On-street Parking

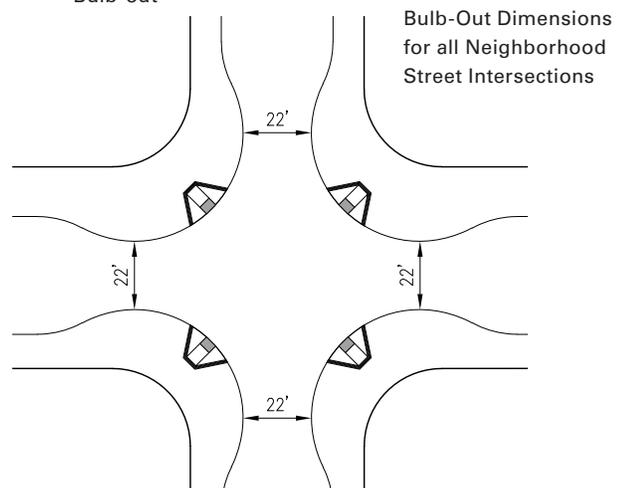
Bulb-out Intersection (intersection of Summit Drive and a Neighborhood Street)



Bulb-out



Bulb-out/Community Street A



Bulb-out/Neighborhood Street

Figure 3.2 Traffic-Calming Measures

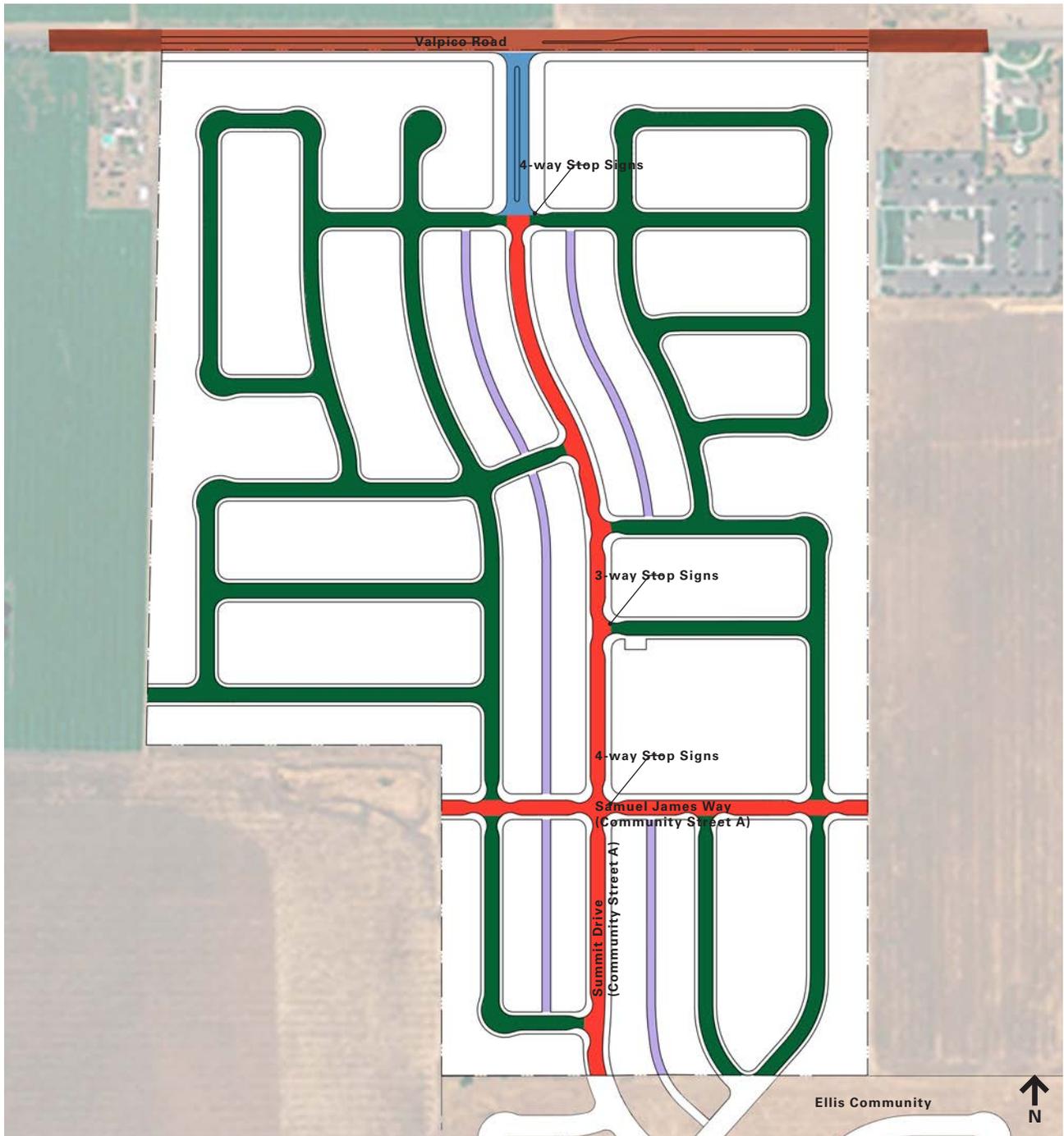


Figure 3.3 Street Hierarchy

The precise location of streets will be determined upon the approval of detailed plans. Diagrams in the Avenues Neighborhood Plan are illustrative and not intended to indicate the percent or location of lane loaded lots. In general, lanes are encouraged parallel to higher traffic interior streets and along view corridors.



3.2.1.2 Regional Arterial: Valpico Road

Designation: A (Final Build-out)

Definition

Valpico Road is an existing roadway that serves as a major east/west connection for the City of Tracy. Along the northern boundary of the Avenues Neighborhood Plan, Valpico Road is an undivided two-lane roadway with curb, gutter, and multi-use path along the southern edge. The posted speed limit along the project frontage is 45 miles per hour. Valpico Road is designated as a major arterial in the City of Tracy General Plan. Major arterials are intended to serve as the major routes of travel within the city. Arterials can provide some direct but limited access to adjacent parcels. These limitations can include restrictions on spacing and turn movements into and out of driveway locations. Major arterials can also serve as bicycle and pedestrian routes. In its final build-out, this road has dedicated left and right turn lanes in both directions. A turn out may be installed along the south side of Valpico road for potential future service of Tracy Transit, and would be located in the general area of the street section marker show on Figure 3.4 of Valpico Road. Only street improvements would be provided.

Per the City of Tracy Roadway Master Plan, the developer will be responsible for frontage improvements along Valpico Road adjacent to the project. The frontage improvement includes landscape (sidewalk) in the R/W, curb/gutter, and the first travel lane. The frontage improvements will be required as Final Maps are approved fronting Valpico Road. Any other Valpico improvements funded or constructed by developer shall be considered master plan improvements subject to credit and reimbursement.

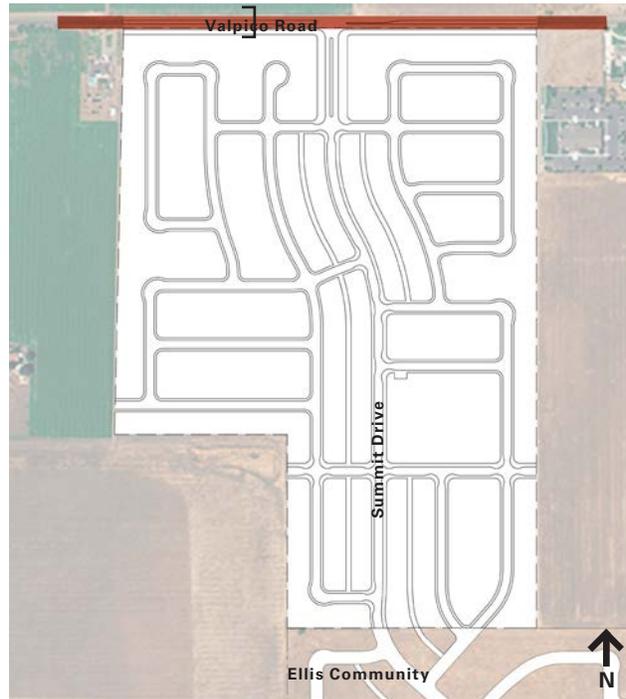


Figure 3.4 Key Plan: Regional Arterial – Valpico Road, Designation A (Final Build-out)

<b>Movement</b>	Free
<b>Design Speed</b>	45 MPH
<b>Travel Lanes</b>	Two-way divided roadway, four lanes with dedicated turn lanes at intersection
<b>Parking</b>	None
<b>R.O.W. Width</b>	99 feet
<b>Travel Lane Width</b>	11 to 13 feet
<b>Curb Type</b>	Raised
<b>Sidewalk Width</b>	10-foot multi-use path on the south side, 5-foot sidewalk on the north side
<b>Park Strip</b>	7 feet at the curb and 20-foot dedicated landscape zone behind sidewalk on the south side, existing park strips on the east side are of variable width
<b>Landscape</b>	Street trees with a row of evergreen background trees; underplanted with low water use grasses, shrubs, and/or groundcover (irrigated); planted median with trees (irrigated); see Section 3.2.7 and Table 3.2 to Table 3.5

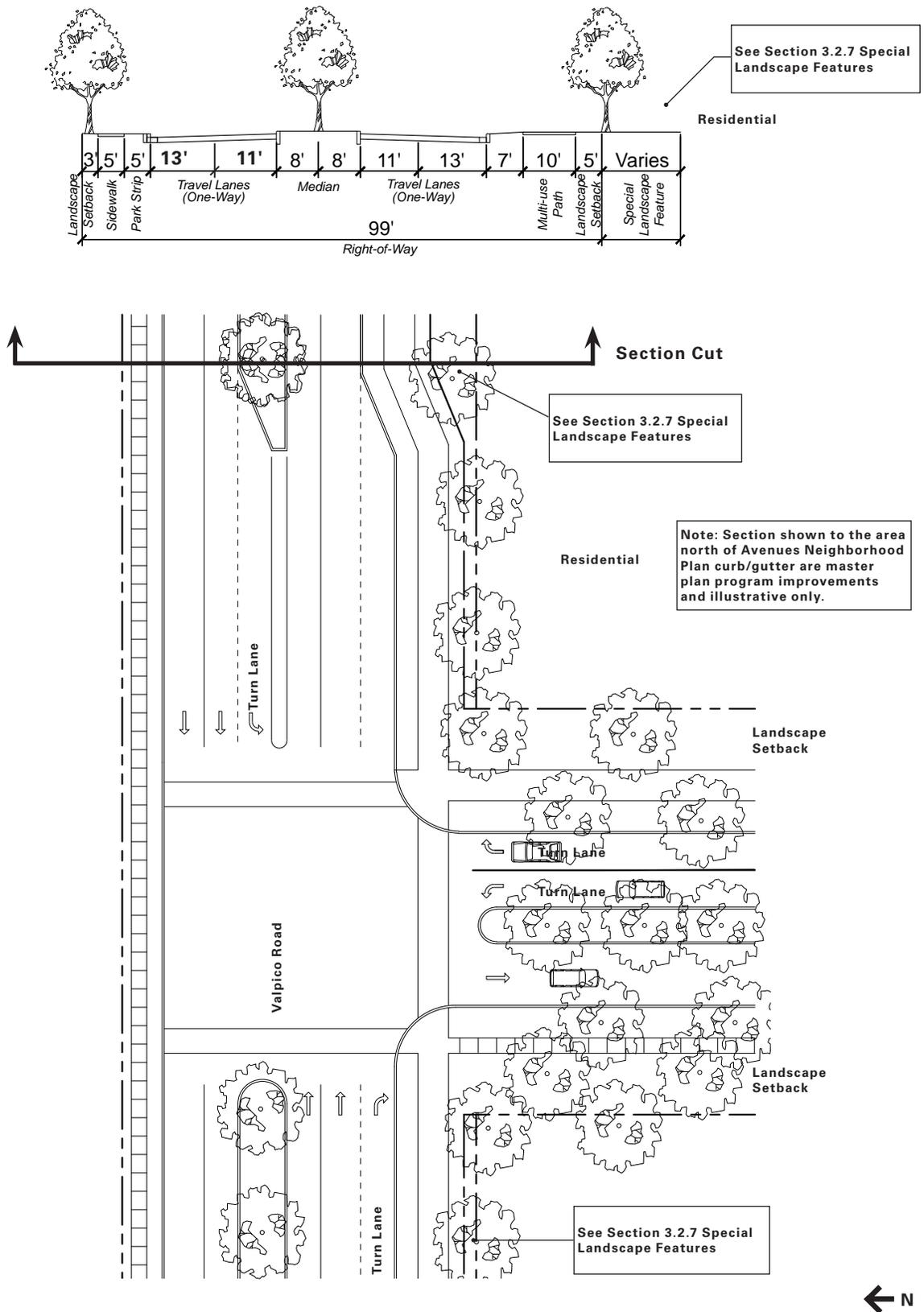


Figure 3.5 Section and Plan: Regional Arterial – Valpico Road, Designation A (Final Build-out)

3.2.1.3 Entry Street

Designation: A

Definition

The Summit Drive Entry is the primary access point accommodating moderate traffic volumes entering and exiting the community from Valpico Road. Large trees in both the median and the park strips help mark the entrance. No on-street parking is permitted.



Figure 3.6 Key Plan: Entry Street A

<b>Movement</b>	Free
<b>Design Speed</b>	25 MPH
<b>Travel Lanes</b>	Two-way divided roadway, three lanes
<b>Parking</b>	None
<b>R.O.W. Width</b>	91 feet
<b>Travel Lane Width</b>	12 feet minimum
<b>Curb Type</b>	Raised
<b>Sidewalk Width</b>	10-foot multi-use path on one side; 5-foot sidewalk on other side
<b>Bicycle Lane</b>	Class 1, one side
<b>Park Strip</b>	10 feet, both sides
<b>Landscape</b>	20-foot special landscape strip (irrigated); see Section 3.2.7 and Table 3.2 to Table 3.5

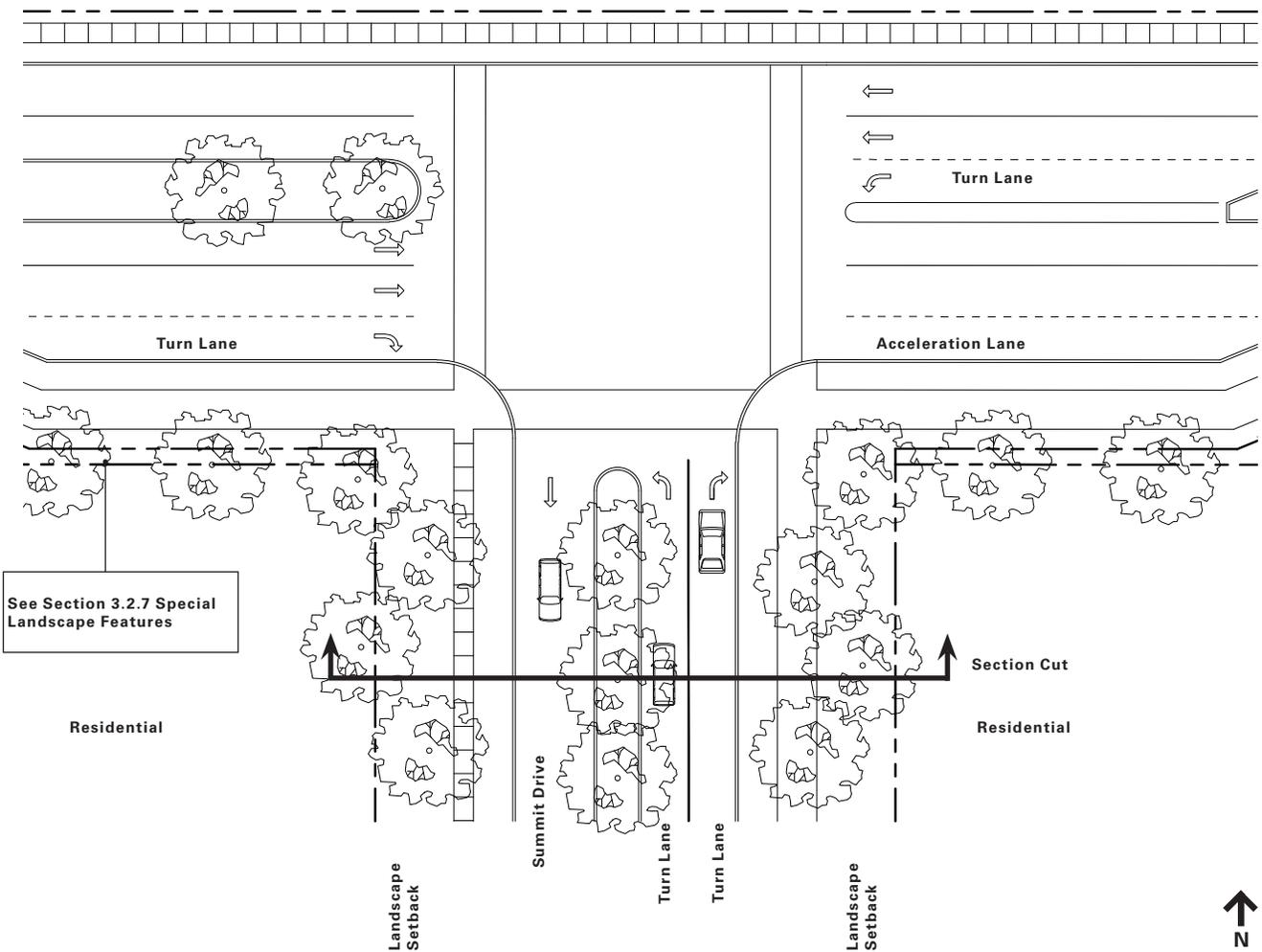
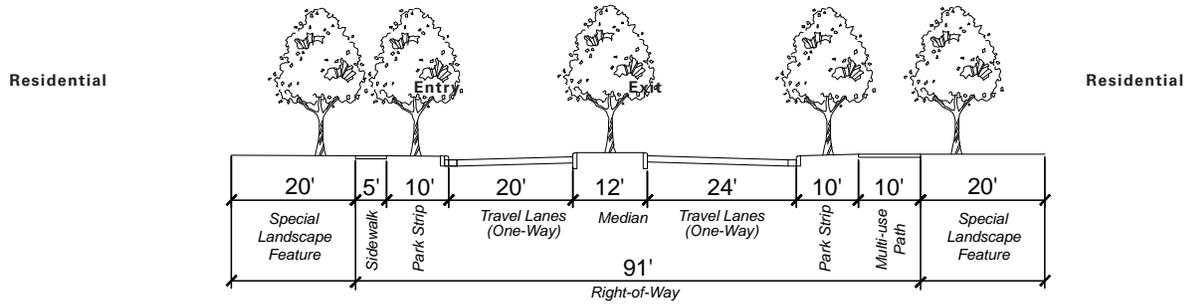


Figure 3.7 Proposed Section and Plan: Entry Street B

3.2.1.4 Community Street

Designation: A

Definition

As a street running along the edges of neighborhoods and through the community, its adjacent land uses include various types of residences, as well as a park and special landscape features. In addition to providing connectivity, the Summit Drive extension links Ellis to Valpico Road. On-street parking is provided on both sides of Community Streets. A Class 1 bicycle lane on one side is provided along the length of the street as part of the multi-purpose path network.

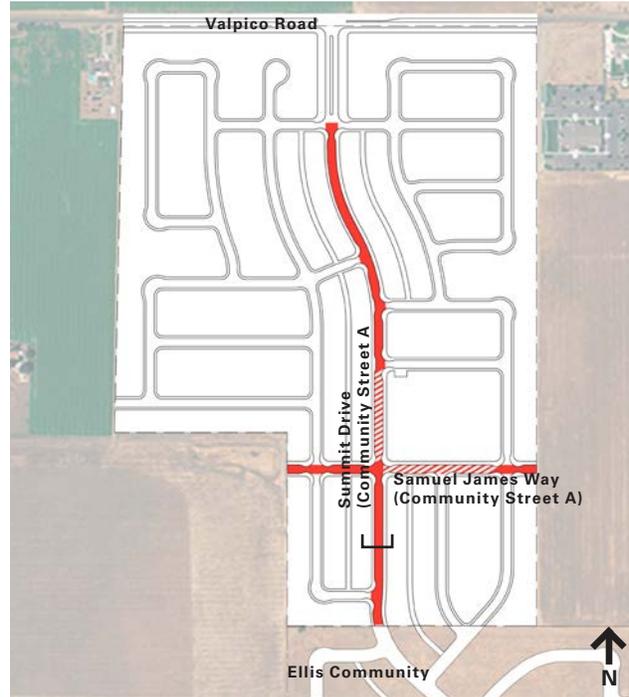


Figure 3.8 Key Plan: Summit Drive



<b>Movement</b>	Free
<b>Design Speed</b>	25 MPH
<b>Travel Lanes</b>	Two-way, two lanes
<b>Parking</b>	Parallel, both sides; offset by park strip on opposite side
<b>R.O.W. Width</b>	65 feet
<b>Travel Lane Width</b>	11 feet
<b>Curb Type</b>	Raised
<b>Sidewalk Width</b>	5 feet on one side; 10-foot multi-use path on the other
<b>Bicycle Lane</b>	Class 1, one side as part of the multi-purpose path
<b>Park Strip</b>	6 feet, both sides, except park alternative
<b>Landscape</b>	Single row of street trees with low water use grasses, shrubs, and groundcover (irrigated); pedestrian access through landscape strip to be provided as necessitated by parking; see Table 3.2 to Table 3.5

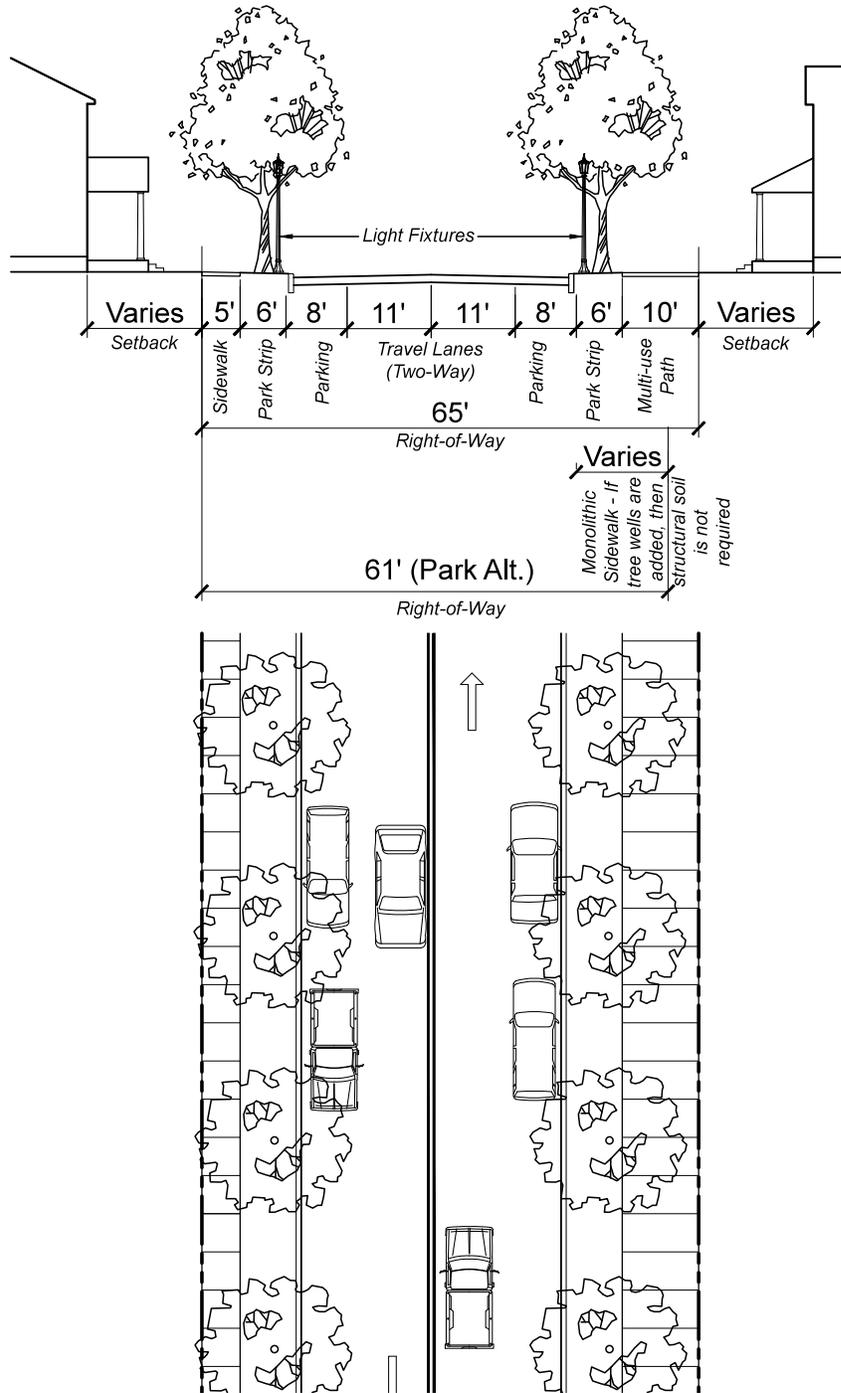


Figure 3.9 Proposed Section and Plan: Summit Drive

3.2.1.5 Neighborhood Street

Designation: A

Definition

A moderate-scale street providing local access throughout the community. It accommodates on-street parking on both sides.

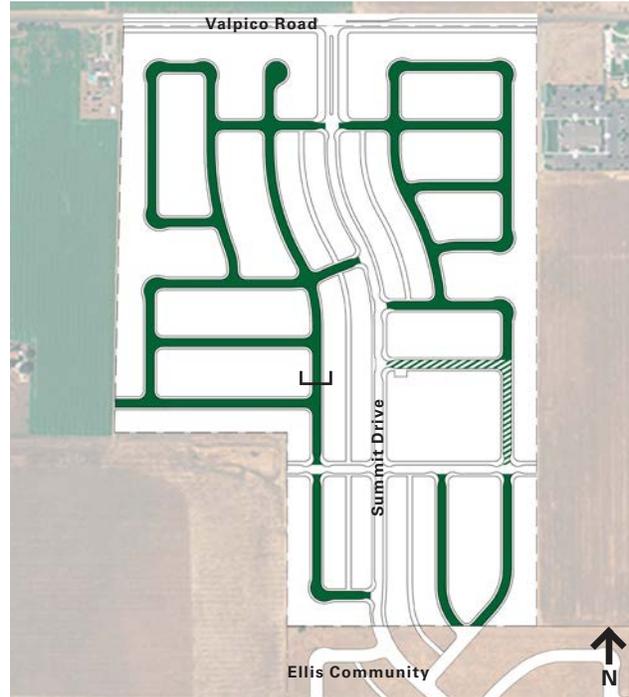


Figure 3.10 Key Plan: Neighborhood Street A

- NEIGHBORHOOD STREET A
- PARK ALTERNATIVE NEIGHBORHOOD STREET A

<b>Movement</b>	Free
<b>Design Speed</b>	25 MPH
<b>Travel Lanes</b>	Two-way, two lanes
<b>Parking</b>	Parallel, both sides
<b>R.O.W. Width</b>	56 feet
<b>Travel Lane Width</b>	10 feet
<b>Curb Type</b>	Raised
<b>Sidewalk Width</b>	4 feet, both sides; except park alternative
<b>Bicycle Lane</b>	None
<b>Park Strip</b>	6 feet, both sides; except park alternative
<b>Landscape</b>	Single row of street trees with low water use grasses, shrubs, and groundcover (irrigated); pedestrian access through landscape strip to be provided as necessitated by parking; see Table 3.2 to Table 3.5

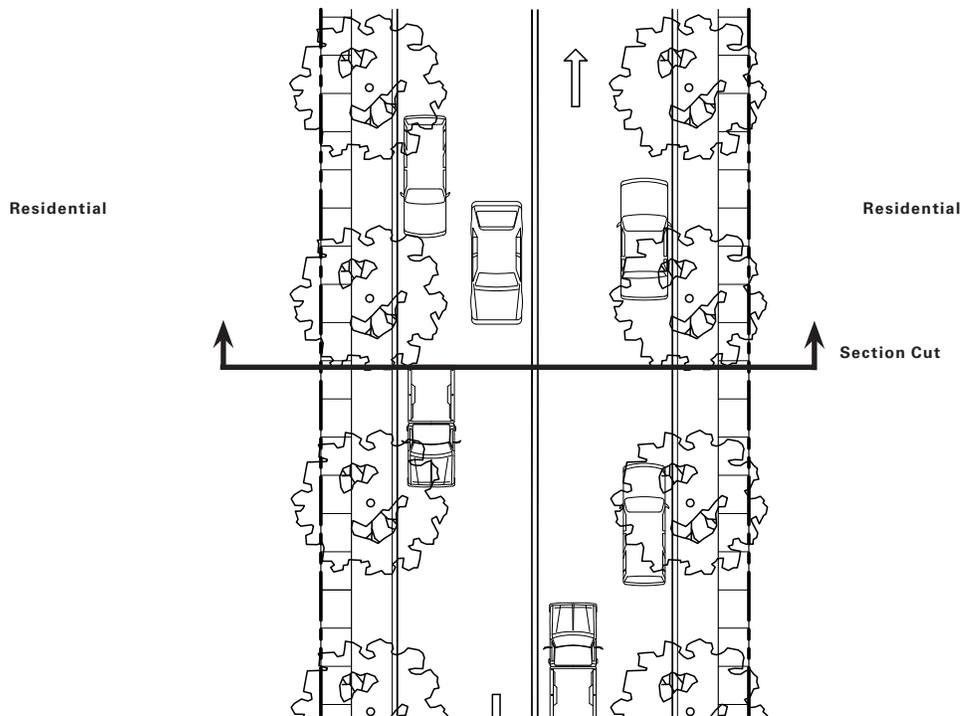
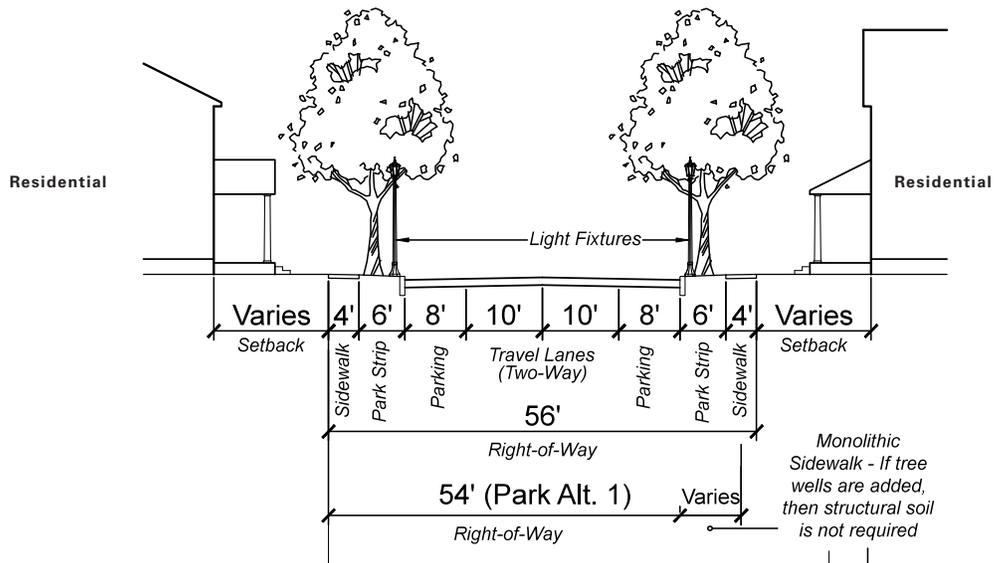


Figure 3.11 Proposed Section and Plan: Neighborhood Street A

3.2.1.6 Lane

Designation: A

Definition

Primary access to residential off-street parking. Lanes are designed to accommodate trash collection and dry utilities. Dead-end lanes may not extend farther than 150 feet from a public street. Fire hydrant spacing shall be 500 feet maximum for all streets and lanes. The curb on each side of the lane entrance shall be painted red 10 feet in both directions.

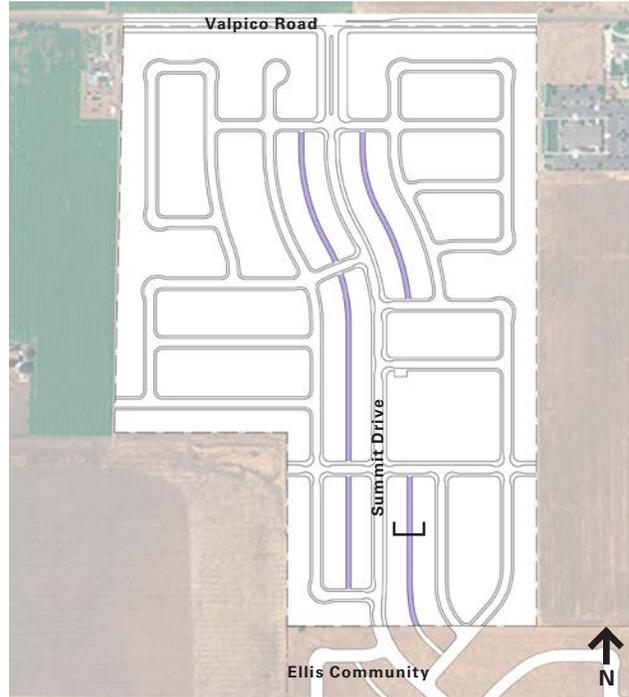


Figure 3.12 Key Plan: Lane A

Pursuant to the Citywide Transportation Master Plan, alleys are a permitted street type. The precise location of such facilities will be determined upon the approval of a tentative map. Diagrams in the Avenues Neighborhood Plan are illustrative and not intended to indicate the percent or location of lane loaded lots.

<b>Movement</b>	Yield
<b>Design Speed</b>	10 MPH
<b>Travel Lanes</b>	One-way
<b>Parking</b>	None
<b>R.O.W. Width</b>	22 feet
<b>Travel lane width</b>	14 feet
<b>Curb Type</b>	Spill
<b>Sidewalk Width</b>	None
<b>Bicycle Lane</b>	None
<b>Park Strip</b>	3.5 feet, both sides
<b>Landscape</b>	Low water use grasses, shrubs, and groundcover in park strip (irrigated)

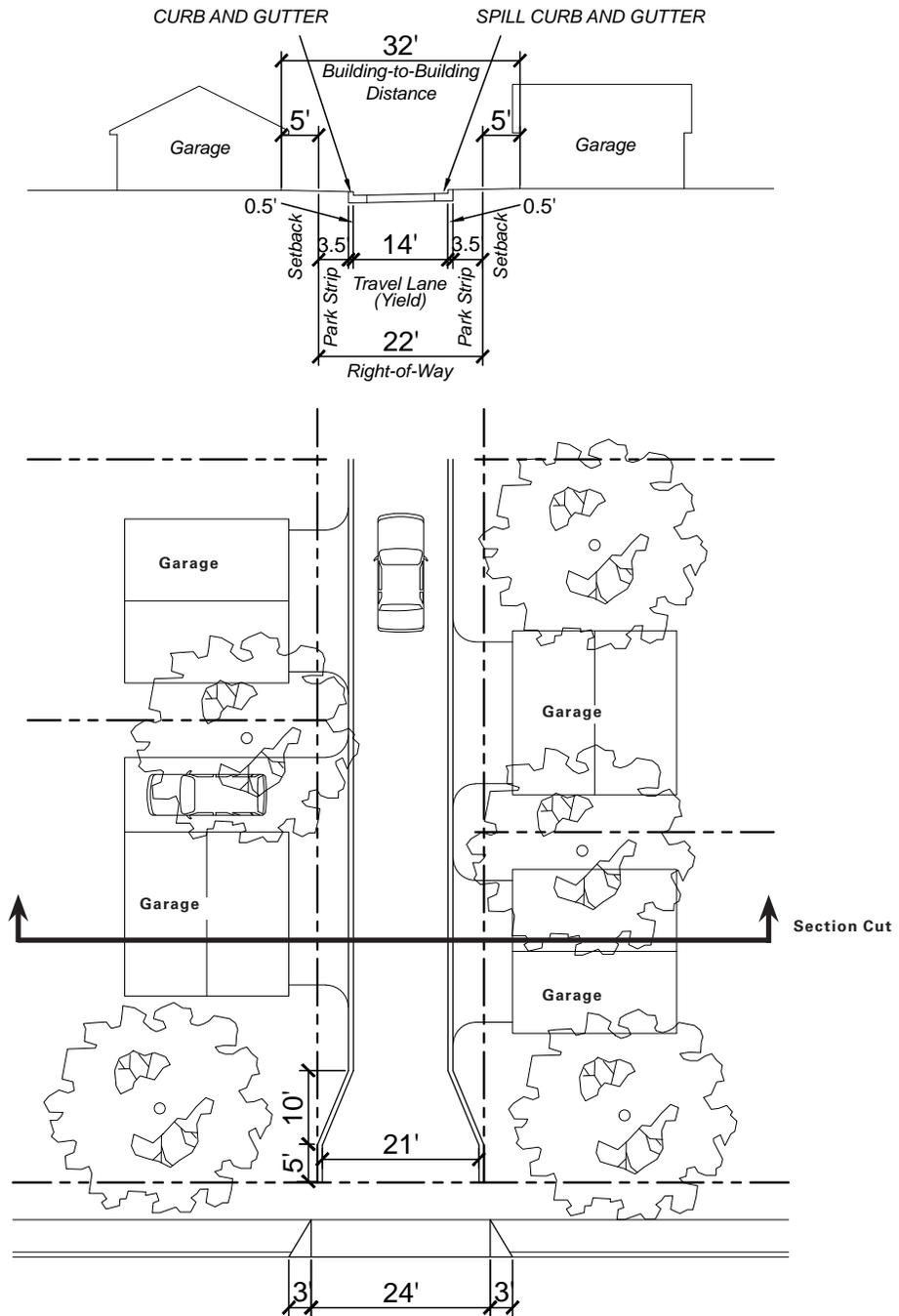


Figure 3.13 Proposed Section and Plan: Lane A

### 3.2.2 PEDESTRIAN SYSTEM PLAN

The streets, blocks, and park of the Avenues are designed to accommodate the needs of pedestrians and cyclists (Figure 3.14).

The Avenues has a diverse and well-developed pedestrian circulation network. All streets in the community have sidewalks on both sides. The network of sidewalks connects all areas of the residential neighborhood. This system is enhanced by multi-use paths (trails) along primary streets that link residents to the park and the regional network.

The pedestrian network is enhanced by traffic-calming strategies at critical locations. Traffic calming elements are placed to help mitigate pedestrian/automobile conflicts. Landscape strips between back of curb and multipurpose path and/or sidewalk shall have designated pedestrian crossings retained on either side with steel headers.

The Avenues Neighborhood Plan shall provide sidewalks for pedestrian connection to Ellis with the first phase of construction.

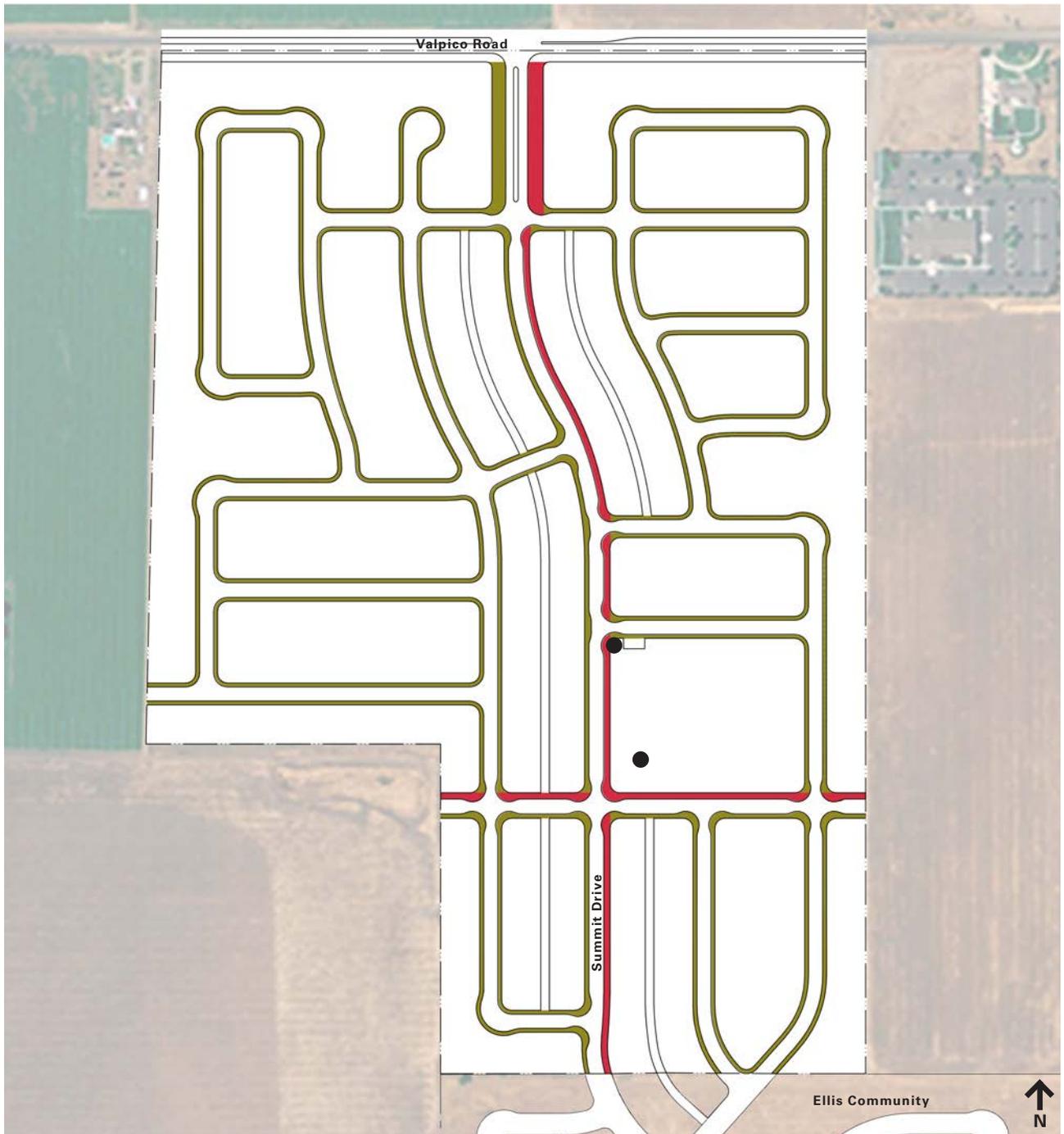


Figure 3.14 Pedestrian and Trail Systems Plan

-  SIDEWALKS
-  MULTI-USE PATHS (TRAIL SYSTEM)
-  APPROXIMATE LOCATION OF BIKE RACKS IN THE PARK

**3.2.3 BICYCLE SYSTEM PLAN**

A 10-foot, multi-use bike/pedestrian path (trail) forms a cross in the community to facilitate and encourage non-vehicular travel. Bike racks will be located in the park.

Canopy trees will be planted the length of paths for shade.

The bicycle network will link to the broader City of Tracy and San Joaquin County Bikeway Systems.

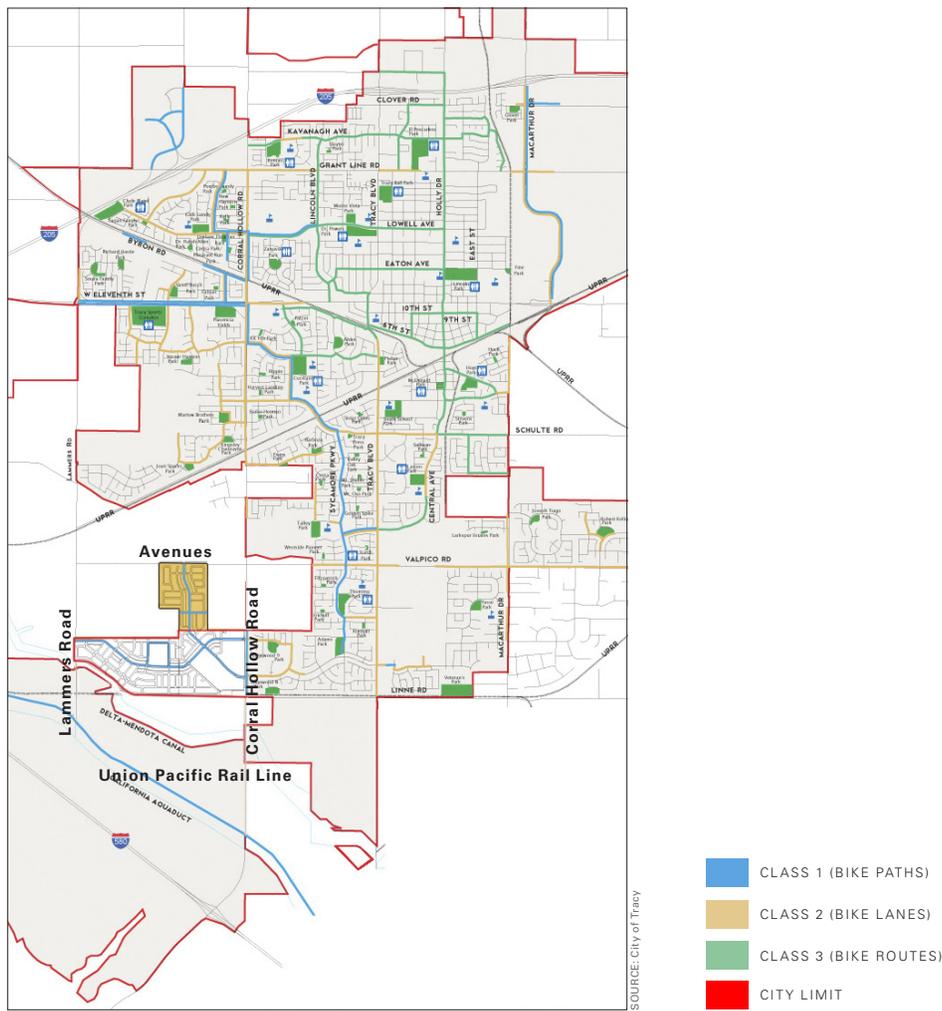


Figure 3.15 Avenues as it relates to existing bikeways in the City of Tracy

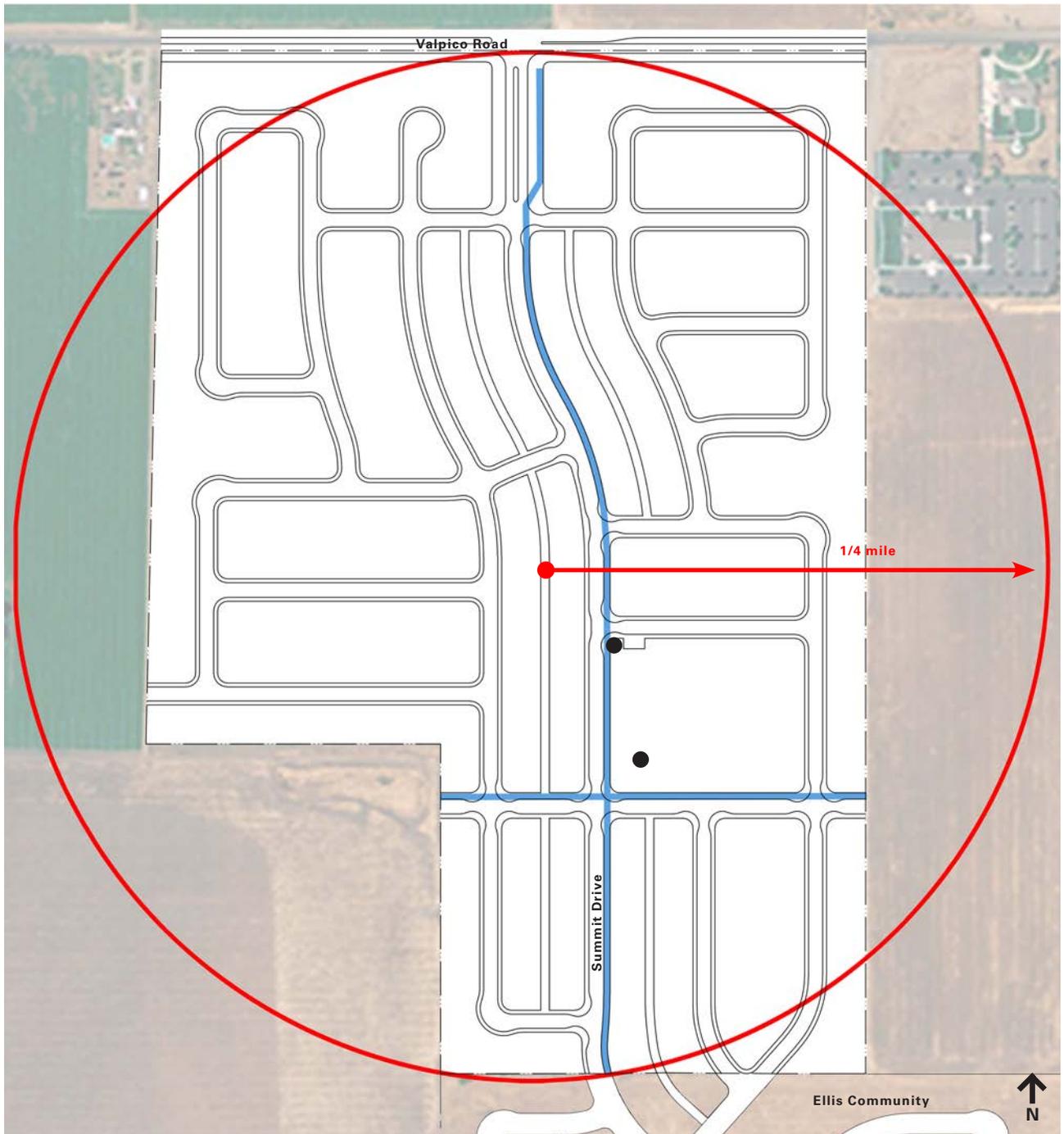


Figure 3.16 Bicycle Systems Plan

-  CLASS 1 (BIKE PATHS)
-  APPROXIMATE LOCATION OF PROPOSED BIKE RACKS IN PARK

**3.2.4 PUBLIC TRANSPORTATION**

The Avenues is served by a variety of public transportation options.

At a regional scale, the community is served by the Altamont Commuter Express (ACE) which is a passenger rail line running between Stockton and San Jose, with a BART connection to the Bay area from Pleasanton. Regional bus service is also available within San Joaquin County, through the San Joaquin Regional Transit District, Greyhound, and Amtrak California.

Transit access to the Avenues subdivision may be provided in the future by the City’s TRACER bus system. The TRACER provides service to the City of Tracy Transit Station with connecting service to the Altamont Commuter Express (ACE) rail, San Joa-

quin Regional Transit District (SJRTD) regional bus service including connections to BART, Greyhound, and the proposed future high-speed rail service and BART connections to the Bay Area and beyond.

Future updates to the City of Tracy’s Short Range Transit Plan (SRTP) may take into account providing future public transportation access to this development. A turn out in Valpico Road may be provided as per the Avenues Neighborhood Plan 3.2.1.2 Regional Arterial: Valpico Road (see Figure 3.5).

**3.2.5 PARKING NETWORK**

Residential parking is on and off-street, some parking may be accessed by way of residential driveways and the proposed rear lane network. Most street types include on-street visitor parking as well. To encourage walking and biking to parks, no additional parking shall be provided over and above on-street parking on neighborhood streets.

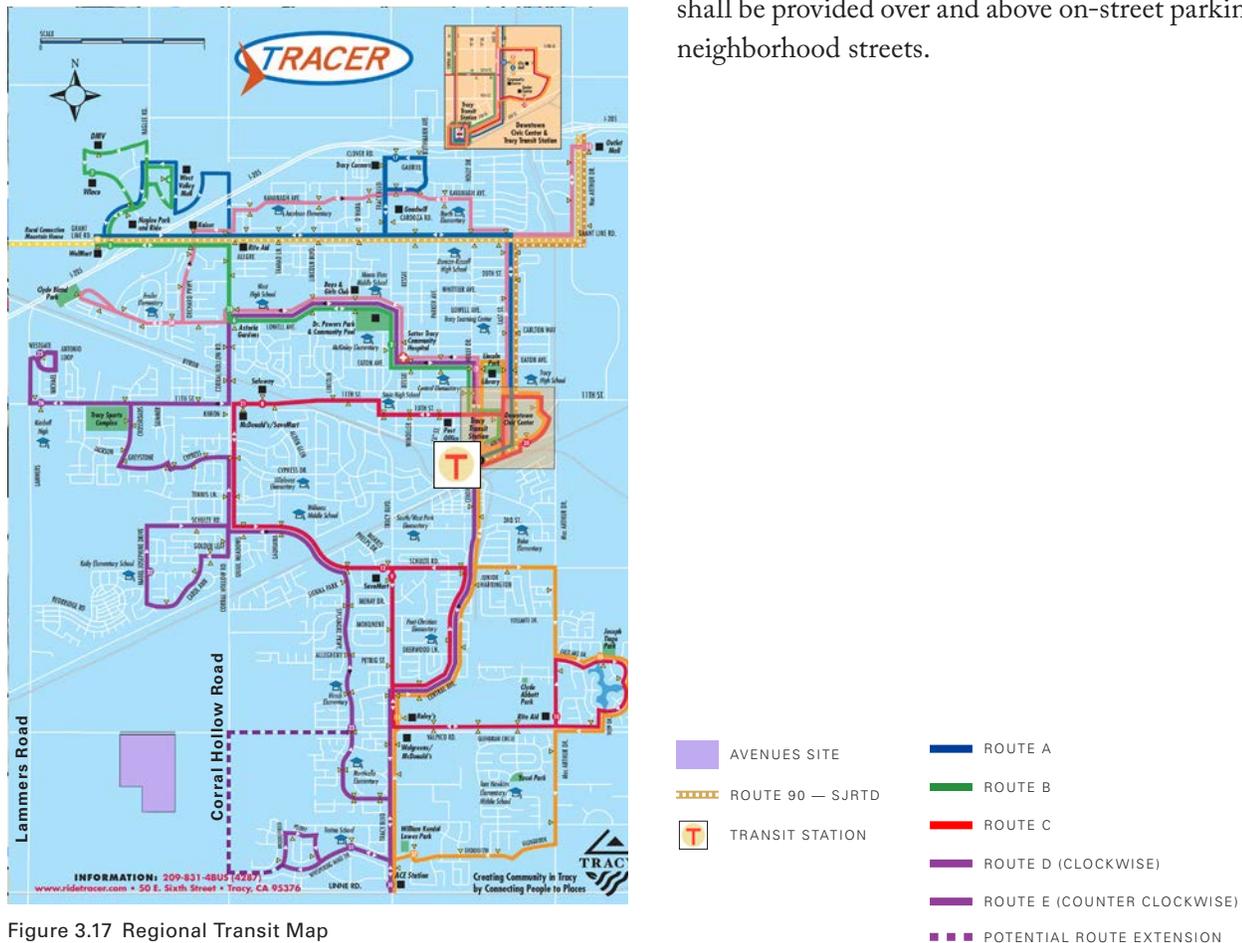


Figure 3.17 Regional Transit Map

### 3.2.6 PARKS NETWORK

The Avenues park is designed to provide a wide array of active and passive recreation opportunities to meet the range of needs within the community. Consistent with City requirements, the Avenues Neighborhood Plan is subject to park obligation of 4 acres per 1,000 people. Avenues will feature 3 park acres per 1,000 population generated of Neighborhood Parks dedication and 1 park acre per 1,000 population generated of Community Parks obligation (4 park acres per 1,000 population generated total). Population will be based on City of Tracy Parks Master Plan (new development), April 2013.

The intention in the design of the park is to create a public space that offers:

- 1 A variety of active and passive recreational opportunities for all age groups;
- 2 Recreational amenities within walking distance of residents' homes;
- 3 Integration with the adjacent multi-use path (trail) system; and
- 4 Access to multiple public streets.

The park shall be maintained by the City. All other open space, landscape strips, parkways, medians and special landscape features accepted by the City will be maintained through the funding provided by the ECFD with maintenance implemented by the EPOA. Avenues Neighborhood Plan parks shall be designed and developed in conformance with the Specific Plan and shall be maintained as prescribed in the Ellis Maintenance Agreement (EMA) between the City and the EPOA. Park design and amenities were first reviewed by the Parks Commission prior to approval by City Council.

Homes front on the park creating a unique and desirable residential design. To enhance park safety, the project shall endeavor to have streets surrounding all sides of the park so that more eyes are viewing the park. Group mailboxes may be located in or adjacent to the park but will not be counted as part of Neighborhood Park credit.

The park has an individual character and distinct features designed to create a strong sense of place. The extensive multi-use path system encourages residents to walk or bicycle between the park and neighborhoods. On-street parking is provided. The park name shall be "Central Park."

The Illustrative Parks Plan (Figure 3.18) shows the general location of the park.

The park as a part of this Specific Plan which includes neighborhood park concept plans (park components, elements, size, name, theme) for the neighborhood park, shall be built by the project, according to the specific plan concept plan as approved by City Council, with no other modifications. Any additional cost caused by project proponent such modification shall be the responsibility of the project, and funded by the project. To encourage walking and biking to parks, no additional parking shall be provided in excess of typical neighborhood street parking within the residential neighborhood.



Figure 3.18 Illustrative Park Plan

**A** CENTRAL PARK

3.2.6.1 Central Park

Central Park is the visual and recreational focal point of the neighborhood. Enhanced planting in bulb-outs creates a strong and inviting presence on Summit Drive. Two park sign entry features are placed on the northern and southern corners of the park (see Appendix B2: Avenues Additional Landscape Features/Character Elements And Sign Program). Uses are oriented around two tree-lined promenades and include a picnic area with shade structure, play areas for both 2- to 5-year-olds and 5- to 12-year-olds, a basketball court and a multi-use youth soccer/ball-field. The Central Park shall be a minimum of 4 acres.

Additional smaller lawn areas are available for informal play, picnicking, and relaxation. Low berms planted with shade trees enclose the park and provide a comfortable viewing area for games and activities. Below is an illustration of the Central Park design.

CONCEPTUAL PROGRAM	
<b>Type</b> Neighborhood Park	
<b>Uses /Features</b>	
A Entry portal	L Low berms
B 2- to 5-year play	M Mail pick up (two 10-minute parking spots)
C 5- to 12-year play	N Concrete stepped wall
D Bike parking	O Outdoor workout station
E Trash/recycling/dog waste station	P Seat wall
F Restroom (2 unisex stalls) and drinking fountain	Q Fence at playground
G Group picnic with shade structure	R Special landscape feature (not included as part of Neighborhood Park credit)
H Basketball/multi-purpose	S Light pole at all main walkways
I Connectivity path	T Planting buffer (no spray irrigation)
J Park entry sign	
K Multi-purpose field - Youth soccer - Infield practice baseball	



Figure 3.19 Illustrative plan



Figure 3.20 Multi-purpose field



Figure 3.21 Connectivity path



Figure 3.22 5- to 12-year play



Figure 3.23 Undulating, rubber-surfaced mounds



Figure 3.24 Multi-purpose field



Figure 3.25 Seat wall



Figure 3.26 Multi-purpose field



Figure 3.27 2- to 5-year play



Figure 3.28 Workout station



Figure 3.29 Restrooms



Figure 3.30 Seat wall



Figure 3.31 Seat wall

**3.2.7 SPECIAL LANDSCAPE FEATURES**

The Avenues Neighborhood Plan includes an enhanced iconic entry at Valpico Road, generously landscaped street frontage and carefully designed interfaces with agricultural edges. These will contribute to both the desirability and livability of the new community. The character of these features reflects the agrarian heritage of the site. No fee credit or park credit will be given for these amenities.

**3.2.7.1 Summit Drive at Valpico Road**

The Summit Drive entry at Valpico Road is an inviting gateway to the community. A stone entry building on the west side and a walk-through portal on the east are surrounded by flowering orchard trees and create a rustic, agrarian feel. Stone columns, accent planting at corners, enhanced paving at crossings, and columnar trees in the median provide formality to the entry. Broadleaf evergreen trees in the median soften the theme wall along Summit Drive, while

more informal evergreen masses screen the wall along Valpico. Street trees and groundcovers or grasses in the parkway strips create a comfortable, pedestrian-scaled streetscape.

Temporary banner poles and banners may be located along Valpico Road and Summit Drive to be used for home sales banners. This signage will be maintained by project proponent. See Appendix B2: Avenues Additional Landscape Features/Character Elements And Sign Program for additional details.

CONCEPTUAL PROGRAM	
<b>Uses /Features</b>	
A	Entry monument building with lighted signage
B	Entry column
C	Walk-through entry portal and low stone wall (may have lighted signage)
D	Accent planting
E	Orchard-like trees
F	Columnar trees
G	Broadleaf evergreen trees

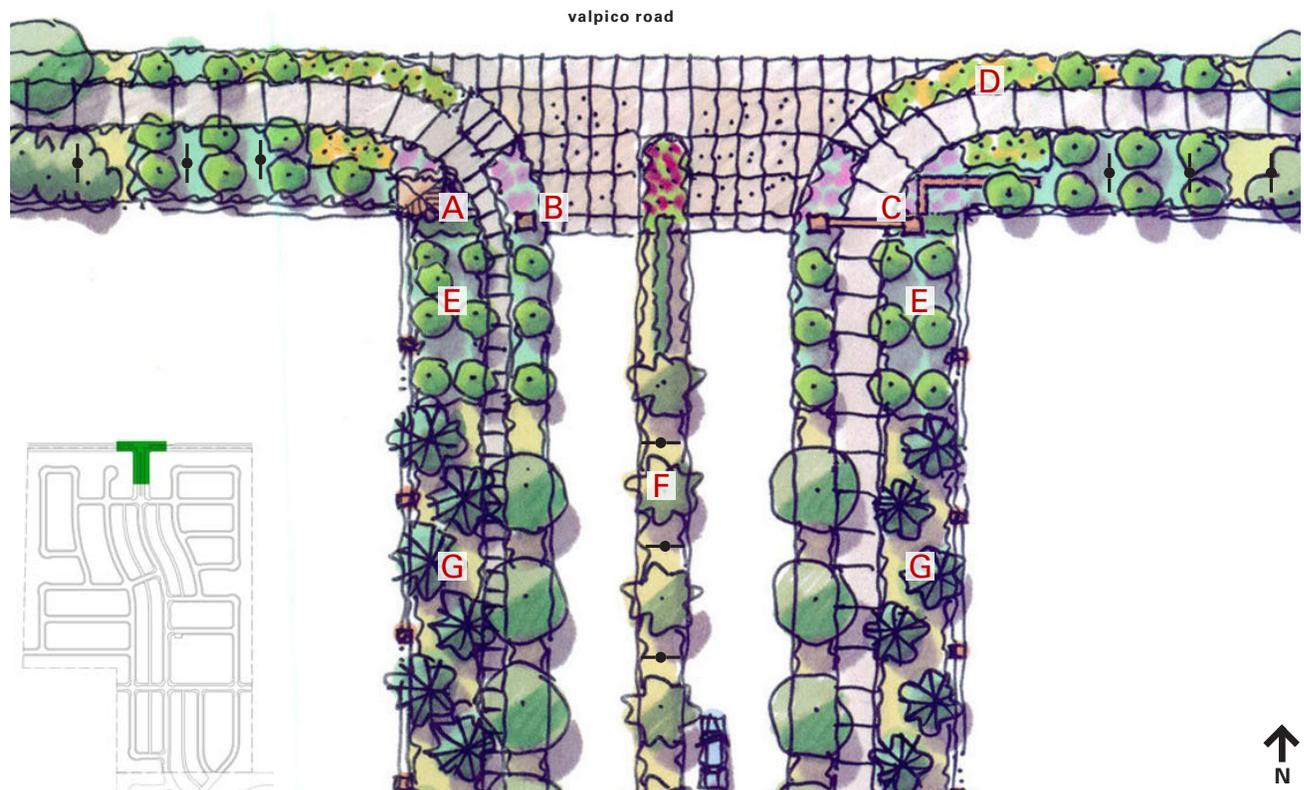


Figure 3.32 Key plan

Figure 3.33 Illustrative plan



Figure 3.34 Avenues Entry at Valpico Road and Summit Drive



Figure 3.35 Entry Monumental Building (Pump House)

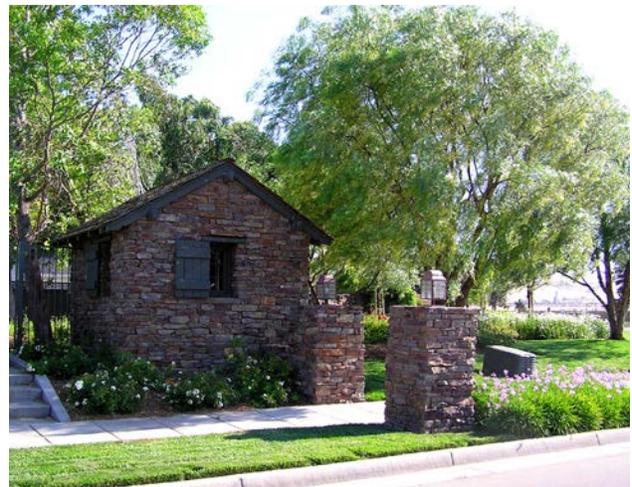


Figure 3.36 Pump House character precedent

Photo: Gates & Associates

### 3.2.7.2 Valpico Road Streetscape

The Valpico Road streetscape includes a parkway strip with street trees underplanted with drought tolerant, groundcovers, shrubs and/or grasses. The landscape strip on the south side includes informal masses of trees, shrubs, hedges, and/or vines to screen the 8-foot masonry wall. For graffiti protection, coating should be applied to all visible sides of the theme walls. The median is planted with trees and drought tolerant shrubs, grasses, and/or groundcovers.

#### CONCEPTUAL PROGRAM

##### Uses /Features

- A Street trees
- B Tree and/or shrub masses
- C Median tree with shrubs and groundcovers
- D Eight-foot theme wall



Figure 3.37 Street tree and median tree with shrubs and groundcovers

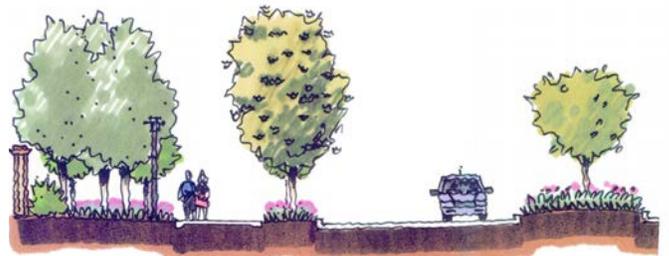


Figure 3.39 Valpico Road section

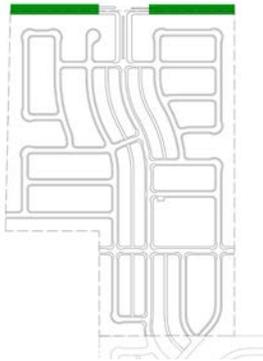


Figure 3.38 Key plan

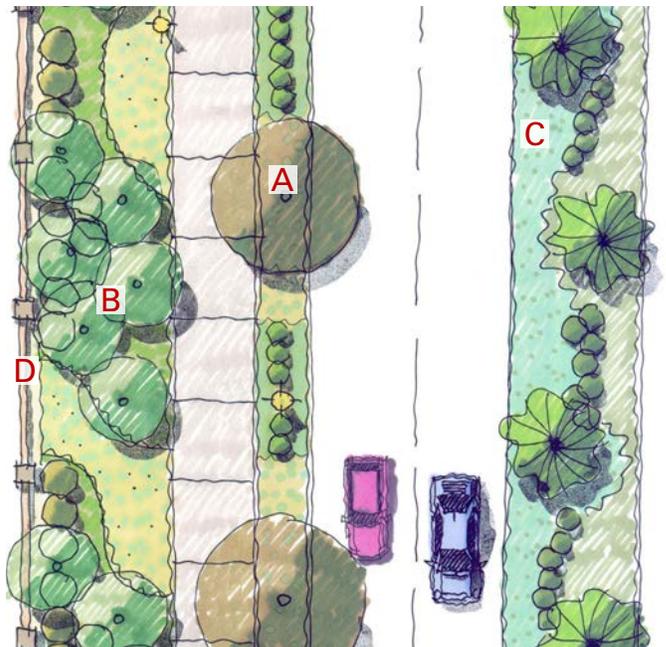


Figure 3.40 Valpico Road plan

3.2.7.3 Valpico Road Streetscape — Interim Condition  
 Valpico Road will initially be installed in an interim condition. At this time, a landscape strip will be planted between the multipurpose path and the street. When the ultimate condition is installed, the temporary landscape strip will be reduced to the 7-foot parkway strip shown for the permanent Valpico Road condition. The plantings will be consistent with the design described for the final Valpico condition. The plantings will be consistent with the design described for the final Valpico condition. Plantings include tree masses along the theme wall with drought-tolerant shrubs, groundcovers and grasses as understory. No trees will be planted in the temporary landscape area.

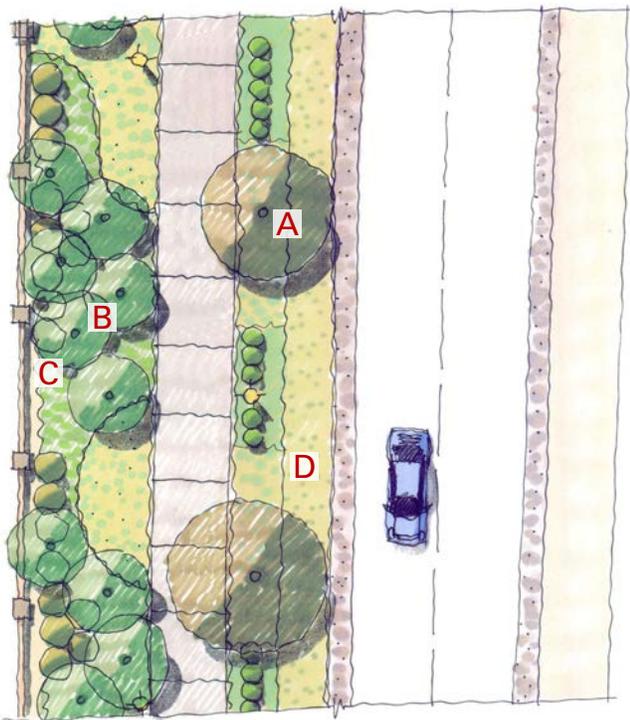


Figure 3.41 Illustrative plan

**CONCEPTUAL PROGRAM**

- A Street trees
- B Tree and/or shrub masses
- C Eight-foot theme wall
- D Temporary landscape strip

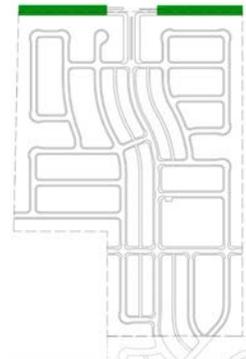


Figure 3.42 Key plan

3.2.7.4 Summit Drive

The 6-foot landscape strips on Summit Drive are planted with street trees and low, drought tolerant groundcovers and grasses. Trees are spaced at minimum 30 feet on-center where there are no conflict with utilities for an inviting streetscape aesthetic. Pedestrian walk-throughs are provided in planting strips to facilitate access from on-street parking to alley loaded lots and at key locations where crossings would be needed to access the park or multi-purpose path. Pedestrian walk-throughs may include stepping stones, pavers, or decomposed granite.

Bulb-outs enhance key intersections, slowing traffic and creating a more intimate, neighborhood feel. Enhanced pavers at crosswalks further emphasize crossings, slow traffic, and create a visually appealing streetscape.



Figure 3.44 Decorative pavers at crosswalks

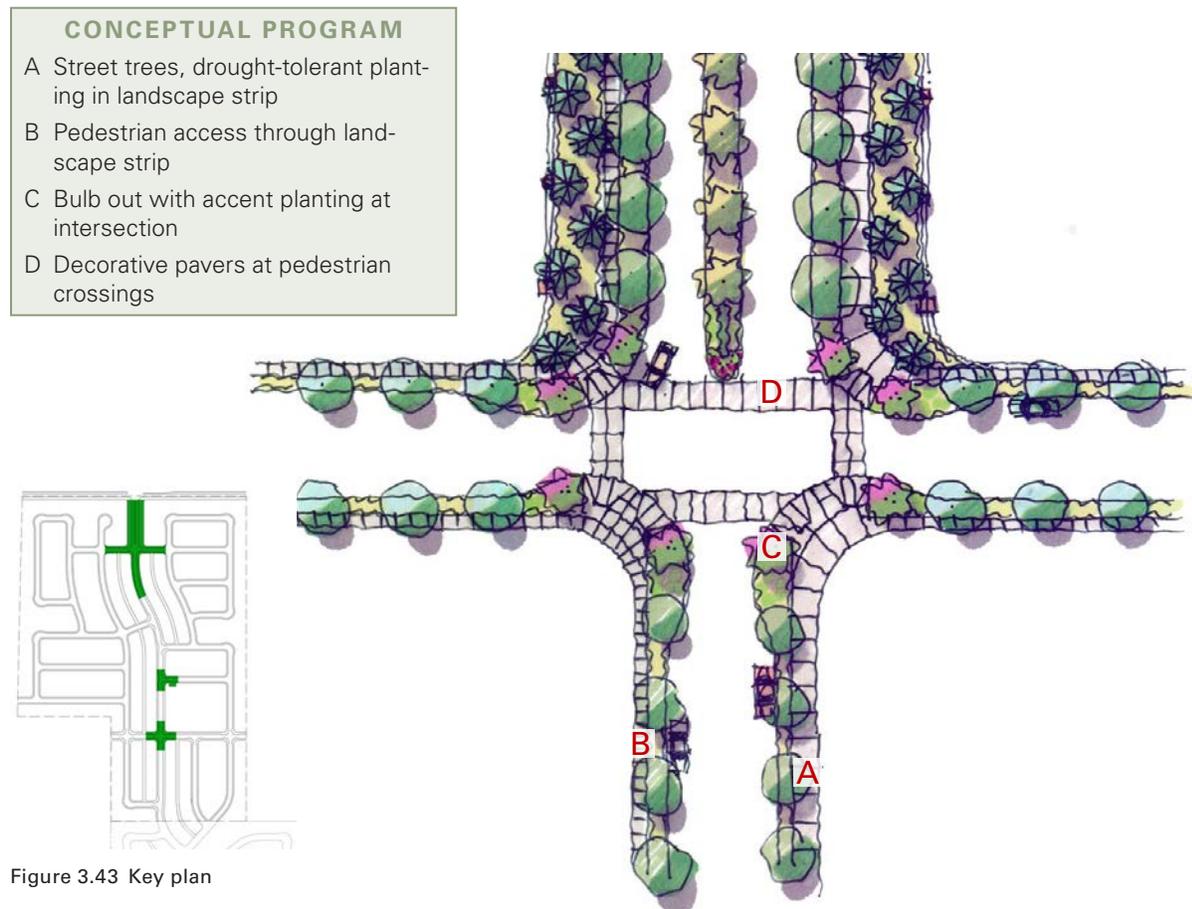


Figure 3.43 Key plan

### 3.2.7.5 Agricultural Edge

The edges of the community adjacent to existing agricultural uses will be defined with 8-foot wood privacy fences or boundary walls. Where streets terminate at site boundaries, barriers shall be City standard (guard rails), or at the developer’s option, temporary gates for enhanced visual effect and to minimize the intrusion of dust from undeveloped properties. Gates will be designed to allow for emergency vehicle access if needed. Gates may be wood, metal, or comparable material.

Temporary gates shall be removed at the time development occurs adjacent to the Neighborhood Plan area, when roadways are connected to these streets. The subdivision is not intended to be a gated community.

**CONCEPTUAL PROGRAM**  
A 8-foot privacy fence or boundary wall  
B 8-foot rolling temporary gate



Figure 3.45 Eight-foot privacy fence



Figure 3.46 Eight-foot rolling gate



Figure 3.47 Key plan

### 3.2.8 LIGHTING, SIGNAGE, AND FURNISHINGS

#### 3.2.8.1 Lighting

Ornamental street lights shall be traditional in character and at a pedestrian-scale. They are used for all streets, parks, trails, bike paths, and walkways. The style of street lights shall be the same as street lights found in Ellis. Maintenance will be in accordance with the ECFD and EMA. All streets and parks shall be lit to provide safe evening passage.

Special ornamental lighting may also be incorporated into thematic monuments and signs at park entries.

All fixtures will be cut-off luminaires to control light and glare. The lighting specified, although traditional in appearance, shall have state-of-the-art luminaires for lighting efficiency and glare reduction.

Light fixtures shall direct lighting patterns downward in either a symmetrical or asymmetrical lighting pattern on the ground with very little glare. The post lights, specified to be mounted at the height of 14 feet, are scaled to pedestrians. This is an optimal height which balances lighting efficiency and performance, while providing direct illumination of pedestrian areas for facial illumination, thereby providing a safe night-time environment.

The lighting shall be spaced along the street and between the street trees. Street trees are specified to have a minimum 10-foot clearance to street lights in order to provide adequate room for the proper lighting performance.

3.2.8.2 Public Property Signs

Signs in the Avenues Neighborhood Plan Area in the public right-of-way, the public parks, or on public property, shall be regulated by Title 10, Article 35 of the Tracy Municipal Code and CalTrans regulations, except as specified in Section 3.2.8.2 of the Avenues Neighborhood Plan and Appendix B2: Avenues Additional Landscape Features/Character Elements And Sign Program. The signs included in this Avenues Sign Program shall be permitted as shown. The approval process shall include only building permit, and a sign permit processed in accordance with Title 10, Article 35 of the Tracy Municipal Code. For purposes of indemnifying the City, all temporary signage

to be located within street right-of-ways, as approved in the Avenues Neighborhood Plan, will require one all-inclusive encroachment permit. Regulatory signs not approved as part of the Avenues Neighborhood Plan shall comply with City Standards or California Department of Transportation (Caltrans/California Manual on Uniform Traffic Control Devices (CAMUTCD) standards where applicable.

In addition, the design of the landscape features/character elements in Appendix B2: Avenues Additional Landscape Features/Character Elements And Sign Program shall be permitted as shown.



Figure 3.48 Sign Type J



Figure 3.49 Regulatory signage and Flag signs



Figure 3.50 Wall Sign — Sign Type H

3.2.8.3 Furnishings

Site furnishings shall include a simple palette of durable traditional street and park furnishings, including bike racks, trash receptacles, and benches. The selection of site furniture should incorporate elements found throughout Ellis, to provide a visual connection between the Avenues and the Ellis community.

Park furnishings and equipment should be thoroughly evaluated for durability, ADA compliance, and consistency with visual character. Maintenance of furnishings will be the responsibility of the EPOA except in the park which shall be maintained by the City, and shall be funded by the ECFD.

ELEMENTS	DESCRIPTION	MANUFACTURER, MODEL, FINISH, COLOR
Street Lighting	Ornamental Traditional Acorn	Sternberg Birmingham series, Dark Bronze Textured, LED
Street/Wayfinding Poles	Ornamental Traditional	Sternberg Richmond and/or Lexington series, Dark Bronze Textured, LED
Street/Wayfinding Signs	Custom metal panel	Custom artwork on aluminum panel; Panel: reflective to match Pantone 155C; Lettering: 4", Gill Sans MT Condensed, black
Regulatory Sign Poles	Ornamental	Sternberg Richmond or Lexington series, Dark Bronze Textured
Banner Poles	Ornamental Traditional	Sternberg Birmingham series with Sternberg Banner Arms, Dark Bronze Textured
Enhanced Crosswalk Paving	Decorative Unit Pavers with Colored Concrete Band	Ackerstone, Holland Stone1, Carmel with CA del Mar aggregate FM mix, grind finish. Concrete accent band in Davis color 8084 (Silversmoke), sandblast finish
Stone Elements (Buildings, Walls, Portals, Signage)	Stone Veneer	El Dorado Natural Stone - Profile: Cliffstone; Color: Montecito; Stone Variety: Pennsylvania Fieldstone; Grout Style: Dry Stack
Pet Station/ Other Community Signs	Decorative metal panel	Custom artwork on aluminum panel with vinyl letters. Panel color: SW2912 Chanticlear (PMS 7623c) Lettering color: SW6385 Dover White, Text per City Standards
Benches	Ornamental Traditional	Dumor 140/144 series, black powdercoat with custom lettering
Trash/Recycling	Ornamental Traditional	Dumor 148 series, trash and recycle separate
Bike Rack	Traditional	Maglin MBR200 series with custom lettering, black powdercoat
Bike Rack	Decorative	Huntco, The VELO or approved equal, color RAL 3003 Ruby Red
Tree Guard	Ornamental	Iron Age Designs Basic, Powdercoat, Special Rust #47
Drinking Fountain	Ornamental Traditional	MDF Most Dependable Fountains, 2008SM w/valve faucet, black
Picnic Tables	Ornamental	Dumor, 448 and 443 series, black
Shade Structure	Decorative	May be prefabricated or custom; materials will may be metal, stone or stone veneer, may include logo or lettering, may be solid or perforated as necessary to provide adequate shade.
Restroom	Prefabricated	Public Restroom Company; model PS 111; ADA accessible with enhanced finishes: board and batten with ledgestone, standing seam hip roof
Play Equipment/Elements	Thematic, Educational, Innovative Play Elements	Play equipment and elements may be themed, custom or prefabricated; primary materials to be metal with steel, steel-reinforced cables, GFRC or other with limited use of water, sand or wood for play value.

Table 3.1 Avenues specifications (or equal as approved by the developer)



Figure 3.51 Bench



Figure 3.52 Bike rack



Figure 3.53 Picnic table



Figure 3.54 Trash



Figure 3.55 Bike rack



Figure 3.56 Tree grate



Figure 3.57 Pet station



Figure 3.58 Shade structure



Figure 3.59 Play equipment



Figure 3.60 Play equipment



Figure 3.61 Shade structure



Figure 3.62 Play equipment



Figure 3.63 Play equipment

#### 3.2.8.4 Streetscape Types

The streetscapes of the Avenues vary. Primary streets will have landscaped park strips between the sidewalk and curb. These park strips shall be planted with ornamental, drought-tolerant landscape materials, the park strips or landscape strips will be planted with trees which shall be counted as a City tree for each lot/residence, no residential front yard City trees shall be required. Where parking is provided on streets with alley-loaded homes, pedestrian access through the park strips must be provided at a minimum of every residence. Where parking is provided along park frontage, park strips may be eliminated or limited to facilitate access.

#### Sustainable Landscape Design

The landscape system shall comply with the current Department of Water Resources Water Efficient Landscape Ordinance and CalGreen Building Code. Landscape should be designed to reflect current best practices in landscape sustainability, including some or all of the following:

- Emphasize drought tolerant, native or climate-adapted plants
- Use California native plants where possible
- Minimize the use of lawn, except for recreational purposes
- Group plants by water use, i.e., hydrozones.
- Design high efficiency, weather-based irrigation systems
- Space plants to avoid the need for shearing
- Choose diverse plant palettes
- Design high-efficiency landscape lighting systems
- Minimize light pollution and trespass

#### 3.2.8.5 Street Trees

The landscape system is designed to honor the small-town agrarian history of the area with shady, pedestrian-friendly streets and a diverse, drought tolerant plant palette which complements the architectural character of the houses. It is expected that recycled water will be available for irrigation of public streets, including Summit Drive, and common areas in the future. Street trees have been carefully selected for recycled water tolerance. Street trees located in landscape strips shall meet the requirement of a City tree located in residential lot/home front yards. Proponent may adjust street tree spacing to avoid constraints, such as utilities.

- Large canopy trees will line the community streets. Medium-sized canopy trees will enclose the neighborhood streets.
- Accent trees will be used to define the community, neighborhood intersections, and pedestrian street crossings, as well as identify entries to the park.
- Orchard-like grid tree planting may be used in the entry areas to reinforce the agrarian theme. Trees in the orchard may be flowering, non-fruit-producing trees.
- The park will be planted with a diversity of trees to provide shade and seasonal interest, as well as to define outdoor rooms within the parks.

TREES			
STREET	USE	BOTANICAL NAME	COMMON NAME
VALPICO ROAD	Street Tree	<i>Pistacia chinensis</i> ‘Keith Dave’	Chinese Pistache
		<i>Quercus agrifolia</i>	Coast Live Oak
	Background Trees	<i>Quercus ilex</i>	Holly Oak
	Accent Tree	<i>Lagerstroemia indica</i>	Crape Myrtle
ENTRY AT VALPICO	Street Tree	<i>Ulmus parvifolia</i>	Chinese Elm
		<i>Lagerstroemia indica</i>	Crape Myrtle
	Accent Tree	<i>Chitalpa tashkentensis</i>	Pink Dawn Chitalpa
	Columnar Tree	<i>Carpinus betulus</i> ‘Fastigiata’	Southern Live Oak
	Evergreen	<i>Arbutus</i> ‘Marina’	Arbutus Marina
SUMMIT DRIVE	Street Trees	<i>Quercus palustris</i>	Pin Oak
	Accent Trees	<i>Lagerstroemia indica</i>	Crape Myrtle
		<i>Chitalpa tashkentensis</i>	Chitalpa
NEIGHBORHOOD STREETS	Street Tree	<i>Ulmus parvifolia</i> ‘Allée’	Chinese Elm
PARK AND SPECIAL LANDSCAPE FEATURE TREES		<i>Aesculus x. carnea</i> ‘Briotii’	Red Horse Chestnut
		<i>Carpinus betulus</i>	European Hornbeam
		<i>Catalpa speciosa</i>	Western Catalpa
		<i>Cedrus deodara</i>	Deodar Cedar
		<i>Chionanthus retusus</i>	Chinese Fringe Tree
		<i>Cinnamomum camphora</i>	Camphor Tree
		<i>Crinodendron patagua</i>	Lily of the Valley Tree
		<i>Fagus sylvatica</i>	European Beech
		<i>Magnolia grandiflora</i>	Southern Magnolia
		<i>Melaleuca quinquenervia</i>	Cajeput Tree
		<i>Nyssa sylvatica</i>	Sour Gum
		<i>Olea europaea</i> ‘Swan Hill’	Olive
		<i>Podocarpus species</i>	Fern Pine
		<i>Quercus sp.</i>	Oak
		<i>Quercus rubra</i>	Northern Red Oak
		<i>Sapium sebiferum</i>	Chinese Tallow Tree
		‘Swan Hill’	Swan Hill
		<i>Tipuana tipu</i>	Tipu Tree
		<i>Ulmus parvifolia</i>	Chinese Evergreen Elm
		<i>Ulmus sp.</i>	Elm
<i>Zelkova</i> ‘Green Vase’	Japanese Zelkova		
<i>Zelkova</i> ‘Village Green’	Japanese Zelkova		
<i>Zelkova serrata</i>	Sawleaf Zelkova		

Table 3.2 Tree List (to be adapted to respond to the specifics of each individual site and use)

SHRUBS AND PERENNIALS	
BOTANICAL NAME	COMMON NAME
Abelia sp.	Abelia
Acacia species	Acacia
Acanthus mollis	Bear's Breech
Agapanthus species	Lily-of-the-Nile
Arbutus unedo 'Compacta'	Dwarf Strawberry Tree
Arctostaphylos species	Manzanita
Buxus species	Boxwood
Calamagrostis 'Karl Foerster'	Reed Grass
Callistemon 'Little John'	Weeping Bottlebrush
Camellia species	Camellia
Carex	Berkeley Sedge
Carpenteria californica	Bush Anemone
Ceanothus species	Wild Lilac
Cistus species	Rockrose
Coleonema species	Breath of Heaven
Dietes sp.	Iris
Erigeron karvinskianus	Fleabane
Escallonia sp.	Escallonia
Euonymus sp.	Euonymus
Euryops pectinatus	Golden Bush Daisy
Festuca californica	'Elijah Blue' California Fescue
Galvezia speciosa	Island Bush Snapdragon
Gazania sp.	—
Geranium sp.	Cranesbill
Helictorichon sempervirens	Blue Oat Grass
Hemerocallis sp.	Day Lily
Heteromeles arbutifolia	Toyon
Heuchera sanguinea	Coral Bells
Hydrangea sp.	Hydrangea
Ilex aquifolium	Holly
Iris douglasiana	Douglas Iris
Juncus patens 'Elk Blue'	California Gray Rush
Lantana species	Lantana
Lavandula sp.	Lavender
Leymus 'Canyon Prince'	Canyon Prince Wild Rye
Liriope muscari	Big Blue Lilyturf
Lomandra longifolia	Draft Mat Rush
Loropetalum chinense	Red Fringe Flower
Mahonia repens	—
Mimulus sp.	Monkey Flower
Miscanthus sinensis 'Adagio'	(no common name)
Muhlenbergia rigens	Deer Grass
Myrica californica	Pacific Wax Myrtle
Myrtus communis	Myrtle
Nandina sp.	Heavenly Bamboo
Nerium oleander	Oleander

Table 3.3 Recommended Shrubs/Perennials

continued on next page

SHRUBS AND PERENNIALS	
BOTANICAL NAME	COMMON NAME
Phormium tenax	New Zealand Flax
Pittosporum crassifolium	—
Pittosporum tenuifolium	—
Polystichum muniturm	Western Sword Fern
Rhamnus ‘Eve Case’	Coffeeberry
Rhododendron	Rhododendron
Rosa sp.	Rose
Rosmarinus sp.	Rosemary
Salvia sp.	Sage
Santolina sp.	Lavender Cotton
Senecio cineraria	Dusty Miller
Sollya heterophylla	Australian Creeper
Spirea sp.	Spirea
Syringa vulgaris	Lilac
Teucrium sp.	Germander
Viburnum sp.	Viburnum
Wistorgia fruticosa	Coast Rosemary
Xylosma congestum	Shiny Xylosma

Continued Table 3.3 Recommended Shrubs/Perennials

GROUNDCOVERS	
BOTANICAL NAME	COMMON NAME
Bergenia crassifolia	Winter-BloomingBergenia
Ceanothus species	Wild Lilac
Convolvulus mauritanicus	Ground Morning Glory
Coprosma ‘Verde Vista’	—
Dymondia margaretae	—
Festuca sp.	Fescue
Fragaria chiloensis	Wild Strawberry
Gazania sp.	—
Helictotrichon sempervirens	Blue Oat Grass
Hemerocallis sp.	Day Lily
Iris douglasiana	Douglas Iris
Lantana sp.	Lantana
Liriope muscari	Lily Turf
Myoporum parvifolium	—
Osteospermum fruticosum	Trailing African Daisy
Rosmarinus officinalis ‘Prostratus’	Prostrate Rosemary
Scaevola ‘Mauve Clusters’	—
Stipa pulchra	Purple Needlegrass
Trachelospermum asiaticum	—
Vinca minor	Dwarf Periwinkle

Table 3.4 Recommended Groundcovers

VINES	
BOTANICAL NAME	COMMON NAME
Campsis radicans	(no common name)
Clematis armandii	Evergreen Clematis
Clytostoma callistegiodes	Lavender Trumpet Vine
Distictis sp.	Trumpet Vine
Hardenbergia violacea	Happy Wanderer
Jasminum polyabthum	Jasmine
Parthenocissus tricuspidata	Boston Ivy
Solanum jasminoides	Potato Vine
Wisteria sinensis	Chinese Wisteria

Table 3.5 Recommended Vines

### 3.2.9 UTILITIES

The City of Tracy Master Plans identify the improvements required for the maximum buildout of the Avenues. Existing utility systems that are of adequate capacity will be utilized to serve the Avenues. In the event that the existing infrastructure does not have sufficient capacity to serve the project, additional improvements will be constructed to supplement or provide additional capacity.

#### 3.2.9.1 Domestic Water

##### Service Provider

The City of Tracy provides potable water service in the City of Tracy.

##### Water Supply

The City of Tracy has multiple sources of water including groundwater wells and surface water from the Central Valley Project and the South County Water Supply Project. The City treats the surface water obtained from the Central Valley Project at its John Jones Water Treatment Plant located near the airport in the southeast portion of the City. The surface water obtained from the South County Water Supply Project is treated and delivered to the City by the South San Joaquin Irrigation District.

##### Existing Facilities

The City’s water system is comprised of two existing Pressure Zones (One and Two) and a planned third zone (Three). Avenues is located in Pressure Zone Two which serves areas between elevation 75 and 150. Treated water leaves the City’s water treatment plant at Zone 2 Pressure. There is an existing 24" Zone

2 water main in Corral Hollow Road and an existing 16" water main in Valpico Road. There is also a planned 12" Zone 3 water main in Summit Drive, under construction by Ellis, which will extend to the south side of the project.

##### Master Plan Improvements

The City of Tracy completed the Citywide Water System Master Plan in December 2012. The Master Plan identified the required potable and recycled water system facilities required to serve the buildout of the City’s General Plan including existing and future service areas within the Sphere of Influence. Avenues was included as a future project in the Master Plan.

The Master Plan recommended treatment, storage, pumping, and piping improvements as well as new groundwater wells to support the General Plan buildout of the City. These improvements include the improvements needed for Avenues, which is the extension of a 12" water main in Summit Drive through Avenues with an emergency PRV at the connection to the planned 12" Zone 3 water main, under construction by Ellis, at the southerly project boundary to the existing 16" water main in Valpico Road.

Avenues will participate in the implementation of the water system Master Plan through the payment of fees, and/or the construction of improvements, which will include a credit and reimbursement agreement.

##### Projected Water Demand

The projected water demand was calculated for Avenues using the water demand factors contained in the Master Plan. Table 3.6 shows the projected water demand of 232,065 gpd based on the Master Plan Generation factors.

PROJECTED WATER DEMAND				
Land Use	Acres (ac)	Dwelling Units (du)	Demand Factor (gpd/du or ac)	Average Daily Demand (gpd)
Residential	90.5	480	450	216,000
Park <sup>1</sup>	4.5	—	3,570 <sup>1</sup>	16,065
<b>TOTAL</b>	<b>95</b>	<b>480</b>		<b>232,065</b>

<sup>1</sup> Park Demand Factor is based on 4 acft/AC/year from the Master Plan

Table 3.6 Projected Water Demand

**Specific Plan Improvements**

The proposed water improvements for Avenues will consist of a conventional on-site water system with mains, services and fire hydrants designed in accordance with the City of Tracy Design Standards.

**3.2.9.2 Wastewater Treatment**

**Service Provider**

The City of Tracy provides wastewater collection and treatment in the City of Tracy.

**Existing Facilities**

There is a proposed 8" sanitary sewer main in Summit Drive, under construction by Ellis, on the south side of the project that is not intended to serve Avenues. There is an existing 18" sanitary sewer main in Corral Hollow Road near the intersection of Parkside Drive which flows northerly in Corral Hollow Road increasing in size and eventually reaching the City of Tracy Wastewater Treatment Plant located near Holly Drive and W. Larch Road north of Interstate 205. The Avenues, upon Final Map approval, is expected to be allocated existing capacity if available for development.

**Master Plan Improvements**

The City of Tracy completed a Wastewater Master Plan in December 2012. The Master Plan identified infrastructure requirements for both wastewater treatment and conveyance based on wastewater flows from existing and future service areas. Avenues was included as future residential in the Master Plan.

The Master Plan recommends a phased expansion of the existing wastewater treatment plant from its current capacity of 10.8 mgd to 21.0 mgd and also recommends conveyance improvements for the east and west catchment areas in the City. Avenues is located in the west catchment area which will include an extension of the existing Corral Hollow Road Sewer from Parkside Drive to W. Linne Road as well as upgrades to increase the capacity of the existing Corral Hollow Road Sewer, a new Lammers Road Sewer and other downstream improvements.

Construction plans for the first phase of upgrades to the existing Corral Hollow Road sewer, downstream from Parkside Drive, and the extension of the Corral Hollow Road sewer, from Parkside Drive to Linne Road have been completed. Construction of both of these projects is expected to occur in 2017/2018 and be available to serve the Avenues project.

Avenues will participate in the implementation of the Wastewater Master Plan through the payment of fees and/or the construction of Master Plan facilities with corresponding fee credit and reimbursement agreement.

**Projected Wastewater Demand**

The projected wastewater demand was calculated for Avenues using the wastewater generation factors contained in the Master Plan. Table 3.7 shows a projected wastewater demand of 126,720 gpd.

PROJECTED WASTEWATER DEMAND				
Land Use	Acres (ac)	Dwelling Units (du)	Demand Factor (gpd/du or ac)	Average Daily Demand (gpd)
Residential	90.5	480	264	126,720
Park	4.5	—	—	0
<b>TOTAL</b>	<b>95</b>	<b>480</b>	<b>264</b>	<b>126,720</b>

Table 3.7 Projected Wastewater Demand

**Specific Plan Improvements**

The proposed wastewater improvements for Avenues will consist of a conventional on-site gravity sanitary sewer system with mains, manholes, and laterals designed in accordance with the City of Tracy Design Standards. The on-site sanitary sewer mains will collect wastewater from the homes and direct it towards Summit Drive and then from south to north in Summit Drive towards Valpico Road.

The proposed wastewater improvements will also include an off-site sanitary sewer main in Valpico Road that will convey wastewater from Avenues and connect to the extension of the proposed Corral Hollow Road Sewer as described in the Tracy Wastewater Master Plan. In the event that the Corral Hollow Road Sewer has not been extended from Parkside Drive to Valpico Road, Avenues may construct it and enter a fee credit and reimbursement agreement with the City of Tracy.

**3.2.9.3 Recycled Water**

**Service Provider**

The City of Tracy is planning to provide recycled water services to portions of the City of Tracy.

**Existing Facilities**

There is a planned 8" recycled water main in Summit Drive, under construction by Ellis, on the south side of the project.

**Master Plan Improvements**

The City of Tracy has a Citywide Water System Master Plan. The Master Plan identified the potable and recycled water system facilities required to serve the buildout of the City’s General Plan including existing and future service areas within the sphere of influence. Avenues was included as future residential as part of the Master Plan.

STORMWATER SYSTEM DEMAND AND CAPACITY REQUIREMENTS – ULTIMATE SITE				
<b>10 YEAR EVENT – EXISTING SITE</b>				
Using Rational Method (Q=CIA)				
Time of Concentration (t <sub>c</sub> ) = 67 min				
Intensity (I) = 0.32 in/hr				
	<b>C Value</b>	<b>I</b>	<b>Area</b>	<b>Volume</b>
<b>Description</b>		<b>in/hr</b>	<b>ac</b>	<b>cfs</b>
Existing Site	0.25	0.32	95.04	7.60
			<b>Q<sub>E</sub> (Peak Flow)</b>	<b>8</b>
<b>10 YEAR EVENT – PROPOSED SITE</b>				
Using Rational Method (Q=CIA)				
10 Year Event, t <sub>c</sub> = 42 min				
Intensity (I) = 0.42 in/hr				
	<b>C Value</b>	<b>Total Rainfall</b>	<b>Area</b>	<b>Volume</b>
<b>Description</b>		<b>feet</b>	<b>ac</b>	<b>cfs</b>
<b>Total Area</b>			95.0	
Residential Lots	0.35	0.42	74.0	10.88
Parks	0.20	0.42	4.0	0.34
Roads	0.95	0.42	17.0	6.79
			<b>Q<sub>P</sub> (Peak Flow)</b>	<b>18.01</b>
			<b>Q<sub>P</sub> (Peak Flow)</b>	<b>18</b>
<i>Notes</i> C Values are per the City of Tracy Design Standards, December 2008. Residential Lots = Low Density (Single Family) C=0.35 Parks = Lawn or Landscaping C=0.20 Roads = Paving C=0.95				

Table 3.8 Stormwater System Demand and Capacity Requirements

The City plans to distribute tertiary treated effluent from its Wastewater Treatment Plant located on Holly Drive.

The Master Plan recommends a main pump station and storage tank at the wastewater treatment plant, three additional pump stations, two additional storage tanks, and recycled water mains to distribute recycled water to four planned pressure zones throughout the City of Tracy. These improvements will include a 30" main in Corral Hollow Road and an 8" main along the project frontage on Valpico Road.

Avenues will participate in the implementation of the recycled water system through the payment of fees and/or construction of Master Plan facilities with a corresponding fee credit and reimbursement agreement.

#### Projected Recycled Water Demand

The proposed project landscaping areas which may be irrigated with recycled water include the entry, along the Valpico Road frontage, Summit Drive landscape strips and medians, and the proposed park.

#### Specific Plan Improvements

The proposed recycled water improvements will consist of an 8" recycled water main in Summit Drive that will provide a connection from the 8" recycled water main at the southern end of the project, under construction by Ellis, to the proposed recycled water main in Valpico Road. The recycled water main will be connected to the potable water system until recycled water is available.

#### 3.2.9.4 Storm Drain

##### Topography/Watershed

The Avenues site slopes gently from south to north at approximately 1% and has an elevation change of approximately 25'. The site is bordered by Valpico Road to the north, agricultural land to the east and west and Ellis, to the south.

#### Existing Facilities

There is an existing 54" storm drain in Summit Drive, recently constructed by Ellis, on the south side of the project. This storm drain main will drain to an interim retention basin located to the west until Detention Basin 3A (discussed below) and an extension of the storm drain is constructed through Avenues.

#### Master Plan Improvements

The City of Tracy adopted the City of Tracy Citywide Storm Drainage Master Plan (SDMP) in November 2012. The SDMP identified new storm drainage infrastructure needed to serve new development included in the City's General Plan as well as to correct existing deficiencies. Impacts associated with the implementation of improvements included in the SDMP were evaluated in the City of Tracy Citywide Storm Drainage Master Plan IS/MND adopted by the City in November 2012.

The City is comprised of a number of watersheds. Avenues lies within the Westside Channel Watershed which includes a portion of the West Side Irrigation District (WSID) main channel, the Westside Open Channel, several large diameter pipes, and a number of detention basins.

A portion of the Westside Channel Watershed lies within the Ellis Program subbasin which is generally bordered by Corral Hollow Road on the east, the Delta Mendota Canal on the south, Lammers Road on the west and Valpico Road on the north. Avenues is included, and development has been planned for in the Ellis Program.

The Ellis Program includes two detention basins, a storm drain with the equivalent capacity of a 12" storm drain extending from the South Linne detention basin to Valpico Road, a 42" storm drain from Valpico Road to the 3A detention basin and an 18" storm drain from the 3A detention basin that will connect to an existing 30" storm drain north of the Union Pacific Rail Road tracks. These improvements were evaluated in the City of Tracy Citywide Storm

Drainage Master Plan IS/MND adopted by the City in November 2012.

Avenues will participate in the implementation of the Ellis Program through the payment of fees and/or the construction of facilities with corresponding credits and reimbursements agreement.

#### Specific Plan Improvements

The proposed storm drain system for Avenues will consist of a conventional on-site storm drain system with mains, catch basins, and manholes designed in accordance with the SDMP and City of Tracy design standards.

The storm drain improvements will include the extension of the existing 54" storm drain main in Summit Drive, recently constructed by Ellis, to Valpico Road.

#### Benefit for South County Fire Authority

For the benefit of the City of Tracy and the South County Fire Authority (SCFA), the Avenues shall with the first phase of site improvements install, and connect to Ellis, the storm drain pipeline and waste water collection pipeline in Summit Drive beginning from the south boundary of the Avenues to the northern boundary of the Avenues at Valpico Road. The project shall also extend the storm drain east on Valpico Road to the point of design of the ultimate storm drain system for basin 3A, and shall extend the wastewater collection pipeline from Summit Drive to Corral Hollow Road, and make connection to the Corral Hollow Road wastewater collection pipeline. The portion of the improvements that are beyond the Avenues project responsibility, including program or public, shall be subject to a credit and reimbursement agreement.

#### 3.2.9.5 Stormwater Quality

In 2015, the City of Tracy along with four other municipal agencies, including San Joaquin County, collaborated together to develop the "Multi-Agency Post-Construction Stormwater Standards Manual" (Manual), dated June 2015. This Manual was developed to comply with post-construction requirements from the State Water Resources Control Board under the National Pollutant Discharge Elimination System Phase II Small Municipal Separate Storm Sewer System General Permit (Phase II Permit). The Manual requires full hydromodification for developments that create and/or replace one acre or more of impervious surface. The Phase II Permit requires that the post-construction stormwater runoff flow rate shall not exceed the estimated pre-project flow rate for the 2-year, 24-hour design storm event. Further, the Manual requires bio-retention as the standard, or baseline, stormwater quality treatment measure; however, upon approval by the Utilities Division, alternative measures may be used if they meet the criteria provided on page 6-3 of the Manual and are at least as effective as bioretention. On-site pre-treatment is required by the Manual and shall be incorporated unless it is determined by the Utilities Division that stormwater treatment including pre-treatment is provided elsewhere, such as Detention Basin 3A as discussed below.

The SDMP does not include the additional capacity needed to incorporate stormwater quality treatment and/or full hydromodification within Detention Basin 3A. For this reason, the City shall complete a study to determine additional cost for compliance with the Manual at Detention Basin 3A. Financial plan/fee structure for Avenues shall address fair share cost of such improvements applicable to Avenues, if Detention 3A is to be used for compliance with the Manual.

### 3.2.9.6 Solid Waste Disposal

The Avenues will generate solid waste. Based on the City of Tracy General Plan EIR, capacity at the Foothill Sanitary Landfill that serves the City is currently available and is anticipated to accommodate the Avenues through the life of the General Plan. Tracy Delta Solid Waste Management, Inc. is currently the City's service provider for the collection, transportation, and disposal of refuse and garbage, including the collection of recyclable material and would serve the Avenues.

### 3.2.9.7 Energy

Pacific Gas and Electric provides electricity and natural gas to the residents and businesses within both the City and County. The Avenues will utilize energy-saving technologies through implementing sustainable building practices including materials and mechanical systems that reduce energy consumption. Active Solar Energy Systems will be offered as an option on all homes.

In addition, the Avenues is proximate to numerous amenities that will encourage residents to bike or walk versus driving:

- Central Park — center of Avenues Neighborhood Plan
- Proposed City Swim Center — approx. 1/4 mile south of southern boundary
- Proposed Ellis Village Center — approx. 1/4 mile southeast of Central Park
- Ellis Village Park — approx. 1/4 mile southeast of Central Park
- Ace Train Stop — approx. 1 1/2 miles southeast of Avenues Neighborhood Plan area
- Future Tracy Tracer stop — approx. 3/8 mile east of Valpico Road Entrance
- Sidewalks on both sides of all streets
- Multi-use paths that connect to off-site network

## 3.3 Infrastructure Funding and Phasing

### 3.3.1 INTRODUCTION

Certain public and capital facilities are required to support the development of the Avenues. Various items of off-site public utility infrastructure may need to be expanded, upgraded, or developed. All utilities need an extension of conveyance facilities to the Avenues site. Development also necessitates a complete road network within the Avenues to allow access to all parts of the neighborhood, as well as sidewalks, bike paths, and street features to ensure that the community retains a pedestrian-friendly quality. Beyond these basic needs, the project may also place demands on other public facilities. The Avenues will include internal public facilities such as a central park that will make the community distinctive and will ensure a high quality of community life as the Avenues develops. This section describes the funding alternatives and phasing for these facilities.

### 3.3.2 PUBLIC FACILITIES FUNDING SOURCES

All public infrastructure necessary for the development of the Avenues will be constructed through a combination of funding sources including, but not limited to, the following:

- Private capital from developer in the form of development impact fees and in-kind facilities development
- Bond proceeds
- Utility connection charges, and rates charged to end-users
- Assessments on the Avenues real property (including Community Facilities Districts) related to Avenues park and landscape maintenance, or facilities identified in the Specific Plan

- Credits and reimbursements related to oversizing, including public infrastructure improvements and facilities, etc.
- Other partnerships with public and private entities
- Grants and/or other funding sources

To the extent that sufficient funding is not available from other sources, private capital from the developer will cover all infrastructure funding requirements.

The park and landscape systems will be incrementally implemented over time to match the needs of the growing community.

The project shall construct the park. Construction of the park will start no later than issuance of the 200th building permit, and the entirety of the park will be constructed at one time.

The Avenues Neighborhood Plan provides regulations on the character and amenities proposed for parks. As the park system is implemented, detailed designs will be developed for the construction of the park based on this specific plan.

### 3.3.3 USES OF PUBLIC FACILITIES FUNDS

The public improvements and capital facilities that may be required and may be financed to support the development of the Avenues include:

- Water supply from the City for the project
- Project’s share of the City’s domestic John Jones Water Treatment Facility
- Domestic water conveyance (on-site and off-site)
- Project’s share of expanding the City’s existing Wastewater Treatment Facility
- Wastewater conveyance (on-site and off-site)
- Recycled water conveyance within the Avenues project
- Off-site stormwater detention facility
- Stormwater conveyance
- Dry utilities (on-site and off-site)
- Off-site road improvements

- On-site roads, sidewalks, and trails
- Monuments and the park
- Public area landscape and lighting
- Parks and signage
- Project’s share of regional transportation facilities
- Project’s share of school facilities
- Project’s share of all public and public safety facilities
- Project’s share of library facilities

### 3.3.4 MAINTENANCE AND OPERATIONS

The maintenance of the roads, parks, and other public amenities, detailed in the Avenues Neighborhood Plan will be funded through a combination of any and all of the following:

- Standard City maintenance responsibility
- Community Facilities District
- Payment by residents of the Avenues for City water and wastewater conveyance user fees
- Other utilities (such as electricity, natural gas, and telephone) and services (such as solid waste collection) will be maintained through fees and charges of the appropriate service providers.

The streetscape system, park system, and visual icons are integral components of the Avenues community character. To ensure the desired quality of the maintenance and management of the landscape and park system, a Community Facilities District (CFD) will be utilized. The Avenues will be annexed into the EPOA. The Avenues will participate in the ECFD to support EPOA maintenance. The EPOA will implement the maintenance of:

- Frontage along Valpico Road
- Interior streetscape system within the public right-of-way
- Special landscape feature areas
- Public art (if applicable)

- Signage elements in the public right-of-way which are non-regulatory
- Temporary rolling gates (Figure 3.46)

The project shall pay park impact fees pursuant Tracy Municipal Code and adopted City Council resolutions, and submit bonds with park improvement agreement. The park agreement will address park fee credits and/or reimbursements in compliance with City regulations. City will cooperate with the developer in timely review and approval of park improvement plans and park improvement agreement. With an approved park improvement agreement, the developer will not be required to pay park impact fees. The regular street tree pattern may be interrupted at parks to announce them as special features along the street, creating visual interest and variety.

The CFD will include a comprehensive identification of long-term replacement costs, escalation factors, and ultimate build-out of the total landscape system in determining the assessment fee. This anticipatory approach will ensure that appropriate maintenance levels are preserved.

The City and EPOA have or shall enter into a maintenance agreement to set forth and facilitate among other things the required maintenance obligations, standards for maintenance, and other associated obligations(s) as well as compliance with the Avenues operations and maintenance manual, to ensure the long-term maintenance of all public park and landscape areas, and other public improvements within the ECFD boundaries. The City shall maintain all parks and enhanced crosswalk paving; the EPOA shall maintain all other public landscaping. The City and Owner or EPOA may amend and make changes agreed upon to the maintenance agreement, maintenance responsibility, and the Avenues operations and maintenances manual upon mutual consent.

### 3.3.5 FIRE STATION FUNDING AND INFRASTRUCTURE CONSTRUCTION

Prior to the issuance of the first building permit within the project, the developer will pay to the City their full share of the Public Safety impact fees for the Avenues project. The first tentative map approved within the plan area shall also be conditioned to require the Subdivider to design, construct, and install the wastewater collection line from Corral Hollow Road and storm transmission lines under Valpico Road from Summit Drive to a Fire Station site location, consistent with the City's applicable Master Plans. The City shall request these improvements and costs in writing following submittal of the first tentative map, and include designated locations for these improvements, if the Master Plans have been updated to include these improvements, and costs. The improvements shall be installed as part of the first phase of project improvements, provided the location of the Fire Station site is identified within 30 days of submittal of the improvement plans and the City provides all easements, right of ways, encroachment permits, any other permits, or other approvals as needed for the improvements. The advanced Public Safety impact fees and the storm drainage, wastewater improvements shall be eligible for reimbursement and/or fee credits pursuant to applicable law once the improvement agreement(s) is effective. The City and Subdivider shall use best faith efforts to form a community facilities district for the Avenues to, among other things, fund an amount equal to the full build out amount of the Public Safety fee, and other impact fees for the Avenues project.

### **3.3.6 IMPLEMENTATION**

Implementation of the Financing Plan may require the execution of several elements including, but not limited to, the following:

- Reimbursement and fee credit agreements
- Covenants, conditions, and restrictions
- Applications and grants for State and Federal funding
- Bond financing
- A Community Facilities District (CFD)
- Property Owners Association (POA)

# Chapter 4. Plan Review





## 4.1 Entitlement Process

This ESP and accompanying approvals, including certification of the Revised Environmental Impact Report and subsequent addendum, provide the basic authority of the development of a minimum of 1,380 units and a maximum of 2,730 residential units (not including secondary residential units); up to 180,000 square feet of retail, civic, office, and other commercial uses; neighborhood parks; and a proposed Aquatic Park serving as a Community Park.

## 4.2 Subdivisions

All subdivision maps shall be processed in accordance with State law, the Tracy Municipal Code, applicable City standards, and the Subdivision Map Act.

All streets, sidewalks, landscaping, and other public property improvements shall be consistent with regulations and guidelines of this ESP. Each tentative map application shall demonstrate compliance with the street sections, lot sizes, and other standards of the ESP, to the extent applicable on the tentative map. The submittal requirement of conceptual architectural elevations for vesting tentative maps has been satisfied by the ESP, Appendix A1 for the Ellis Neighborhood, and Appendix B1 for the Avenues Neighborhood. Review of the architectural elevations for specific development proposals will be addressed through the appropriate Pattern Book Certification process or the Development Review process. The form and content of the Final Map shall conform to the requirements of the Tracy Municipal Code and State law.

## 4.3 Development Review for the Avenues Neighborhood

Before a building permit may be obtained for any building or improvement within the Avenues Neighborhood, a Tentative Subdivision Map shall be submitted to the Development Services Department and the applicant must first obtain Development Review approval in accordance with the State law and the Tracy Municipal Code. Improvements are subject to the regulations contained in Chapter 3 of this ESP and the design guidelines established in Appendix B1: Avenues Pattern Book.

The Entry Monument Building (Pump House) (Figure 3.35) shall be permitted as depicted in the Sign Program, without Development Review.

## 4.4 Pattern Book Certification

The Neighborhood Pattern Books guide the development of new single-family or two-family dwellings plus commercial buildings within the Ellis and Avenues Neighborhoods and work in conjunction with the ESP to create and implement the vision for Ellis Specific Plan area. The Ellis Neighborhood Pattern Book is Appendix A1, and the Avenues Neighborhood Pattern Book is Appendix B1.

Before a building permit may be obtained, the applicant must first obtain a Pattern Book Certification (PBC) by the City to demonstrate that the proposal is in compliance with the site development and architectural patterns set forth in Appendix A1 or B1, as appropriate. Compliance with the ESP and Pattern Book is required for all improvements except as provided below. Pattern Book Certification is not required for (1) residential swimming pools, patio covers, shade structures, or similar residential accessory structures; (2) interior improvements such as plumbing, electrical or partition wall modifications where no modifications or improvements are made to or affect the appearance from the exterior of the structure; or (3) modifications to existing structures that have already received PBC and are in substantial compliance with the architecture, site plan, and other elements of the certified plans and the Pattern Book.

### Pattern Book Certification

In order to obtain PBC, the applicant shall submit the following to the Development and Engineering Services (DES) Department:

- 1 Completed City of Tracy Development Application Form;
- 2 Application processing fee as established by Resolution of the City Council;
- 3 Five copies (15 for non-residential projects) of a detailed site plan showing all existing and proposed improvements on the site;

- 4 Five copies (15 for non-residential) of architectural elevations for all sides of proposed structures; including one color rendering of each street facing elevation;
- 5 A check list showing how the proposed site plan and architecture comply with the Pattern Book;
- 6 Five copies of a preliminary landscape plan for non-residential projects; and
- 7 For non-residential projects, all sewer, water, storm drainage and other utility plans and information as required by the City Engineer.

Upon receipt of a PBC application and checklist, the DES Department shall determine whether the application is complete for processing within 30 days. If the application is incomplete, the Department shall notify the applicant, in writing, of all specific items to complete the application. After receipt of a complete application, the DES Director shall approve, conditionally approve, or deny the application. The DES Director determination for residential projects shall be made within 10 days from receipt of a complete application and within 30 days for a mixed-use or non-residential project. The submittal shall be in compliance with the appropriate Pattern Book Checklist. If the DES Director determines that the submittal is not in compliance with the Pattern Book Checklist he /she shall have the option to refer the application to the Planning Commission for review of conformance with the Checklist.

The DES Director's, or Planning Commission's, determination for approval regarding PBC shall be based on the finding that the project application is consistent with the ESP and appropriate Pattern Book site design, architecture, and all other standards and guidelines as determined by conformance to Pattern Book checklist.

## 4.5 Interpretation

Every effort has been made with the ESP to provide policies and regulations that are clear; however, interpretations will be necessary when issues that were not anticipated arise. The DES Director is responsible for interpretation of the ESP.

If any situation arises in the implementation of the ESP that is not addressed by specific development regulations or if an issue, condition, or situation arises that is not clearly addressed in the ESP, the DES Director shall provide an interpretation based on such City codes, goals, policies, plans, and requirements as are most closely related to the subject matter of the issue or situation to be interpreted.

In all matters, if there is a conflict between the provisions of the ESP and the provisions of the Tracy Municipal Code, the ESP shall prevail. As to matters not categorically superseded and not otherwise specifically addressed by the ESP, the Tracy Municipal Code shall apply and shall be interpreted in a manner that is consistent with the goals and objectives of the ESP.

Administrative interpretations of the DES Director may be appealed pursuant to the appeal procedures and timelines set forth in the Tracy Municipal Code regarding appeals of administrative interpretations.

## 4.6 Minor Variations to the Neighborhood Plans or Pattern Books

Proposed variations to the ESP or a Pattern Book that substantially conform to the standards, regulations, and guidelines of the Ellis Specific Plan, and are not in conflict with any provisions of the Tracy Municipal Code that may apply to the ESP, may be permitted as “Minor Variations.” Minor Variations may include, but are not limited to:

- 1 Allowance of a use not listed in the Permitted and Conditionally Permitted Uses matrix (Table 2.2), if the use is consistent with or similar to the ESP designation for the area in which the use is requested.
- 2 Changes to numbers or letters establishing or referencing text sections or figures, including references to Tracy Municipal Code sections.
- 3 Modifications to park and public space designs described in Chapters 2 and 3 of the ESP.
- 4 Modifications to informational material contained in the ESP or the Pattern Book that does not have regulatory effect.
- 5 Any other modifications determined by the DES Director to be in accordance with the required findings for a Minor Variation.
- 6 Modifications to approved architectural styles.
- 7 Approval of and changes to the appropriate Pattern Book Color Palette.
- 8 Changes to garage types.
- 9 Refinements to building massing and composition.

A request for a Minor Variation shall be submitted in writing to the DES Department and shall include an application processing fee equal to the Development Review Class B fee, and shall include the specific text, exhibits, or other changes proposed for the Minor Variation and other applicable material, if any, to the

DES Department in order to review the proposal and document all of the findings identified below.

All approved Minor Variations shall be documented in writing and maintained by the City with the ESP. A Minor Variation is not intended to replace the Variance process or approve Variances described in the Tracy Municipal Code.

The DES Director, acting upon any application for a Minor Variation that is determined to be complete, shall take the following steps: (1) approve the request, (2) approve the request with conditions or modifications, and/or (3) deny the request, or (4) refer the request to the Planning Commission for consideration, if after meeting with the applicant no resolution is possible. In order to approve a Minor Variation, the DES Director must make all of the following findings for the Minor Variation:

- 1 The Minor Variation substantially conforms to the standards, regulations, and guidelines of the ESP.
- 2 The Minor Variation is not in conflict with any provisions of the Tracy Municipal Code that apply to the ESP.
- 3 The Minor Variation will not adversely affect public health, safety, or welfare.
- 4 The Minor Variation will not adversely affect adjacent property.
- 5 The Minor Variation will not have adverse environmental effects that have not been previously analyzed

## 4.7 Amendments to the Specific Plan, Pattern Books, or Sign Programs

An amendment to the Ellis Specific Plan, Pattern Books, and/or Sign Programs that is not a Minor Variation shall be processed in accordance with the applicable State Government Code sections and applicable Tracy Municipal Code sections for Specific Plan Amendments.

It is the intent of the City and the property owners that environmental review for future discretionary approvals required to implement the Ellis Specific Plan rely, to the maximum extent allowed by law, upon the previously certified, adopted and approved environmental documents prepared for the original Ellis Specific Plan and the Avenues Specific Plan, and subsequent amendments and addendum, pursuant to the California Environmental Quality Act. Applications for ESP amendments shall be made to the City in writing in a form prescribed by the City.

## 4.8 Specific Plan Compliance and Enforcement

The DES Director is responsible for enforcing the provisions of the Tracy Municipal Code Title 10 and the ESP. The regulatory elements of the ESP are enforceable pursuant to the enforcement requirements of the Tracy Municipal Code.

## 4.9 Conditional Use Permits

Conditionally permitted uses are identified in Table 2.2 Permitted and Conditionally Permitted Uses. Conditional Use Permits shall be processed in accordance with Tracy Municipal Code, Chapter 10.08, Article 34.

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# Chapter 5. Glossary





**ACRES, GROSS:** The entire acreage of a site, including all easements and rights-of-way; or the entire acreage of the site as shown on a recorded map. Calculated to the centerline of proposed bounding streets and to the nearest edge of the right-of-way of existing or dedicated streets.

**ACRES, NET:** The portion of a site that can actually be built upon. The following are not included in the net acreage of a site: public or private road rights-of-way and public open space.

**ACRES, UNITS PER GROSS:** Units divided by gross acres. Units per gross acre is to be calculated less Aquatic Park, School Site, Outer Approach/Departure Zone, and pipeline encumbered acres.

**ALUCP OUTER APPROACH/DEPARTURE ZONE:** The Outer Approach/Departure Zone is defined in Section 3.1.1. (d) of the 2009 San Joaquin County Aviation System Airport Land Use Compatibility Plan (ALUCP), as Zone 4, Outer/Approach Departure Zone situated along extended runway centerline beyond Zone 3. Approaching aircraft are usually at less than traffic pattern altitude in Zone 4. Prohibited Uses and other conditions within the Outer Approach/Departure Zone are limited to those identified in Table 3A of Section 3.1.1. – of the 2009 San Joaquin County Aviation System Airport Land Use Compatibility Plan.

**AMENITY OR AMENITIES:** A feature that increases attractiveness or value, especially of a piece of property; something that increases physical or material comfort; social courtesies; civilities.

**ARCHITECTURAL ACCENT:** A permanent decorative panel.

**ARTERIAL ROADS:** A major four-lane road serving local and longer distance travel. Arterial roads enable through traffic between collector roads and expressways, highways, and freeways. Arterial roads provide some limited access to adjoining properties.

**BBID:** Byron-Bethany Irrigation District.

**BULBOUTS:** A curb extension at an intersection used to shorten the pedestrian crossing distance; may also be used to shield on-street parking and create planter areas.

**CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA):** The State statutes and guidelines enacted by the California legislature in 1970 and as subsequently amended (Public Resources Code, Section 21000 et. Seq.) that contains a process for conducting environmental review for projects.

**CALTRANS:** California Department of Transportation.

**CAPITAL IMPROVEMENT PROGRAM (CIP):** A program established by a city or county government and reviewed by its planning commission, which schedules permanent improvements, usually for a minimum of five years in the future, to fit the projected fiscal capability of the local jurisdiction. The program generally is reviewed annually, for conformance to and consistency with the General Plan.

**CIRCULATION:** Free movement or passage; in this document, refers to vehicular and pedestrian movement within the neighborhood and between the neighborhood and its environs.

**CITY:** The City of Tracy, California.

**CITY-BBID CONTRACT:** A contract under negotiation between the City and BBID that would cause water allocations to individual projects to be transferred to the City for incorporation into the City's water supply system.

**CLASS 1 BIKEWAY (BIKE PATH):** Provides a completely separated right-of-way for the exclusive use of bicyclists and pedestrians.

**CLASS 2 BIKEWAY (BIKE LANE):** Provides a striped lane for one-way bike travel on a street or a highway.

**CLASS 3 BIKEWAY (BICYCLE ROUTE):** Provides connections to either Class 1 or Class 2 facilities. Class 3 facilities have no special lane markings, bicycle traffic shares the roadway with motor vehicles.

**COLLECTOR STREETS:** An intermediate-sized street generally smaller than arterial roads and larger than a neighborhood street.

**COLONIAL REVIVAL:** The reuse of Georgian and colonial design in the U.S. in the late nineteenth and early twentieth centuries.

**COMMUNITY SERVICES:** Utilities (such as water, gas, electricity, and sewer) and public services (such as police, fire, schools, parks, and recreation) provided to an urbanized or urbanizing area.

**COMMUNITY SERVICES DISTRICT:** A type of multi-function Special District (a separate local government that delivers public services to a particular area) providing one or more Community Services.

**CPUC:** California Public Utility Commission.

**CRAFTSMAN STYLE:** Originating in the late nineteenth century, this architectural style in the U.S. was influenced by the Arts & Crafts movement in England which emphasized the use of hand-crafted elements and natural materials instead of mass-produced components that were part of the industrialization and standardization of building components. Two California architects, Harry and Charles Greene, were among the first to design extensively in this style, producing designs for small, affordable, and very popular houses they called “bungalows.” Typical style characteristics include relatively shallow pitch roofs with broad overhangs; open soffits with exposed rafters, brackets and braces of heavy timber; asymmetrical massing and window and door arrangements; inlet porches with tapered wood columns or piers with columns above; use of several materials on the exterior (e.g., a mix of stone, wood, shingle, and brick).

**CUP:** A Conditional Use Permit issued in accordance with the process set forth in the Tracy Municipal Code.

**CURB CUTS:** Interruptions in a concrete border or row of joined stones forming part of a gutter along the edge of a street, frequently to accommodate a driveway.

**DENSITY:** The measure of the ratio of population to the area of land occupied by that population, which may be expressed as dwelling units per acre, families per acre, persons per acre, or conversely, as acres per dwelling unit or square feet per dwelling unit.

**DENSITY, GROSS:** The ratio of dwelling units within the distinct boundaries of any property including the area to the center of an abutting street or access.

**DENSITY, RESIDENTIAL:** The number of permanent residential dwelling units per acre of land.

**DEVELOPMENT:** Any activity which occurs on land or water that involves the placement of any structure, the discharge or disposal of any waste material, grading, dredging or mineral extraction. This definition includes any change in use, density, and/or intensity including the subdivision of land, construction of any structure, and the removal or harvesting of major vegetation including land clearing other than for agricultural purposes.

**DEVELOPMENT AGREEMENT:** A legislatively approved contract between a jurisdiction and a person having legal or equitable interest in real property within the jurisdiction (California Government Code §65865 et. seq.) that “freezes” certain rules, regulations, and policies applicable to development of a property for a specified period of time, usually in exchange for certain concessions by the owner.

**DIVERSITY BY DESIGN:** Housing choices in urban areas that are attractive, accessible to parks, transit, work, shopping, and other amenities, and appealing to a broad spectrum of the population.

**DWELLING UNIT:** A room or group of rooms (including only one kitchen) that constitute an independent housekeeping unit, occupied or intended for occupancy by one household on a long-term basis.

**EASEMENT:** A right, as a right-of-way, afforded a person to make limited use of another's real property.

**ELEVATION:** Referring to the front, side, or rear of a structure taken as a complete composition with all of its building elements.

**EMPLOYMENT CENTER:** Geographic area exemplified by a high concentration of employment opportunities.

**ELLIS PLAN AREA:** The area covered by the ESP.

**ENCROACHMENT:** A gradual intrusion on the rights or possessions of another (e.g., a road which encroaches on a city park).

**ENVIRONMENT:** The physical conditions that exist within the area that will be affected by a proposed project including, but not limited to, land, air, water, minerals, flora, fauna, ambient noise, and objects of historic or aesthetic significance.

**ESP:** See Ellis Specific Plan.

**FACADE:** The face of a building.

**FEASIBLE:** Capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, social, and technical factors.

**FULL SPECTRUM OF HOUSING:** Housing availability within a community that presents desirable housing opportunities for individuals and families across the full range of income levels.

**GENERAL PLAN (GP):** The City of Tracy General Plan as adopted in July 2006, and amended from time to time.

**HARDSCAPE:** Impervious and permeable paving materials.

**HIGHWAY:** Major road developed and maintained by the State of California. Highways enable through-traffic throughout the state and provide linkages to the overall highway system of the state. Highways typically provide only limited direct access from adjoining properties.

**HOUSEHOLD:** All those persons — related or unrelated — who occupy a single dwelling unit.

**IMPACT FEE:** A fee, also called a development fee, levied on the developer of a project by a city, county, or other public agency as compensation for otherwise-unmitigated impacts the project will produce. Government Code Section 66000, et seq., specifies that development fees shall not exceed the estimated reasonable cost of providing the service for which the fee is charged. To lawfully impose a development fee, the public agency must verify its method of calculation and document proper restrictions on use of the funds.

**IMPERVIOUS SURFACE:** Surface through which water cannot penetrate, such as roof, road, sidewalk, and paved parking lot. The amount of impervious surface increases with development and establishes the need for drainage facilities to carry the increased runoff.

**IMPROVEMENT:** Such street work and utilities to be installed, or agreed to be installed (for which a security instrument is first accepted), by the subdivider on the subdivision or land adjacent thereto to be used for public or private streets, highways, ways, and easements, as are necessary for the general use of the lot owners in the subdivision and local neighborhood traffic and drainage needs as a condition precedent to the approval and acceptance of the parcel or final map thereof. Improvement also refers to such other specific improvements, the installation of which, either by the subdivider, by public agencies, by private utilities, by any other entity approved by the local agency or by a combination thereof.

**INDIGENOUS:** Living or occurring naturally in a specific area or environment; native; intrinsic to a place.

**INFRASTRUCTURE:** The various systems and facilities needed to support the operation of a community (e.g., sewer and water systems, electric systems, communication lines, roads).

**KNOCK DOWN:** Designed to be assembled and disassembled easily and quickly; a device or mechanism designed to be assembled and disassembled quickly and easily.

**LANE:** A paved right-of-way between or behind buildings.

**LIVE /WORK:** A predominantly residential mixed-use building type that accommodates commercial activity as a secondary use.

**LOT:** A unit of land which has been created under the provisions of the Subdivision Map Act or any prior law regulating the division of land or a local ordinance enacted pursuant thereto or was created prior to the time any local or state law regulated divisions of land or which were not subject to any local or state regulation at the time of its creation. Lots crossed by public road or highway rights-of-way will not be considered to have been ‘subdivided’ by such a road or highway. Except where a legal determination by the County concludes otherwise for a particular ownership, contiguous lots conveyed by U.S. patent or aggregated under a single ownership will be considered as a single lot.

**MARKET-RATE:** An unregulated price driven by free market demand.

**MASSING:** The shape of the volume of the building.

**MITIGATION:** Measures taken which make something less severe or intense.

**ELLIS SPECIFIC PLAN:** This specific plan.

**MURAL:** A painting executed directly on a wall or on a permanently-affixed wall panel.

**NOISE:** Any sound that is undesirable because it interferes with speech and hearing, or is intense enough to damage hearing, or is otherwise annoying. Noise, simply, is unwanted sound.

**OPEN SPACE:** Any open land that is predominantly lacking in structural development. Open space includes natural areas, wetlands and open water, wildlife habitats, areas of managed production of resources such as farmlands and grazing areas, open areas requiring special management or regulation to protect public health and safety, and outdoor recreational areas. The term ‘open space’ does not imply public access or ownership.

**PARCEL:** For a definition of parcel, see lot.

**PARK STRIP:** See verge.

**PARKING AREA OR LOT:** An open portion of land with an impervious surface designed and used for parking of vehicles, includes parking spaces, aisles, and maneuvering areas.

**PEDESTRIAN-SCALE:** In scale with a person walking.

**PLANNING MANAGER:** The Planning Manager for the City of Tracy or a person in a position that is similar in nature, job description, and authority but having a different job title (Examples: Director of Planning; Director of Planning, Building and Zoning; Chief of Planning) who is the head of the Planning Department or Division or equivalent City organizational unit having the same general responsibilities.

**POLICY:** A specific statement guiding action and implying a clear commitment.

**PRESERVATION:** Use of long-term or permanent safeguards to guarantee the viability of natural or man-made resources.

**PUBLIC UTILITY:** A company regulated by the California Public Utilities Commission or other regulatory body including the City of Tracy.

**RECREATIONAL VEHICLE:** Single-axle or multiple-axle non-self-propelled structure mounted on wheels

or otherwise capable of being made mobile, and other types of vehicles including, but not limited to, travel trailers, self-propelled motor homes, or campers used for any purpose (for example, residential, recreational), but not a municipal or governmental purpose.

**REVISED ENVIRONMENTAL IMPACT REPORT (REVISED EIR):** A report statement setting forth the environmental effects and considerations pertaining to a project as specified in CEQA. An EIR document is prepared to inform the public and decision makers about the potential environmental impacts caused by implementation of a project.

**ROAD, PUBLIC:** See Street, Public.

**RIGHT-OF-WAY:** A strip of land occupied or intended to be occupied by certain transportation and public use facilities, such as public and private roads, railroads, and utility lines.

**SECOND UNIT:** A separate residential unit created on a lot which already contains one legally created residential unit.

**SETBACK:** A defined recession from a given property line or zone within a property that establishes the allowable placement of a structure, except fences on a specific piece of property.

**SIGN STRUCTURE:** A structure which supports a sign.

**SPECIFIC PLAN:** In California, a tool authorized by Government Code §65450 et seq. for the systematic implementation of the General Plan for a defined portion of a community's planning area. A Specific Plan must specify in detail the land uses, public and private facilities needed to support the land uses, phasing of development, standards for the conservation, development, and use of natural resources, and a program of implementation measures, including financing measures.

**STREET, PUBLIC:** An avenue, place, way, drive, lane, boulevard, highway or road, but not an alley, owned by or maintained by a state, county, or incorporated city, or other public agency.

**STREETSCAPE:** The appearance or view of a street; an environment of streets.

**STRUCTURE:** That which is built or constructed, an edifice or building of any kind, or any piece of work artificially built up or composed of parts joined together in some definite manner whether constructed on- or off-site.

**SUBDIVIDER:** A person, firm, corporation, partnership, or association who owns the property or represents the owner and who proposes to divide, divides, or causes to be divided real property into a subdivision for oneself or for others. Employees and consultants of such person or entities, acting in such capacity, are not subdividers.

**SUBDIVISION:** The division, by any subdivider, of any unit or units of improved or unimproved land, or any portion thereof, shown on the latest equalized County Assessment Roll as a unit or as contiguous units, for the purpose of sales, lease, or financing whether immediate or future. Property is considered as contiguous units, even if it is separated by roads, streets, utility easements or railroad rights-of-way. This definition includes a condominium, community apartment project, stock cooperative, and a conversion.

**TRANSIT CENTER:** Location or place designed for the interface of different modes of transportation.

**USE EASEMENT:** See Easement.

**VERGE:** The edge projecting over the gable of a roof. Also, the area of planting, lawn, or pavement between the sidewalk and the curb on a street.

**ZONING:** The division of a city or county by legislative regulations into areas, or zones, that specify allowable uses for real property and size restrictions for buildings within these areas; a program that implements policies of the General Plan and any General Plan Updates.

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# Appendix C: Ellis Specific Plan Area



Appendix Figure 1.1 Ellis Specific Plan Boundary

# Appendix D: Amendments

ORDINANCE 1266

AN ORDINANCE OF THE CITY OF TRACY APPROVING AN AMENDMENT TO THE ELLIS SPECIFIC PLAN FENCE REGULATIONS AND MINIMUM LOT WIDTH REQUIREMENTS, APPLICATION NUMBER SPA19-0001

WHEREAS, The Ellis Specific Plan was approved by the City Council on January 22, 2013 and amended by the City Council on May 17, 2016 and March 13, 2018, and

WHEREAS, The Ellis Specific Plan serves as the zoning regulations for the approximately 321-acre site known as Ellis, which is located in the vicinity of Ellis Town Drive between Corral Hollow Road and Lammers Road, and

WHEREAS, On January 11, 2019, The Surland Companies submitted an application for an amendment to the Ellis Specific Plan fence regulations and minimum lot width requirements (Application Number SPA19-0001), and

WHEREAS, The current Ellis Specific Plan fence regulations state that a street side yard fence is permitted only in the rear half of a lot, and

WHEREAS, The proposed amendment would remove the limitation of a street side yard fence being permitted only in the rear half of a lot, and

WHEREAS, The proposed amendment would also establish that fences must be setback two feet minimum from the front property line, and

WHEREAS, The proposed amendment would modify the minimum lot width for the Residential Mixed Zone (for front loaded lots, detached) from 50 feet to 45 feet, and

WHEREAS, The proposed amendment is consistent with the City's General Plan, and

WHEREAS, The proposed amendment to the Ellis Specific Plan is not a project within the meaning of the California Environmental Quality Act because it does not have the potential for causing a significant effect on the environment (CEQA Guidelines, 14 California Code of Regulations, §15061(b)). Therefore, no further environmental assessment is required, and

WHEREAS, The Planning Commission considered this matter at a duly noticed public hearing held on January 23, 2019 and recommended that the City Council approve the amendment to the Ellis Specific Plan fence regulations and minimum lot width requirements, and

WHEREAS, The City Council considered this matter at a duly noticed public hearing held on February 5, 2019 and continued the public hearing to February 19, 2019;

The City Council of the City of Tracy does ordain as follows:

SECTION 1. The foregoing recitals are true and correct and are incorporated herein as findings.

Ordinance 1266  
Page 2

SECTION 2. The City Council hereby approves the amendment to the Ellis Specific Plan fence regulations and minimum lot width requirements, Application Number SPA19-0001, as shown in Exhibit "1" attached.

SECTION 3. This Ordinance shall take effect 30 days after its final passage and adoption.

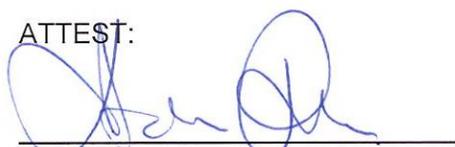
SECTION 4. This Ordinance shall either (1) be published once in a newspaper of general circulation, within 15 days after its final adoption, or (2) be published in summary form and posted in the City Clerk's office at least five days before the ordinance is adopted and within 15 days after adoption, with the names of the Council Members voting for and against the ordinance. (Gov't. Code §36933.)

\* \* \* \* \*

The foregoing Ordinance 1266 was introduced at a regular meeting of the Tracy City Council on the 19<sup>th</sup> day of February 2019, and finally adopted on the 5<sup>th</sup> day of March, 2019, by the following vote:

AYES: COUNCIL MEMBERS: ARRIOLA, RANSOM, VARGAS, YOUNG, RICKMAN  
NOES: COUNCIL MEMBERS: NONE  
ABSENT: COUNCIL MEMBERS: NONE  
ABSTAIN: COUNCIL MEMBERS: NONE

  
MAYOR

ATTEST:  
  
CITY CLERK

## ELLIS SPECIFIC PLAN / PATTERN BOOK AMENDMENT

### Ellis Specific Plan Amendment

Amend the first sentence of Section 3.5.19 on page 21 of Section 3 of the Ellis Specific Plan to read as follows:

“Fences shall meet all requirements of the Tracy Municipal Code, except as otherwise specified in this section or Appendix A: Ellis Pattern Book.”

Delete the following statement from Section 3.5.19 on page 21 of Section 3 of the Ellis Specific Plan:

“The permitted maximum height within any required front yard shall be no greater than three feet measured vertically from the top of the fence to the grade of the sidewalk nearest the property line.”

### Ellis Pattern Book Amendment

All fence requirements and fence setbacks shown on Pages 2/8, 2/12, 2/16, 2/20, 2/24, 2/28, 2/32, 2/36, 2/40, 2/44, 2/48, 2/52, 2/56, 2/60, 2/61c, and 2/61g of the Ellis Pattern Book shall be amended to read as follows:

#### “FENCE REQUIREMENTS

>> Maximum height of a fence in the front yard: 3 feet

Note: For the purposes of this section, “front yard” means the area extending across the full width of a lot between the front façade of a house and the front lot line.

>> Maximum height of a fence in a side yard, street side yard, or rear yard: 8 feet (6 feet if located in a public utility easement)

>> Any fence of 6 feet in height or greater that is facing a public street or public space shall be constructed with a lattice design for a minimum of the top 1 foot of the fence height.

#### FENCE SETBACKS

>> 2 feet minimum from the front lot line

>> 5 feet minimum from a street side lot line

>> Where any fence abuts a house, the fence must be setback a minimum distance of 5 feet from the front façade of the house (porch excluded)”

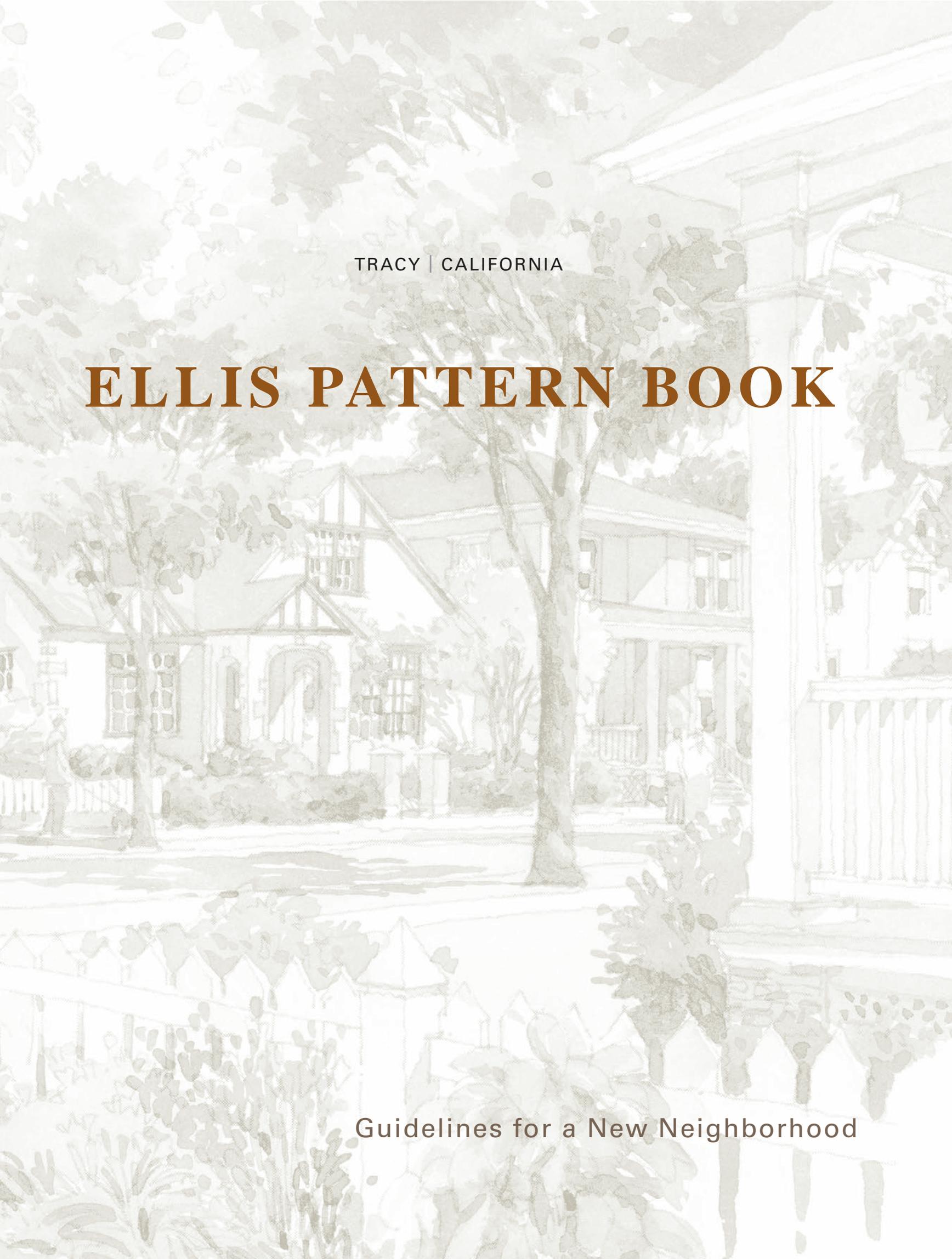
Residential Development Standards, Lot Width for Residential Mixed (Front Loaded Lots, Detached), shown on Page 2/74 of the Ellis Pattern Book shall be amended to read as follows:

“45 ft. min.; provided, however, lots on cul-de-sacs or knuckles shall have a minimum width of 35 feet at the front property line.”

# ELLIS PATTERN BOOK

**Guidelines for a New Neighborhood**





TRACY | CALIFORNIA

# ELLIS PATTERN BOOK

Guidelines for a New Neighborhood

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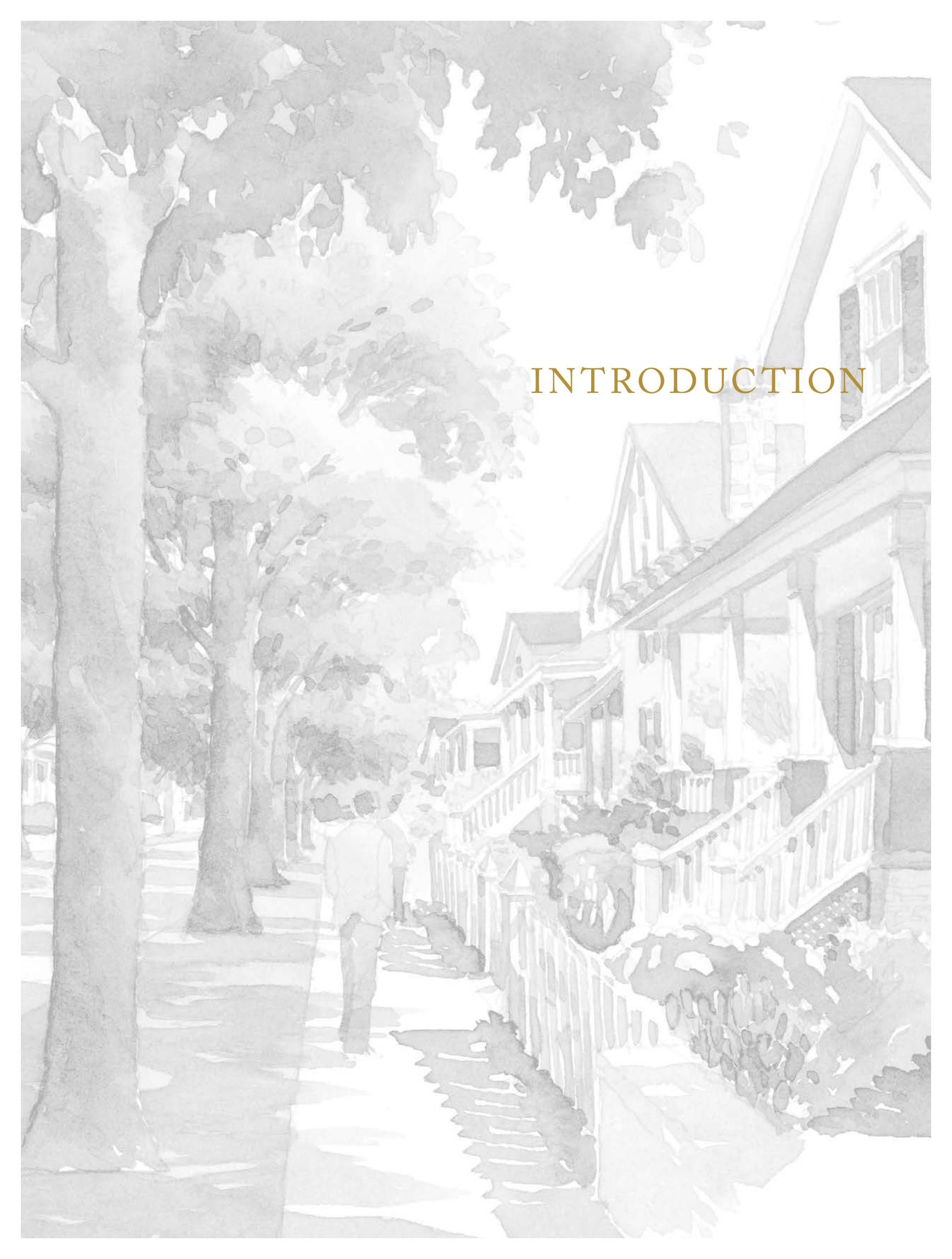
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- 4|26 Access and Circulation
- 4|28 Precedents
- 4|32 **PUBLIC FACILITIES**

The Ellis Pattern Book (EPB) illustrates and defines the basic parameters of all private development in Ellis — from the scale of the commercial uses to the scale of the community. The EPB defines appropriate architectural styles as well as traditional zoning criteria for height, setbacks, and parking.





# INTRODUCTION

# OVERVIEW

For almost 200 years, pattern books have been used throughout the United States as a reference for builders and homeowners in building houses, churches, civic buildings, and garden structures — often in remote locations without the aid of an architect. The Ellis Pattern Book (EPB) has drawn on this technique to create a design palette and guidelines for the new community.

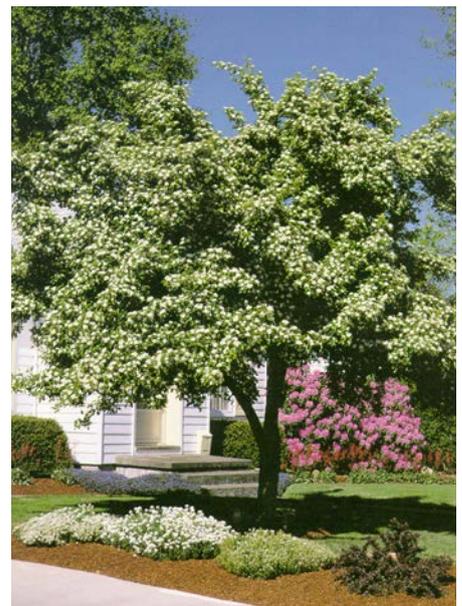
This Pattern Book presents a vision for Ellis and serves as a general guide to the development of the community, establishing guidelines that address the intended neighborhood character, building design, and landscape elements. The design guidelines contained in the Ellis Pattern Book are based on extensive research and documentation by the development team of precedents in the city of Tracy, San Joaquin County, and the Central Valley of California. Drawing on these precedents, the design principles for Ellis are aimed at creating a full spectrum of attractive building opportunities in a manner that respects the qualities of the local landscape.



Ellis Craftsman



Ellis Farmhouse Victorian



Ellis landscape



A village center in the region

The Ellis Pattern Book (EPB) contains four main sections with related sub-chapters: this Introduction; the Detached Residential Guidelines, including Community and Architectural Patterns; the Attached Residential Guidelines, including Community and Architectural Patterns; and Nonresidential Guidelines for Mixed-Use, including the Ellis Village Center and Aquatic Park, as well as Commercial Sites and Public Facilities.

Within the Detached and Attached Residential Guidelines, the Community Patterns serve to promote that neighborhoods contain a range of building sizes. Sidewalks and bike paths throughout the development create a community that is pedestrian and bicycle-friendly. Parks provide neighborhood-based active and passive recreational amenities within walking distance for residents.



A mixed-use street in the region



Ellis European Country



Ellis Spanish Colonial



Ellis Mediterranean Revival

## OVERVIEW, CONTINUED

Six architectural styles have been selected for Ellis residential development: Ellis Craftsman, Ellis Farmhouse Victorian, Ellis Revival, Ellis European Country, Ellis Mediterranean Revival, and Ellis Spanish Colonial (Additional architectural styles may be added to the Pattern Book per ESP Section 6.5 Minor Variations to the Modified Ellis Specific Plan or Pattern Book.) The Architectural Patterns sections provide information regarding each of these styles, including a description of the history and character of the particular style, a gallery of built examples, the style's basic massing and composition, as well as possibilities for designs using a standard palette of materials. This kit-of-parts approach provides architects, builders, and homebuyers with examples for designing and personalizing a new home in Ellis.

Ellis includes a vibrant, mixed-use Village Center. This Village Center will draw on the character and quality of regional precedents and will accommodate a mix of uses including housing and commercial ventures; it will also act as a front door to the Aquatic Park. Buildings with active uses, such as ground-floor shops and/or offices will line Ellis Drive, while residential and/or offices located on upper floors will create a mixed-use environment reminiscent of the charming and beloved main streets of traditional towns throughout the region.

The Ellis community will be an extension of the urban fabric of the City of Tracy. The community has been designed in a compact form to maintain this distinct natural edge and connectivity.

This Pattern Book serves as the basis for design review and implementation.



Photo: Images of America: Tracy

An example of the historic architecture in the vicinity of Ellis

# THE ARCHITECTURAL STYLES OF ELLIS



Ellis Craftsman



Ellis Farmhouse Victorian



Ellis European Country



Ellis Revival



Ellis Mediterranean Revival



Ellis Spanish Colonial

## THE TOWNSCAPE OF ELLIS



### ELLIS TOMORROW

Ellis is designed in the tradition of historic American settlements and the traditional towns of northern California. As depicted in the illustrations on these pages, the community will have a mix of different uses and a fine-grained network of streets, blocks, and parks.

Ellis will become an extension of the City of Tracy at its southwestern edge. Access to jobs and regional institutions will be a major component of Ellis. A Aquatic Park, serving the City of Tracy and the region, may be located along Corral Hollow Road on Ellis' eastern edge, adjacent to the Village Center. This facility is a new amenity and attraction for residents and visitors alike.

The new community will provide a mix of housing opportunities for the residents.





The neighborhoods of Ellis will each have a distinct character related to their locations. Parks, including native plants and landscape elements, will add to this character, as will the design of the houses and buildings. The essential qualities of these neighborhoods will reflect the vernacular architecture of established communities in the region, such as Pleasanton, Livermore, Stockton, and, of course, Tracy. These communities have a variety of different house types and styles, pedestrian-friendly streets, and unique park spaces and trails — the foundational elements of true places.



# HOW TO USE THIS PATTERN BOOK

## ORGANIZATION OF INFORMATION

The Ellis Pattern Book (EPB) will guide the development of the community and works in conjunction with the Ellis Specific Plan (ESP) to create the vision for Ellis. The document is organized into four main sections.

### INTRODUCTION

The introduction provides the reader with an overview of community character.

### DETACHED RESIDENTIAL GUIDELINES

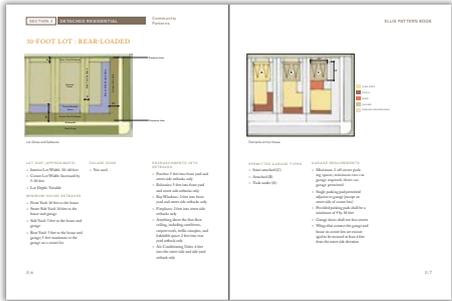
These guidelines outline the permitted residential types and the guidelines for placing detached residential units on lots. Six regional architectural vocabularies have been identified for single-family detached house types.

### ATTACHED RESIDENTIAL GUIDELINES

Attached residences are permitted in designated areas throughout Ellis. The way these buildings should be situated on sites and lots, as well as five appropriate architectural styles, are described and illustrated.

### MIXED-USE, COMMERCIAL, AND PUBLIC FACILITIES GUIDELINES

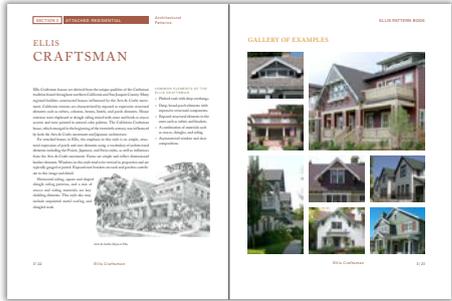
As a fully-integrated community, guidelines are provided for nonresidential uses, such as the mixed-use Village Center, Aquatic Park, commercial outparcels and permitted public buildings. Urban design principles, as well as the intended architectural character of these special places and amenities, are presented.



Introduction



Detached Residential Guidelines



Attached Residential Guidelines



Mixed-Use, Commercial, and Public Facilities Guidelines

**PROCESS FOR USING THE PATTERN BOOK**

This Pattern Book is designed to be used in the following four-step process.

**STEP 1**  
FIND YOUR BUILDING TYPE

Match the intended building type to the guidelines appropriate for its scale, whether a detached residence, an attached residence, a mixed-use, commercial building, or public building.

**STEP 2**  
SELECT THE LOT TYPE

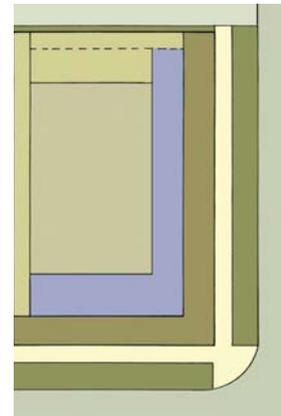
Match lot dimensions to the siting or lot type descriptions found in the Community Patterns section. The lot descriptions include the required minimum setbacks for the front, side, and rear yards for each lot type, resulting in the buildable area. Siting guidelines are provided for the non-residential areas of Ellis.

**STEP 3**  
IDENTIFY THE SHAPE AND SIZE OF THE STRUCTURE

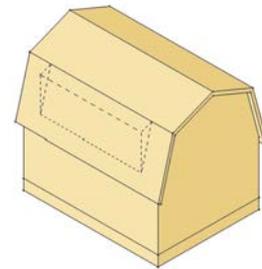
The example diagrams depict the typical massing of buildings in Ellis, including the main body, porch, and side and/or rear wings. The basic mass of a house will determine the general location of its programmatic elements. Each architectural style has its own page that describes the basic massing types for that style based upon regional precedents. Roof types are part of this overall massing decision. (Refer to the Detached and Attached Residential Guidelines for details regarding each of the individual styles.)

**STEP 4**  
CONSIDER THE DESIGN POSSIBILITIES AND CHOOSE APPROPRIATE MATERIALS

Elevation drawings for attached and detached houses composed using elements described in the Pattern Book can be found on the last pages for each style type in the Architectural Patterns section. The elevations presented illustrate a sampling of the myriad design possibilities that can be achieved using the Pattern Book. These pages also provide a list of some common materials from which to build.



A typical detached residential lot diagram



A massing diagram



A window and door composition diagram



Illustrative elevation possibility

## ELLIS BUILDINGS AND HOUSES

Ellis houses and residential buildings will comprise the backdrop of each neighborhood. The residences will define the character of the public spaces and reflect the preferences of the individuals behind the porch or front door.

In traditional neighborhoods, such as those at Ellis, the front portion of the house is the most public and must be responsive to adjacent houses and the overall character of the neighborhood. The landscaping of the front yard, setbacks from the street, size and placement of the house on the lot, and the front porch are all shared elements that form a harmonious public realm.

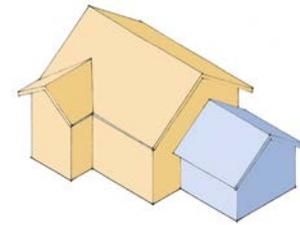
The detached and attached residential types at Ellis are based on the vernacular architecture of

the towns of San Joaquin County, particularly Tracy, using regional house types with appropriate style elements. The house types are defined by the character and shape of the main body, wings, and other elements that are added to increase living space.

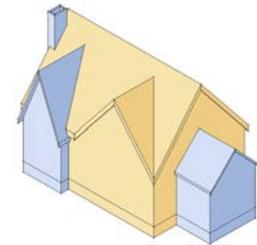
The patterns described in this book apply primarily to facades facing streets (see the Key Facades illustration on page 1-11). All material transition points should be a minimum of two feet back from the public corners of the house.



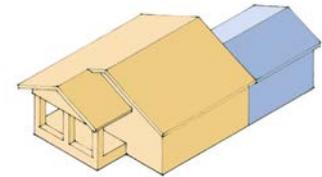
Illustrative view of an Ellis residential street



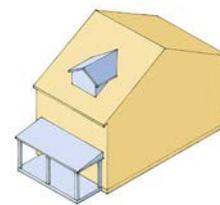
Gable-L house



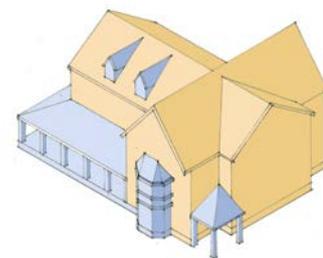
Side gable house with dominant cross gable



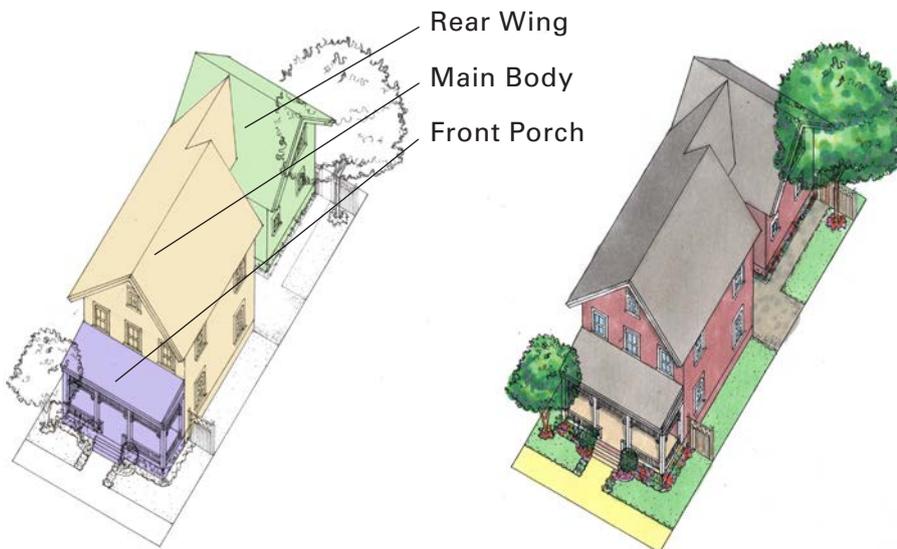
Front gable house



Side gable townhouse



6-Unit mansion apartment



**THE ELLIS HOUSE**  
Simple, dignified massing with porch and rear wing added

**ELEMENTS OF THE ELLIS HOUSE**  
The Main Body is the largest and most visible element with the most specific design requirements. Side or rear wings, porches, and architectural elements provide a menu of additional massing options for the homebuilder.

**PRINCIPAL ELEMENTS**

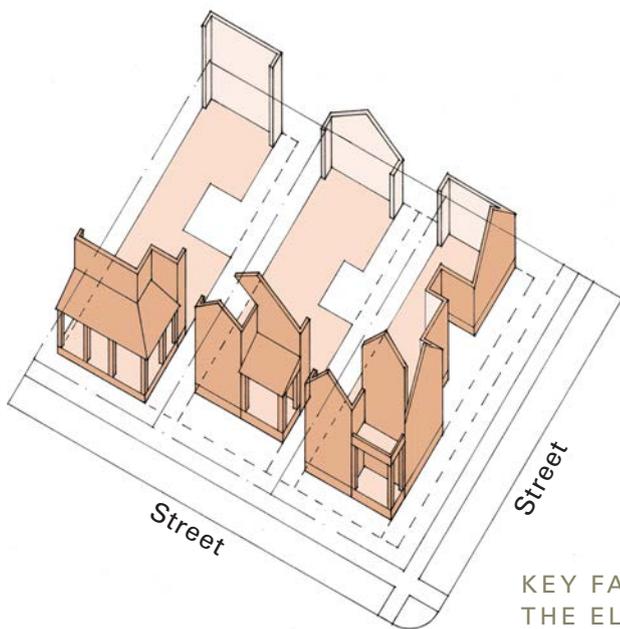
Ellis houses include the following principal elements:

The **Main Body** of the house, which is the principal mass and includes the front door.

**Side and Rear Wings**, which are one or two stories high and connected to the Main Body. These optional additions are smaller than the Main Body and are set back from the front facade.

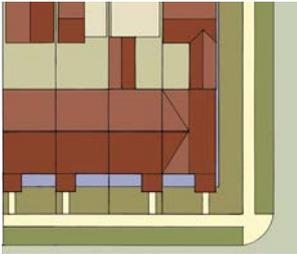
**Front and Side Porches** create exterior amenity space. Possibilities include full-facade front porches, wraparound porches, porticos, and side porches. Some architectural styles also have inset porches.

*Note: Side Wings, Rear Wings, and Porches are part of a menu of options. These elements as illustrated in the Pattern Book are suggestions, not required as shown.*

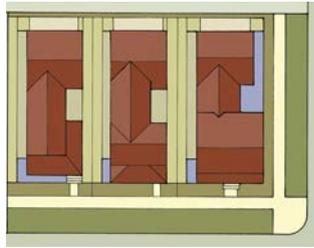


**KEY FACADES OF THE ELLIS HOUSE**  
The principal elevations of the Ellis house are facades facing streets plus a 2-foot wrap.

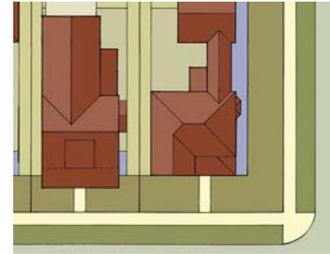
# INVENTORY OF LOT TYPES



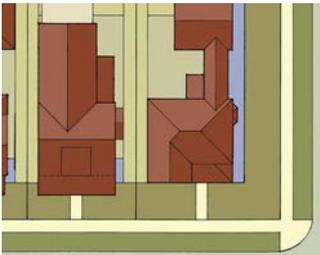
TOWNHOUSES



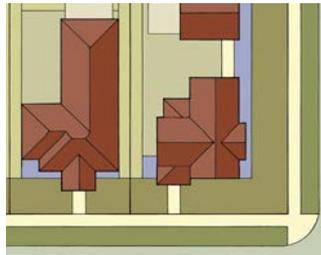
30-FOOT LOT:  
REAR-LOADED



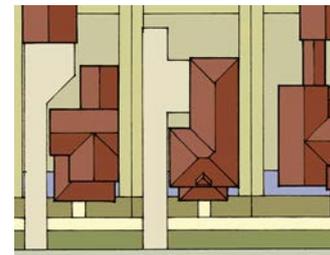
40-FOOT LOT:  
REAR-LOADED



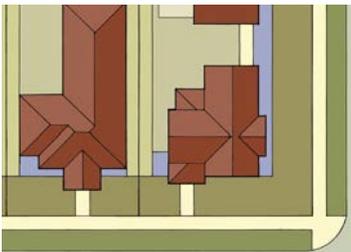
45-FOOT LOT:  
REAR-LOADED



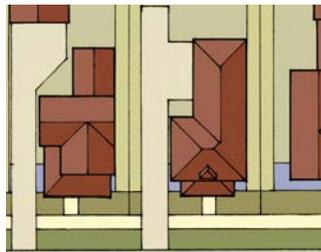
50-FOOT LOT:  
REAR-LOADED



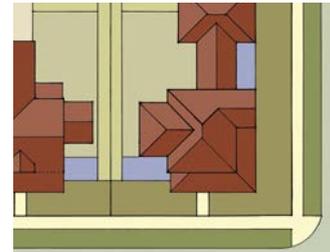
50-FOOT LOT:  
FRONT-LOADED



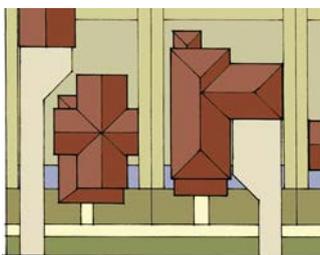
55-FOOT LOT:  
REAR-LOADED



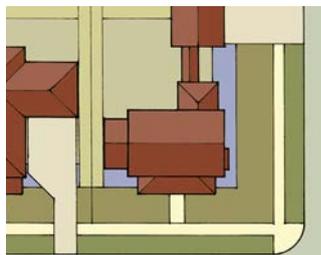
55-FOOT LOT:  
FRONT-LOADED



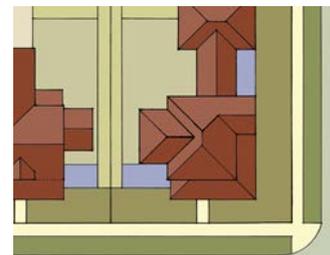
60-FOOT LOT:  
REAR-LOADED



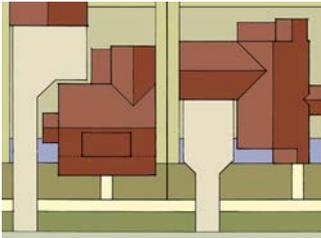
60-FOOT LOT:  
FRONT-LOADED



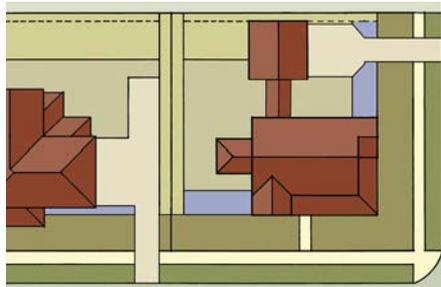
65-FOOT LOT:  
FRONT-LOADED



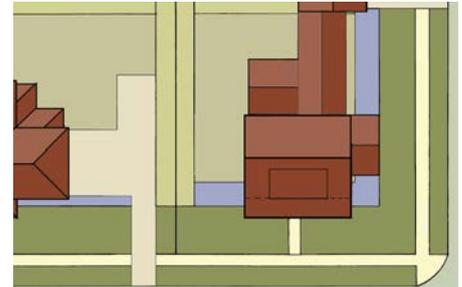
65-FOOT LOT:  
REAR-LOADED



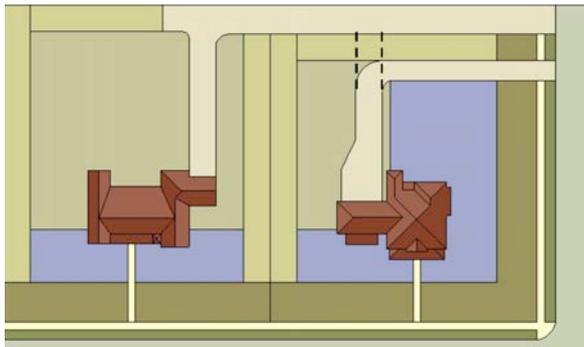
70-FOOT LOT:  
FRONT-LOADED



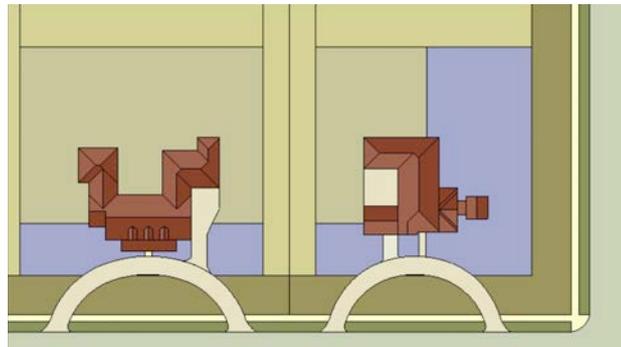
80-FOOT LOT:  
FRONT-LOADED



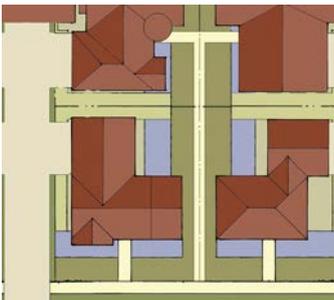
100-FOOT LOT:  
FRONT-LOADED



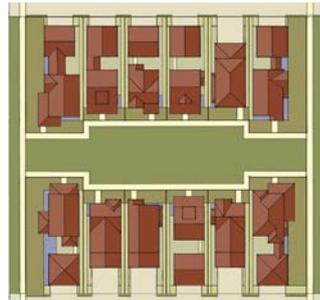
ESTATE LOTS:  
REAR-LOADED



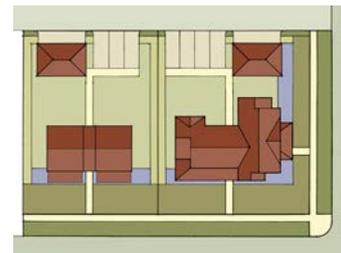
ESTATE LOTS:  
FRONT-LOADED



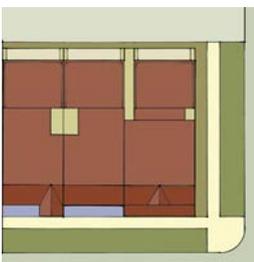
COURTYARD UNITS



GREEN COURT



MANSION APARTMENTS



LIVE/WORK UNITS

## SETBACK REQUIREMENTS

Each lot has a series of setback lines that define the buildable area between houses, streets, and rear lanes. There are also zones within which the house shall be placed. These are defined as follows:

### SETBACKS

- » Front Yard Setback: minimum distance between the front property line and the house
- » Side Yard Setback: minimum distance between the side yard property line and the house and garage

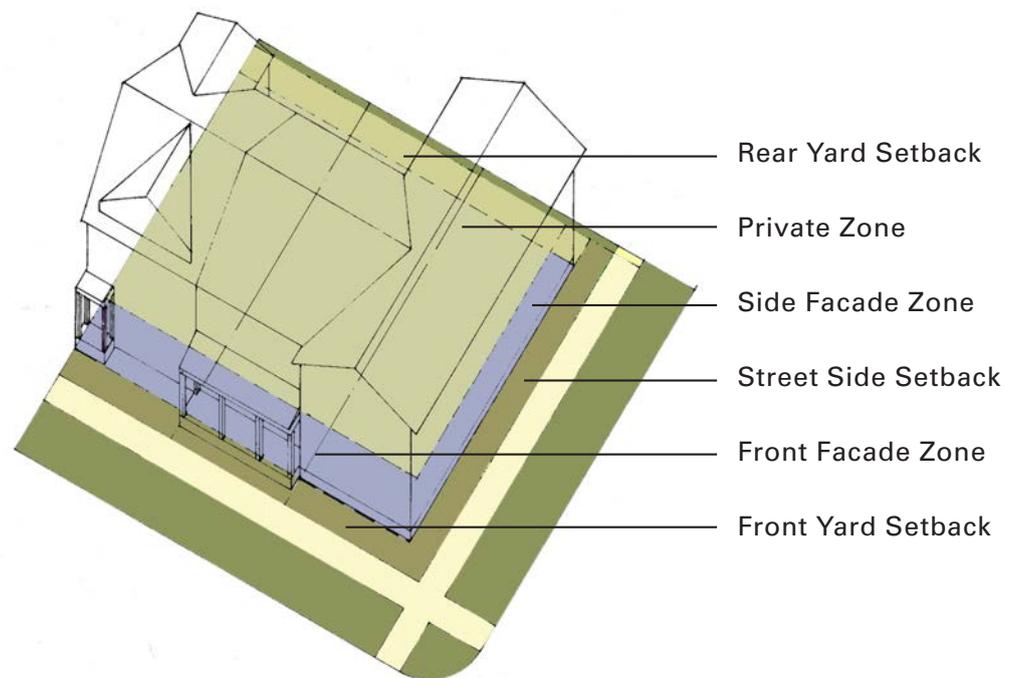
- » Rear Yard Setback: minimum distance between the property line and the house and garage
- » Street Side Setback: minimum distance between the street side property line and the house and garage

### FACADE ZONES

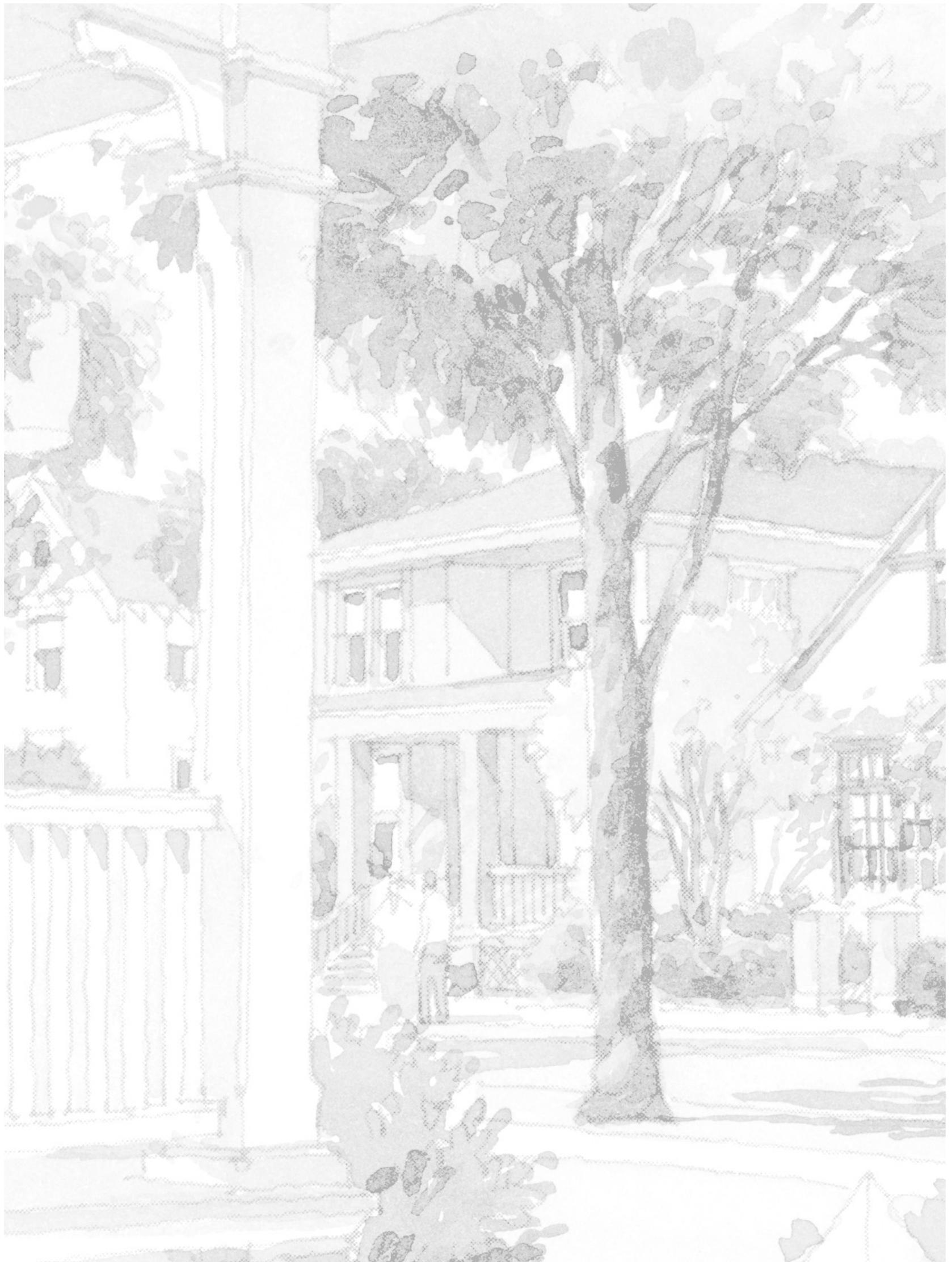
- » Not used

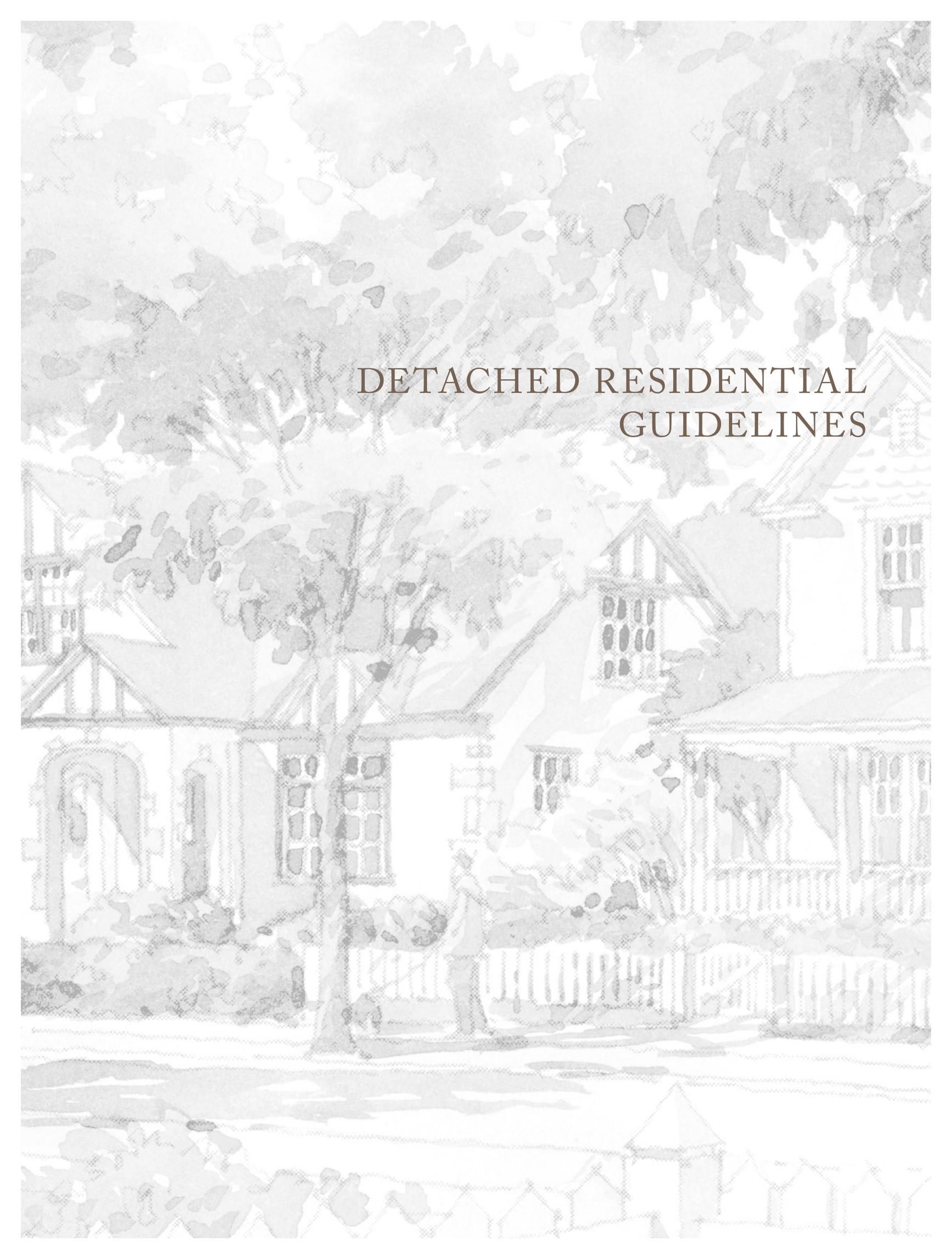
### PRIVATE ZONE

- » Private area of the lot



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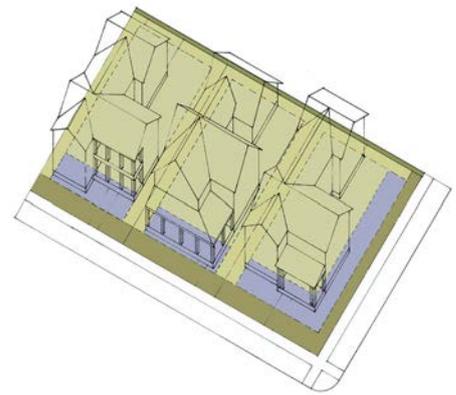
DETACHED RESIDENTIAL  
GUIDELINES

# COMMUNITY PATTERNS

The Detached Residential Community Patterns section contains guidelines for placing houses on lot types within the plan. These development standards were developed as part of the master planning process, and are meant to promote the diversity and character of Ellis called for in the Ellis Specific Plan.

All housing designs and site plans must be reviewed and approved via the Ellis Design Review process set forth in the Ellis Specific Plan, Section 6: Plan Review.

Additional lot types may be added to the Pattern Book per Modified Ellis Specific Plan, Section 6.5 Minor Variations to the Modified Ellis Specific Plan or Pattern Book.



Illustrative view of a residential address at Ellis

SECTION 2 | DETACHED RESIDENTIAL | Community Patterns

50-FOOT LOT : REAR-LOADED

**Lot Zones and Setbacks**

**LOT SIZE (APPROXIMATE)**

- Interior Lot Width: 50-55 feet
- Corner Lot Width: Increased by 5-10 feet
- Lot Depth: Variable

**MINIMUM HOUSE SETBACKS**

- Front Yard: 10 feet to the house
- Street Side Yard: 10 feet to the house and garage
- Side Yard: 5 feet to the house and garage
- Rear Yard: 10 feet to the house, 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

**FACADE ZONE**

- Not used

**ENCROACHMENTS INTO SETBACKS**

- Porch: 5 feet into front yard and street side setbacks only
- Balconies: 5 feet into front yard and street side setbacks only
- Bay Windows: 2 feet into front yard and street side setbacks only
- Fireplaces: 2 feet into street side setbacks only
- Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only
- Air Conditioning Units: 4 feet into the street side and side yard setback only

2 | 18

ELLIS PATTERN BOOK

**Elements of the House**

**PERMITTED GARAGE TYPES**

- Detached (C)
- Semi-attached (A)
- Attached
- Tuck-under (B)
- Tandem

**GARAGE REQUIREMENTS**

- Minimum 2 off-street parking spaces, minimum two-car garage required, three-car garage permitted
- Single parking pad permitted adjacent to garage (except on street side of corner lots)
- Provided parking pads shall be a minimum of 9 by 18 feet
- Garage doors shall not face streets
- Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

2 | 19

Each lot type found in the Community Patterns Sections is described in four specific diagrams:

**LOT ZONES AND SETBACKS**  
Lot size, minimum setbacks and allowable encroachments into those setbacks. These zones aid in properly situating the house with respect to its neighbors to create a harmonious streetscape.

**ELEMENTS OF THE HOUSE**  
The main body, wings, bays, as well as the requirements for garages, are described in this diagram.

**YARD REQUIREMENTS**  
Fencing and landscape requirements are set forth in this diagram.

**GENERAL REQUIREMENTS**  
The issues of required plan types and elevations are discussed to establish a refined house.

SECTION 2 | DETACHED RESIDENTIAL | Community Patterns

50-FOOT LOT : REAR-LOADED

**Yard Requirements**

**FENCE REQUIREMENTS**

- Front yard fencing is permitted in accordance with the Modified Specific Plan
- Side and rear yard fencing is encouraged for privacy. Street side fencing is permitted on rear half of lot only
- Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

**FENCE SETBACKS**

- Rear Yard: 0 feet
- Side Yard: 5 feet from front facade of house (porch excluded)
- Street Side: 5 feet from walk

**LANDSCAPE**

- Landscaping is required in all areas not enclosed with a fence
- Foundation planting is required against buildings or fences facing streets
- Plants other than grass are encouraged along public rights-of-way in the Planting Zone

2 | 20

ELLIS PATTERN BOOK

**General Requirements**

**PLAN MINIMUM**

- Product types should contain significant variation in floor plan, existing, and garage type
- Number of floor plans developed based upon number of units developed:
  - 30 or fewer lots = 1 floor plan
  - 31 to 50 lots = 2 floor plans
  - 51 or more lots = 3 floor plans

**ELEVATION PER PLAN MINIMUM**

- Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- Number of elevations developed based upon number of lots developed:
  - 30 or fewer lots = 2 elevations
  - 31 to 50 lots = 2 elevations
  - 51 or more lots = 3 elevations

**GENERAL REQUIREMENTS**

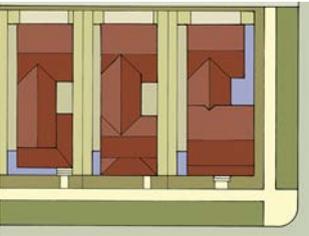
- Each elevation is encouraged to have at least one alternative option for each of the following:
  - exterior siding material
  - exterior trim
  - porch
  - porch hand rail
- Maximum of three houses of the same style may be located next to each other
- Identical houses (defined as having the same front facade) may not be located on adjacent lots

2 | 21

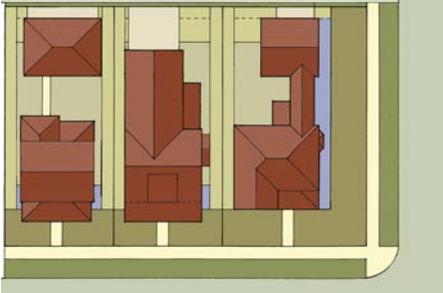
General Conditions pages for lots

# LOT TYPES

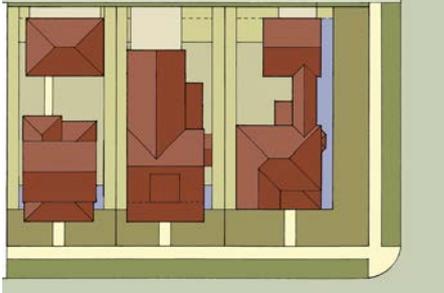
Ellis offers a variety of potential lot types ranging from 30 feet to approximately 100 feet wide. These lot types include: 30- to 65-foot-wide lots accessed from lanes, 50- to 100-foot-wide front-loaded lots, Courtyard Lots, and Green Courts accessed from lanes. Many of these residential lots have parking accessed by a rear lane utilizing either a garage, carport, or paved parking pad. This enables continuous front yard landscaping uninterrupted by parked cars and driveways. Lot types are mixed throughout the community. Following the individual lot type diagrams presented on the next few pages, conditions for each of the individual lot types are described and illustrated.



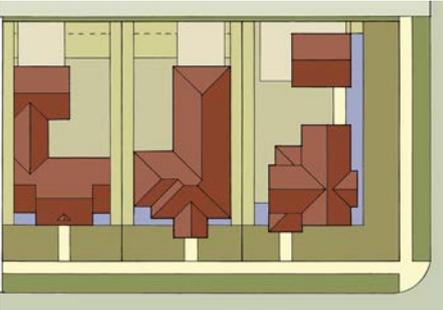
30-Foot Lots (rear-loaded)



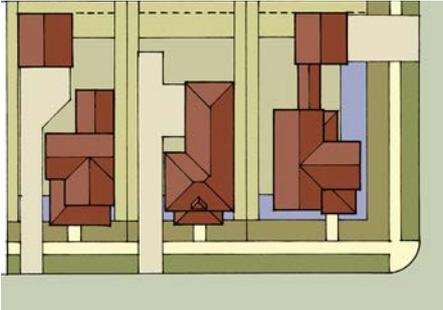
40-Foot Lots (rear-loaded)



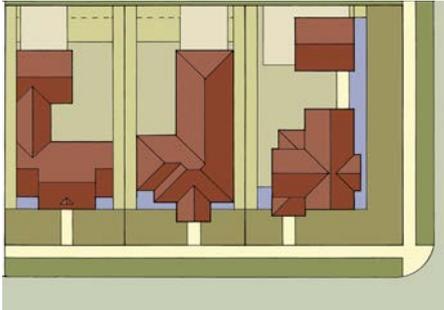
45-Foot Lots (rear-loaded)



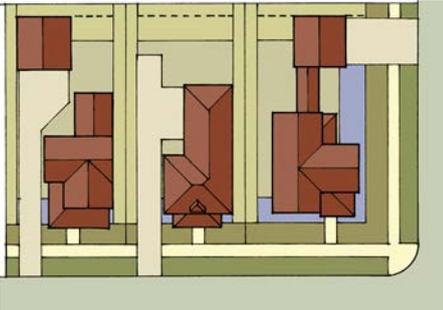
50-Foot Lots (rear-loaded)



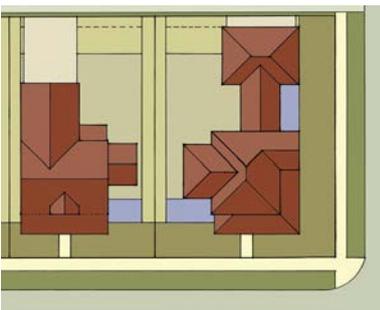
50-Foot Lots (front-loaded)



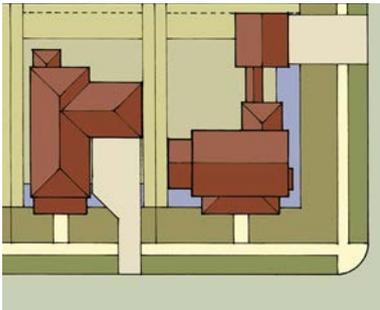
55-Foot Lots (rear-loaded)



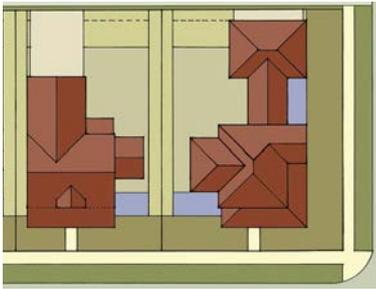
55-Foot Lots (front-loaded)



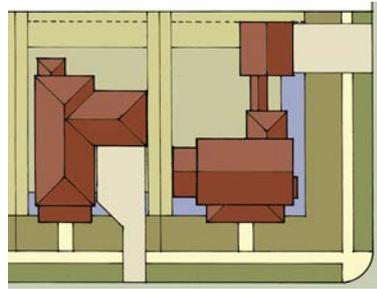
60-Foot Lots (rear-loaded)



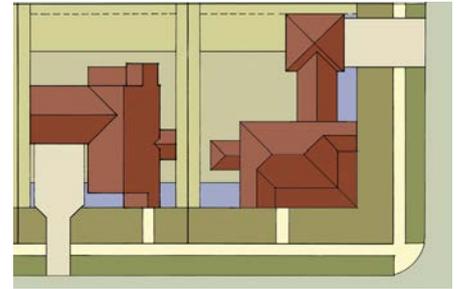
60-Foot Lots (front-loaded)



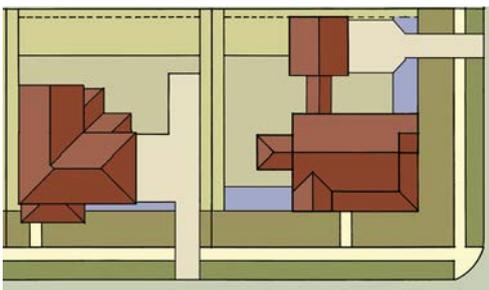
65-Foot Lots (rear-loaded)



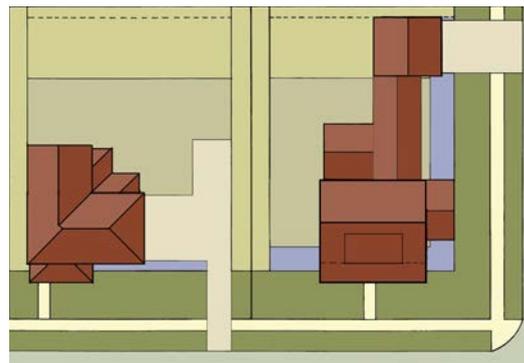
65-Foot Lots (front-loaded)



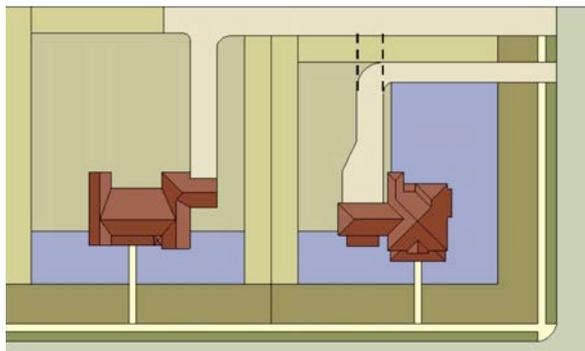
70-Foot Lots (front-loaded)



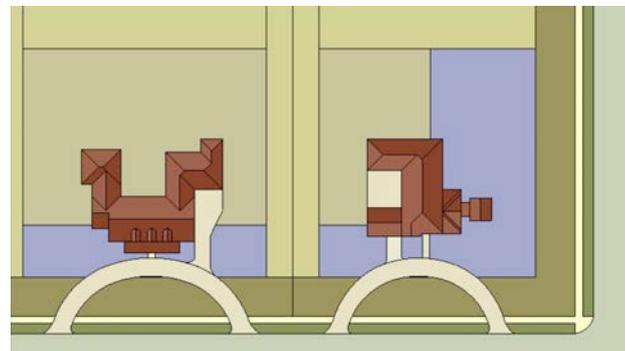
80-Foot Lots (front-loaded)



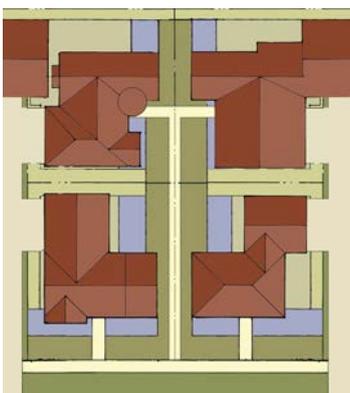
100-Foot Lots (front-loaded)



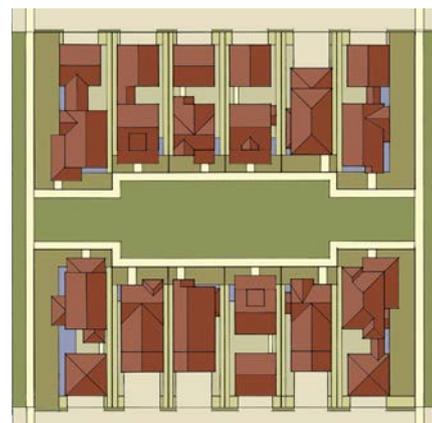
Estate Lots (rear-loaded)



Estate Lots (front-loaded)

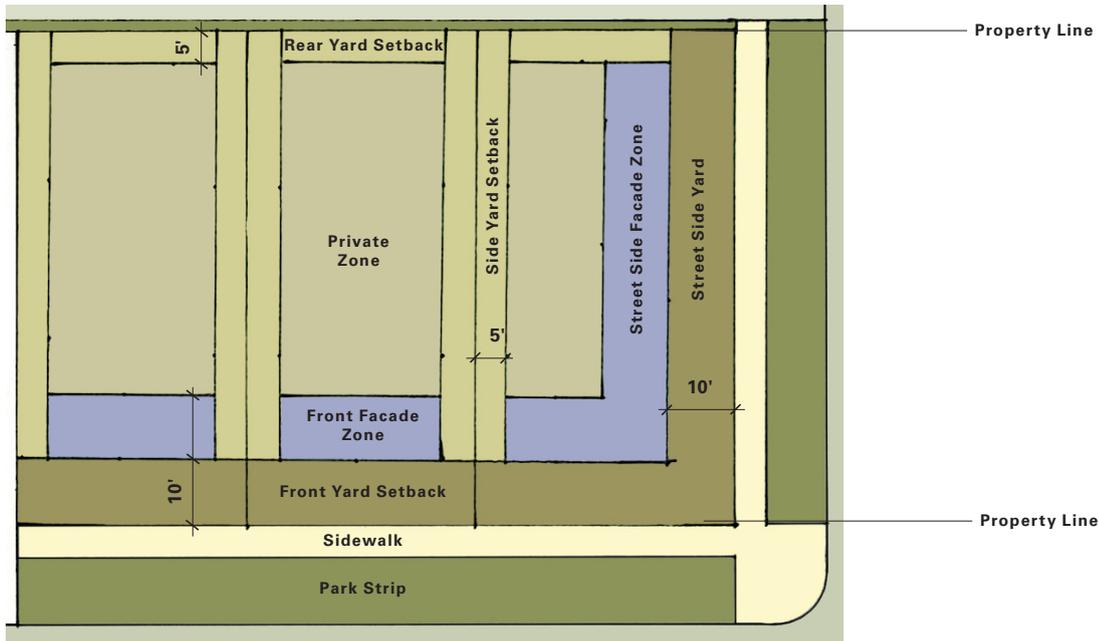


Courtyard Units



A Green Court (rear-loaded)

## 30-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 30–40 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

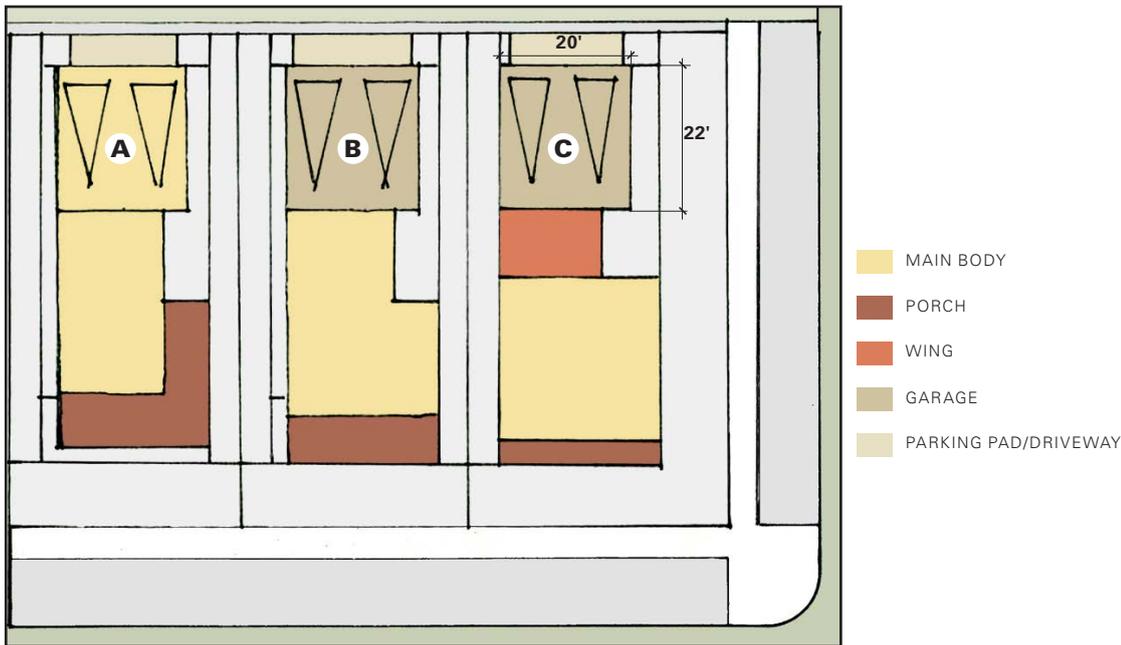
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 5 feet to the house and garage; 5 feet maximum to the garage on a corner lot.

## FACADE ZONE

- » Not used

ENCROACHMENTS INTO  
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

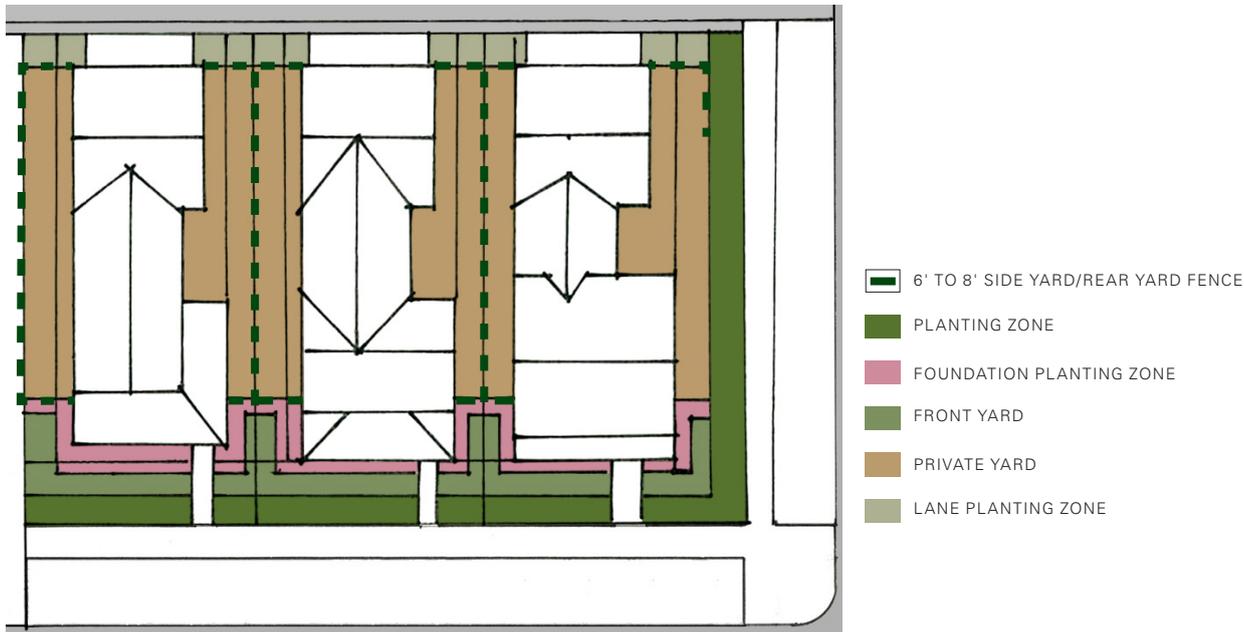
PERMITTED GARAGE TYPES

- » Semi-attached (C)
- » Attached (B)
- » Tuck-under (A)

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

## 30-FOOT LOT : REAR-LOADED



Yard Requirements

## FENCE REQUIREMENTS

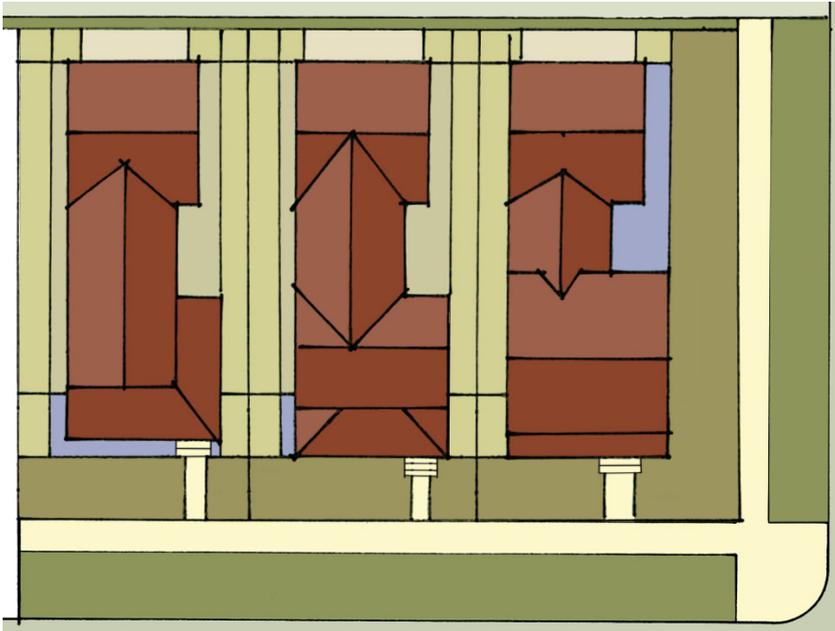
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy. Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of lots developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 to 50 lots = 2 floor plans
  - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

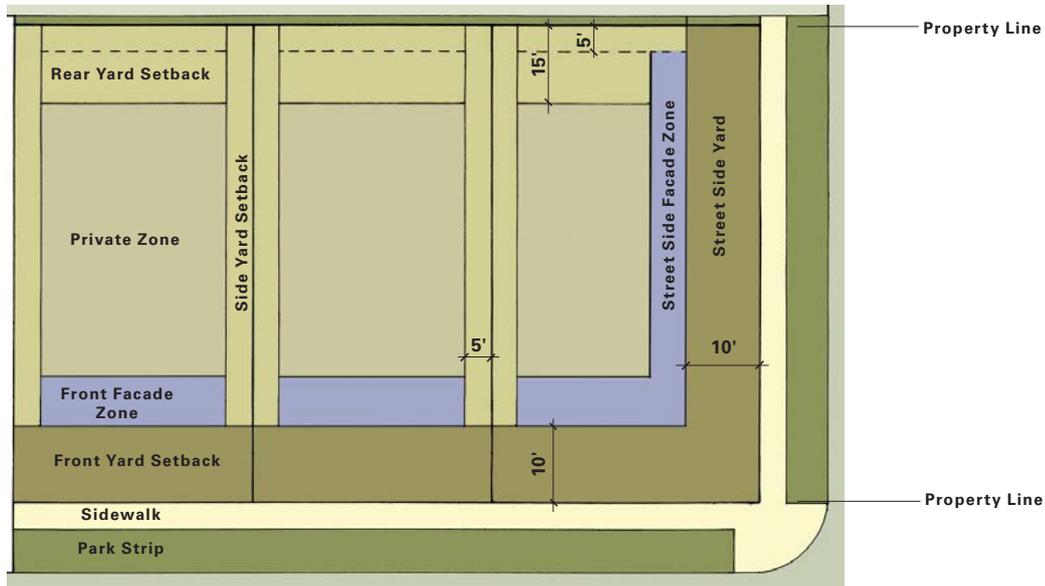
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 30 or fewer lots = 2 elevations
  - › 31 to 50 lots = 2 elevations
  - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## 40-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 40–45 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

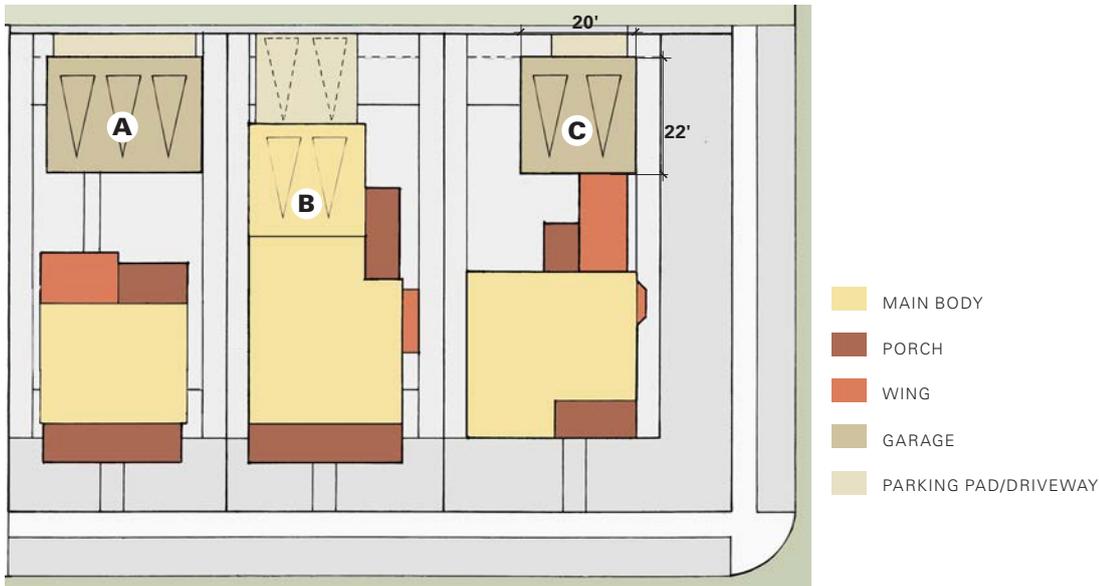
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 10 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

## FACADE ZONE

- » Not used

ENCROACHMENTS INTO  
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

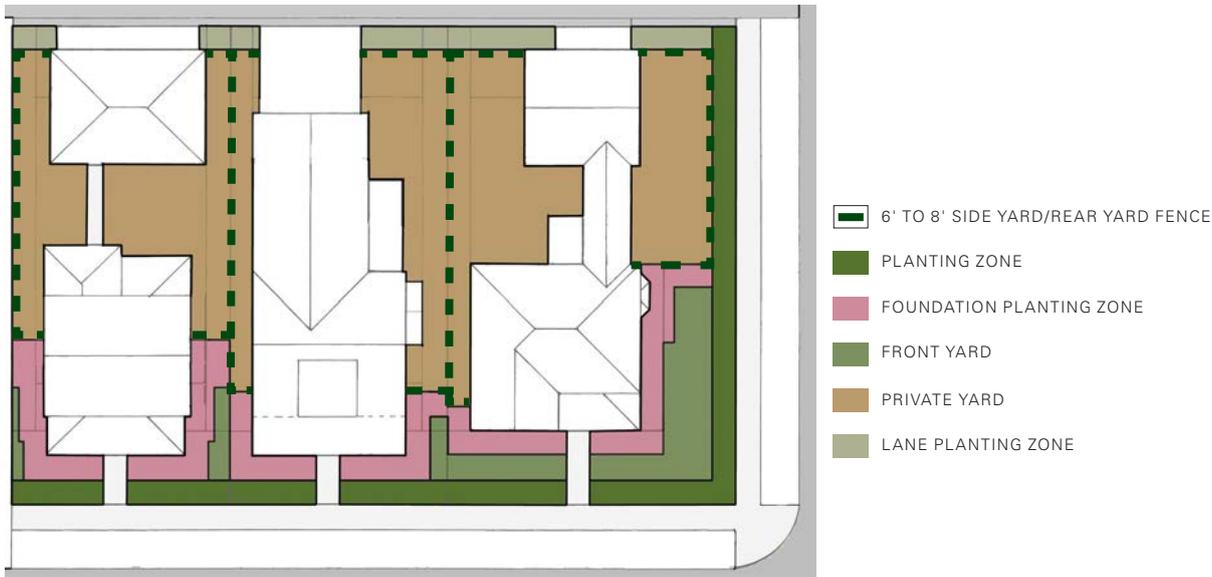
PERMITTED GARAGE TYPES

- » Detached (A)
- » Tuck-under (B)
- » Semi-attached (C)
- » Attached
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

## 40-FOOT LOT : REAR-LOADED



Yard Requirements

## FENCE REQUIREMENTS

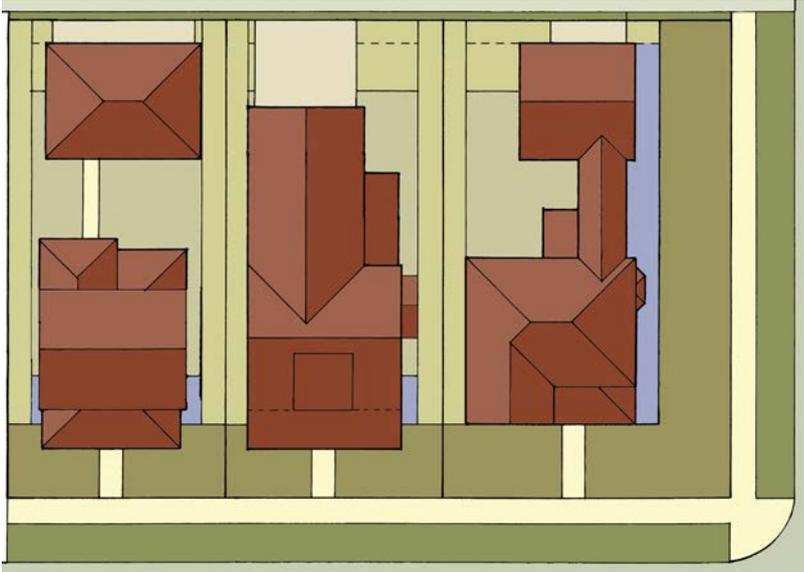
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 to 50 lots = 2 floor plans
  - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

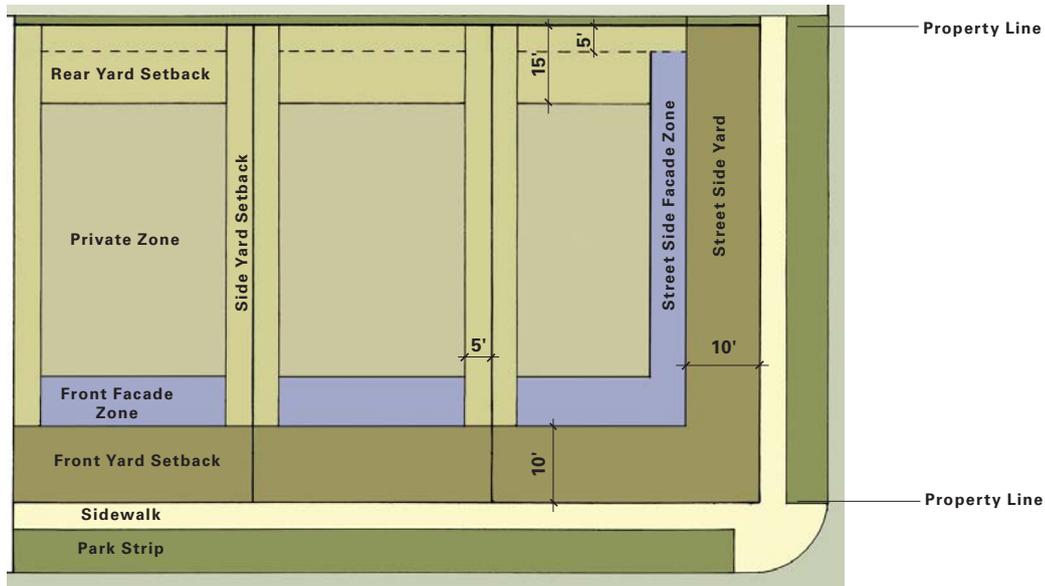
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 30 or fewer lots = 2 elevations
  - › 31 to 50 lots = 2 elevations
  - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## 45-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 45–50 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

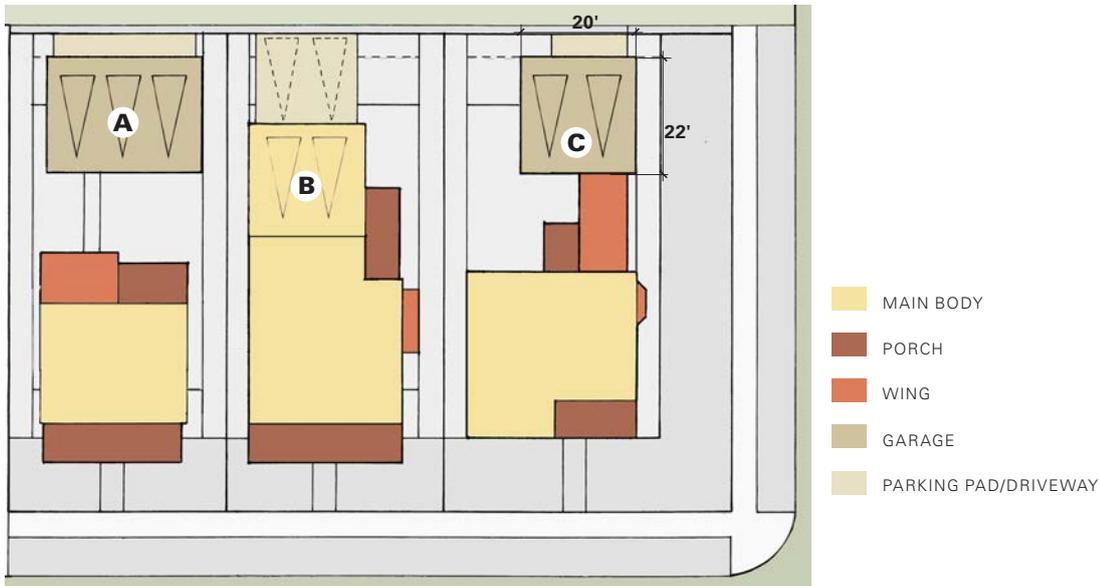
- » Front Yard: 10 feet to the house
- » Street Side Yard: 5 feet to the house and garage
- » Side Yard: 10 feet to the house and garage
- » Rear Yard: 10 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

## FACADE ZONE

- » Not used

ENCROACHMENTS INTO  
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

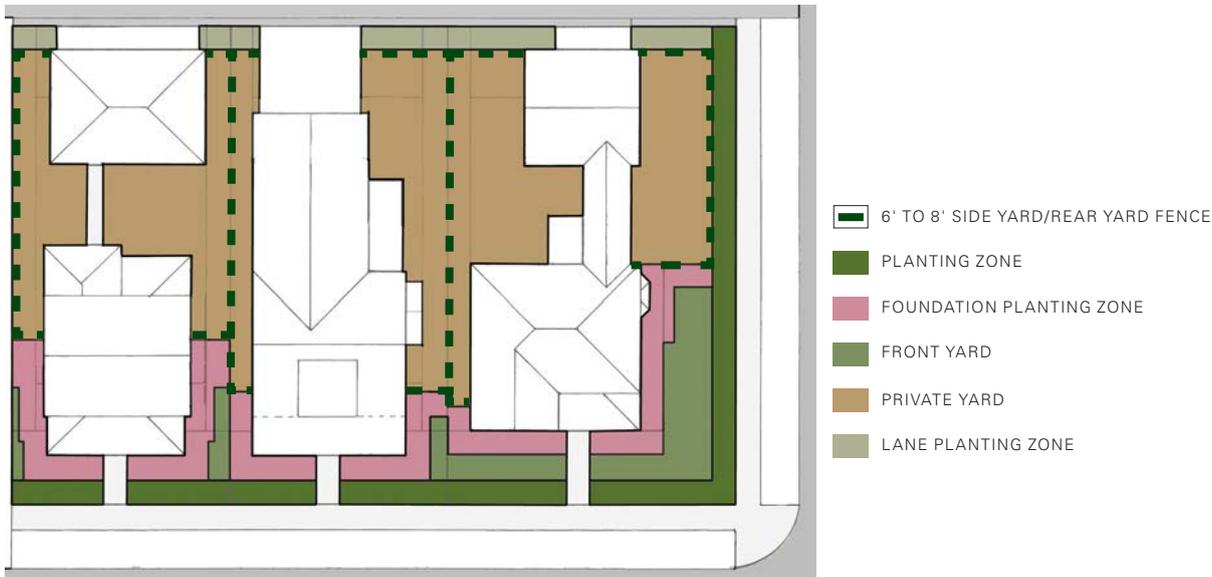
PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

## 45-FOOT LOT : REAR-LOADED



Yard Requirements

## FENCE REQUIREMENTS

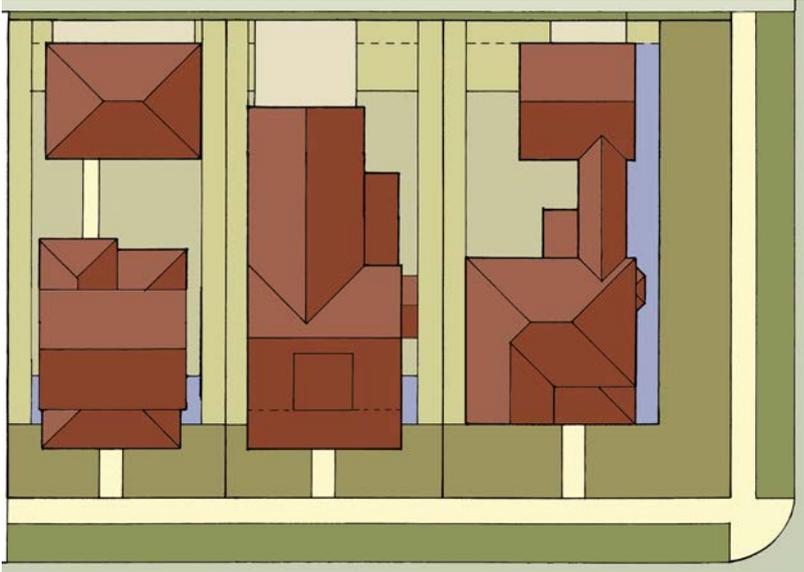
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 to 50 lots = 2 floor plans
  - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

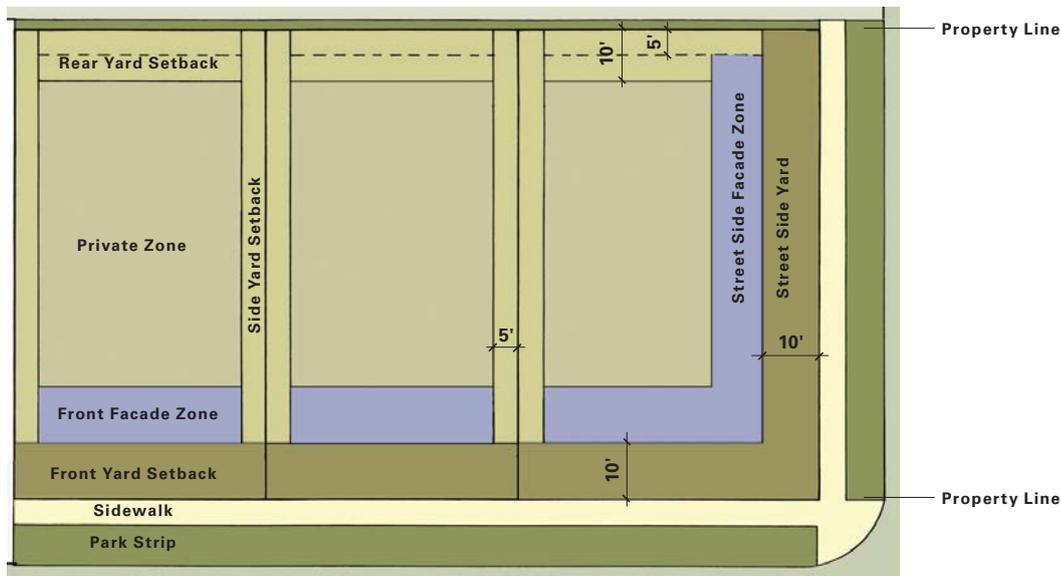
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 30 or fewer lots = 2 elevations
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  - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## 50-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 50–55 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

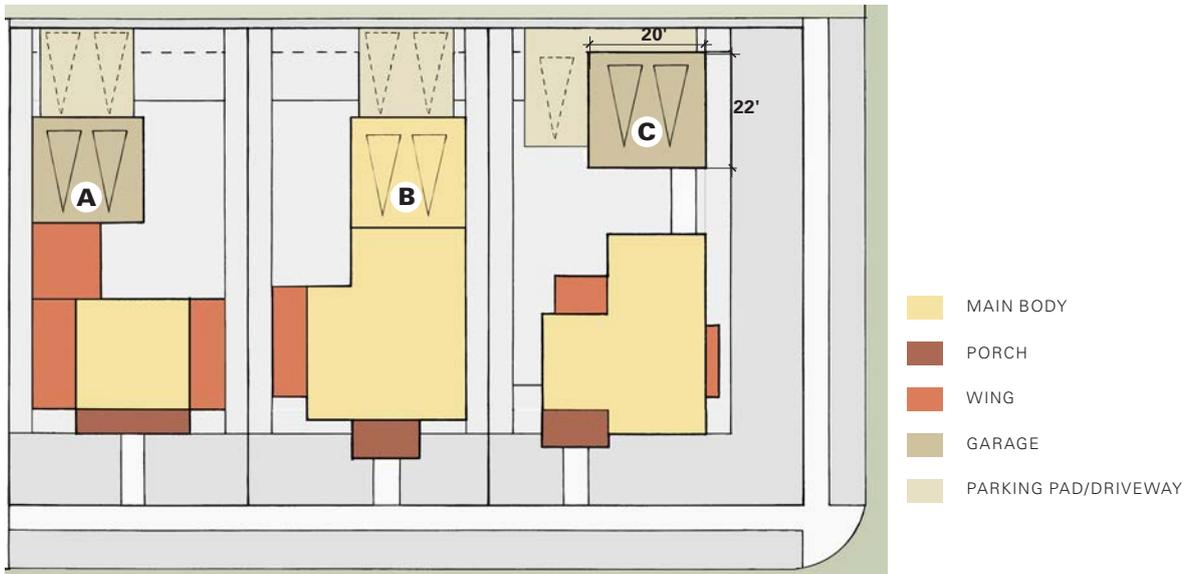
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 10 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

## FACADE ZONE

- » Not used

ENCROACHMENTS INTO  
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (C)
- » Semi-attached (A)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

## 50-FOOT LOT : REAR-LOADED



Yard Requirements

## FENCE REQUIREMENTS

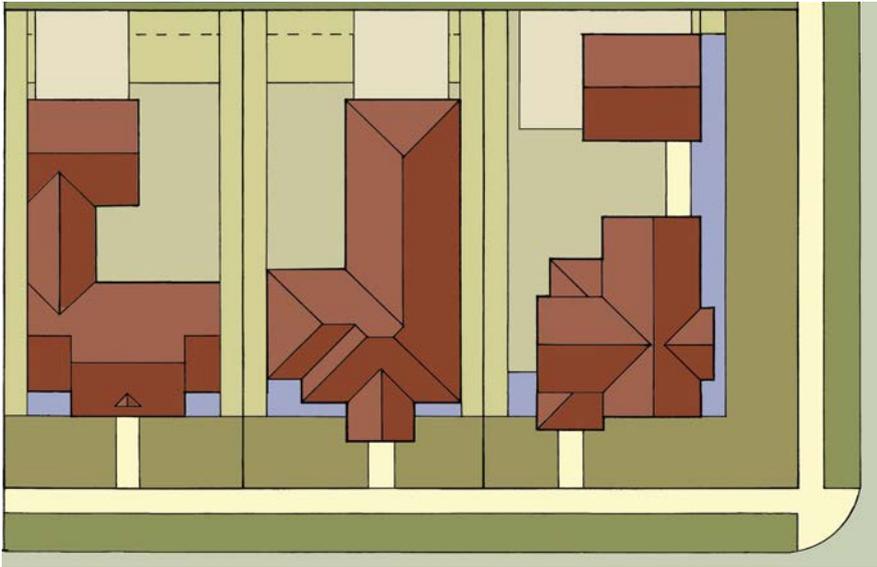
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy. Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 to 50 lots = 2 floor plans
  - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

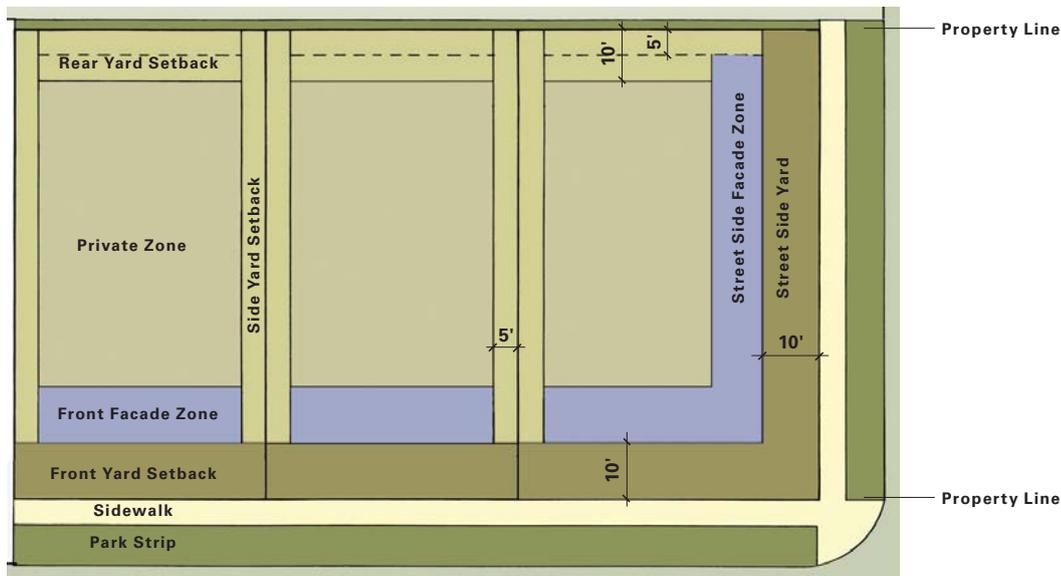
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- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## 50-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 50–55 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

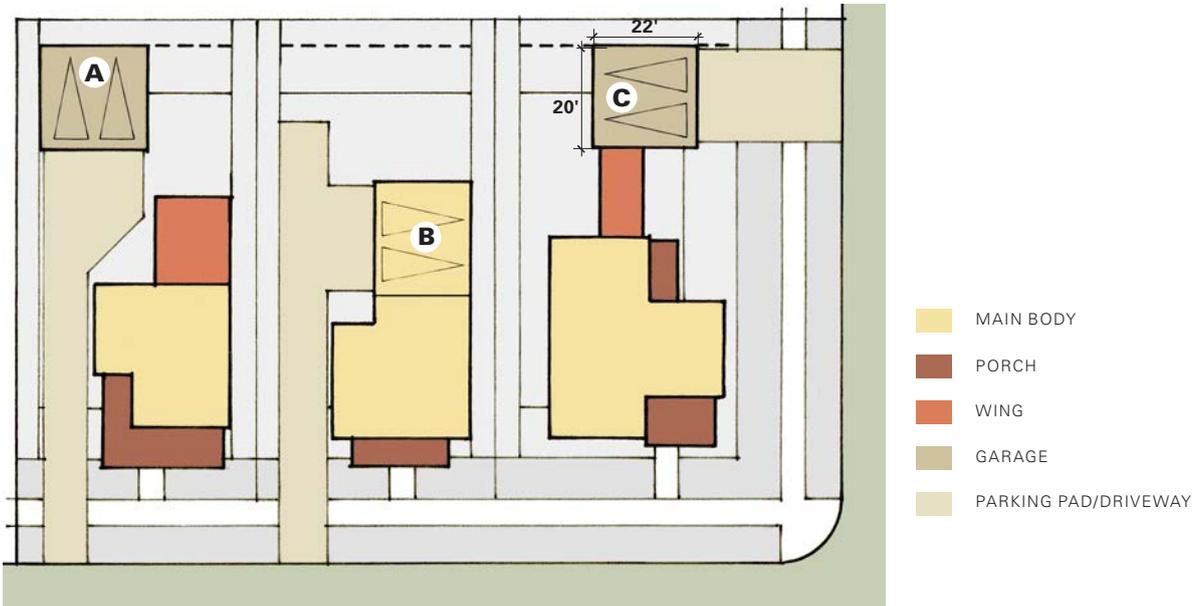
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: a minimum of 10 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

## FACADE ZONE

- » Not used

ENCROACHMENTS INTO  
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted if third garage door is set back from the facade
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

## 50-FOOT LOT : FRONT-LOADED



Yard Requirements

## FENCE REQUIREMENTS

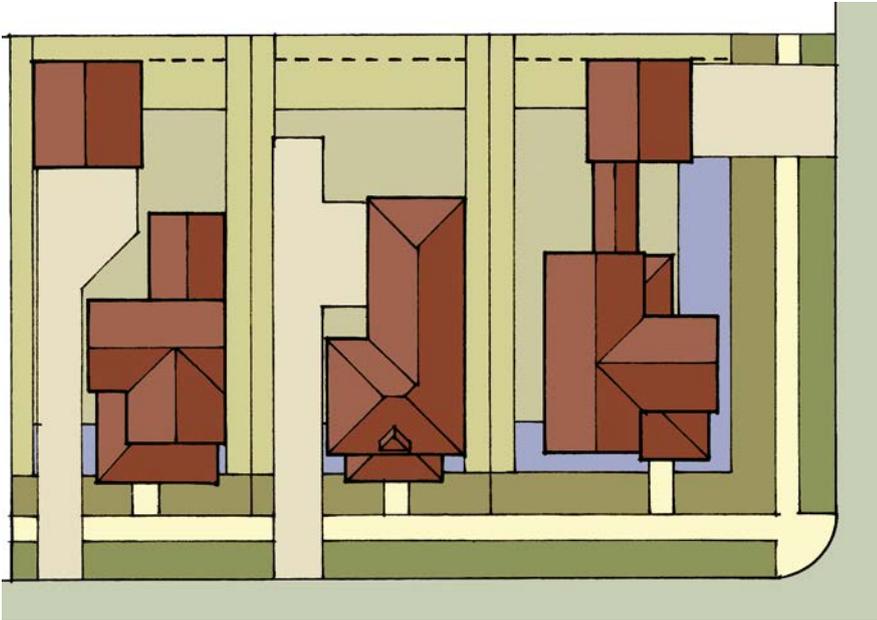
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



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PLAN MINIMUM

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- » Number of floor plans developed based upon number of units developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 to 50 lots = 2 floor plans
  - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

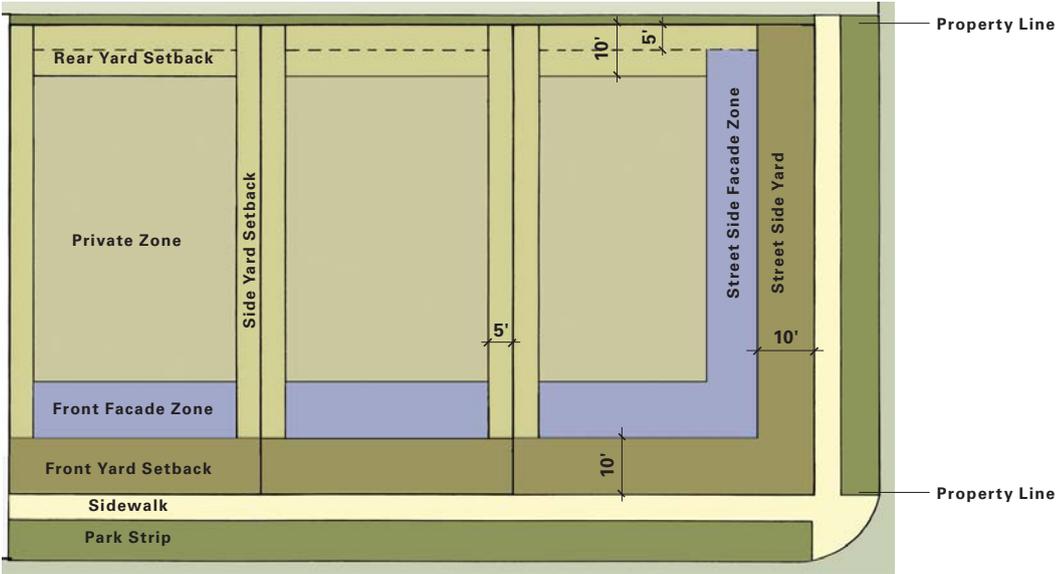
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
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  - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

55-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 55–60 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

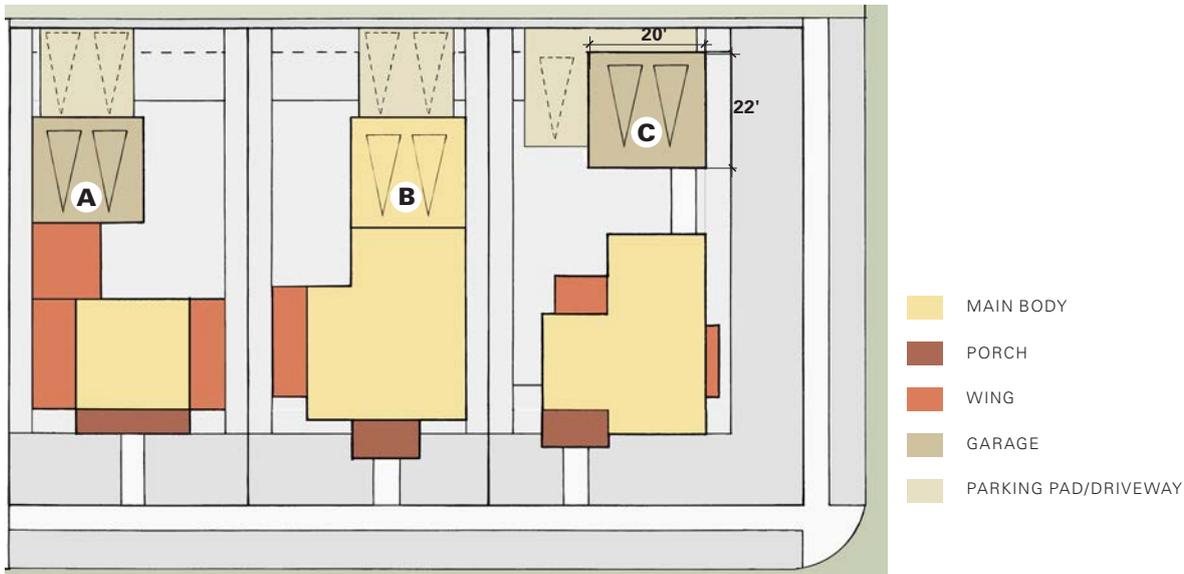
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 10 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- » Not used

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (C)
- » Semi-attached (A)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

## 55-FOOT LOT : REAR-LOADED



Yard Requirements

## FENCE REQUIREMENTS

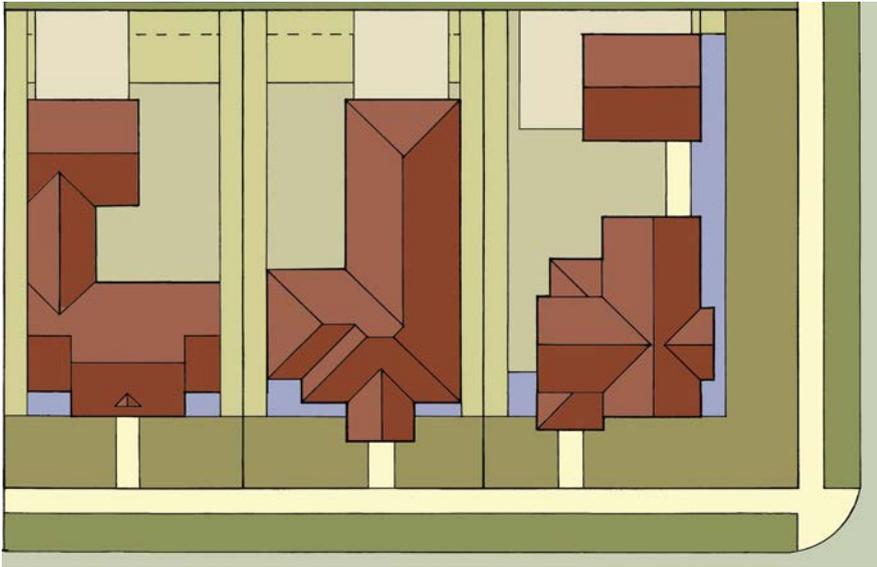
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy. Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 to 50 lots = 2 floor plans
  - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

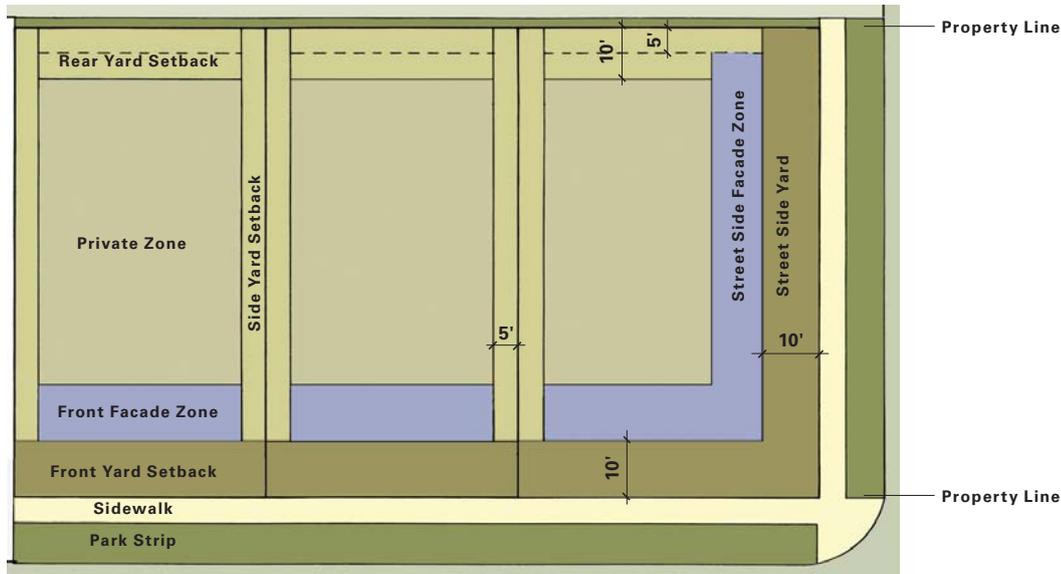
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 30 or fewer lots = 2 elevations
  - › 31 to 50 lots = 2 elevations
  - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## 55-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 55–60 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

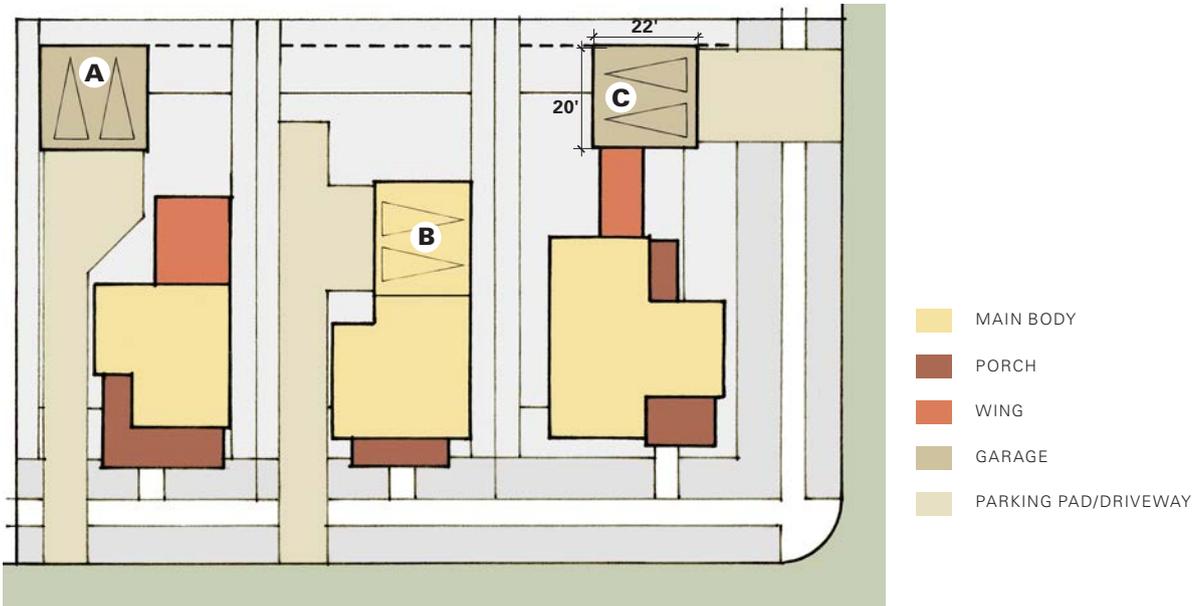
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: a minimum of 10 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

## FACADE ZONE

- » Not used

ENCROACHMENTS INTO  
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (C)
- » Semi-attached (A)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted if third garage door is set back from the facade
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

## 55-FOOT LOT : FRONT-LOADED



Yard Requirements

## FENCE REQUIREMENTS

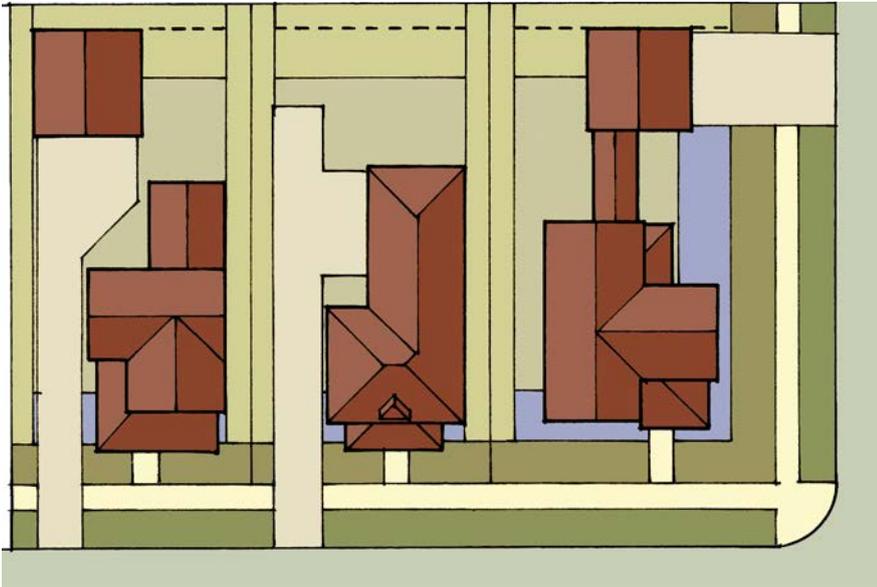
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 to 50 lots = 2 floor plans
  - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

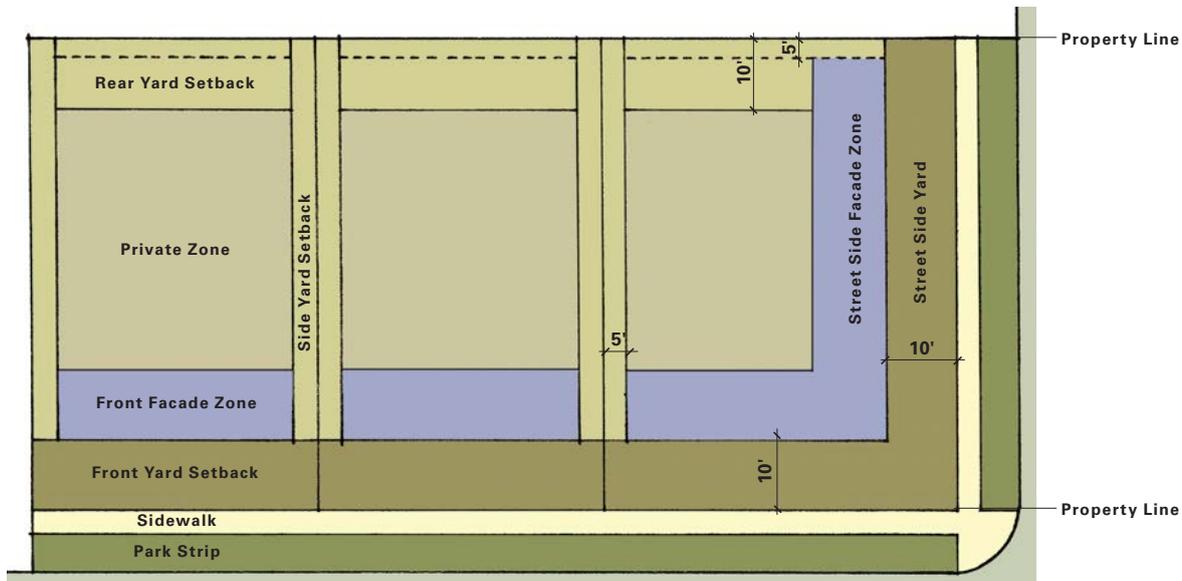
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 30 or fewer lots = 2 elevations
  - › 31 to 50 lots = 2 elevations
  - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## 60-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 60–65 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

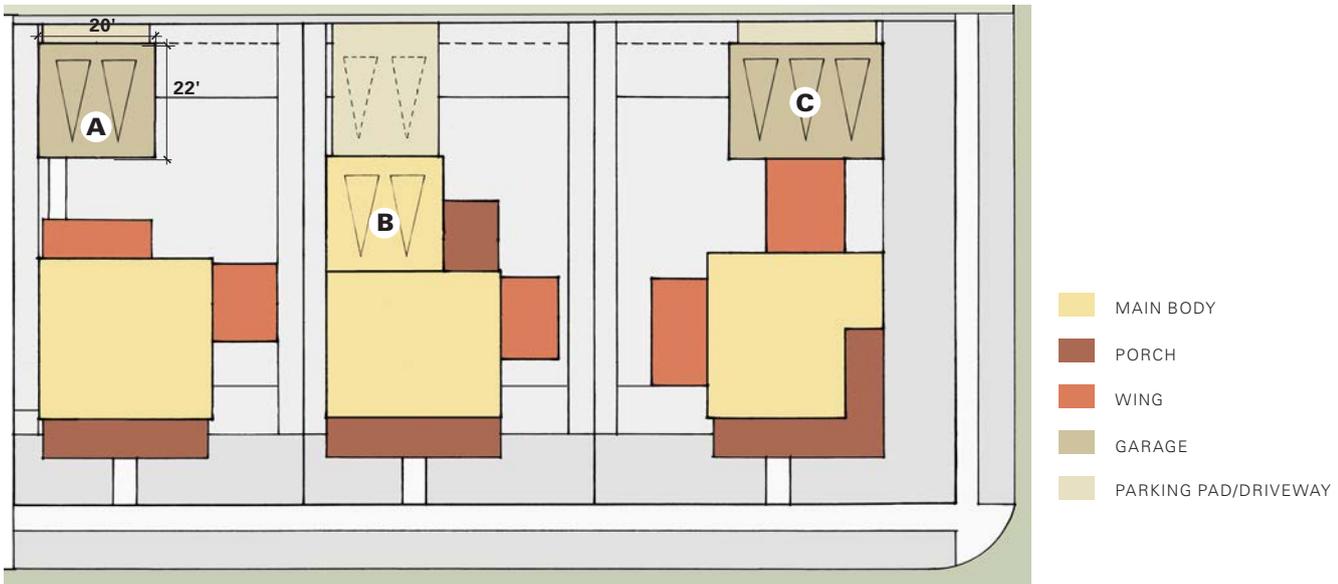
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 10 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

## FACADE ZONE

- » Not used

## ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

## 60-FOOT LOT : REAR-LOADED



Yard Requirements

## FENCE REQUIREMENTS

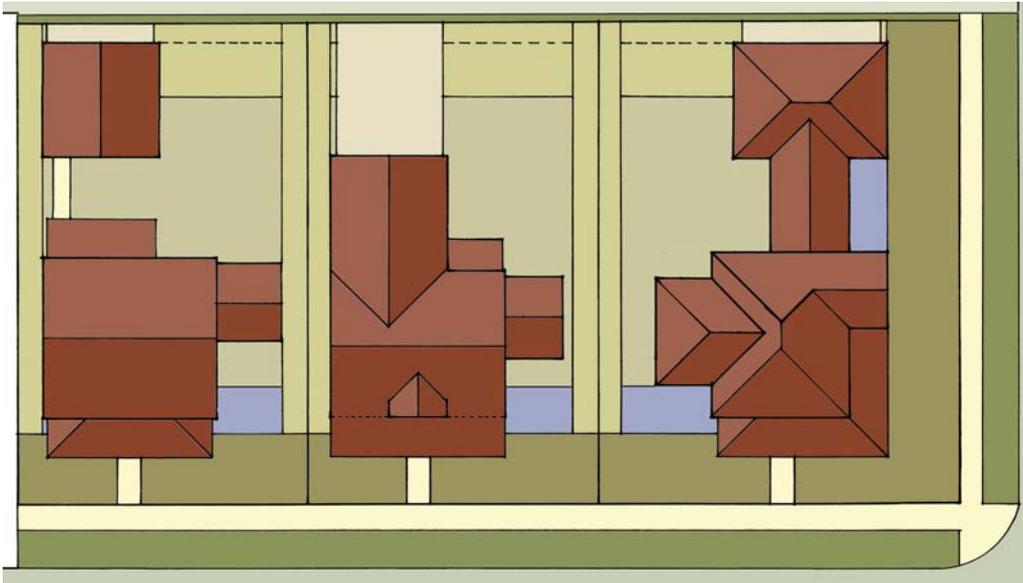
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 to 50 lots = 2 floor plans
  - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

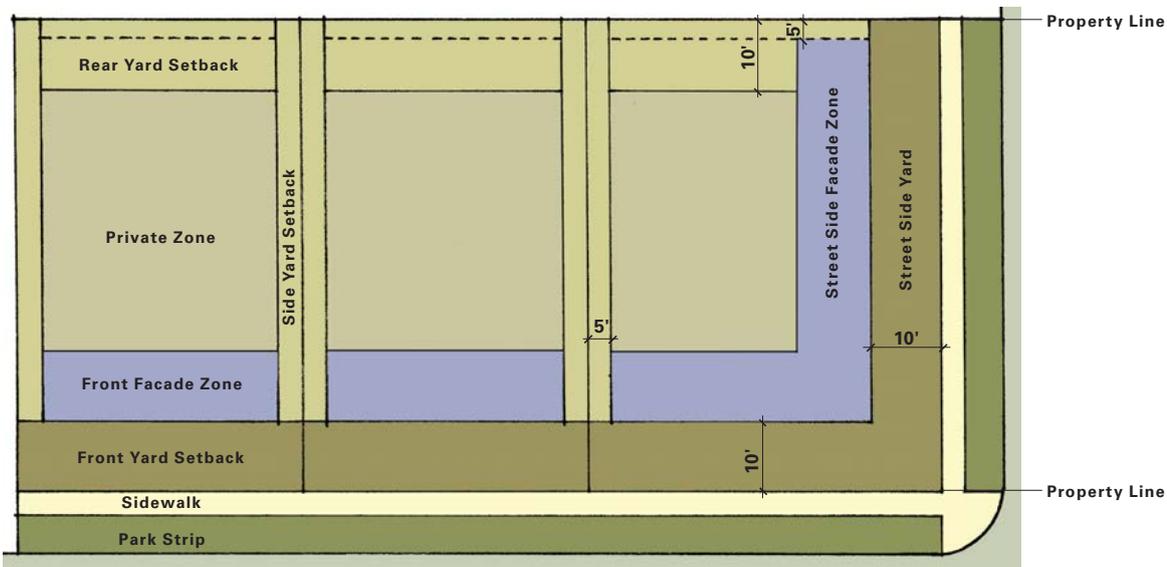
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 30 or fewer lots = 2 elevations
  - › 31 to 50 lots = 2 elevations
  - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## 60-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 60–65 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

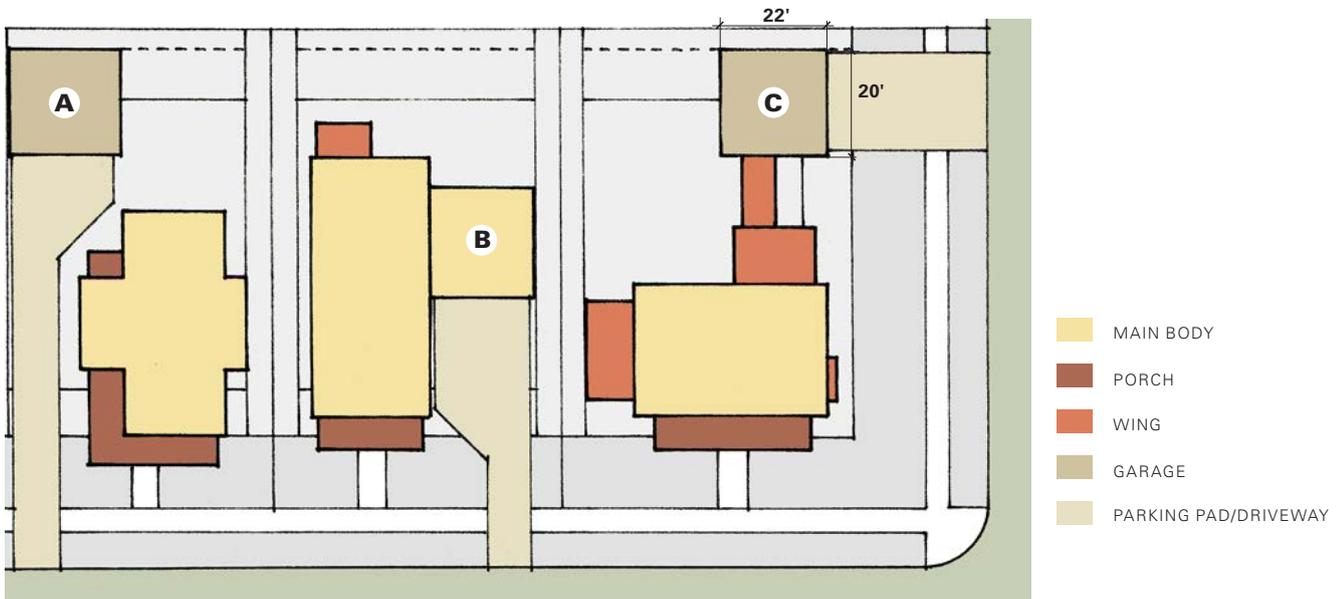
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: a minimum of 10 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

## FACADE ZONE

- » Not used

ENCROACHMENTS INTO  
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Maximum two-car garage may face street side
- » Street-loaded garages may be a maximum of 45% of the street facing facade
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side house elevation

## 60-FOOT LOT : FRONT-LOADED



Yard Requirements

## FENCE REQUIREMENTS

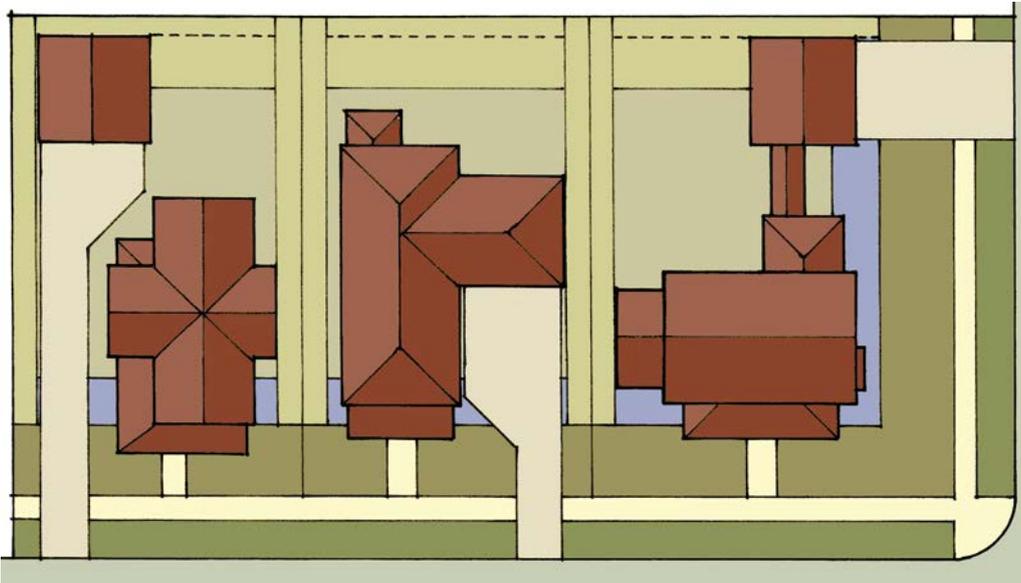
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 to 50 lots = 2 floor plans
  - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

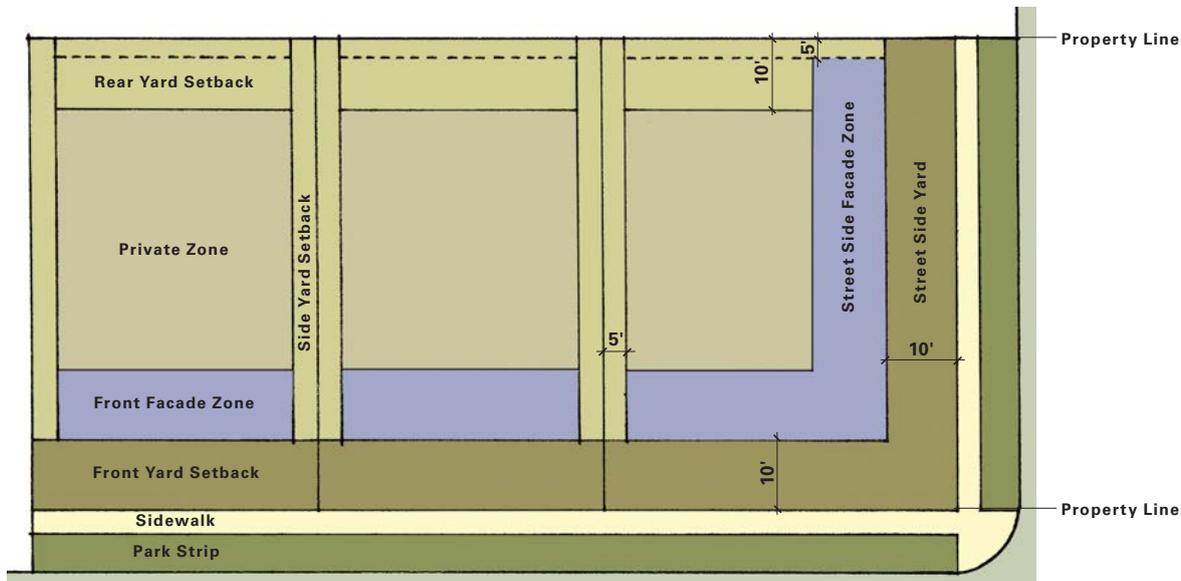
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 30 or fewer lots = 2 elevations
  - › 31 to 50 lots = 2 elevations
  - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## 65-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 65–70 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

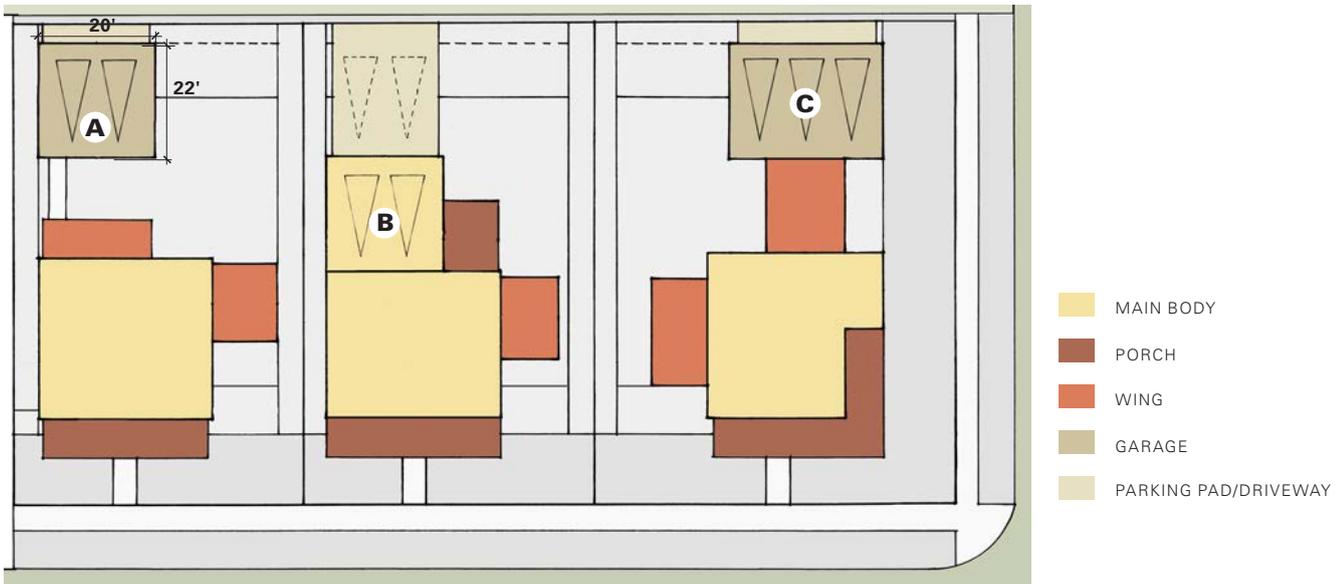
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 10 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

## FACADE ZONE

- » Not used

## ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

## 65-FOOT LOT : REAR-LOADED



Yard Requirements

## FENCE REQUIREMENTS

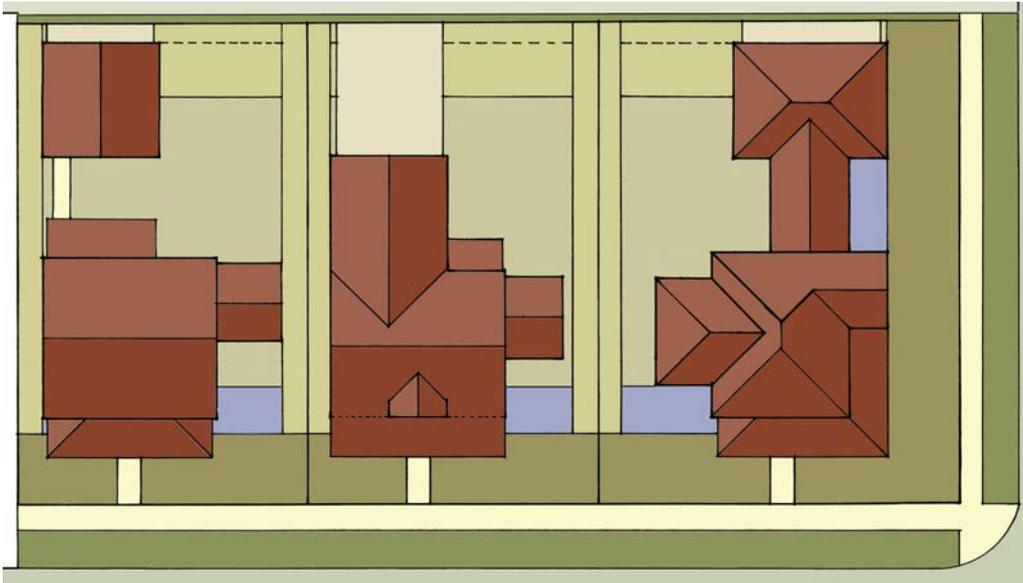
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 to 50 lots = 2 floor plans
  - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

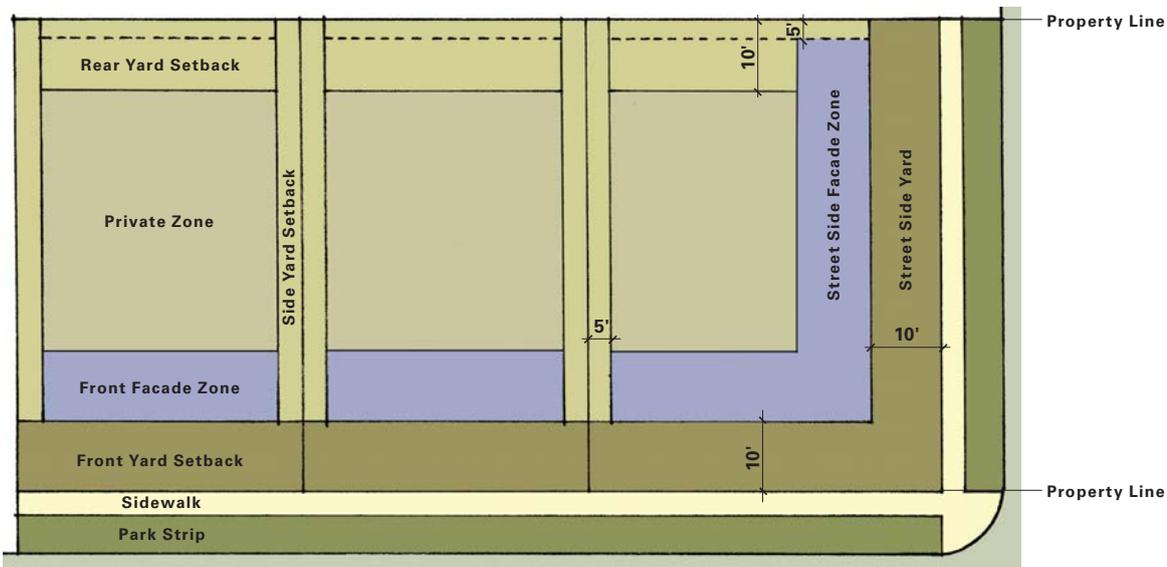
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 30 or fewer lots = 2 elevations
  - › 31 to 50 lots = 2 elevations
  - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## 65-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 65–70 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

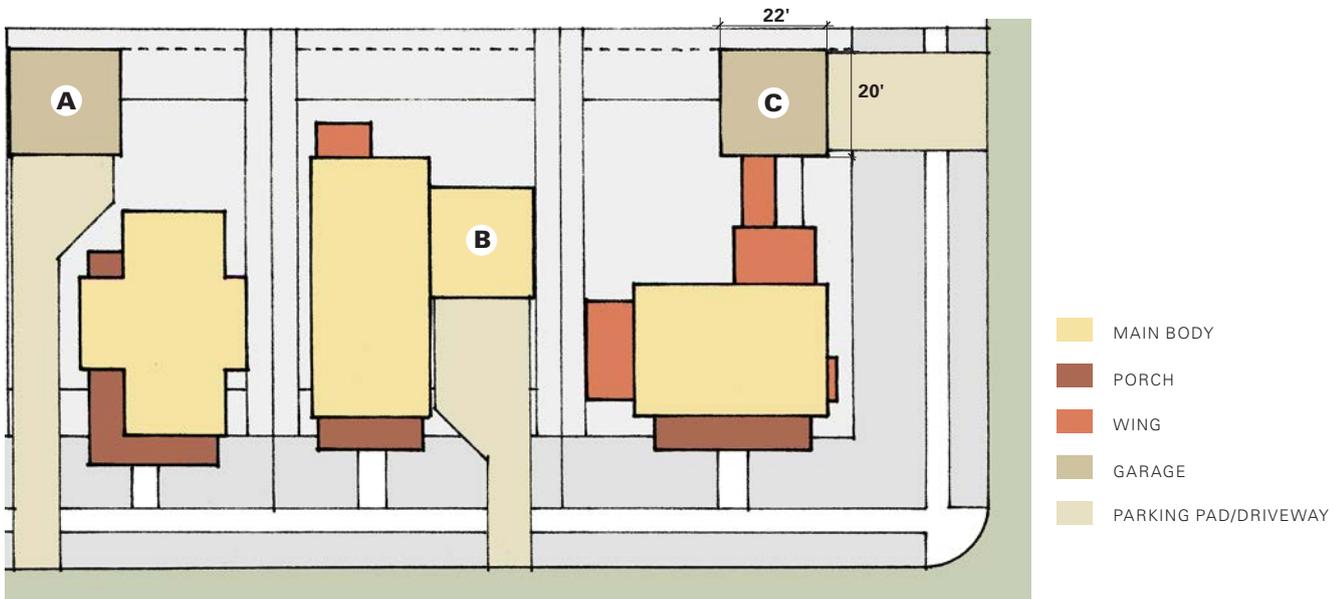
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: a minimum of 10 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

## FACADE ZONE

- » Not used

ENCROACHMENTS INTO  
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

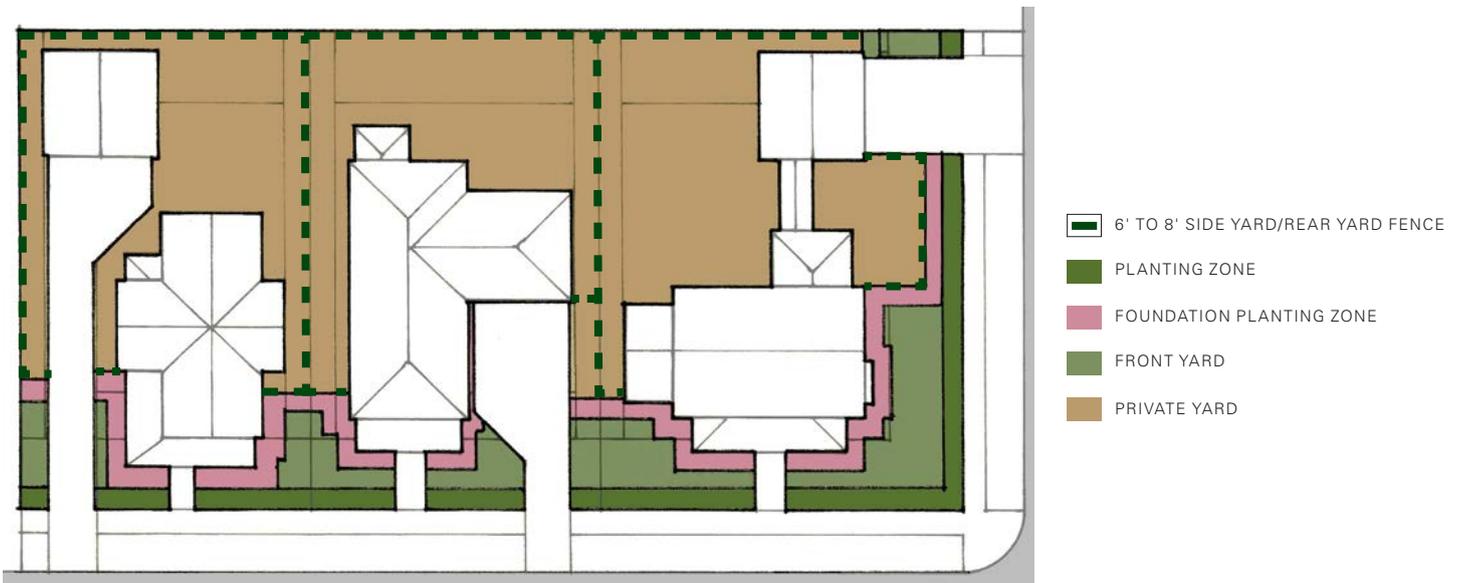
PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Maximum two-car garage may face street side
- » Street-loaded garages may be a maximum of 45% of the street facing facade
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side house elevation

## 65-FOOT LOT : FRONT-LOADED



Yard Requirements

## FENCE REQUIREMENTS

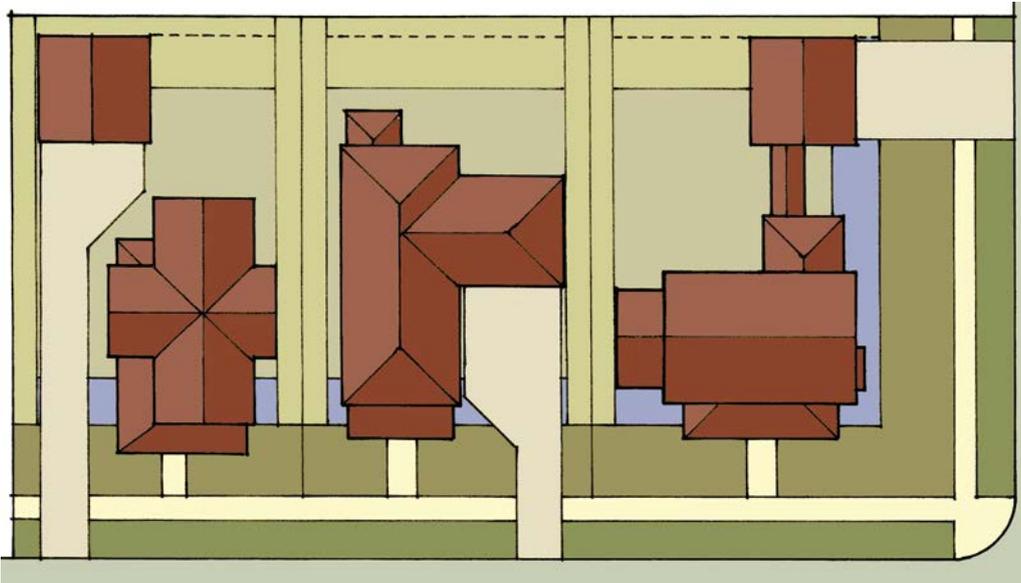
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 to 50 lots = 2 floor plans
  - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

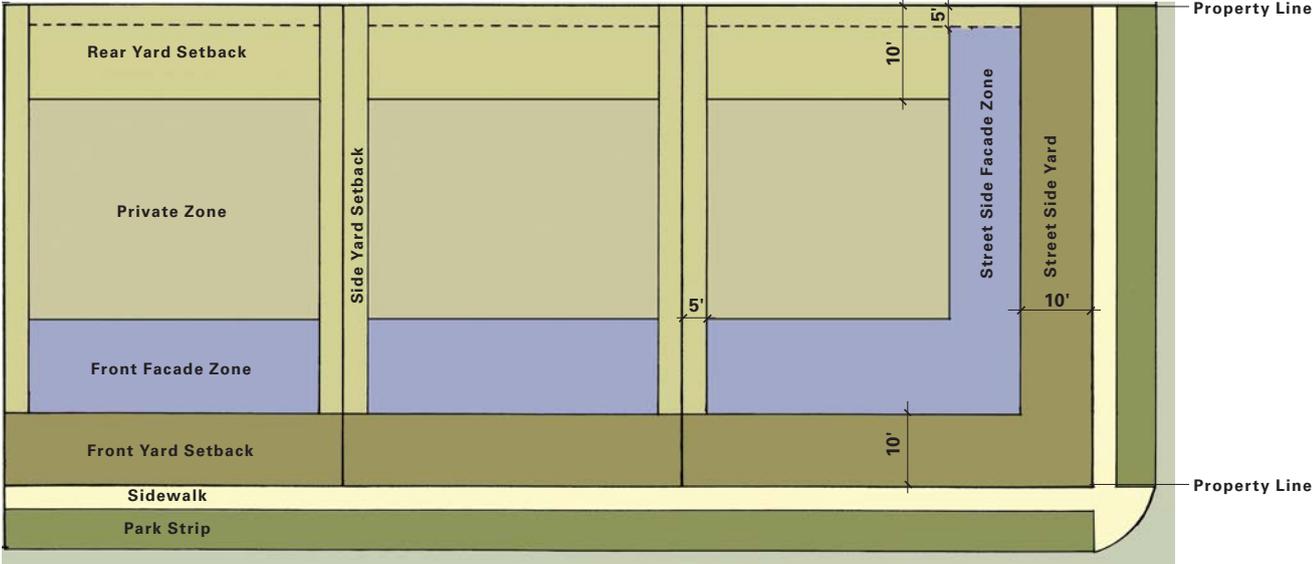
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 30 or fewer lots = 2 elevations
  - › 31 to 50 lots = 2 elevations
  - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

# 70-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

### LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 70–80 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

### MINIMUM HOUSE SETBACKS

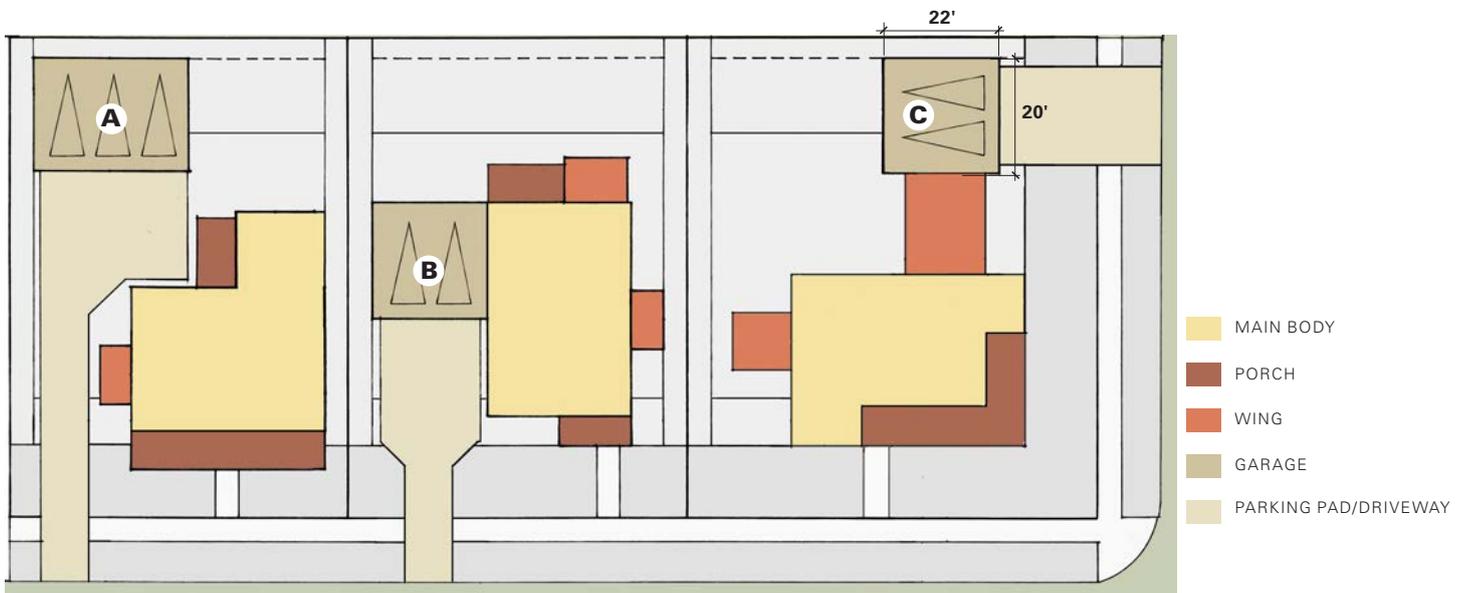
- » Front Yard: 10 feet to the house; 5 feet behind front facade to street-facing attached garage; no required setback if garage doors face side yard
- » Street Side Yard: 10 feet to the house; 20 feet to the garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: a minimum of 10 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

### FACADE ZONE

- » Not used

### ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

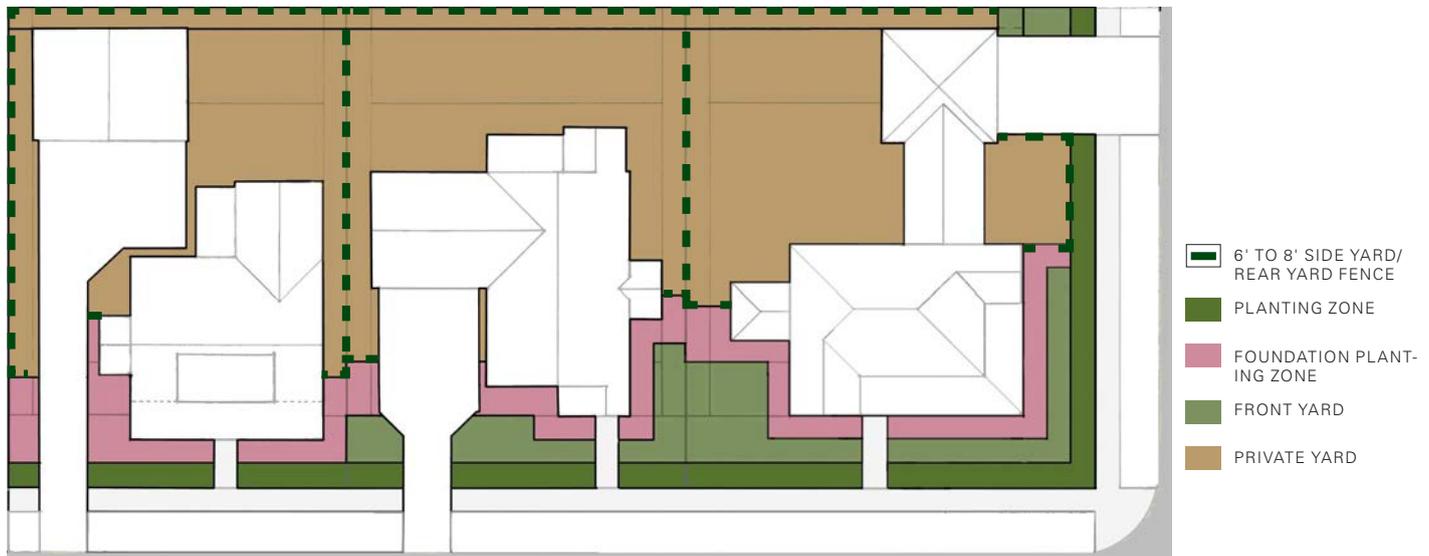
PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached (B)
- » Tuck-under
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Maximum two-car garage may face street side
- » Street-loaded garages may be a maximum of 45% of the street facing facade
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side house elevation

## 70-FOOT LOT : FRONT-LOADED



Yard Requirements

## FENCE REQUIREMENTS

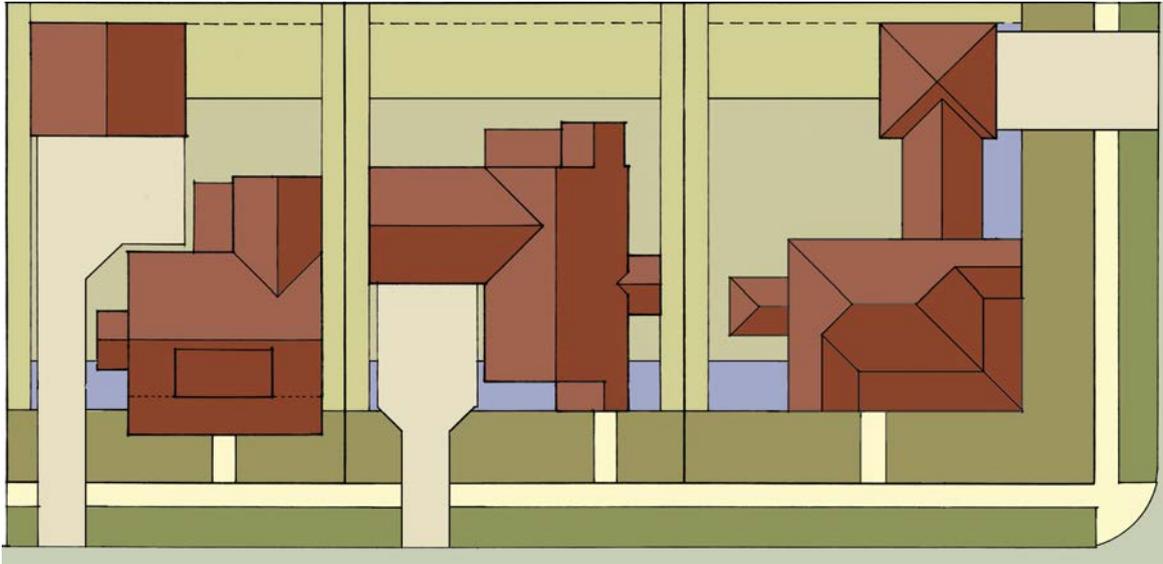
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy. Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 to 50 lots = 2 floor plans
  - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

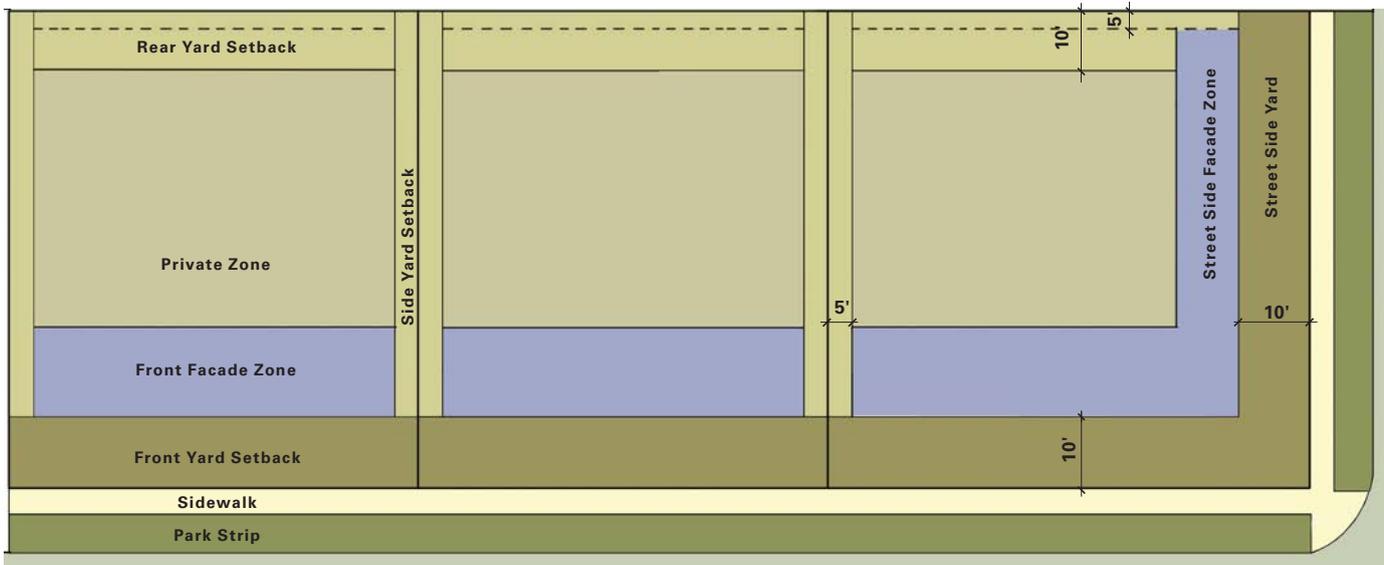
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 30 or fewer lots = 2 elevations
  - › 31 to 50 lots = 2 elevations
  - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## 80-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 80–100 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

- » Front Yard: 10 feet to the house; 5 feet behind front facade to street-facing attached garage; no required setback if garage doors face side yard
- » Street Side Yard: 10 feet to the house; 20 feet to the garage
- » Side Yard: 5 feet to the house and garage

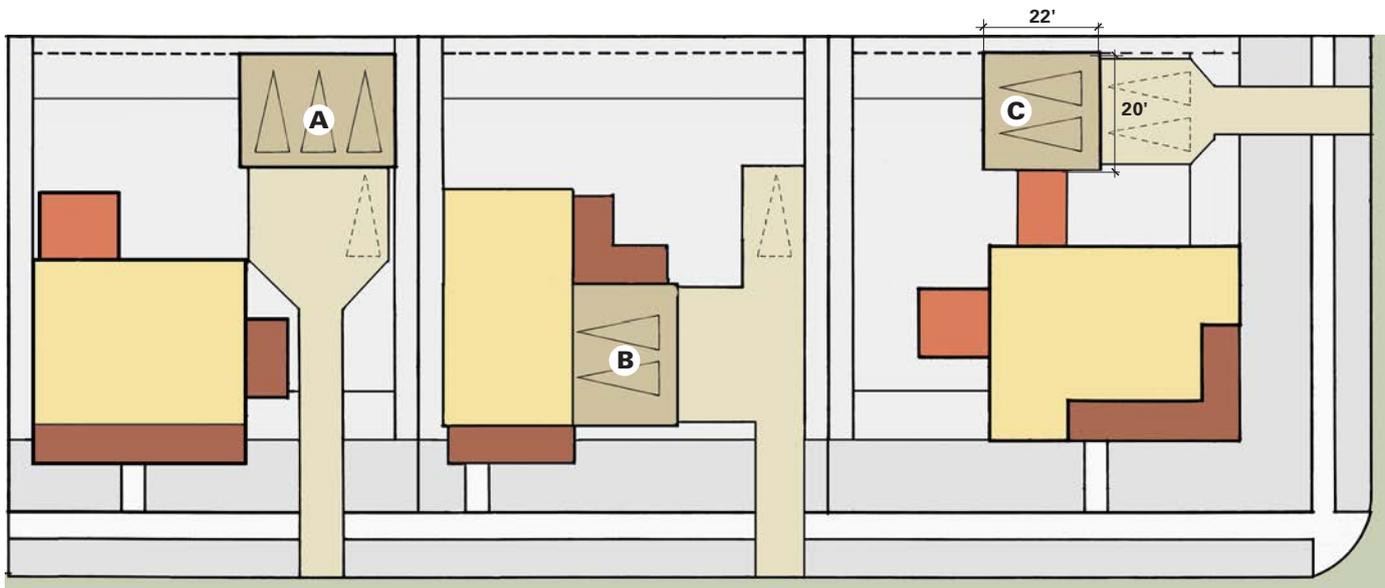
- » Rear Yard: 10 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

## FACADE ZONE

- » Not used

## ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

- |  |   |   |
|--|---|---|
| <span style="display: inline-block; width: 15px; height: 15px; background-color: yellow; border: 1px solid black;"></span> MAIN BODY | <span style="display: inline-block; width: 15px; height: 15px; background-color: brown; border: 1px solid black;"></span> PORCH                   | <span style="display: inline-block; width: 15px; height: 15px; background-color: orange; border: 1px solid black;"></span> WING |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: tan; border: 1px solid black;"></span> GARAGE       | <span style="display: inline-block; width: 15px; height: 15px; background-color: lighttan; border: 1px solid black;"></span> PARKING PAD/DRIVEWAY |   |

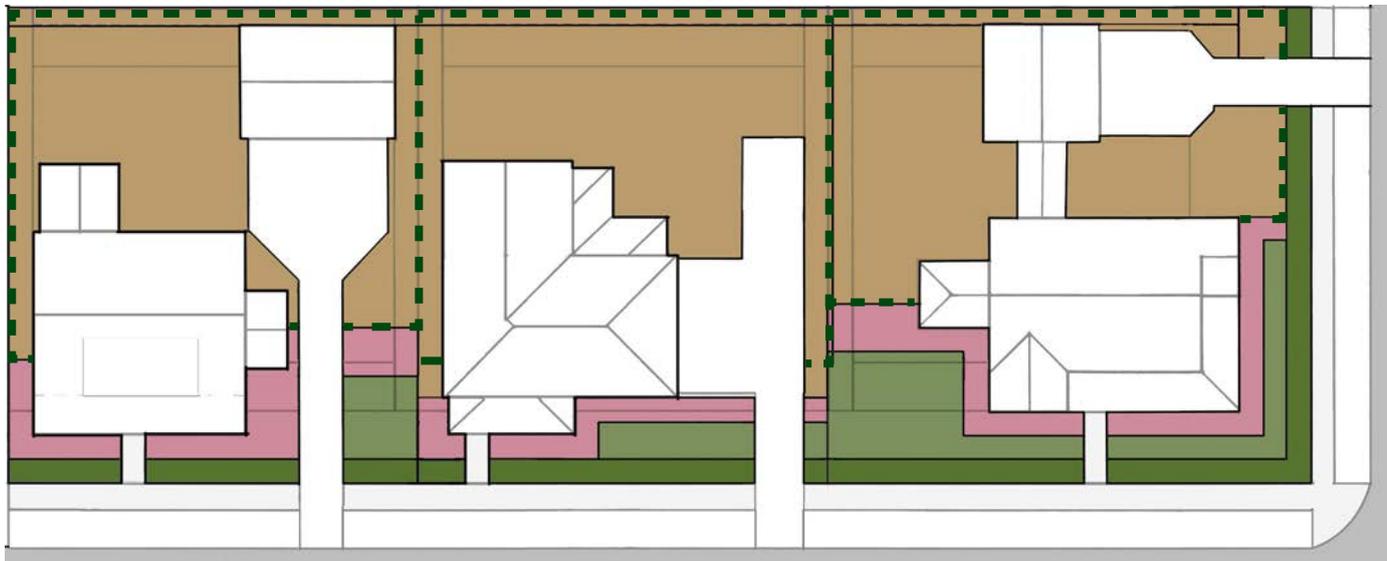
PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached (B)
- » Tuck-under
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Maximum two-car garage may face street side
- » Street-loaded garages may be a maximum of 45% of the street facing facade
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side house elevation

## 80-FOOT LOT : FRONT-LOADED



Yard Requirements

 6' TO 8' SIDE YARD/  
REAR YARD FENCE

 PLANTING ZONE

 FOUNDATION PLANT-  
ING ZONE

 FRONT YARD

 PRIVATE YARD

## FENCE REQUIREMENTS

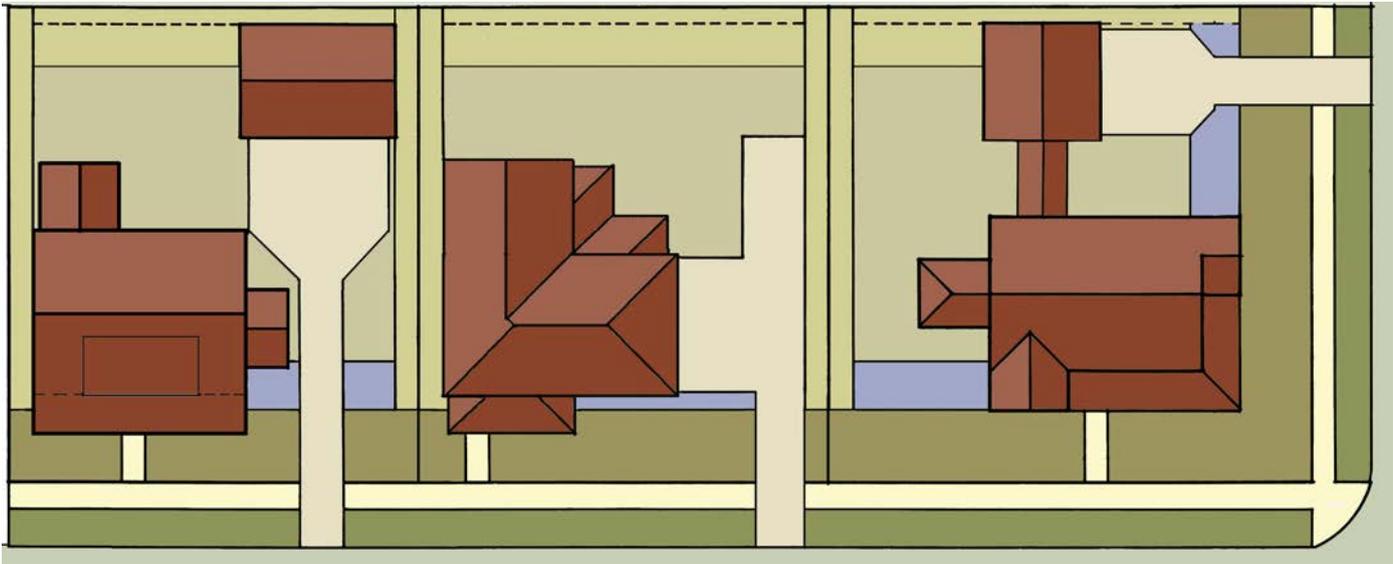
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 to 50 lots = 2 floor plans
  - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

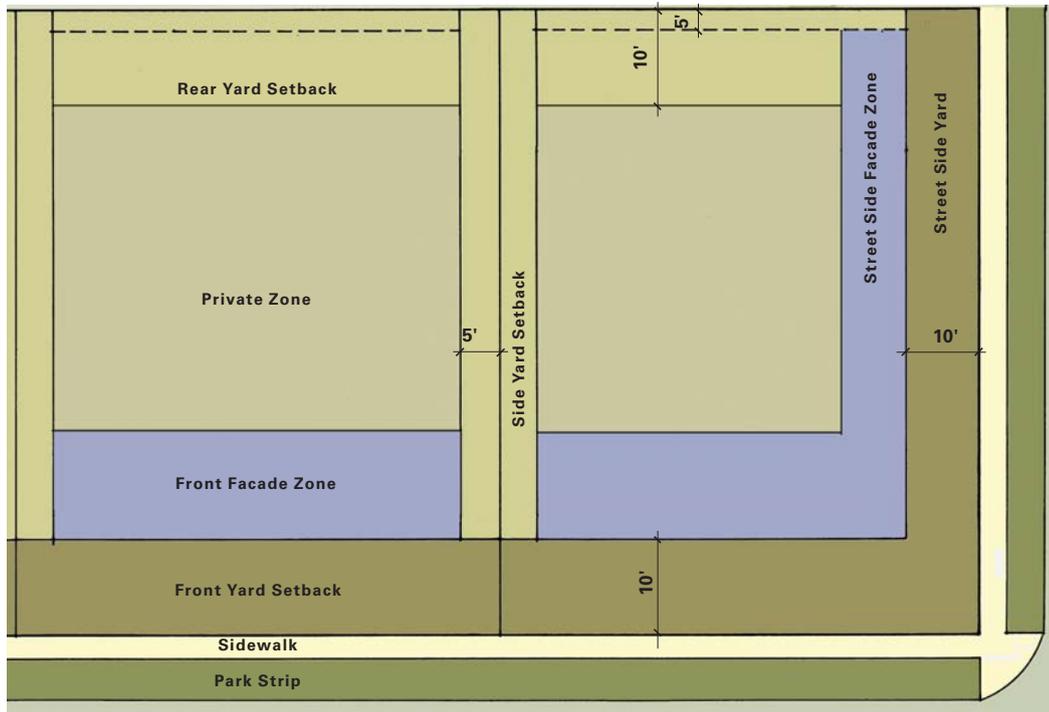
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 30 or fewer lots = 2 elevations
  - › 31 to 50 lots = 2 elevations
  - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## 100-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Lot Width: 100–110 feet
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

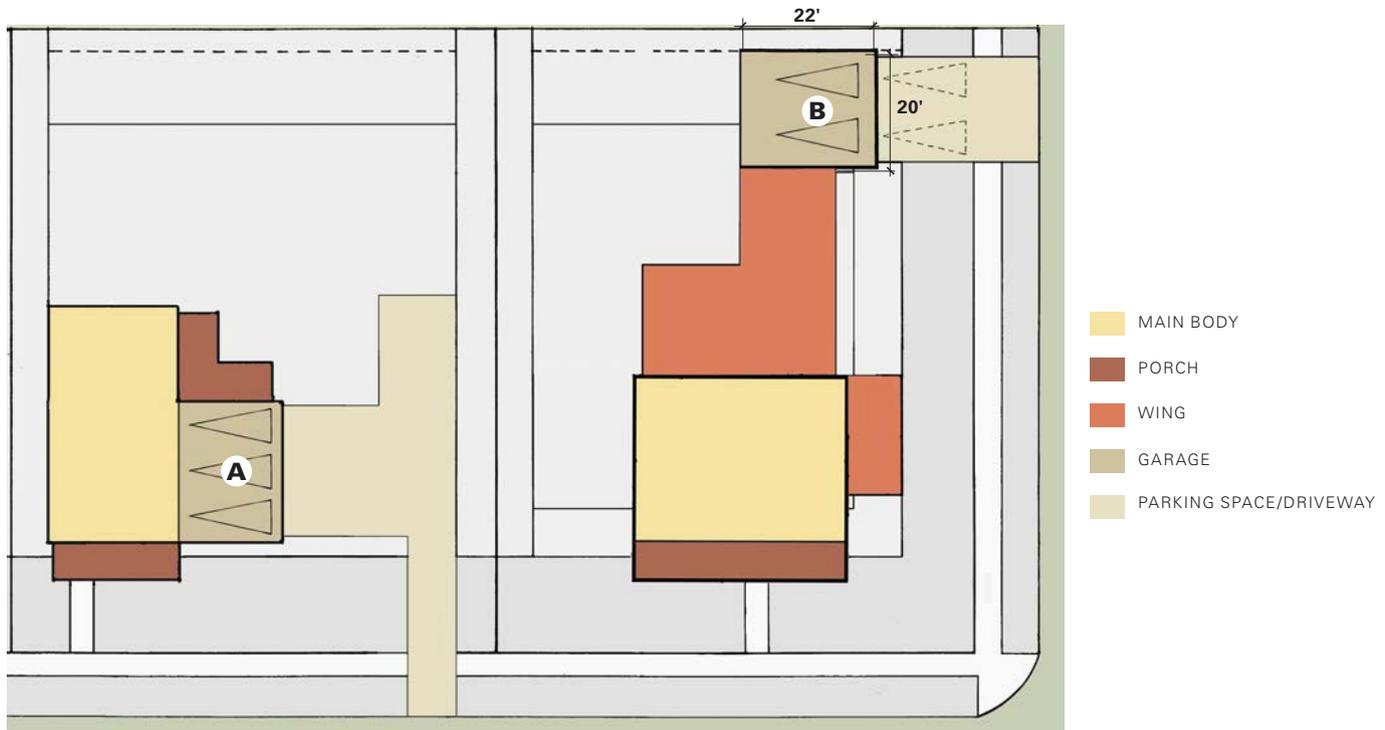
- » Front Yard: 10 feet to the house; 5 feet behind front facade to street-facing attached garage; no required setback if garage doors face side yard
- » Street Side Yard: 10 feet to the house; 20 feet to the garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 10 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

## FACADE ZONE

- » Not used

ENCROACHMENTS INTO  
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached
- » Semi-attached (B)
- » Attached (A)
- » Tuck-under
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Maximum two-car garage may face street side
- » Street-loaded garages may be a maximum of 45% of the street facing facade
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side house elevation

## 100-FOOT LOT : FRONT-LOADED



Yard Requirements

## FENCE REQUIREMENTS

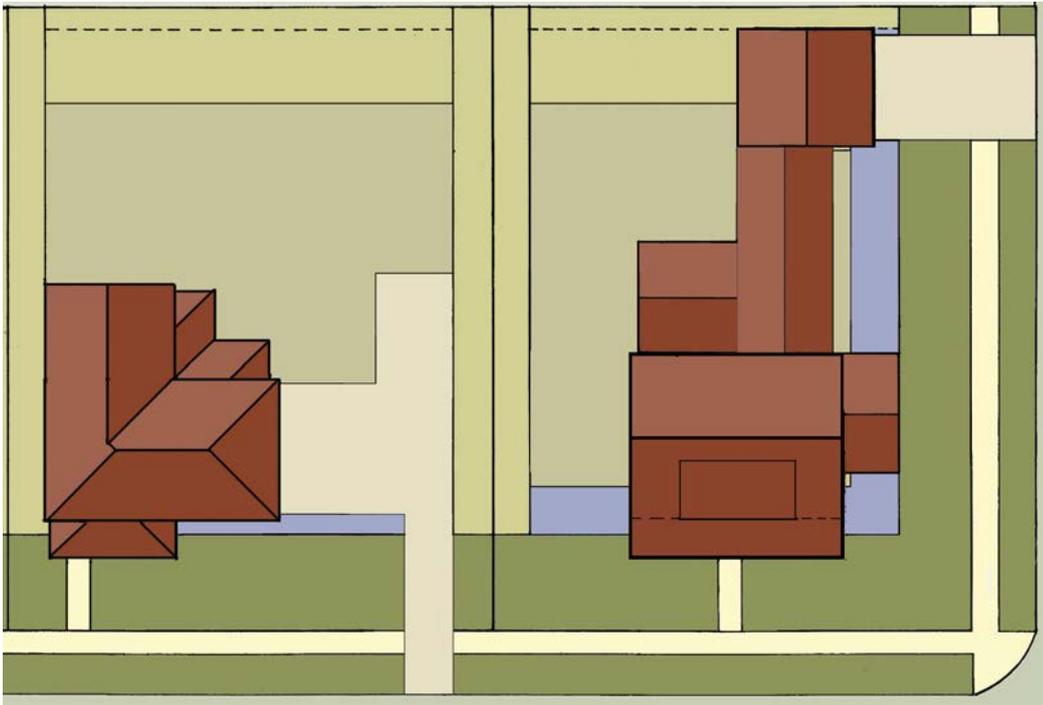
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types must contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of lots developed:
  - › 30 or fewer lots = 1 floor plan
  - › 31 or more lots = 2 floor plans

ELEVATION PER PLAN MINIMUM

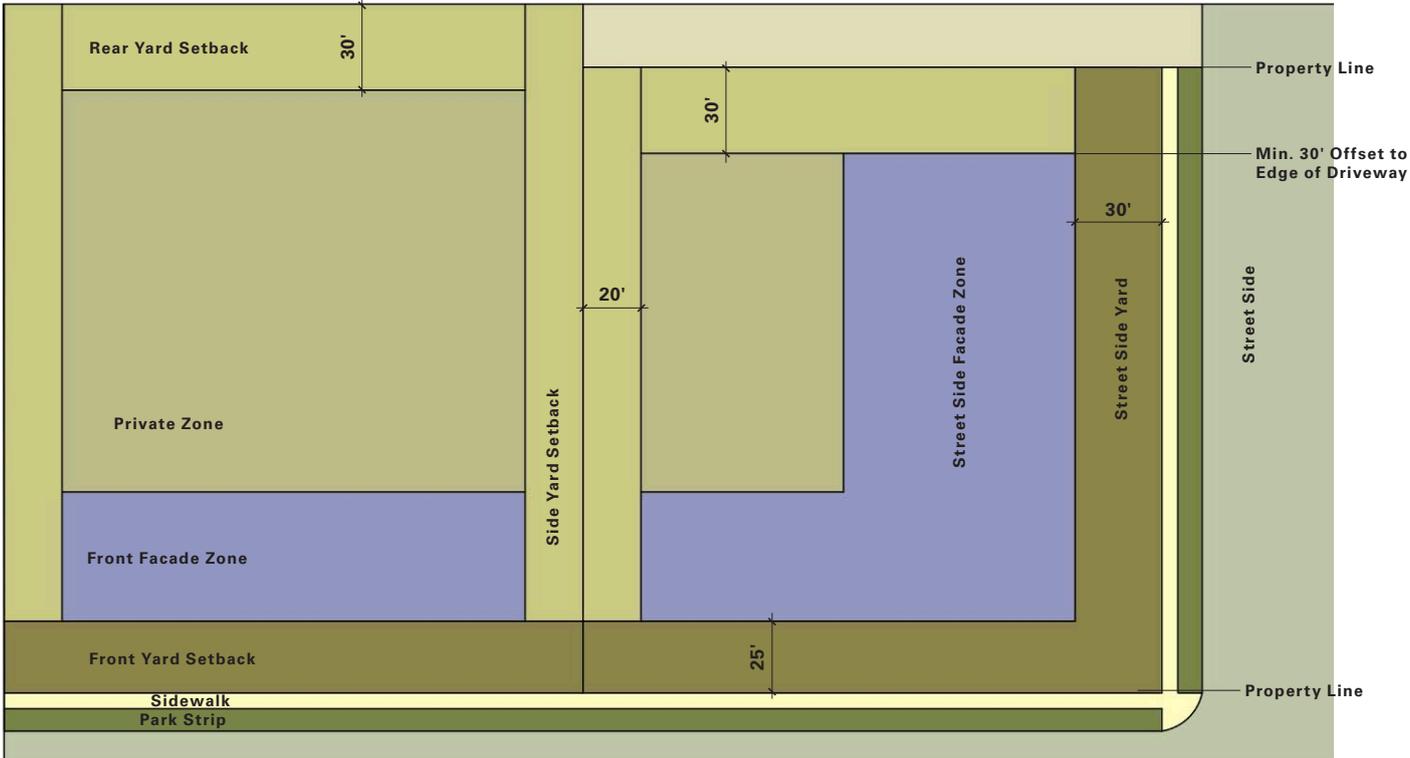
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 30 or fewer lots = 2 elevations
  - › 31 or more lots = 2 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

# ESTATE LOT : REAR-LOADED



Lot Zones and Setbacks

### LOT SIZE (APPROXIMATE)

- » Interior Lot Width: between 75 to 250 feet
- » Lot Depth: 90 feet minimum

### MINIMUM HOUSE SETBACKS

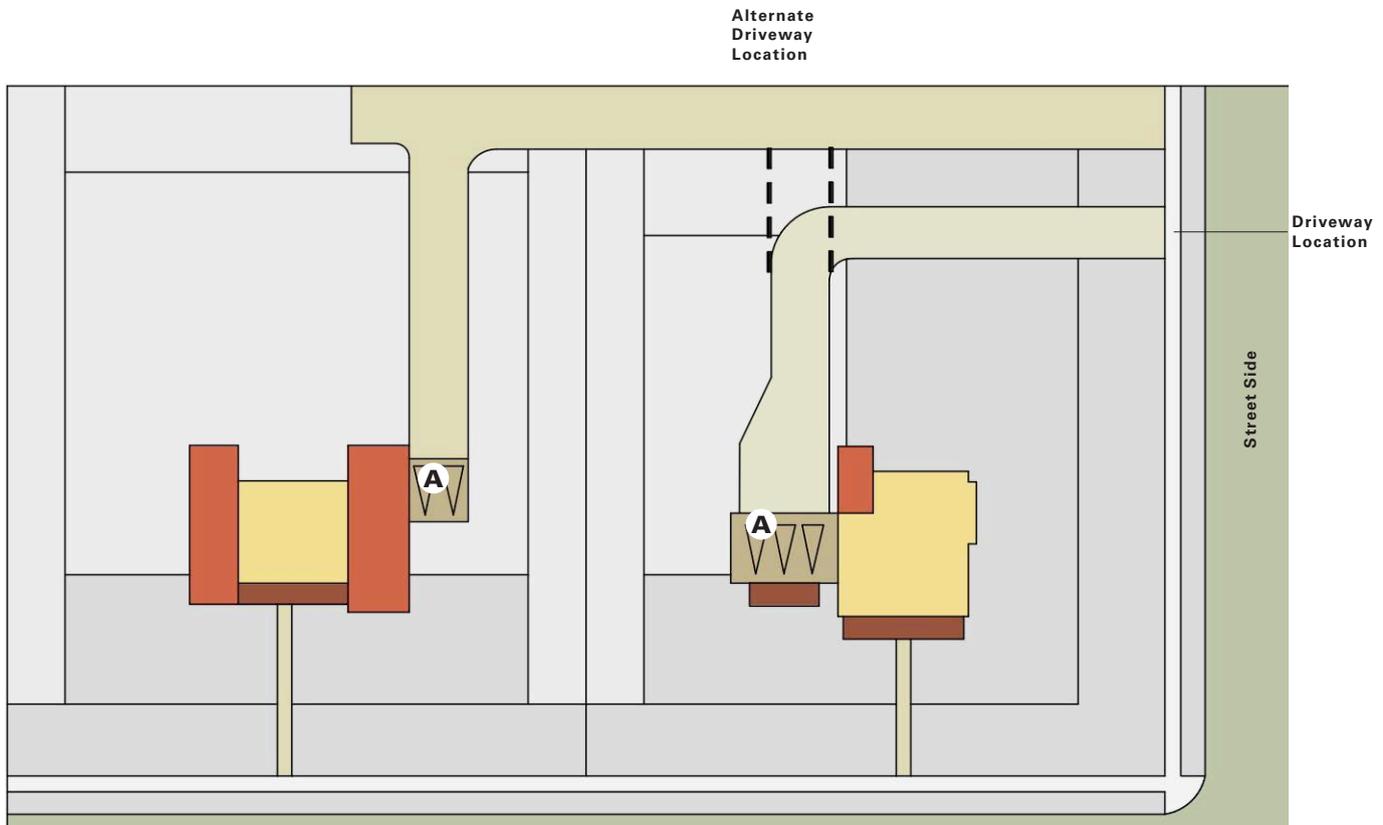
- » Front Yard: 25 feet to the house
- » Street Side Yard: 30 feet to the house and garage
- » Side Yard: 20 feet to the house and garage
- » Rear Yard: 30 feet to the house and garage

### FACADE ZONE

- » Not used.

### ENCROACHMENTS INTO SETBACKS

- » Not Permitted



Elements of the House

- |   |  |
|---|--|
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #f9e79f; border: 1px solid black;"></span> MAIN BODY | <span style="display: inline-block; width: 15px; height: 10px; background-color: #c9944d; border: 1px solid black;"></span> GARAGE               |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #8b4513; border: 1px solid black;"></span> PORCH     | <span style="display: inline-block; width: 15px; height: 10px; background-color: #d9ead3; border: 1px solid black;"></span> PARKING PAD/DRIVEWAY |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #e67e22; border: 1px solid black;"></span> WING      |  |

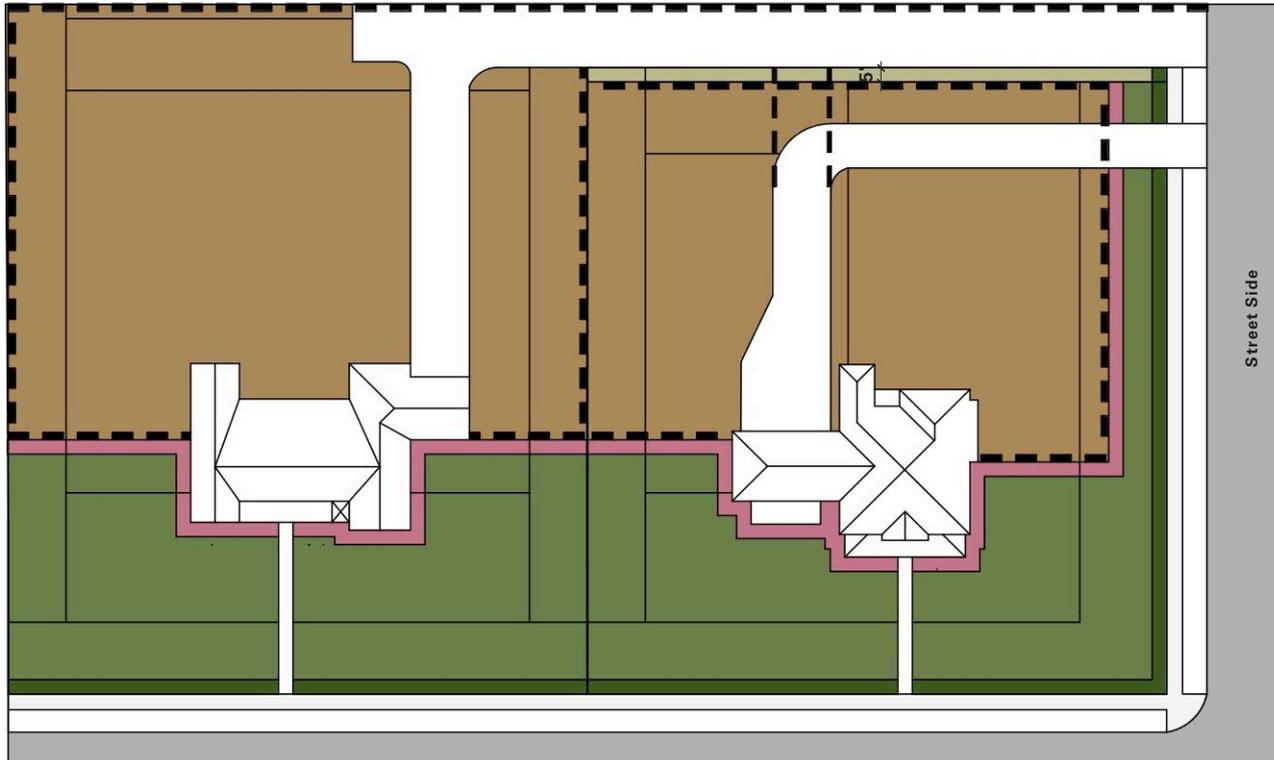
PERMITTED GARAGE TYPES

- » Detached
- » Semi-attached
- » Attached (A)
- » Tuck-under
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 3 off-street parking spaces; minimum two-car garage required; four-car garage permitted
- » Single or double parking pad permitted adjacent to garage (except on street side of corner lots)
- » Provided parking pads shall be a minimum of 9 by 20 feet per car
- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

## ESTATE LOT : REAR-LOADED



## Yard Requirements

 6' TO 8' SIDE YARD/REAR YARD FENCE	 FRONT YARD
 PLANTING ZONE	 PRIVATE YARD
 FOUNDATION PLANTING ZONE	

## FENCE REQUIREMENTS

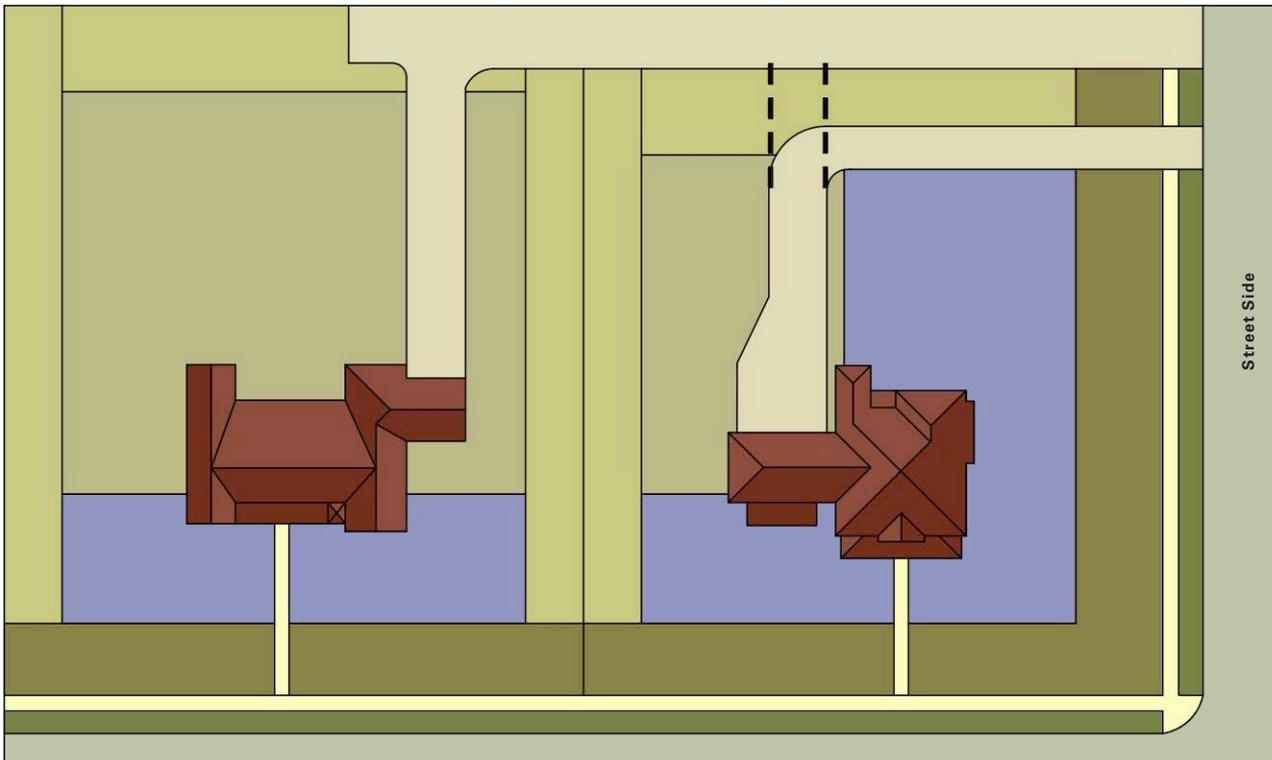
- » Front yard fencing is permitted in accordance with the Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted behind center of house only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 5 feet at lanes; 0 feet where no lane
- » Side Yard: 15 feet from front facade of house minimum (porch excluded)
- » Street Side: 15 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 15 or fewer lots = 1 floor plan
  - › 16 or more lots = 2 floor plans

ELEVATION PER PLAN MINIMUM

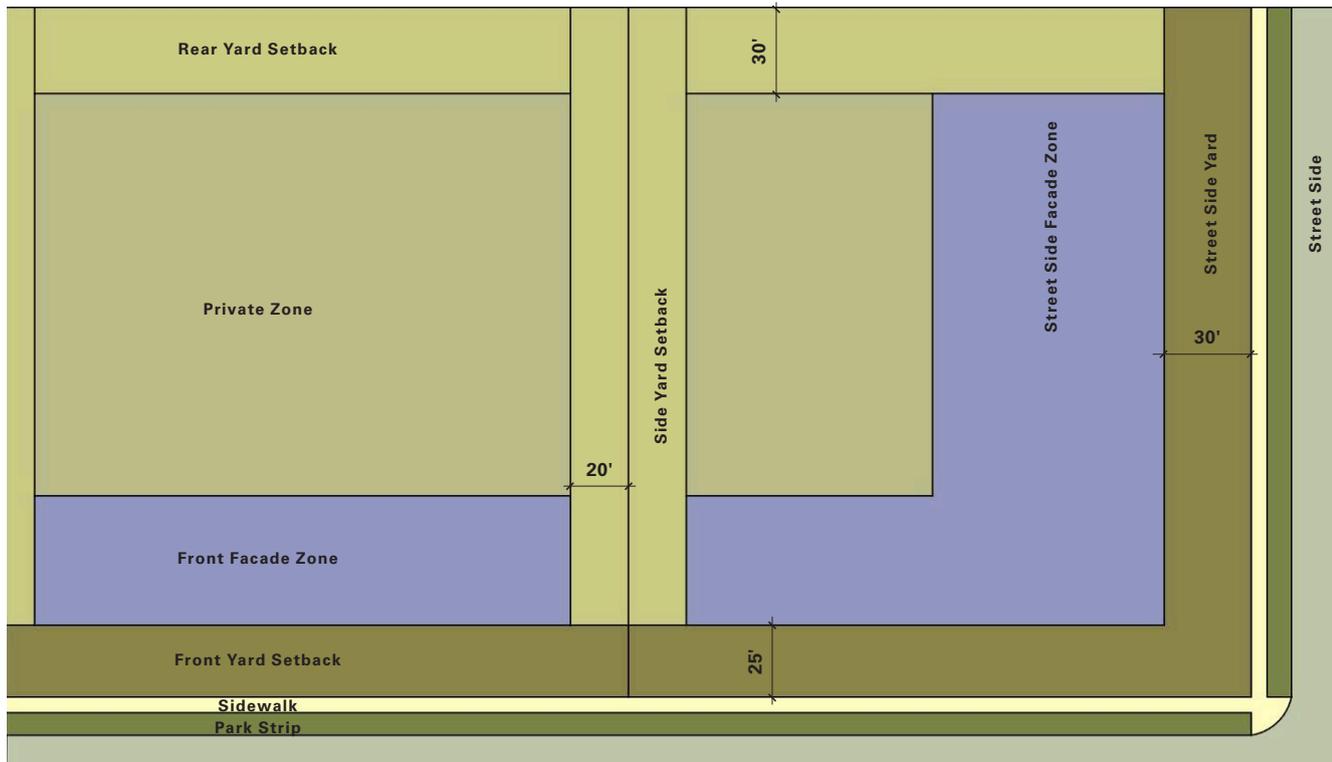
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 10 or fewer lots = 2 elevations
  - › 11 or more lots = 2 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## ESTATE LOT : FRONT-LOADED



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Lot Width: 75 to 250 feet
- » Lot Depth: 90 feet minimum

## FACADE ZONE

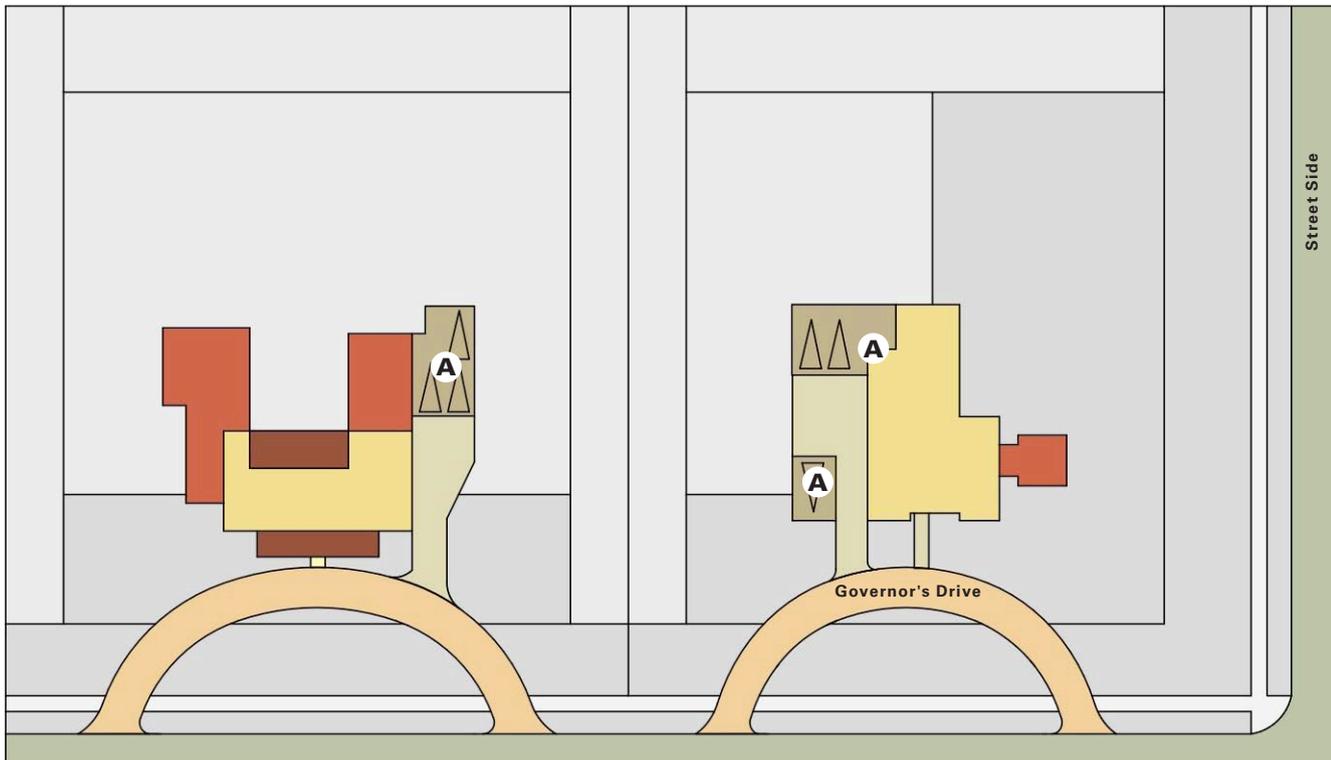
- » Not used

ENCROACHMENTS INTO  
SETBACKS

- » Not permitted

## MINIMUM HOUSE SETBACKS

- » Front Yard: 25 feet to the house; 5 feet behind front facade to street-facing attached garage
- » Street Side Yard: 30 feet to the house and garage
- » Side Yard: 20 feet to the house and garage
- » Rear Yard: 30 feet to the house and garage



Elements of the House

- MAIN BODY
- PORCH
- WING
- GARAGE
- PARKING PAD/DRIVEWAY
- GOVERNOR'S DRIVE

PERMITTED GARAGE TYPES

- » Detached
- » Semi-attached
- » Attached (A)
- » Tuck-under
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 3 off-street parking spaces; minimum two-car garage required; four-car garage permitted
- » Maximum two garage doors may face the street
- » Street-loaded garages may be a maximum of 40% of the street facing facade
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side house elevation

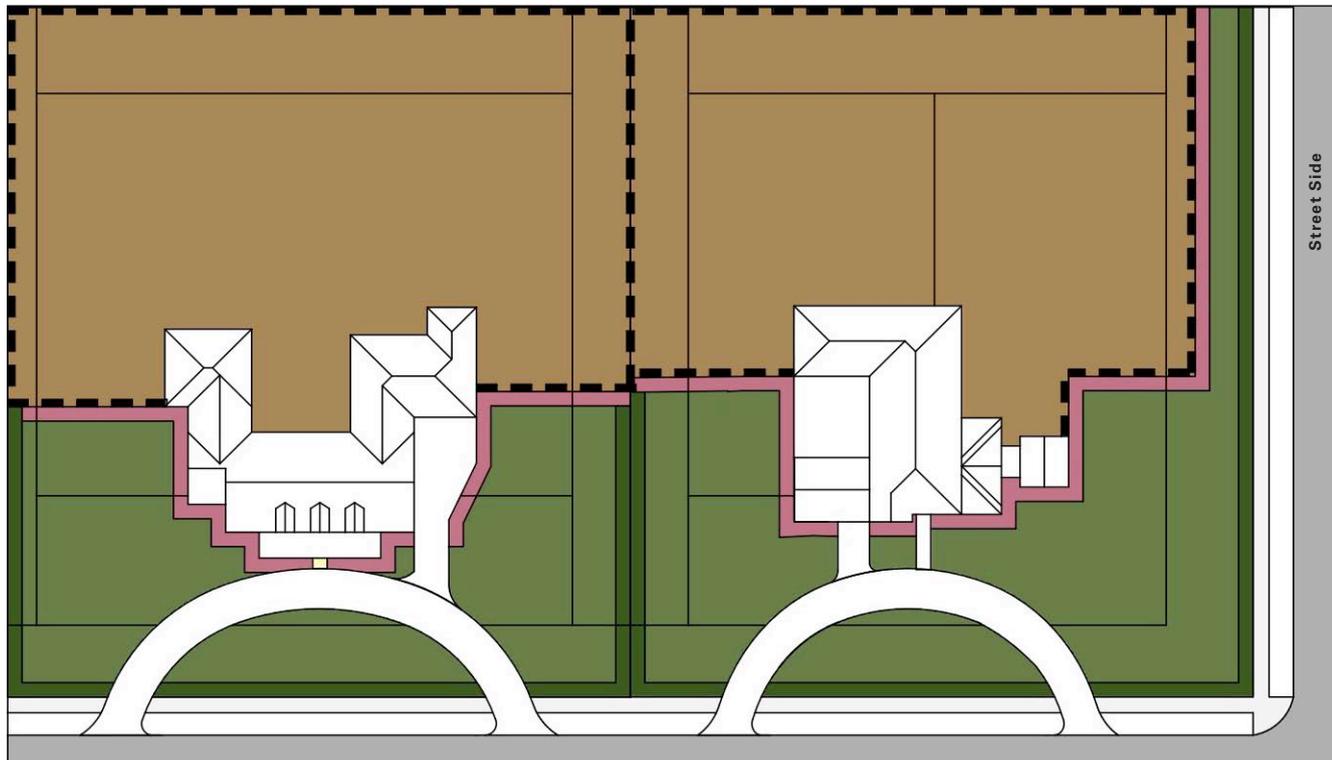
GOVERNOR'S DRIVE

- » Two curb cuts permitted

STRAIGHT DRIVE

- » Permitted

## ESTATE LOT : FRONT-LOADED



Yard Requirements

	6' TO 8' SIDE YARD/REAR YARD FENCE		FRONT YARD
	PLANTING ZONE		PRIVATE YARD
	FOUNDATION PLANTING ZONE		

## FENCE REQUIREMENTS

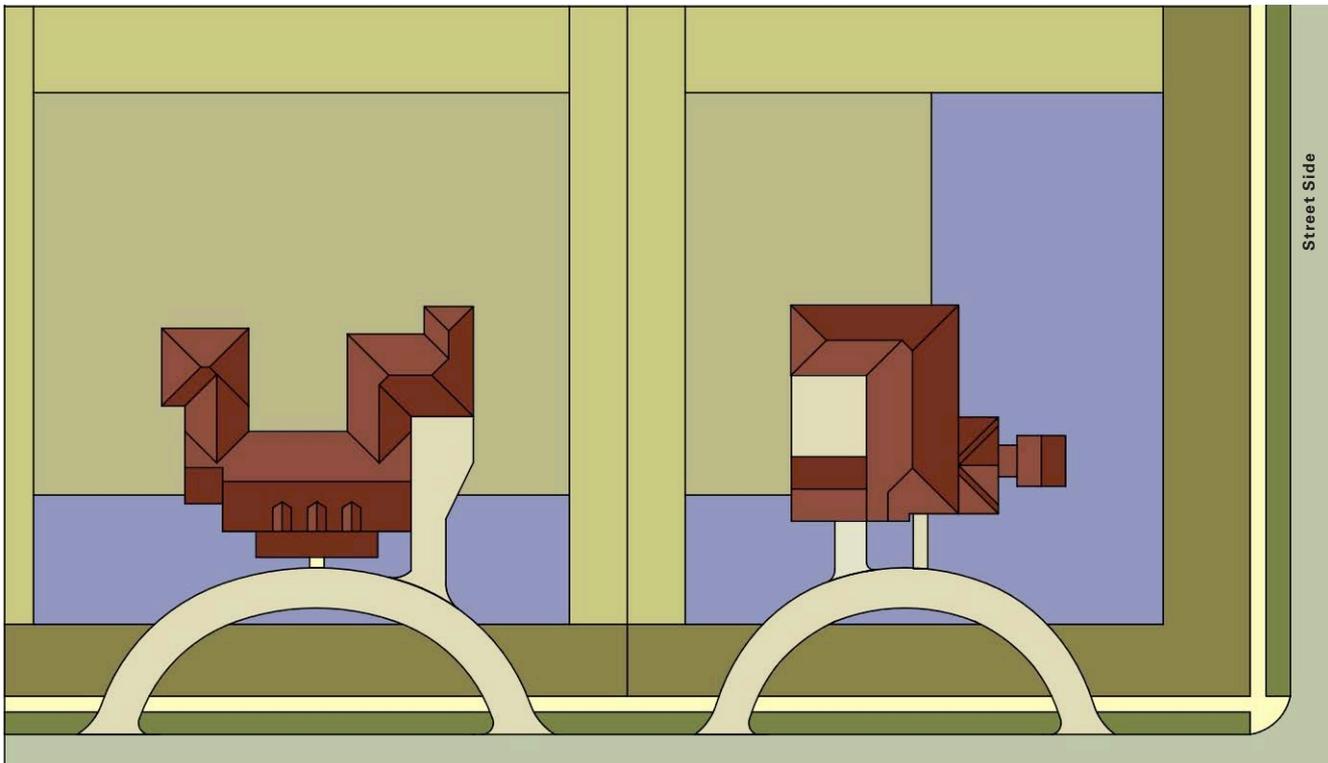
- » Front yard fencing is permitted in accordance with the Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted behind center of house only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: 0 feet
- » Side Yard: 15 feet from front facade of house (porch excluded)
- » Street Side: 15 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types must contain variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of lots developed:
  - › 15 or fewer lots = 1 floor plan
  - › 16 or more lots = 2 floor plans

ELEVATION PER PLAN MINIMUM

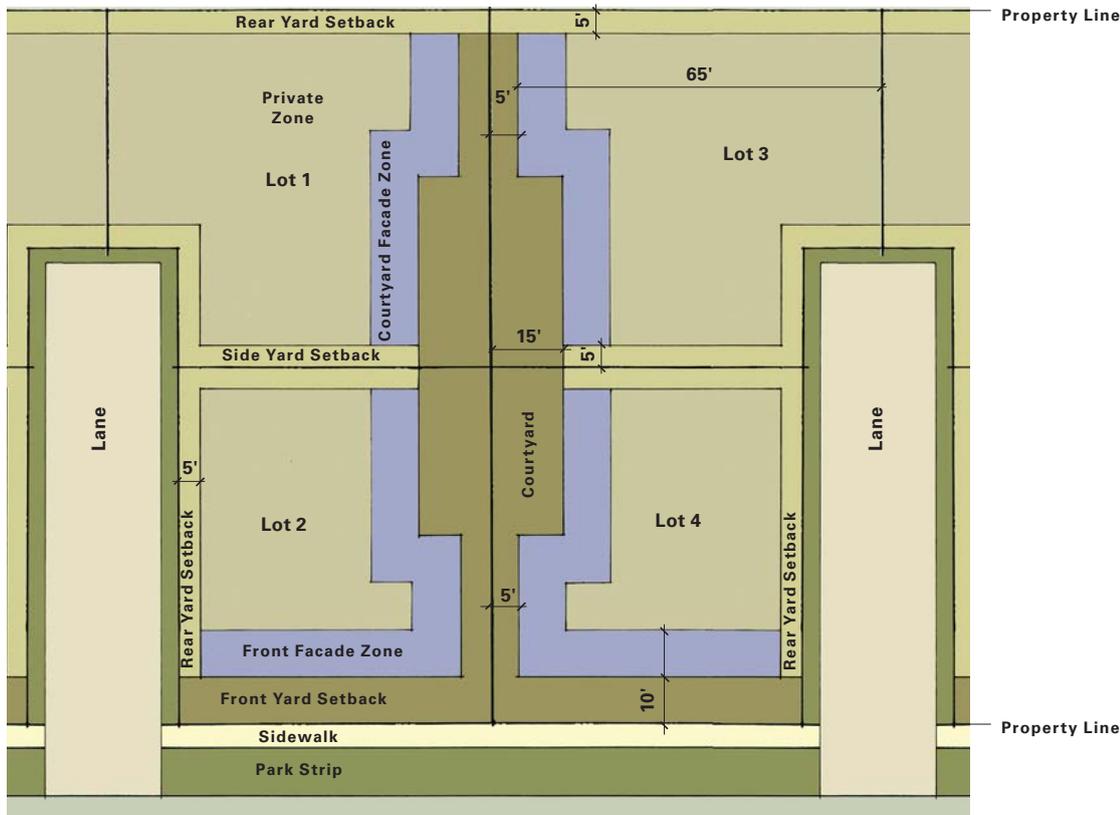
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 10 or fewer lots = 2 elevations
  - › 11 or more lots = 2 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## COURTYARD LOTS



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 65 feet
- » Not to be used on corner lots
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

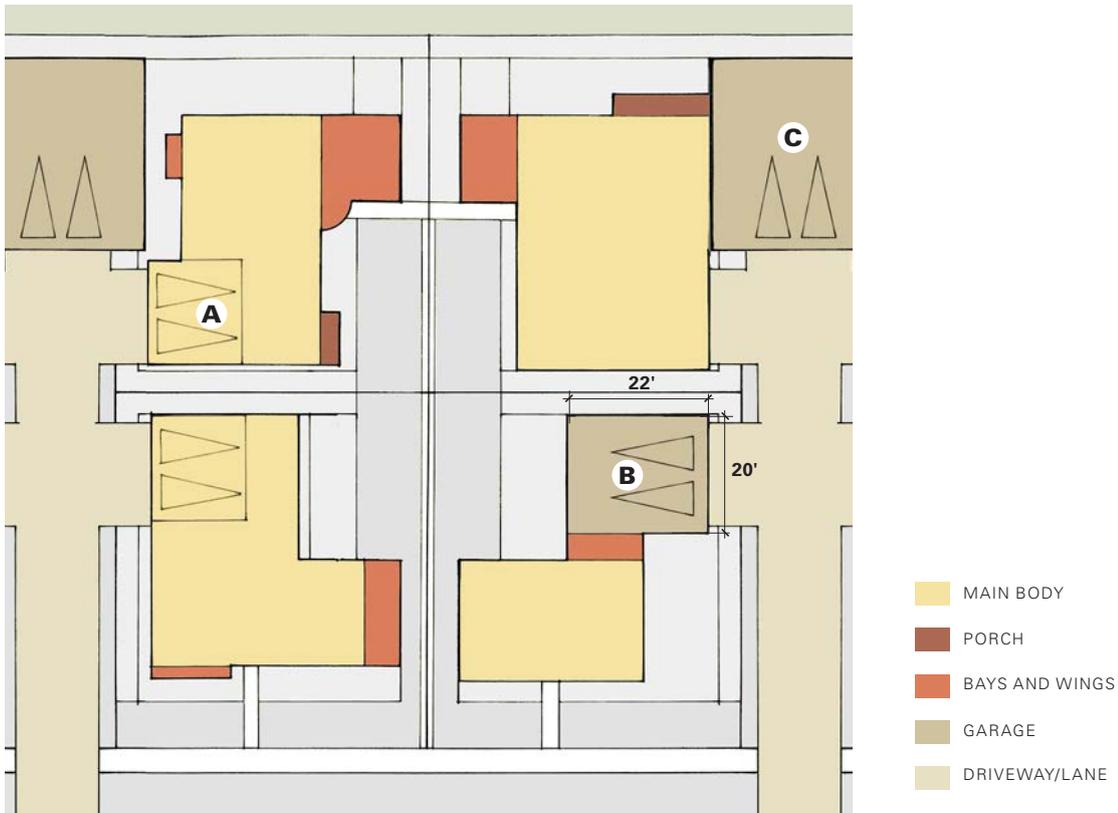
- » Front Yard: 10 feet to the house
- » Side Yard: 5 feet to the house on courtyard side; otherwise 5 feet
- » Courtyard: 15 feet to the center-line of the shared courtyard; 6 feet at Front Facade Zone and in areas where Courtyard Facade Zone meets Rear Yard Setback.
- » Rear Yard: 5 feet to the house and garage

## FACADE ZONE

- » Not used

ENCROACHMENTS INTO  
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

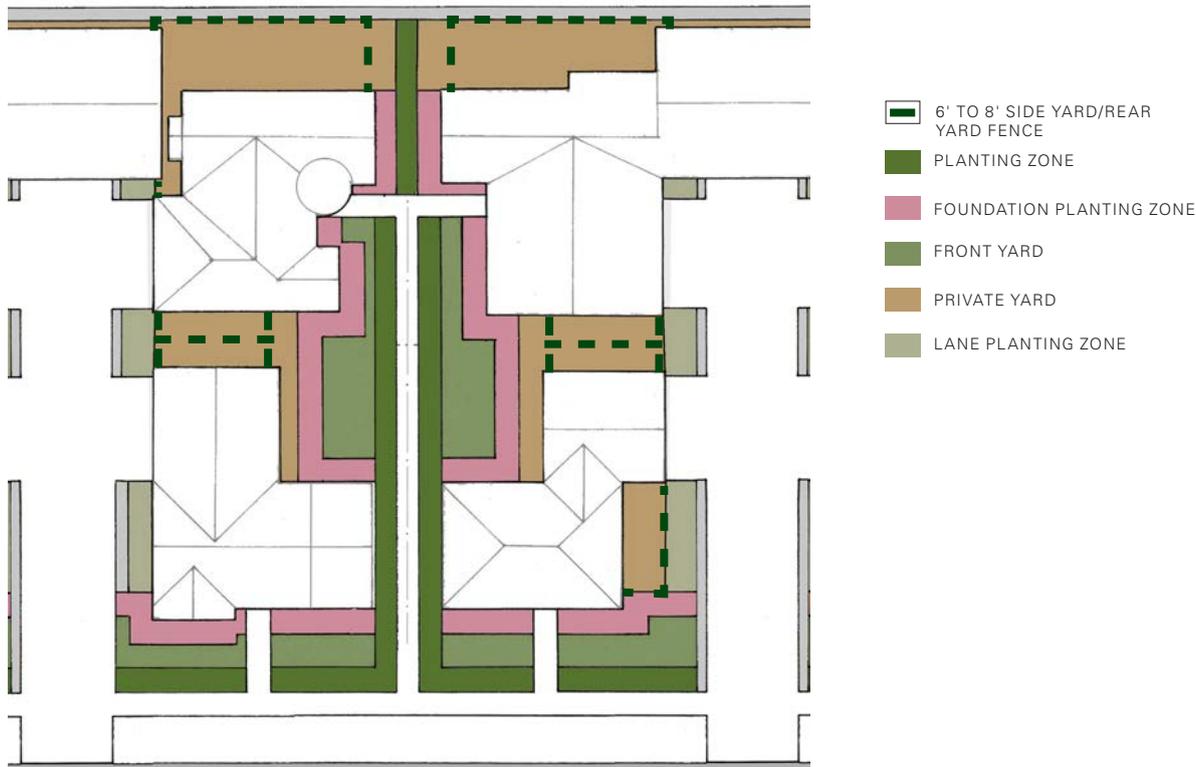
PERMITTED GARAGE TYPES

- » Semi-attached (B)
- » Attached (C)
- » Tuck-under (A)

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces per unit (does not have to be in a garage)
- » Garage doors must face lane

## COURTYARD LOTS



Yard Requirements

## FENCE REQUIREMENTS

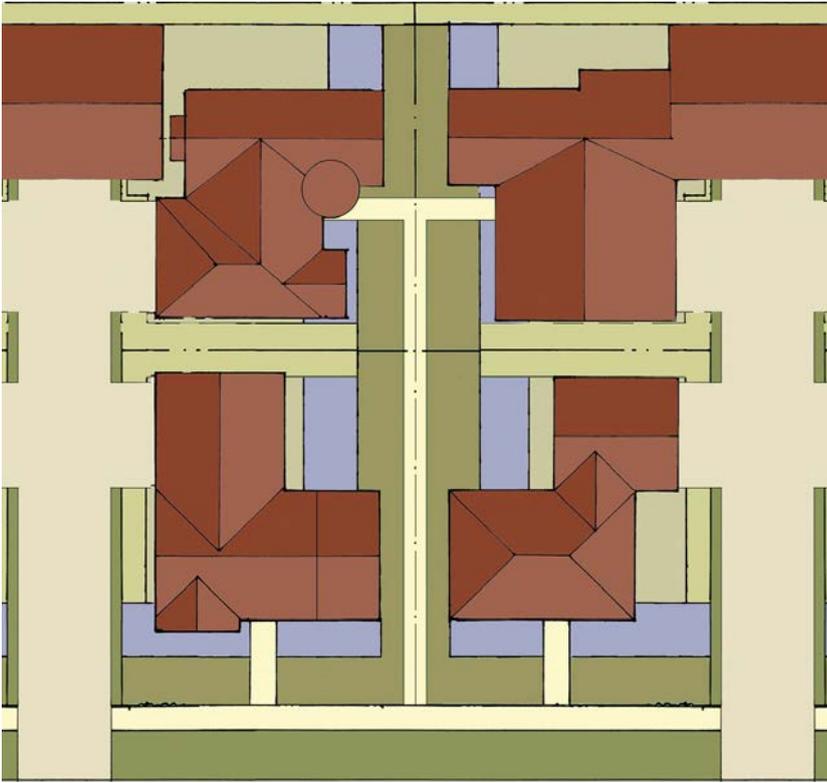
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets and courtyards
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

**PLAN MINIMUM**

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 52 or fewer lots = 2 floor plans
  - › 53 or more lots = 3 floor plans

**ELEVATION PER PLAN MINIMUM**

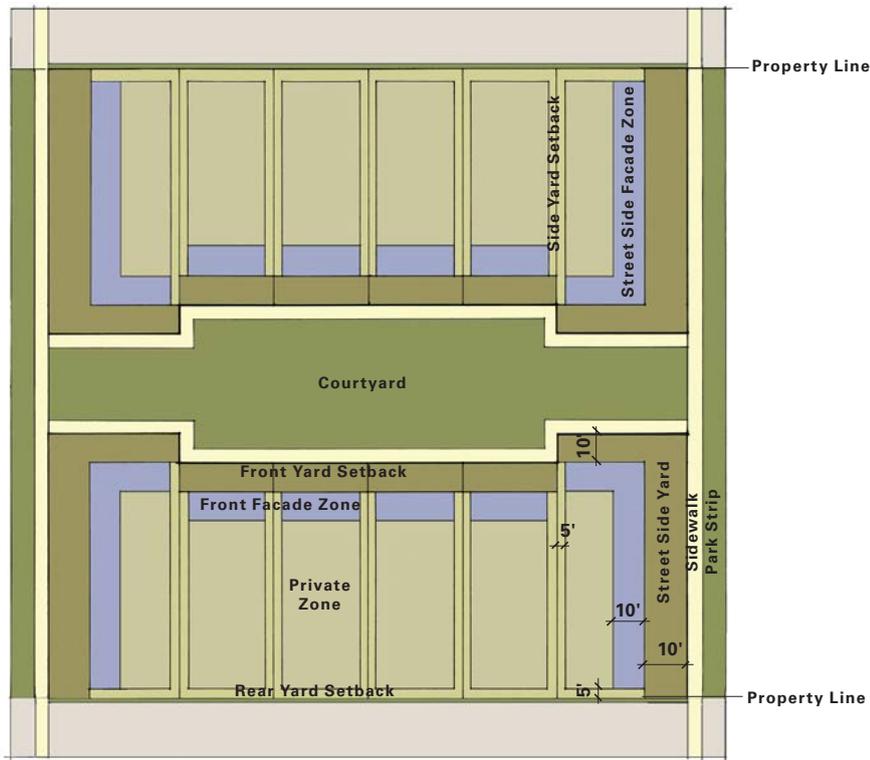
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated in a courtyard or along a block face
- » Number of elevations developed based upon number of units developed:
  - › 52 or fewer lots = 2 elevations
  - › 53 or more lots = 3 elevations
- » A minimum of two architectural styles must be represented

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

**GENERAL REQUIREMENTS**

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

## GREEN COURT



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 32–38 feet
- » Corner Lot Width: Increased by 5–15 feet
- » Lot Depth: Variable

## MINIMUM HOUSE SETBACKS

- » Front Yard: 10 feet to the house
- » Street Side: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 5 feet to the house and garage; 5 feet maximum to the garage on a corner lot

## FACADE ZONE

- » Not used

## » ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only
- » Air Conditioning Units: 4 feet into the street side and side yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (B)
- » Semi-attached (A)
- » Attached (C)
- » Tuck-under
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces
- » Minimum two-car garage required
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face street
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 2 feet from the street side elevation

## GREEN COURT



## Yard Requirements

## FENCE REQUIREMENTS

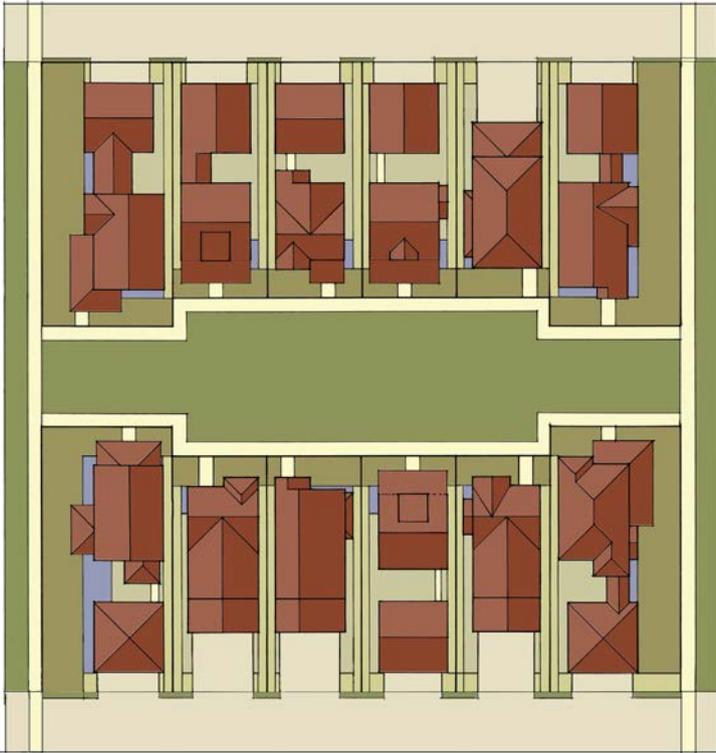
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fences are encouraged for privacy
- » When side yard fencing is not used, a side yard easement may be introduced to create functional outdoor space. The easement shall begin at the rear of the front facade zone
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Minimum of top 1 foot of 6-foot fences or top 1 foot 4 inches of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas, except driveways and walkways, not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types must contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
  - › 52 or fewer lots = 2 floor plans
  - › 53 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated along a block face or opposing green court
- » Number of elevations developed based upon number of units developed:
  - › 52 or fewer lots = 2 elevations
  - › 53 or more lots = 3 elevations
- » A minimum of two architectural styles must be represented

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

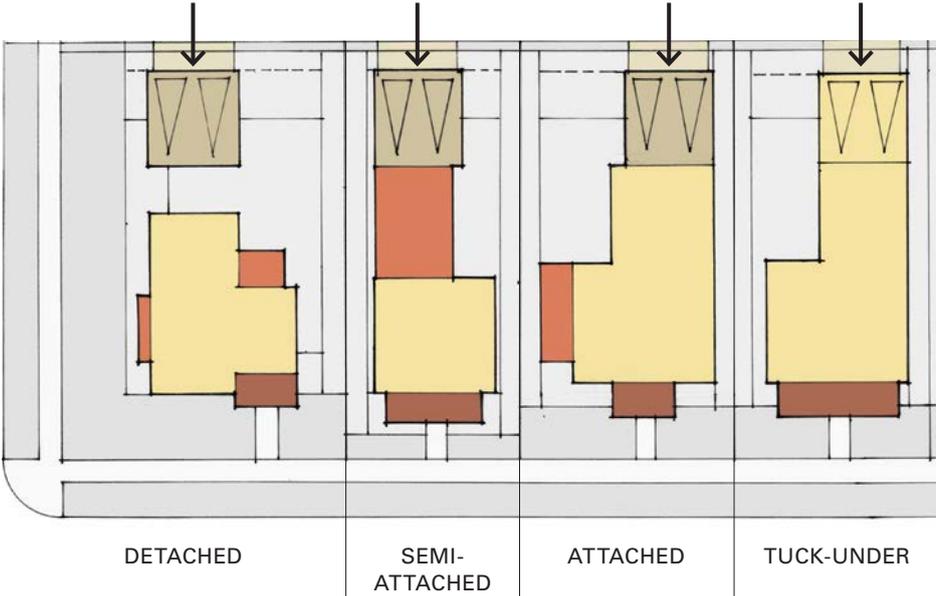
- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

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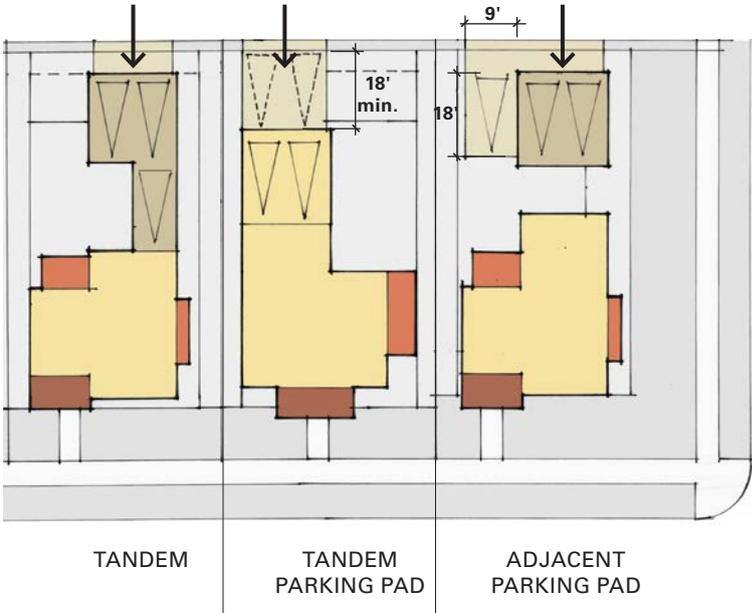
# GARAGE TYPES

## REAR LOADED LOTS



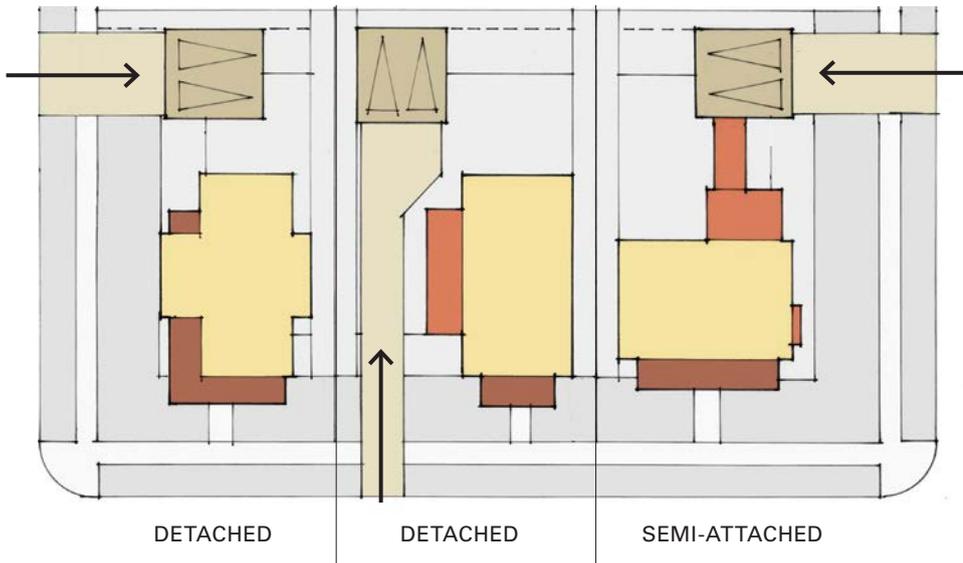
- DETACHED**
  - » Completely detached from the Main Body of the house
- SEMI-ATTACHED**
  - » Connected to the Main Body of the house by a wing or loggia
- ATTACHED**
  - » Attached directly to the Main Body of the house
  - » No habitable space above

- TUCK-UNDER**
  - » Part of the Main Body of the house
  - » Habitable space above



- TANDEM**
  - » One car in front of the other
- TANDEM PARKING PAD**
  - » Pad is located behind the garage
  - » Setback from rear property line to garage must be 18-foot minimum
- ADJACENT PARKING PAD**
  - » Pad is located adjacent to the garage
  - » Pad Dimension: 9-foot minimum by 18-foot minimum

FRONT LOADED LOTS



DETACHED

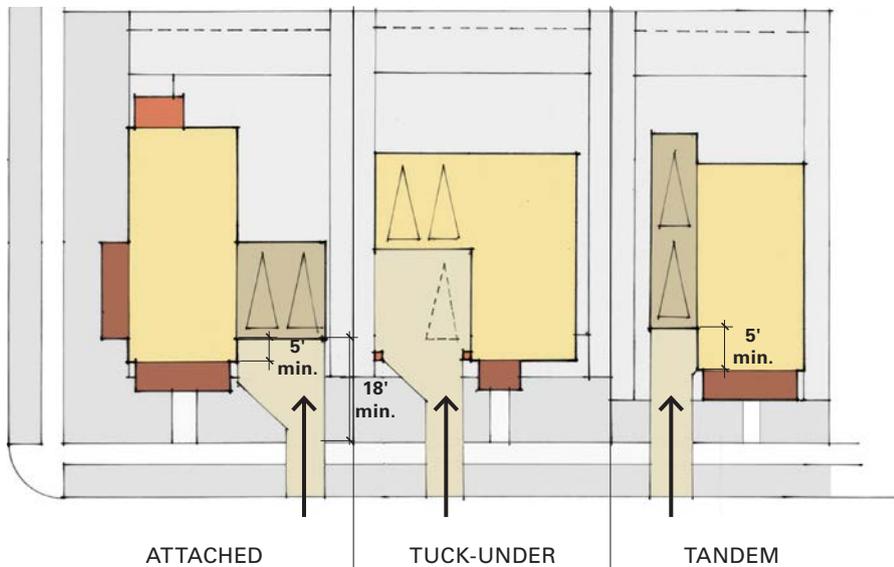
- » Completely detached from the Main Body of the house
- » Setback from front property line: 18-foot minimum

SEMI-ATTACHED

- » Connected to the Main Body of the house by a wing or loggia
- » No habitable space above
- » Setback from front property line: 18-foot minimum

ATTACHED

- » Attached directly to the Main Body of the house
- » No habitable space above
- » Setback from front property line: 18-foot minimum
- » Setback from front facade: 5-foot minimum
- » If three-car garages face the street, at least one door must be a single door and have a facade setback
- » Three-car garages facing the street permitted on lots 70-foot wide or wider



TUCK-UNDER

- » Part of the Main Body of the house
- » Habitable space above
- » Setback from front property line: 18-foot minimum
- » Setback from front facade: 5-foot minimum

TANDEM

- » One car in front of the other
- » Setback from front facade: 5-foot minimum
- » Setback from front property line: 18-foot minimum

## RESIDENTIAL DEVELOPMENT STANDARDS

Development Standards	Residential Mixed (Front-Loaded Lots, Detached)
<b>Lot Size</b>	4,500 sq ft min
<b>Lot Width</b>	50 ft min.; provided, however, lots on cul-de-sacs or knuckles shall have a minimum width of 35' at the front property line
<b>Lot Depth</b>	80 ft min.
<b>Front Yard Setback</b>	10 ft. min. Face of garage: 18 ft min.
<b>Interior Side Yard Setback</b>	5 ft min.
<b>Street Side Yard Setback</b>	10 ft min.
<b>Rear Yard Setback</b>	House: 10 ft min. Garage: 5 ft min.
<b>Height</b>	35 ft max.
<b>Lot Coverage</b>	55% max.
<b>Open Space in Rear of front-loaded lots and Interior Yard of rear-loaded lots</b>	No requirement
<b>Distance Between Accessory Buildings</b>	No requirement
<b>Distance Between Main Building and Accessory Building</b>	No requirement
<b>Shade Structures and Detached Accessory Buildings</b>	Shade structures and detached accessory buildings shall meet the front, side, and rear yard setbacks unless located on the rear 1/3 of lot or 70 ft back from front property line, in which case minimum rear setback and interior side yard setback is 0 ft. <sup>2</sup>
<b>Encroachment <sup>1</sup></b>	Porches and/or balconies: 5' into Front Yard and Street Side Setback Bay Windows: 2' into Front Yard and Street Side Setback Fireplace and/or media nook: 2' into Side Yard and Street Side Setback Air Conditioning (A/C) units: 4' into the Side Yard Setback provided that at least one side of the lot maintains the minimum setback for access to the front and rear yards.

<sup>1</sup> Only permitted if not encroaching into a public utility easement.

<sup>2</sup> This exception to minimum setbacks does not apply to garages.  
Note: See City of Tracy Ordinance 1266, adopted March 5, 2019, for fence standards.

Residential Mixed (Rear-Loaded Lots, Detached)	Residential Estate
2,400 sq ft min.	1 acre min.
30 ft min.	180 ft. min.
80 ft min.	180 ft min.
10 ft min. Garages shall be within rear 1/3 of the lot accessed from alley	25 ft min.
5 ft min.	20 ft min.
10 ft min.	30 ft min.
House: 10 ft min. Garage: 5 ft min.	30 ft min.
35 ft max.	35 ft max.
55% max.	30% max
No requirement	No requirement
No requirement	No requirement
No requirement	10 ft min.
Shade structures and detached accessory buildings shall meet the front, side, and rear yard setbacks unless located on the rear 1/3 of lot or 70 ft back from front property line, in which case minimum rear setback and interior side yard setback is 0 ft. <sup>2</sup>	Shade structures and detached accessory buildings shall meet the front, side, and rear yard setbacks unless located on the rear 1/3 of lot or 70 ft back from front property line, in which case minimum rear setback and interior side yard setback is 0 ft. <sup>2</sup>
<p>Porches and/or balconies: 5' into Front Yard and Street Side Setback</p> <p>Bay Windows: 2' into Front Yard and Street Side Setback</p> <p>Fireplace and/or media nook: 2' into Side Yard and Street Side Setback</p> <p>Air Conditioning (A/C) units: 4' into the Side Yard Setback provided that at least one side of the lot maintains the minimum setback for access to the front and rear yards.</p>	Not Permitted

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# ARCHITECTURAL PATTERNS

The Architectural Patterns Section for Detached Residential units illustrates key elements and design strategies for the six permitted traditional styles for Ellis Residential architecture. This section provides detailed guidelines for designing within the prescribed styles while creating well-defined variations among houses and buildings. The approach used is not intended to be a comprehensive catalog of all possibilities, but rather to serve as a guide to the key components within a particular style.

Each style section begins with an overview and general description of the style followed by several pages that document key massing types, standard door and window compositions, and materials and possibilities for facade design based upon Ellis Pattern Book components. Variations or other alternative combinations of components are permitted so long as they generally conform to the particular style. The goal is to design within specific families of styles that are appropriate to the Ellis context, not to design historic reproductions. The style pages and the illustrated details are meant to be a menu of options for designing houses in response to market demands and cost constraints while providing a consistent quality of character and detail.



# ELLIS CRAFTSMAN

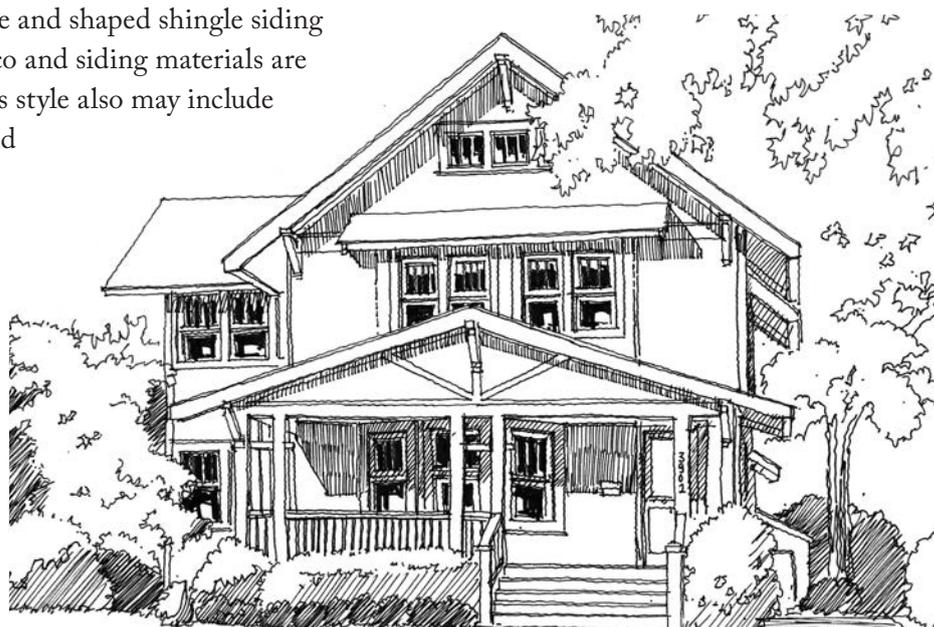
Ellis Craftsman houses are derived from the unique qualities of the Craftsman tradition found throughout northern California and San Joaquin County. Many regional builders constructed houses influenced by the Arts & Crafts movement. California versions are characterized by exposed or expressive structural elements such as rafters, columns, beams, lintels, and porch elements. House exteriors were clapboard or shingle siding mixed with stone and brick or stucco accents and were painted in robust color palettes. The California Craftsman house, which emerged in the beginning of the twentieth century, was influenced by both the Arts & Crafts movement and Japanese architecture.

For houses in Ellis, the emphasis in this style is on simple, structural expression of porch and eave elements using a vocabulary of architectural elements including the Prairie, Japanese, and Swiss styles, as well as influences from the Arts & Crafts movement. Forms are simple and reflect dimensioned lumber elements. Windows in this style tend to be vertical in proportion and are typically ganged or paired. Exposed eave brackets on roofs and porches contribute to this image and detail.

Horizontal siding, square and shaped shingle siding patterns, and a mix of stucco and siding materials are key cladding elements. This style also may include unpainted metal roofing and shingled roofs.

## COMMON ELEMENTS OF THE ELLIS CRAFTSMAN

- » Pitched roofs with deep overhangs.
- » Deep, broad porch elements with expressive structural components.
- » Exposed structural elements in the eaves such as rafters and brackets.
- » A combination of materials such as stucco, shingles, and siding.
- » Asymmetrical window and door compositions.



# GALLERY OF EXAMPLES



Photo Credit: AT Design Consulting

Photo Credit: Design Lens



Photo Credit: First Lamp



Photo Credit: Alan Malsford Design Associates



Photo Credit: R.W. Anderson Homes



Photo Credit: urbanSTX Architecture



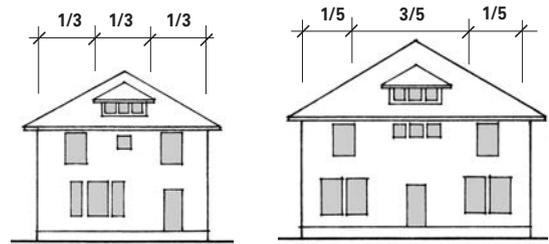
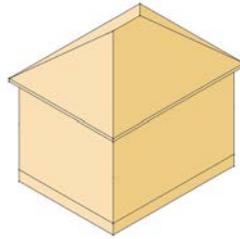
Photo Credit: AT Design Consulting

## MASSING AND COMPOSITION

### A TWO-STORY HIP

Hipped rectangular volume. Hip roof pitch is typically 4 to 7 in 12. Hipped front porches are common and have a shallower roof pitch. Porches may be either additive or a single integral bay.

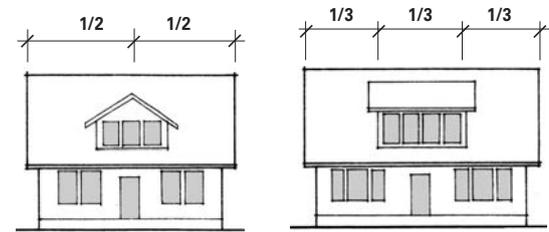
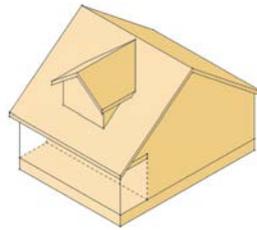
#### A TWO-STORY HIP



### B ONE-AND-ONE-HALF-STORY SIDE GABLE

Square volume with a 4 to 5 in 12 side gabled roof. Integral front porch that ranges from half to the full length of the front facade. Symmetrically placed gabled or shed dormers with 4 in 12 roof pitch.

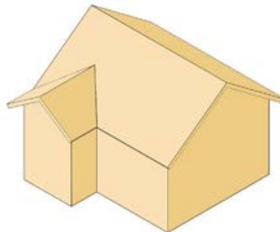
#### B ONE-AND-ONE-HALF-STORY SIDE GABLE



### C TWO-STORY GABLE L

Cross-gabled volume with a 4 in 12 gable facing the street. Often an in-line gabled porch or wing is added to the front left of the L. Porches may also be located between the legs of the L.

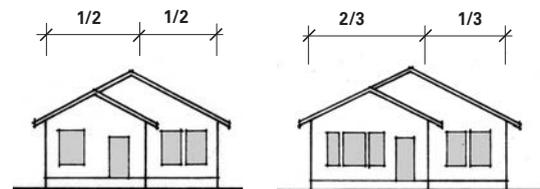
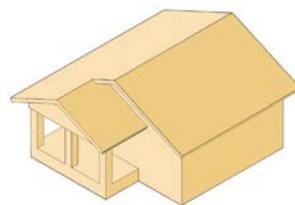
#### C TWO-STORY GABLE L

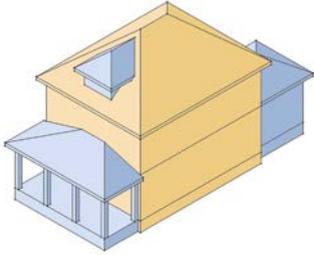


D ONE-AND-ONE-HALF-STORY FRONT GABLE WITH ADD-ON

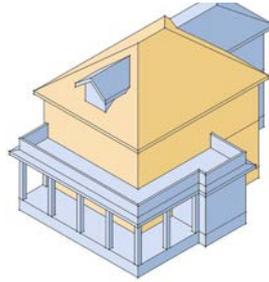
Rectangular volume with a 4 to 5 in 12 roof pitch and gable facing the street. Asymmetrically placed gable and front porch is common.

#### D ONE- AND-ONE-HALF-STORY FRONT GABLE WITH ADD-ON

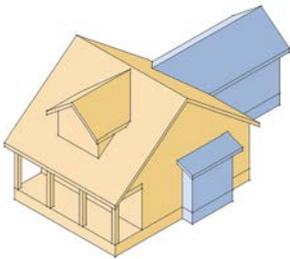




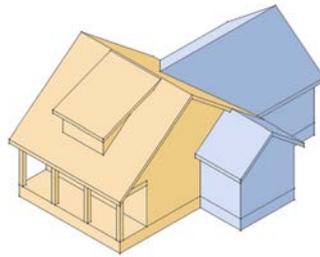
**A1** Hipped roof with add-on porch, a rear wing and a street-facing dormer



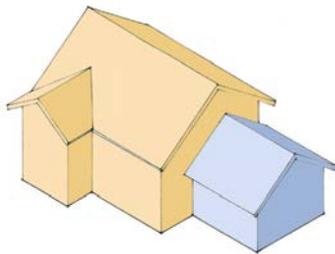
**A2** Hipped roof with wraparound porch, a rear wing and a street-facing dormer



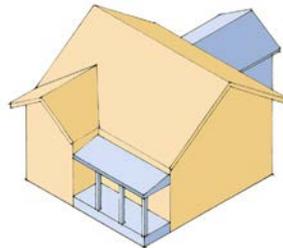
**B1** Side gable with an integral porch, a rear wing and side bay window



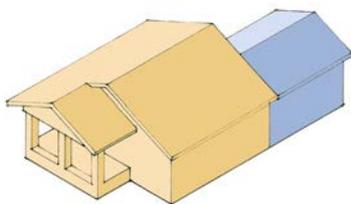
**B2** Side gable with an integral porch, a rear wing and a side wing



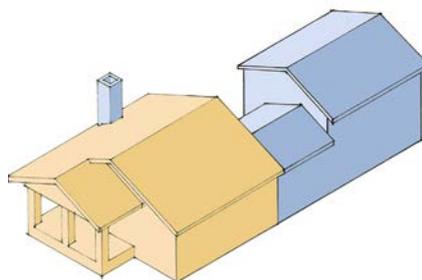
**C1** Side gable L with side wing



**C2** Side gable with add-on porch and rear wing



**D1** Front gable and add-on massing with rear wing



**D2** Front gable and add-on massing with one-story connection to two-story carriage unit



POSSIBILITIES

PRECEDENTS

TWO-STORY HIP



ONE-AND-ONE-HALF-STORY SIDE GABLE



TWO-STORY GABLE L



ONE-AND-ONE-HALF-STORY FRONT GABLE WITH ADD-ON



## MATERIALS

### SIDING/CLADDING

- » Wood shingle; fiber-cement clapboard, composite and/or stucco
- » Lace finish not permitted

### ROOFING

- » Composition shingles, flat concrete tile, standing seam, or 5v crimp metal

### WINDOWS

- » Single- or double-hung
- » Fixed accent windows (limited)
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum, or vinyl
- » Traditional-looking profiles

### TRIM

- » Stucco, wood, composition board, cellular PVC, polyurethane, or fiber cement

### COLUMNS/BRACKETS

- » Wood or composite

### RAILINGS

- » Wood or composite top and bottom rails with square balusters
- » Solid railings of wood, fiber cement, cut shingle siding or manufactured stone veneer

### SOFFITS AND PORCH CEILING

- » Exposed rafters at soffits with starter board or v-groove sheathing
- » T&G wood, beaded plywood, exterior-grade plywood, or stucco porch ceiling

### GUTTERS

- » Ogee or half-round primed or prefinished metal
- » PVC is acceptable in a color that matches the trim
- » Fascia gutter permitted

### DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches the trim or the stucco cladding

### SHUTTERS

Not applicable

### CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match structure

### FRONT YARD FENCES

- » Wood, stone, or masonry with stucco finish
- » Vinyl picket permitted
- » Wrought iron or equivalent

### REAR YARD FENCES

- » Cedar, redwood, or masonry with stucco finish (if applicable)
- » Vinyl and pressure treated wood are permitted

## COLORS

### SIDING AND TRIM

- » Colors to be selected from the Ellis Color Palette

### WINDOWS

- » Colors to be selected from the Ellis Color Palette

### ROOF SHINGLES

- » Colors to be selected from the Ellis Color Palette

### GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

### FRONT YARD FENCES

- » Colors to be selected from the Ellis Color Palette

# ELLIS FARMHOUSE VICTORIAN

The Ellis Farmhouse Victorian style builds on the early Carpenter Gothic cottages built in the western region of the United States from early pattern books. While the Victorian style became fashionable in the 1800s in the Bay Area, its popularity grew and spread outward from San Francisco. Style books published by Andrew Jackson Downing were the source of many early examples. Publications such as *The Horticulturist* influenced the preferences of the public and provided an especially dramatic contrast to the inherited Spanish and adobe building types prevalent at the time. Many early religious camp settlements adopted the style with more and more exotic variations that included Eastlake, Queen Anne, and Italianate detailing.

The Farmhouse Victorian style is centered on simple, elegant forms to create more informal houses on small lots.

This style has expressive porch elements, decorative trim elements, and vertical windows and doors.

## COMMON ELEMENTS OF ELLIS FARMHOUSE VICTORIAN

- » Moderate to steeply pitched, front-facing gable roofs.
- » Cut wood ornament, often with natural forms such as leaves and vines.
- » Clapboard or cut shingle siding.
- » Vertical proportions for windows and doors.
- » Box bay and cutaway bay windows.



# GALLERY OF EXAMPLES



Photo Credit: Su Casa Designs



Photo Credit: Alturas Homes



Photo Credit: AT Design Consulting



Photo Credit: Union Studio, Architecture and Community Design



Photo Credit: The Creativity Exchange



Photo Credit: Lindsay Sertson Thompson / Pinnacle Residential



Photo Credit: Laury W. Glenn / Popsley Dixon Architecture



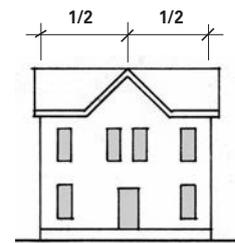
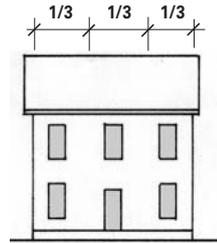
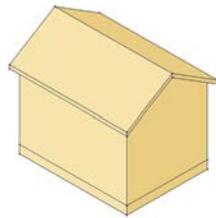
Photo Credit: AT Design Consulting / William Lyon Homes

## MASSING AND COMPOSITION

### A TWO-STORY SIDE GABLE

Side-gabled rectangular volume, often with a steeply-pitched, gabled dormer flush to the front facade. Front gable roof pitch is typically 4 to 12 in 12, and the side gable is less steeply pitched, typically 4 to 10 in 12. One- or two-story front porches often extend across the full front of the house.

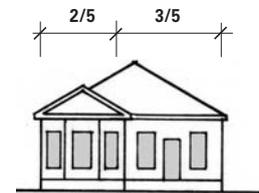
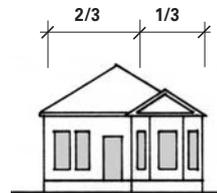
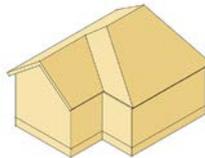
#### A TWO-STORY SIDE GABLE



### B ONE-AND-ONE-HALF-STORY HIP L

One-and-one-half-story hipped volume with a one-story front or hipped gable extending beyond the main body. Roof pitches are typically 4 to 12 in 12. One-story integral or shed porches are most common.

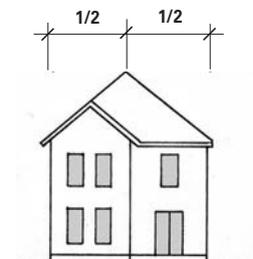
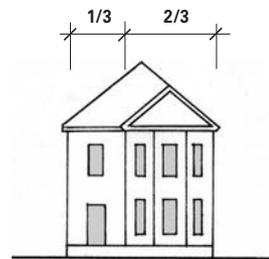
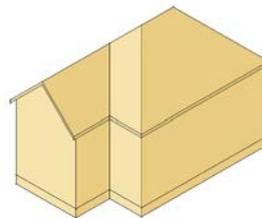
#### B ONE-AND-ONE-HALF-STORY HIP L



### C TWO-STORY HIP L

Two-story rectangular volume with hipped roof and a front gable which can extend beyond the front facade of the main body a maximum of 3 feet. Roof pitch is typically 4 to 12 in 12. A one- or two-story front wraparound porch with shed roof is common.

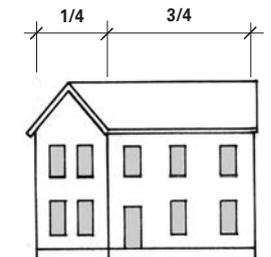
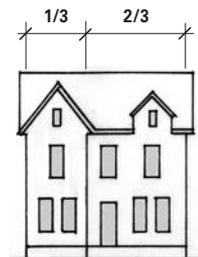
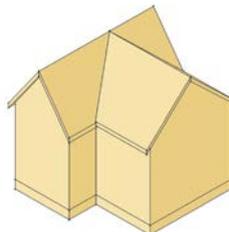
#### C TWO-STORY HIP L

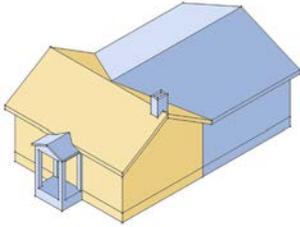


### D GABLE L

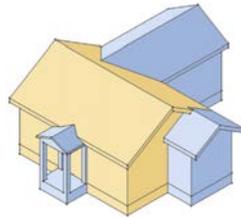
Cross-gabled volume with a 4 to 12 in 12 gable facing the street. Cross-gable is typically equal or steeper than the roof of the primary mass and no wider than half that of the main body. This massing often has a gable porch emphasizing the entrance.

#### D GABLE L





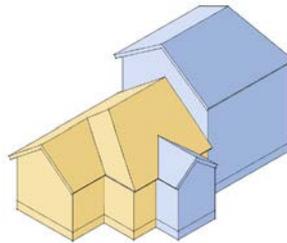
**A1** Broad front with large rear wing, a chimney centered on gable ridge and a centered entry porch



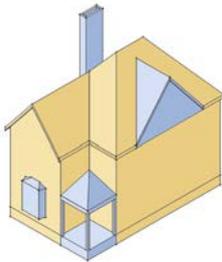
**A2** Broad front with rear wing, a side wing and a centered entry porch



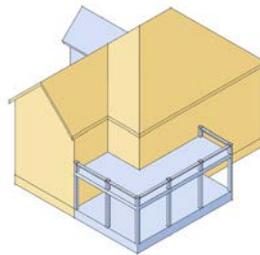
**B1** One-story hip L with street-facing bay window and hipped-roof entry porch



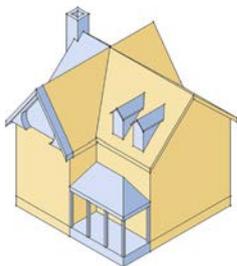
**B2** One-story hip L with a side wing and two-story rear wing



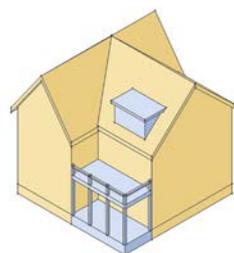
**C1** Two-story hip L with side-facing gable dormer, a street-facing bay window, a chimney, and a hipped-roof entry porch



**C2** Two-story hip L with a two-story wraparound porch, and a side wing



**D1** Gable L with continuous cross gable and chimney, double street-facing dormers, hipped-roof entry porch, and glazing with street-facing projecting gable



**D2** Gable L with continuous shed dormer and flat-roof entry porch



POSSIBILITIES

PRECEDENTS

TWO-STORY SIDE GABLE



ONE-AND-ONE-HALF-STORY HIP L



TWO-STORY HIP L



GABLE L



## MATERIALS

### SIDING/CLADDING

- » Board and batten, wood, or fiber-cement clapboard

### ROOFING

- » Composite shingles
- » Flat concrete tile

### WINDOWS

- » Single- or double-hung
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

### TRIM

- » Wood, composition board, cellular PVC, or polyurethane

### COLUMNS

- » Turned or built-up wood, or composite

### RAILINGS

- » Wood or composite top and bottom rails with straight, turned, or scroll cut balusters

### SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, or exterior-grade plywood

### GUTTERS

- » Half-round primed or prefinished metal
- » PVC is acceptable in a color that matches the trim
- » Fascia gutter permitted

### DOWNSPOUTS

- » Round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches the trim

### SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite material, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

### CHIMNEYS

- » Manufactured stone or brick veneer or siding to match house

### FRONT YARD FENCES

- » Wood picket, prefinished metal, or stone
- » Vinyl picket permitted

### REAR YARD FENCES

- » Cedar or redwood
- » Vinyl and pressure-treated wood are permitted

## COLORS

### SIDING, WINDOWS, AND TRIM

- » Colors to be selected from the Ellis Color Palette

### ROOF SHINGLES

- » Colors to be selected from the Ellis Color Palette

### GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

### SHUTTERS

- » Colors to be selected from the Ellis Color Palette

### FRONT YARD FENCES

- » Colors to be selected from the Ellis Color Palette

# ELLIS REVIVAL

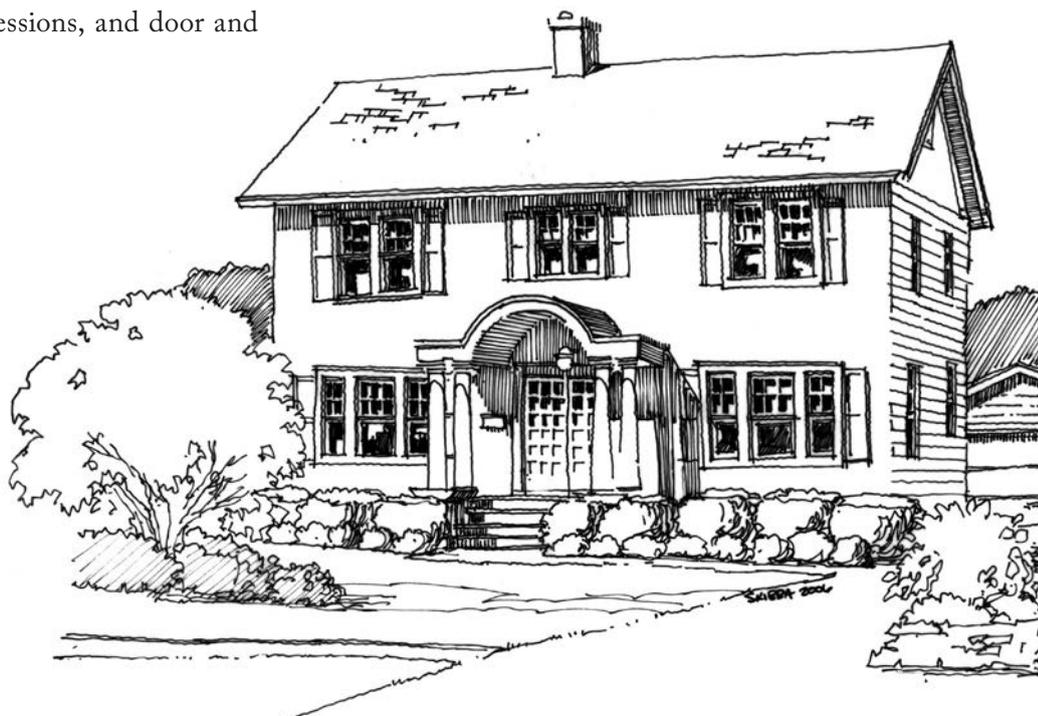
The Ellis Revival style is based upon Colonial Revival styles that were prevalent throughout the country in the early 1900s. The Colonial Revival style is evident in many California towns and cities. Interesting examples of this style can be found in the Central Valley area including regional precedents in places like Stockton, Concord, Antioch, and Livermore.

The Colonial Revival style is based on Classical design principles followed during the colonial period in this country. The interpretations, however, often reflect regional adaptations. The California examples include many houses with full front porches as well as Dutch Colonial renditions.

The houses are composed of simple forms with well-proportioned windows and door surrounds. These are often more horizontal in appearance with special windows appearing in the center of the house over the front door. Stockton area Colonial Revival houses typically emphasize the horizontal proportions with square, robust columns, wide corner boards, pilaster expressions, and door and window trim.

## COMMON ELEMENTS OF ELLIS REVIVAL

- » Simple, straightforward volumes with projecting wings and porches added to make more complex shapes.
- » An orderly, symmetrical relationship between windows, doors, and building mass.
- » Simplified versions of Classical details and columns, occasionally with Classical orders used at the entry.
- » Multi-pane window appearance with six-pane patterns.
- » Strong horizontal lines emphasized by broad eaves and wide trim.



# GALLERY OF EXAMPLES



Photo Credit: Baum Blown Custom Homes



Photo Credit: Overmyer Architects



Photo Credit: Prestige Window Systems



Photo Credit: Michelle Marsam



Photo Credit: Chris Little / Peace Design

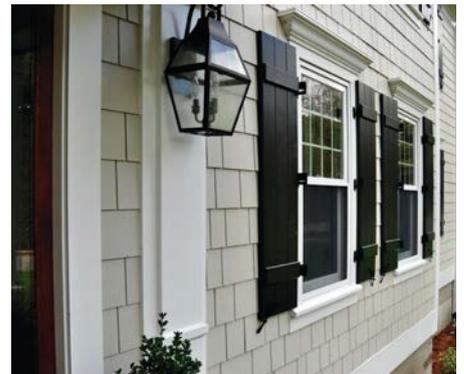


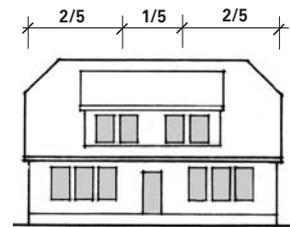
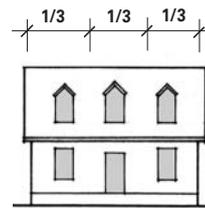
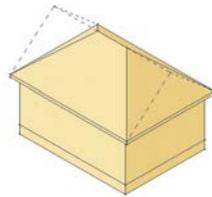
Photo Credit: James Hardie

## MASSING AND COMPOSITION

### A ONE-AND-ONE-HALF-STORY SIDE GABLE AND HIP

Side-gabled or hipped rectangular volume. Hip roof pitch is typically 4 to 10 in 12. Dormer windows and shed roofs are often present in the roof form. Porches are additive structures that may cover all or part of the front facade.

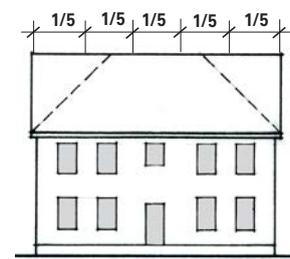
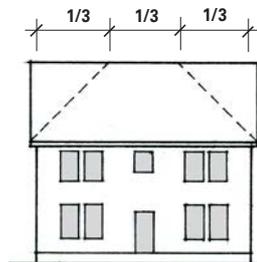
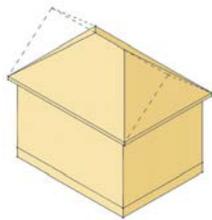
#### A ONE-AND-ONE-HALF-STORY SIDE GABLE AND HIP



### B TWO-STORY HIP

Hipped rectangular volume. Hip roof pitch is typically 4 to 10 in 12. One-story hipped front porches are common and have a shallower roof pitch. Porches vary between covering the full facade and defining the central portico.

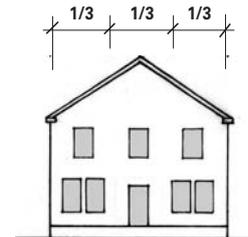
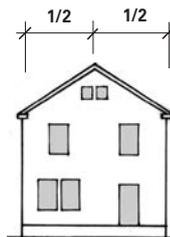
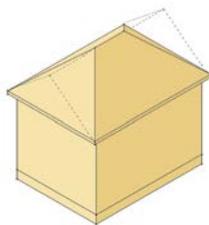
#### B TWO-STORY HIP



### C TWO-STORY FRONT GABLE

Front-gabled rectangular volume. Gable roof pitches range from 4 to 10 in 12. As with other massing, stoops and hipped front porches are common. Porches are most often one-story. Integral two-story porches are reserved for front-gabled houses no greater than 30 feet wide.

#### C TWO-STORY FRONT GABLE

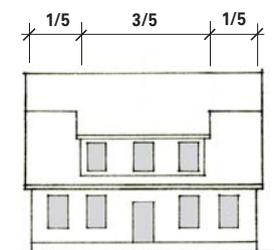
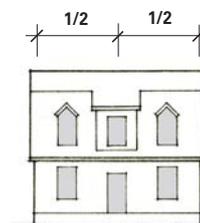
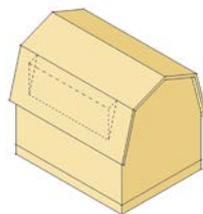


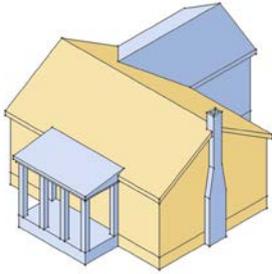
### D ONE-AND-ONE-HALF-STORY GAMBREL

*(Not required, but possible accent articulation)*

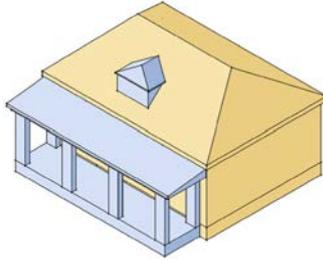
Rectangular volume with a gambrel roof parallel to the street. Roof pitch is nearly vertical on the lower slope and 4 to 6 in 12 at the top. One-story temple front porches centered on the facade extending one-third to one-fourth of the front are typical. Shed roofs are present in the bottom portion of the gambrel roof and dormer windows are also common.

#### D ONE-AND-ONE-HALF-STORY GAMBREL

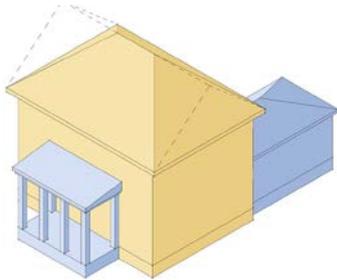




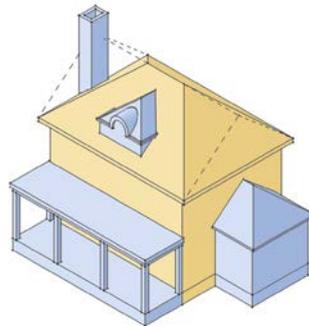
**A1** Broad front with add-on porch, a rear wing, and a fireplace



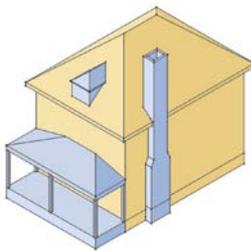
**A2** Broad front hipped roof with add-on full front porch and dormer window



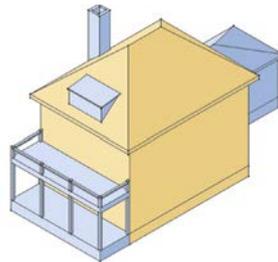
**B1** Broad front hipped roof with add-on central porch and hipped rear wing



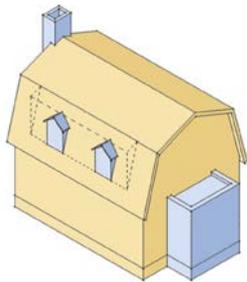
**B2** Broad front hipped roof with add-on full front porch, a side wing, a central hipped dormer, and a fireplace



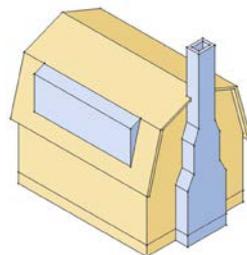
**C1** Narrow front hipped roof with add-on full front porch, a central dormer, and a fireplace



**C2** Narrow front hipped roof with add-on full front porch, a central shed dormer, a rear wing, and a fireplace



**D1** Broad front gambrel with dormers, a roofed side wing, and a fireplace



**D2** Broad front gambrel with a broad shed dormer and a prominent fireplace



POSSIBILITIES

PRECEDENTS

ONE-AND-ONE-HALF-STORY  
SIDE GABLE AND HIP



TWO-STORY HIP



TWO-STORY FRONT GABLE



ONE-AND-ONE-HALF-STORY  
GAMBREL



## MATERIALS

### SIDING/CLADDING

- » Fiber-cement clapboard or stucco
- » Lace finish not permitted

### ROOFING

- » Composition shingles or concrete tile with flat profile

### WINDOWS

- » Single- or double-hung and casement
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

### TRIM

- » Stucco, wood, composition board, cellular PVC, polyurethane, or fiber cement

### COLUMNS

- » Wood, or composite with Classical entasis and proportions
- » Use Tuscan, Doric, or Ionic orders

### RAILINGS

- » Wood or composite top and bottom rails with square balusters

### SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, exterior-grade plywood, or stucco

### GUTTERS

- » Ogee or half-round
- » Primed or prefinished metal

- » PVC is acceptable in a color that matches trim

- » Fascia gutter permitted

### DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches trim or stucco cladding

### SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite materials, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

### CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match house

### FRONT YARD FENCES

- » Painted wood, prefinished metal, stone, masonry, or stucco finish (if applicable)
- » Vinyl picket also permitted

### REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

## COLORS

### SIDING, WINDOWS, AND TRIM

- » Colors to be selected from the Ellis Color Palette

### ROOF

- » Colors to be selected from the Ellis Color Palette

### GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

### WINDOWS

- » Colors to be selected from the Ellis Color Palette

### SHUTTERS

- » Colors to be selected from the Ellis Color Palette

### FENCING

- » Colors to be selected from the Ellis Color Palette

# ELLIS EUROPEAN COUNTRY

The Ellis European Country Style is based on the early twentieth century interpretations of English architecture by American architects and builders. The source for design comes from Medieval English cottages, manor houses, and rural village vernacular houses. The American interpretations include houses with simple volumes often with front-facing gables. Dormers — gable, hip, and shed — are a dominant feature of the style. In California, the principal material for the exterior cladding is stucco. There is often a mix of exterior materials including stone, stucco or brick. Half-timbering and horizontal siding are often used as infill in gables.

Chimneys typically act as principal forms for the massing of the house. These are usually very massive, often with stucco finish, simple detailing and chimney pots. Windows are typically casements, vertical in proportion and arranged in groups of from two to five. There are relatively few windows in the facade; the dominant form is one of a solid mass with small openings.

## COMMON ELEMENTS OF ELLIS EUROPEAN COUNTRY

- » Seemingly random window and door locations.
- » Vertical windows in groupings.
- » Broad expanses of wall with few door and window penetrations.
- » Roof lines extending below windows at second floor, and to top of window at first floor.
- » Simple detailing and shallow overhangs.



# GALLERY OF EXAMPLES



Photo Credit: Tommy Daspur / Willow Homes



Photo Credit: Michael Woodall



Photo Credit: Amanda Orr Architects



Photo Credit: Frazer Home Designs



Photo Credit: AT Design Consulting



Photo Credit: Unknown



Photo Credit: Gunnar & Grace



Photo Credit: AT Design Consulting

## MASSING AND COMPOSITION

### A TWO-STORY BASIC

Rectangular two-story volume with an 4 to 10 in 12 roof pitch. Cross gable entry piece in 4 to 16 in 12. Only one cross gable permitted, often expressed in plan.

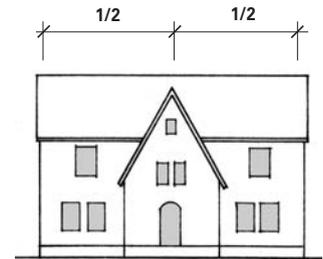
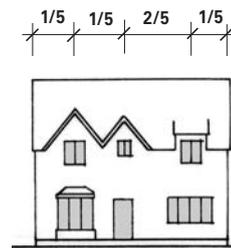
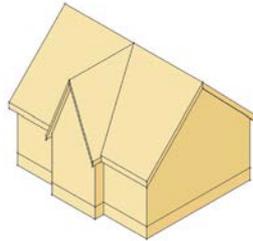
### B TWO-STORY ASYMMETRICAL GABLE-FRONT L

Rectangular two-story volume with a main body roof of 4 to 12 in 12 with either a gable or a hipped roof. Cross-gable volume with a 4 to 16 in 12 roof. Cross gable is asymmetrical and contains an inset entry porch. At times, the roof may transition to a shallower pitch over the entry porch.

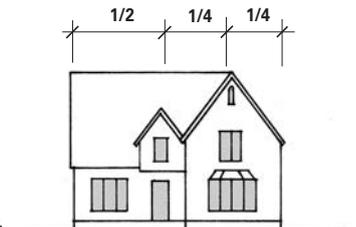
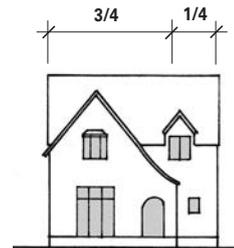
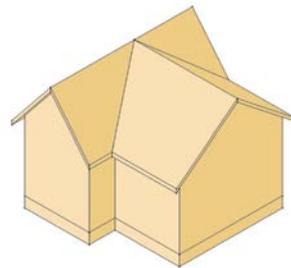
### C SIDE GABLE WITH DOMINANT CROSS-GABLE

Rectangular two-story volume with an 4 to 10 in 12 roof pitch. One dominant cross gable organizes composition with a 4 to 16 in 12 pitch. Secondary and tertiary gables in the primary roof mass, or as dormers, are common. Element roof may be gable, hip, or partial hip. Front entry is often inset into building mass.

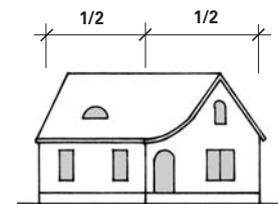
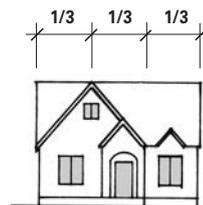
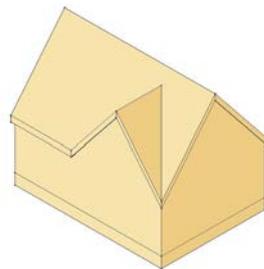
### A TWO-STORY BASIC

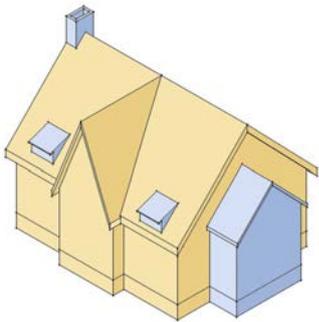


### B TWO-STORY ASYMMETRICAL GABLE-FRONT L

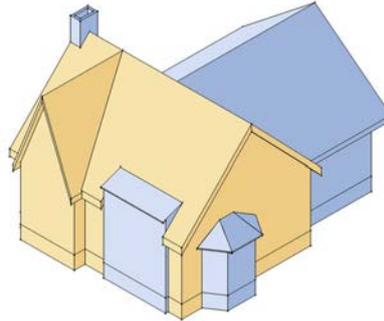


### C SIDE GABLE WITH DOMINANT CROSS-GABLE

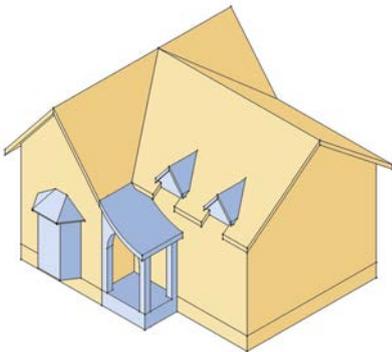




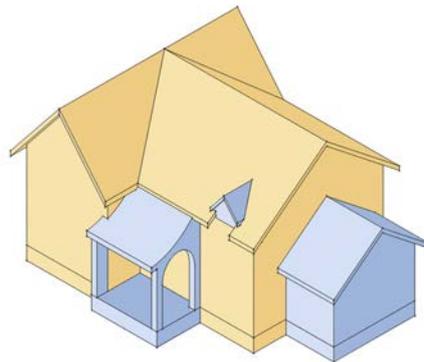
**A1** Side gable with symmetrically placed dormers, a chimney centered on the gable ridge and a side wing



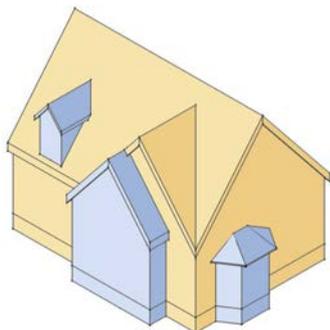
**A2** Side gable with off-center cross gable, street-facing dormer, a chimney centered on the gable ridge, a side bay window, and rear wing



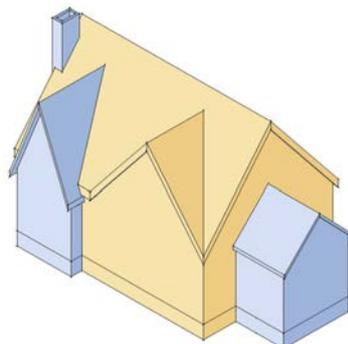
**B1** Side gable L with street-facing bay window, street-facing dormers and inset entry porch



**B2** Side gable L with street-facing dormer, a side wing and entry porch



**C1** Side gable with nested street-facing gable, a street-facing dormer and side bay window



**C2** Side gable with multiple street-facing gables, a chimney placed off-center of gable and a side wing



POSSIBILITIES

PRECEDENTS

TWO-STORY BASIC



TWO-STORY ASYMMETRICAL GABLE-FRONT L



SIDE GABLE WITH DOMINANT CROSS-GABLE



## MATERIALS

### SIDING/CLADDING

- » Fiber-cement clapboard or stucco
- » Half-timbering for second-story accents

### ROOFING

- » Composition shingles, concrete tile with flat profile, or manufactured slate

### WINDOWS

- » Single- or double-hung and casement
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

### TRIM

- » Stucco, wood, composition board, cellular PVC, cast stone, polyurethane, or fiber cement

### COLUMNS

- » Wood or composite

### RAILINGS

- » Ornamental metal preferred
- » Wood or composite top and bottom rails with square balusters

### SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, exterior-grade plywood, or stucco

### GUTTERS

- » Ogee or half-round
- » Primed or prefinished metal
- » PVC is acceptable in a color that matches trim
- » Fascia gutter permitted

### DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches trim or stucco cladding

### SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite materials, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

### CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match house

### FRONT YARD FENCES

- » Painted wood, prefinished metal, stone, masonry, or stucco finish

### REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

## COLORS

### SIDING, WINDOWS, AND TRIM

- » Colors to be selected from the Ellis Color Palette

### ROOF

- » Colors to be selected from the Ellis Color Palette

### GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

### WINDOWS

- » Colors to be selected from the Ellis Color Palette

### SHUTTERS

- » Colors to be selected from the Ellis Color Palette

### FENCING

- » Colors to be selected from the Ellis Color Palette

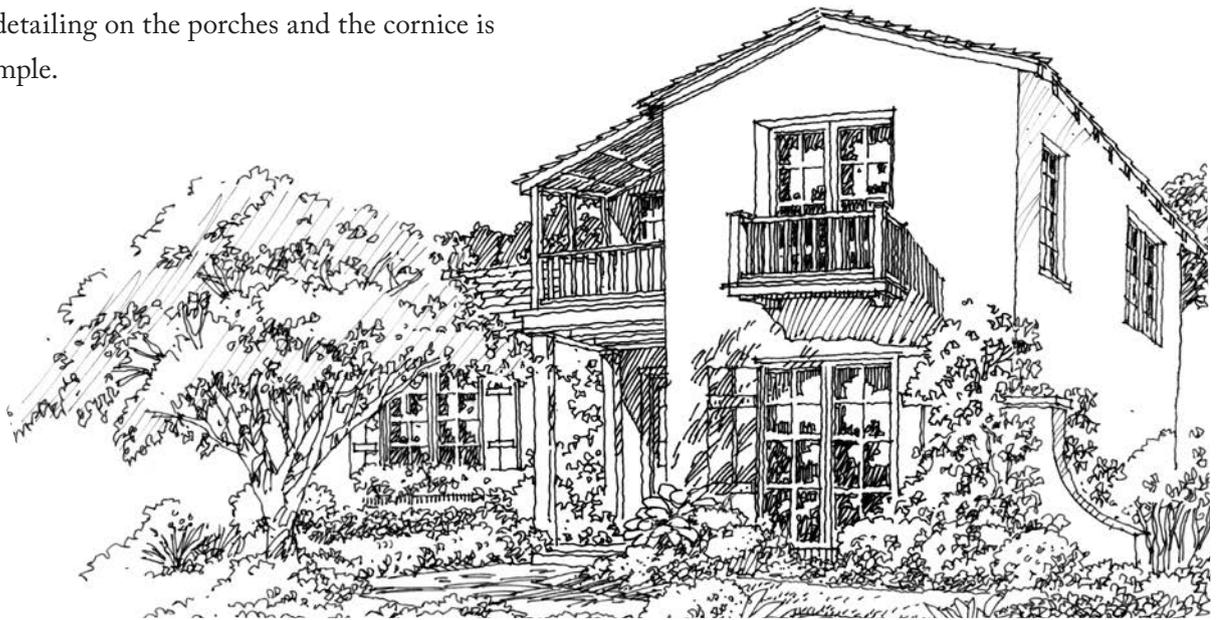
# ELLIS MEDITERRANEAN REVIVAL

The Mediterranean Revival style draws on the distinctive architectural character of the Monterey Peninsula as influenced by the popular California Spanish Colonial style. The style dates back to the early nineteenth century. The first revival started around 1925 amidst a very popular renaissance of Spanish architectural forms throughout the region. The Mediterranean style emerged from Spanish adobe precedents that date between 1815 and 1860. This style combines traditional adobe construction, local to this region, with Spanish Colonial influences. The result is a distinctive architectural vocabulary, characterized by simple forms with wooden decorative details. These houses used Colonial window and door detailing borrowed from New England carpentry techniques and added a rustic timber porch with exposed rafters and joists. The roofs had a very shallow pitch, either gabled or hipped, and were covered with clay tiles or cut wooden shingles.

The signature balcony on the front of the house was a prelude to the porch that often surrounded or defined a private courtyard in the back of the house. The detailing on the porches and the cornice is extremely simple.

## COMMON ELEMENTS OF ELLIS MEDITERRANEAN REVIVAL

- » Simple, straightforward volumes, sometimes with a gable wing facing the street.
- » Shallow sloped roofs, either hip or gable, with shingles and tile.
- » Typically two-story.
- » Simplified versions of double-hung Colonial windows and doors.
- » Multi-pane window appearance, wide in proportion, usually with 4 over 4 or 6 over 6 pane patterns.
- » Street facing, projecting timber balconies or inset porches with exposed rafters.



# GALLERY OF EXAMPLES



Photo Credit: AT Design Consulting



Photo Credit: CRMLS



Photo Credit: Irvine Company



Photo Credit: Studio One Design



Photo Credit: AT Design Consulting

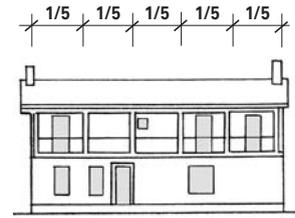
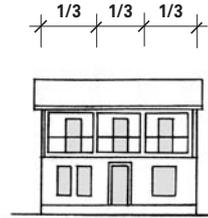
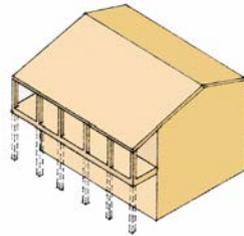


## MASSING AND COMPOSITION

### A TWO-STORY SIDE GABLE

Rectangular volume with a 4 to 6 in 12 roof pitch and gable or hip parallel to the street. Second floor, full-front projecting balconies or two-story full-front porches are encouraged with this massing.

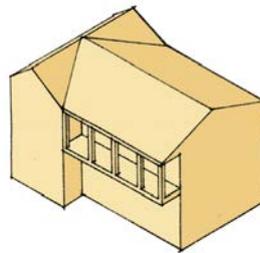
#### A TWO-STORY SIDE GABLE



### B TWO-STORY CROSS-GABLE

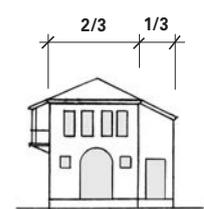
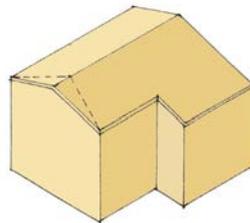
Cross-gabled volume with a 4 in 12 gable or hip facing the street. The width of the bay facing the street is typically two-fifths that of the main body. Often an in-line gabled or hipped wing added to the front leg of the L. Cantilevered balconies are encouraged.

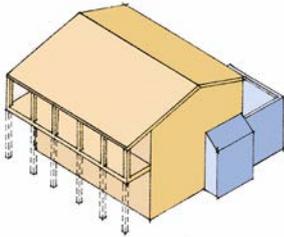
#### B TWO-STORY CROSS-GABLE



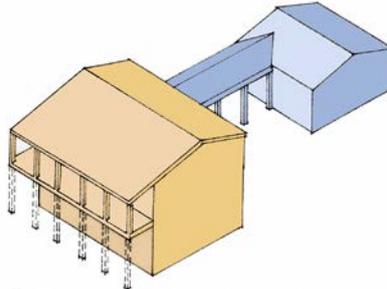
C TWO-STORY FRONT GABLE L  
L-shaped volume perpendicular to the street with second-story cantilevered side porch. Hipped and gabled roofs with a 4 in 12 pitch are both permitted.

#### C TWO-STORY FRONT GABLE L

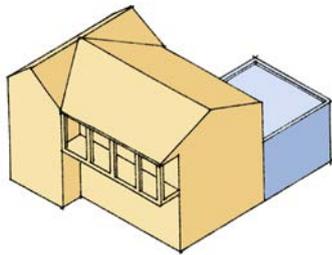




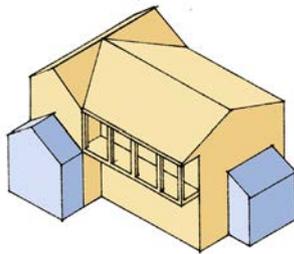
**A1** Two-story side gable with a rear wing and a fireplace



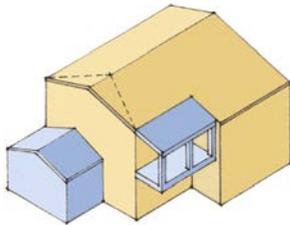
**A2** Two-story side gable with loggia connecting to garage



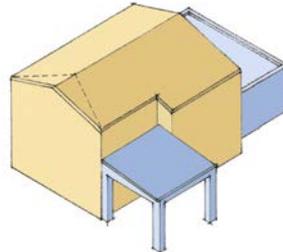
**B1** Two-story cross-gable with rear wing added



**B2** Two-story cross-gable with a front projecting bay and a bay window



**C1** Two-story front gable L with add-on entry bay and a cantilevered side porch



**C2** Two-story front gable L with a rear wing and a port cochère



POSSIBILITIES

PRECEDENTS

TWO-STORY SIDE GABLE



TWO-STORY CROSS-GABLE



TWO-STORY GABLE FRONT L



## MATERIALS

### SIDING/CLADDING

- » Stucco and optional second floor wood or fiber-cement clapboard
- » Lace finish not permitted

### ROOFING

- » Concrete tile in flat or barrel profile, multiple stacked tile at eaves.
- » Architectural asphalt shingles also permitted

### WINDOWS

- » Single or double-hung, casement, and picture units, energy-efficient wood, PVC clad, aluminum-clad, cellular PVC, aluminum or vinyl with traditional wood profiles

### COLUMNS

- » Stucco or composite

### BALCONIES

- » Wood, corbelled stucco with metal railings, or fiber cement

### RAILINGS

- » Wood or fiber cement top and bottom rails with square or turned balusters

### EAVES

- » Starter board or v-groove sheathing

### EXTERIOR CEILINGS

- » Plank and beam, or stucco

### GUTTERS

- » Half-round metal or PVC
- » Fascia gutter also permitted

### DOWNSPOUTS

- » Round metal or PVC

### SHUTTERS

- » Raised or flat panel, louvered, or plank, in wood or composite material or a colored vinyl

### CHIMNEYS

- » Stucco

### FRONT YARD FENCES

- » Masonry with stucco finish, wrought iron accents permitted
- » Wrought iron or aluminum permitted

### REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

## COLORS

### STUCCO

- » Colors to be selected from the Ellis Color Palette

### ROOF TILES

- » Colors to be selected from the Ellis Color Palette

### WINDOWS

- » Colors to be selected from the Ellis Color Palette

### TRIM/SHUTTERS

- » Colors to be selected from the Ellis Color Palette

### GUTTERS

- » Colors to be selected from the Ellis Color Palette

### DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

### WALLS/FENCING

- » Colors to be selected from the Ellis Color Palette

# ELLIS SPANISH COLONIAL

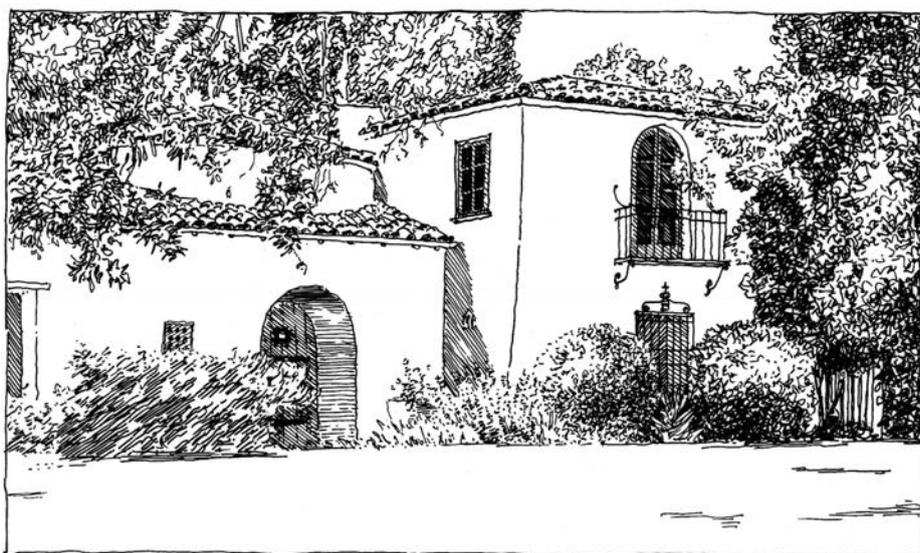
California houses of the 1920s and 1930s were designed in a wide variety of styles, yet the Spanish Revival style was by far the most popular due to its early association with the region, its adaptability to the local landscape and climate, and its charm and character. A major impetus for revival of Spanish architecture came from Bertram Goodhue's designs for the 1915 Pan Pacific Exposition in San Diego.

The Spanish Colonial style is a catalog of styles, unified by the use of arches, courtyards, strong form and mass, plain wall surfaces, and tile roofs; all are derived from Mediterranean architectural styles. Spanish Colonial style is most often characterized by an informal plan arrangement and massing.

Spanish-style houses typically have low, long spreading sweeps of wall with a minimum of penetration (constructed so as to have the appearance of thick masonry). They also have tiled, low pitched roofs (to accentuate the horizontal character); covered patios, loggias, or cloisters; and substantial doors. In a Spanish-style house, most of the effect comes from a correct use of proportion and a spare, well-placed use of ornament. The house's fundamental charm lies in the contrast of warm sunlight and cool shadows (light and shade), in the use of materials, in texture and color, and in its austere simplicity.

## COMMON ELEMENTS OF ELLIS SPANISH COLONIAL

- » Stucco walls with a handmade/formed appearance.
- » Shallow sloped, tile roofs in variegated colors.
- » Irregular window and door composition.
- » Covered porches and loggias.
- » Balconies with decorative ironwork.



# GALLERY OF EXAMPLES



Photo Credit: AT Design Consulting



Photo Credit: PhotoTours, Inc.



Photo Credit: AT Design Consulting

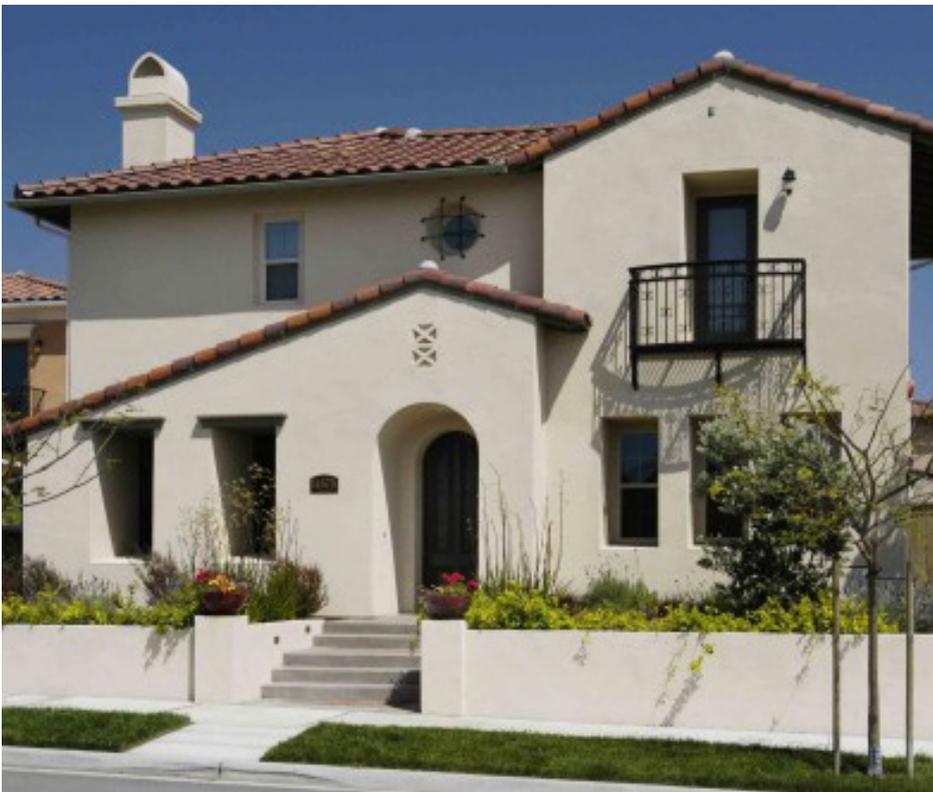


Photo Credit: Design Lens



Photo Credit: Chad Mellon



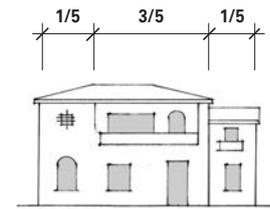
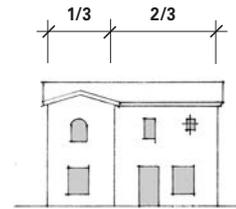
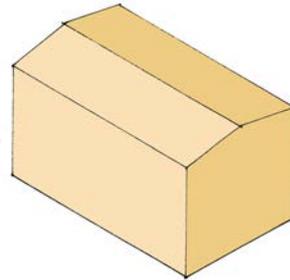
Photo Credit: P. Cooper Photography / The New Home Company

## MASSING AND COMPOSITION

### A TWO-STORY SIDE GABLE

Rectangular volume with a 3.5 in 12 roof pitch and gable or hip parallel to the street. Inset patios on first floor are common.

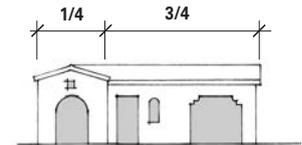
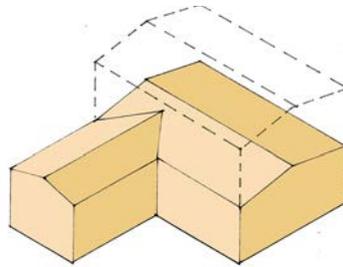
#### A TWO-STORY SIDE GABLE



### B ONE-STORY FRONT GABLE L

One- or two-story main body with a 3.5 in 12 roof pitch, and a one-story projecting wing with a gable which faces the street. Inset loggias are encouraged.

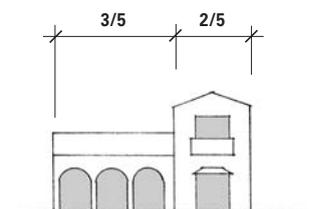
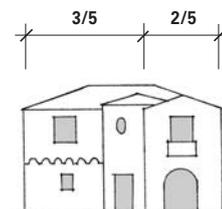
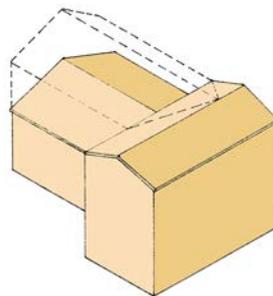
#### B ONE-STORY FRONT GABLE L

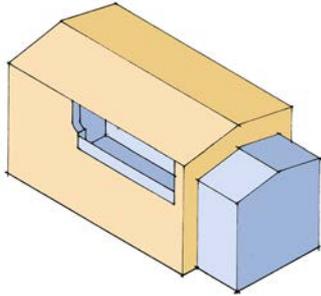


### C TWO-STORY FRONT GABLE L

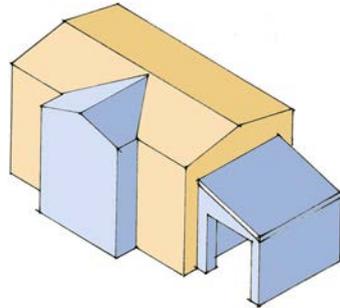
One- or two-story main body with a 3.5 in 12 roof pitch, and a two-story projecting wing with a gable which faces the street. The width of the street-facing bay is typically two-fifths that of the main body. Inset patios or loggias are encouraged.

#### C TWO-STORY FRONT GABLE L

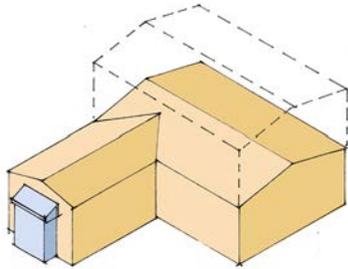




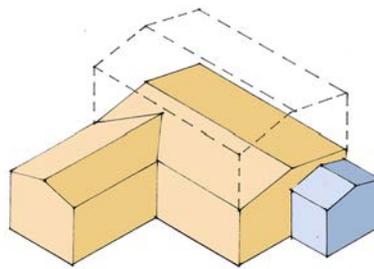
**A1** Two-story side gable with inset porch and attached side wing



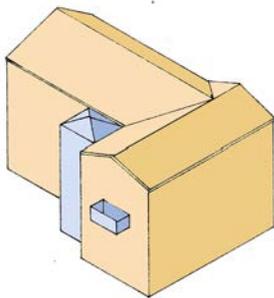
**A2** Two-story side gable with attached side garage and two-story central bay



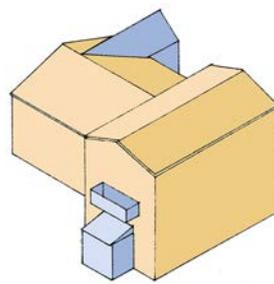
**B1** One-story front gable L with side wing attached off-center



**B2** One-story front gable L with protruding entry piece



**C1** Two-story front gable L with street-facing balcony and a tower at the intersection of the L



**C2** Two-story front gable L with street-facing window and balcony, and additional rear wing



POSSIBILITIES

PRECEDENTS

TWO-STORY SIDE GABLE



ONE-STORY FRONT GABLE L



TWO-STORY FRONT GABLE L



## MATERIALS

### SIDING/CLADDING

- » Stucco with handmade/formed appearance; skip-trowel not allowed

### ROOFING

- » Terra cotta barrel tile
- » Multiple stacked tile at eaves

### WINDOWS

- » Energy-efficient wood, PVC clad, aluminum-clad, or aluminum
- » True divided light appearance ( $\frac{3}{4}$ -inch horizontal exterior muntins)
- » Grilles shall be solid stock or wrought iron

### COLUMNS AND ARCHES

- » Stucco (square, rectangular, or round), or round cast stone/concrete

### EXTERIOR STAIRS

- » Terra cotta pavers for treads with stucco or decorative tile
- » Risers, sloped or stepped stucco walls as guard-railing. Solid-stock metal rails with a wrought iron appearance are also permitted.

### BALCONIES

- » Metal with a wrought iron appearance or stucco with metal railings

### EAVES

- » V-groove sheathing with wood appearance
- » Open eaves with wood appearance for rafter tails and soffit
- » Stucco molded eaves are permitted.

### EXTERIOR CEILINGS

- » Plank and beam

### GUTTERS

- » Half-round metal or PVC

### DOWNSPOUTS

- » Round metal or PVC

### SHUTTERS

- » Flat paneled
- » Plank
- » Wrought iron hinges, shutter dogs encouraged

### CHIMNEYS

- » Stucco with handmade/formed appearance

### FRONT YARD FENCES

- » Prefinished metal, or masonry

### REAR YARD FENCES

- » Painted wood, prefinished metal, or masonry

## COLORS

### STUCCO

- » Colors to be selected from the Ellis Color Palette

### ROOF TILES

- » Colors to be selected from the Ellis Color Palette

### WINDOWS

- » Colors to be selected from the Ellis Color Palette

### TRIM/SHUTTERS

- » Colors to be selected from the Ellis Color Palette

### GUTTERS

- » Colors to be selected from the Ellis Color Palette

### DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

### FENCING

- » Colors to be selected from the Ellis Color Palette

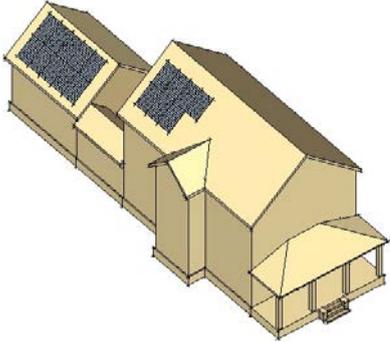
# PHOTOVOLTAIC PANEL GUIDELINES

Photovoltaics may be used in the community. Multiple application techniques are possible:

### A ROOF MOUNT

Photovoltaics are mounted a few inches above the roof structure, during the initial installation of the roof. Choices about where to site panels are based on building orientation and surface pitch.

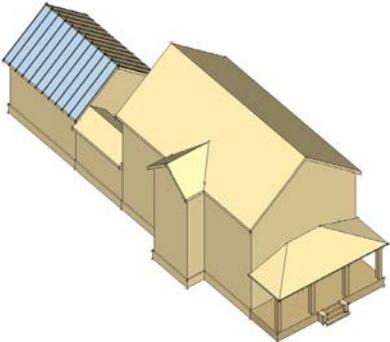
### A ROOF MOUNT



### B BUILDING INTEGRATED PV ARRAY (BIPV)

Applications of photovoltaic panels may be integral to the building system. Roof materials with PV cells can replace traditional roofing materials, as long as they are stylistically appropriate.

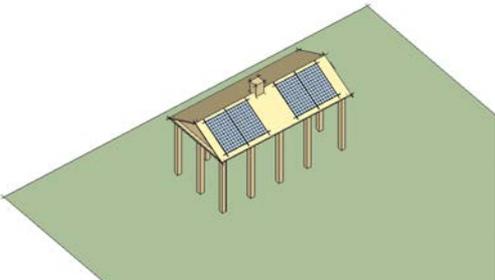
### B BUILDING INTEGRATED PV ARRAY (BIPV)



### C SHADE STRUCTURE

Photovoltaic panels may be applied to roof shade structures on private lots or in public parks and spaces. The application may be either mounted or integral.

### C SHADE STRUCTURE



The graph to the right shows the optimal building orientation and photovoltaic panel pitch to maximize electrical energy generation

	Flat	4:12	7:12	12:12	21:12	Vertical
South						
SSE, SSW						
SE, SW						
ESE, WSW						
East/West						



DESIGN CONSIDERATIONS

- » Place panels on southern-most facing roof surfaces whenever possible for optimal efficiency. Pitch of roof determines optimal solar capture (see chart on page 2|116).



DESIGN CONSIDERATIONS

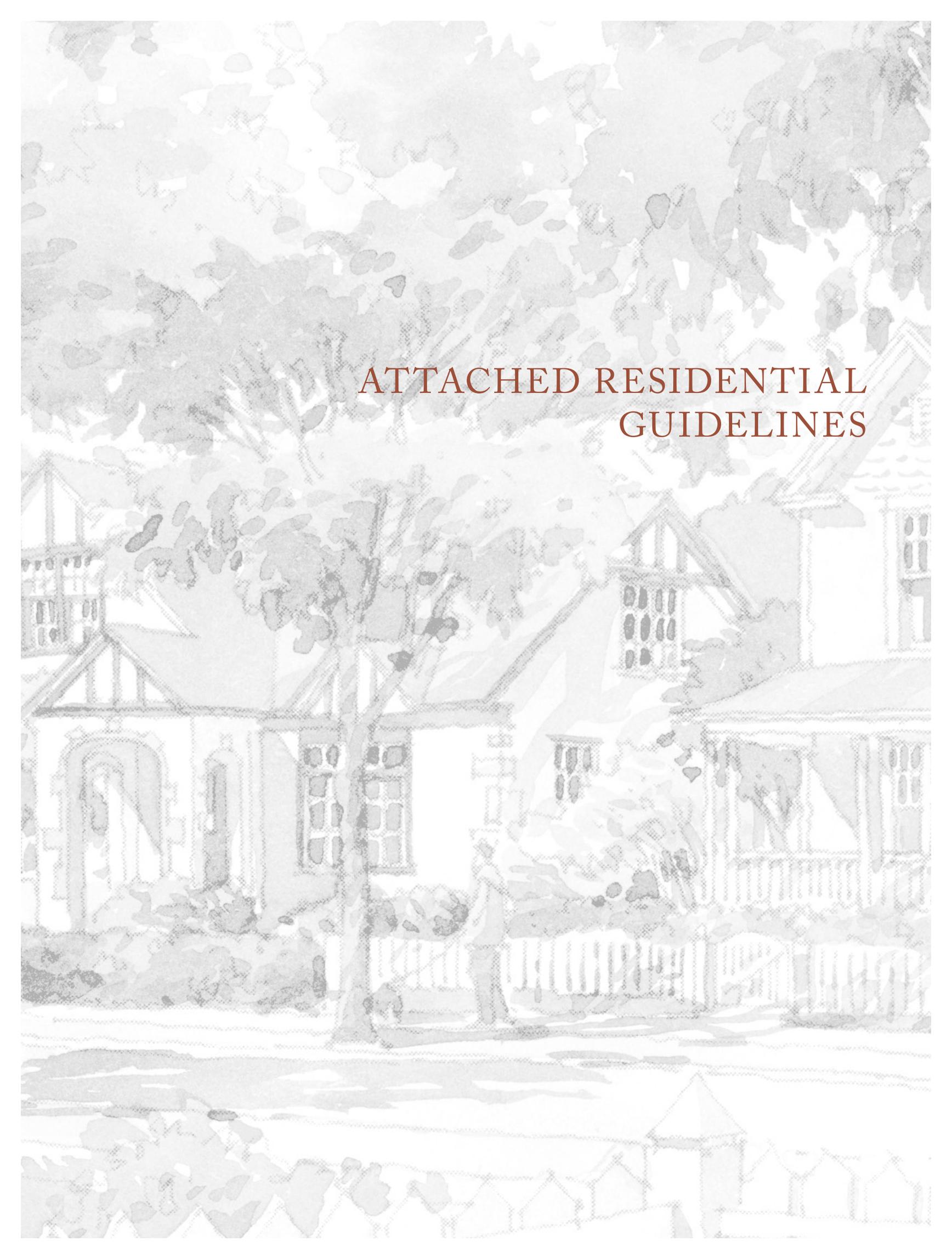
- » Material replacement can include standing seam metal, masonry tiles, and shingles
- » Color and material should be follow guidelines for each style



DESIGN CONSIDERATIONS

- » Wiring underneath panels must be carefully concealed
- » Vines and plantings must be trimmed and kept separate from wiring
- » May include shading devices over rear or side porches



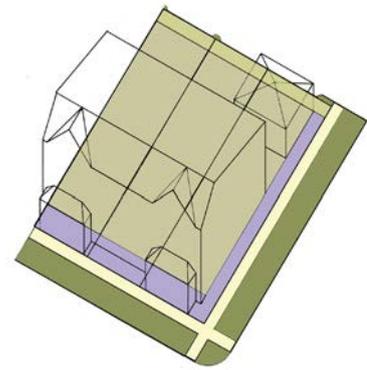


ATTACHED RESIDENTIAL  
GUIDELINES

# COMMUNITY PATTERNS

This Community Patterns section contains specific requirements for placing Attached Residential buildings on lot types within the plan. These guidelines were developed as part of the master planning process and are meant to ensure that the diversity and character of Ellis called for in the Modified Ellis Specific Plan is implemented and maintained.

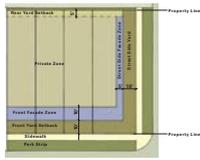
All housing designs and site plans must be reviewed and approved via the Ellis Design Review process set forth in the Modified Ellis Specific Plan, Section 6: Plan Review.



View of a residential address at Ellis

**SECTION 3 ATTACHED RESIDENTIAL** Community Patterns

**TOWNHOUSE LOTS**



**LOT SIZE (APPROXIMATE)**

- Interior Lot Width: 16-30 feet
- Corner Lot Width: Increased by 5-10 feet
- Lot Depth: Varies

**MINIMUM HOUSE SETBACKS**

- Front Yard: 10 feet to the building
- Street Side: 10 feet to the building
- Rear Yard: 5 feet for all structures (5 feet maximum to the garage encouraged on corner lots)

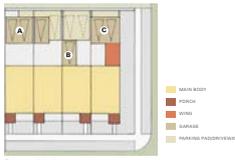
**FACADE ZONE**

- Not Used

**ENCROACHMENTS INTO SETBACKS**

- Porches: 5 feet into front yard and street side setbacks only
- Balconies: 5 feet into front yard and street side setbacks only
- Bay Windows: 2 feet into front yard and street side setbacks only
- Fireplaces: 2 feet into street side setback only
- Anything above the first floor ceiling, including canopies, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only

ELLIS PATTERN BOOK



**PERMITTED GARAGE TYPES**

- Detached (A)
- Semi-Attached (C)
- Attached (B)
- Tuck Under

**GARAGE REQUIREMENTS**

- Minimum 2 off-street parking spaces, minimum one-car garage required; two-car garage permitted
- Single parking pad permitted adjacent to garage (except on street side of corner lots)
- Provided parking pads shall be a minimum of 9 by 18 feet
- Garage doors shall not face streets

**SECONDARY RESIDENTIAL UNITS**

- Not permitted

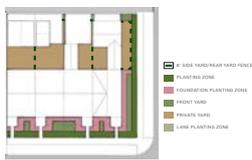
Each lot type found in the Attached Residential Community Patterns Section is described by four specific diagrams:

**LOT ZONES AND SETBACKS**  
Lot size, minimum setbacks and allowable encroachments into those setbacks, as well as the facade zones are described. These zones aid in properly situating the building with respect to its neighbors to create a harmonious streetscape.

**ELEMENTS OF THE HOUSE**  
The main body, wings, bays, as well as the requirements for garages are described in this diagram.

**SECTION 3 ATTACHED RESIDENTIAL** Community Patterns

**TOWNHOUSE LOTS**



**FENCE REQUIREMENTS**

- Front yard fencing is not permitted, except in accordance with the Modified Specific Plan
- Side and rear yard fences are encouraged for privacy
- Street side fencing is permitted on rear half of lot only
- Maximum height of side yard and rear yard fencing: 6 feet
- Minimum of top 1 foot of 6-foot or top 1.33 feet of 8-foot fences facing streets and/or public space requires lattice

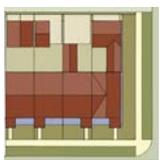
**FENCE SETBACKS**

- Rear Yard: minimum 2 feet from lot; 5 feet from rear property line to street side facade zone
- Street Side: 4 feet from walk

**LANDSCAPE**

- Landscaping is required in all areas not enclosed with a fence
- Foundation planting is required against buildings or fences facing streets
- Plants other than grass are encouraged along public rights-of-way in the Planting Zone

ELLIS PATTERN BOOK



**PLAN MINIMUM**

- Plans should contain significant variation in floor plan, massing, and garage type
- Each block face of three or more units must contain at least 3 different plan types
- Number of floor plans developed based upon number of lots developed:
  - 100 or fewer lots = 2 plans
  - 101 or more lots = 3 plans

**ELEVATION PER PLAN MINIMUM**

- Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- Number of elevations developed based upon number of lots developed:
  - 100 or fewer lots = 2 elevations
  - 101 or more lots = 3 elevations

**GENERAL REQUIREMENTS**

- Each elevation is encouraged to have at least one alternative option for each of the following:
  - exterior siding material
  - exterior trim
  - porch
  - porch hand rail
- Maximum of three buildings of the same style may be located next to each other
- Identical buildings (defined as having the same front facade) may not be located on adjacent lots

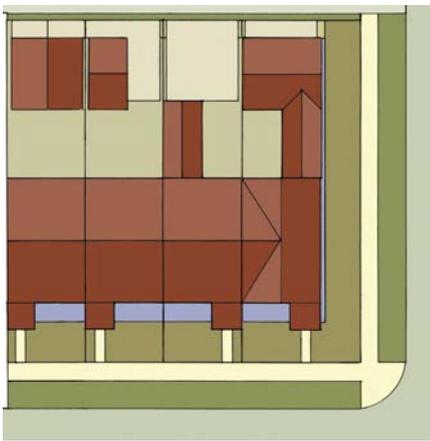
**YARD REQUIREMENTS**  
Fencing and landscape requirements are set forth in this diagram.

**GENERAL REQUIREMENTS**  
The issues of required plan types, elevations, and materials are discussed to establish a refined residential building.

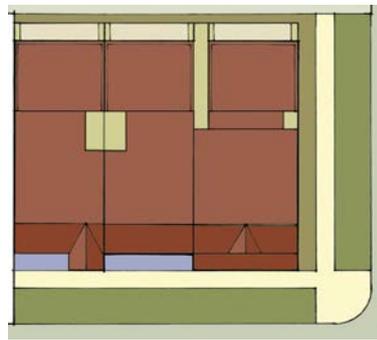
General Conditions pages for lots

## LOT TYPES

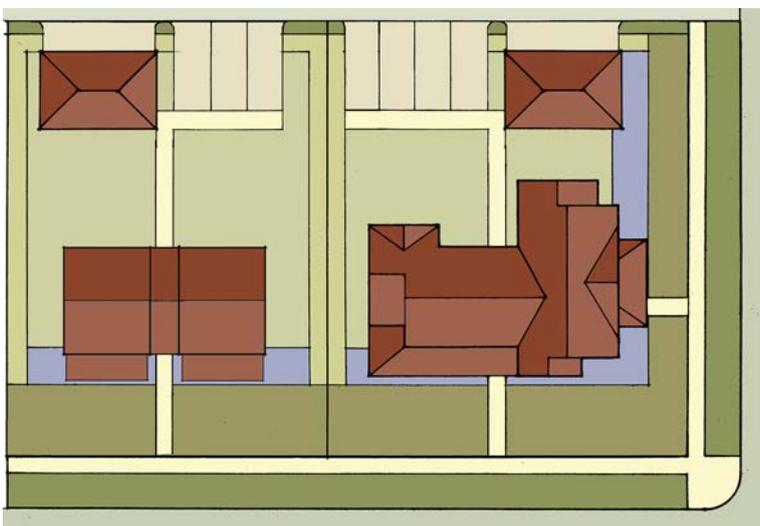
Ellis offers a variety of attached lot types, 16 feet or 30 feet wide and up. These lot types include: Townhouses, Live/Work units, and Mansion Apartments. Many of these residential types have parking accessed by a rear lane utilizing either a garage, carport, or paved parking pad, providing for continuous front yard landscaping uninterrupted by parked cars and driveways. Attached lot types are mixed throughout the community. The description of lot types on the next page are followed by a description of the conditions for each of the Attached Residential lot types beginning on page 6 of this Section.



Townhouse Lots



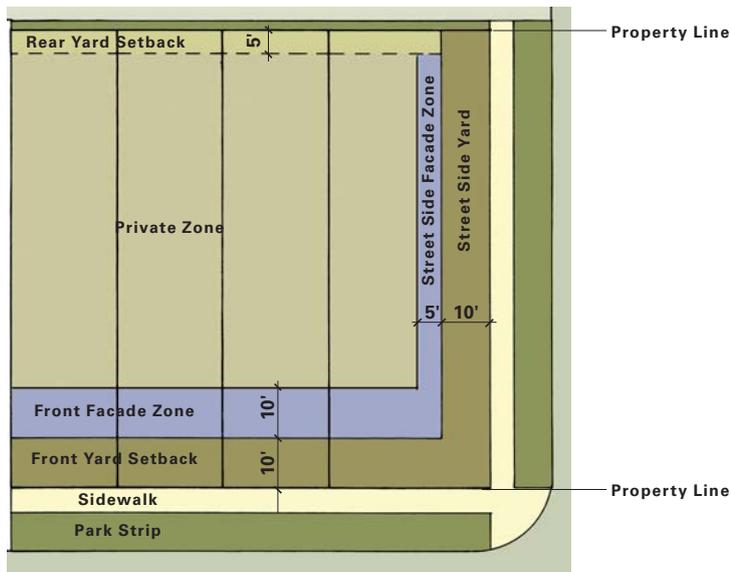
Live/Work Units



Mansion Apartments

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## TOWNHOUSE LOTS



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 16–30 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Varies

## MINIMUM HOUSE SETBACKS

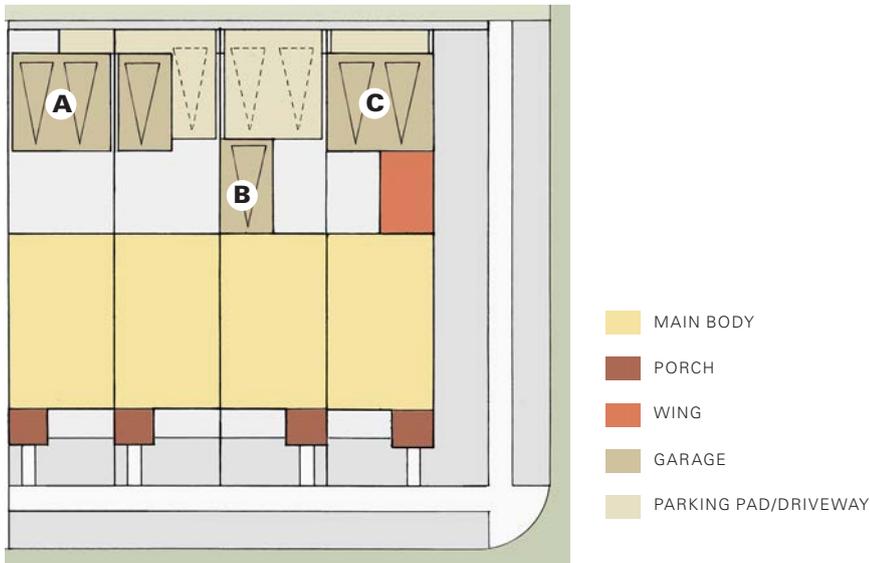
- » Front Yard: 10 feet to the building
- » Street Side: 10 feet to the building
- » Rear Yard: 5 feet for all structures (5 feet maximum to the garage encouraged on corner lots)

## FACADE ZONE

- » Not Used

ENCROACHMENTS INTO  
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setback only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-Attached (C)
- » Attached (B)
- » Tuck Under

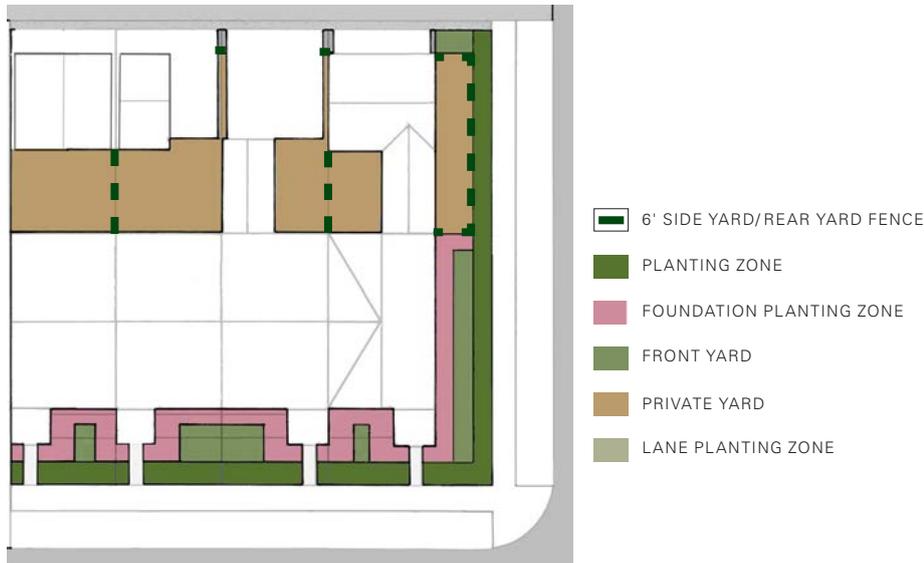
SECONDARY RESIDENTIAL UNITS

- » Not permitted

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum one-car garage required; two-car garage permitted
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets

## TOWNHOUSE LOTS



Yard Requirements

## FENCE REQUIREMENTS

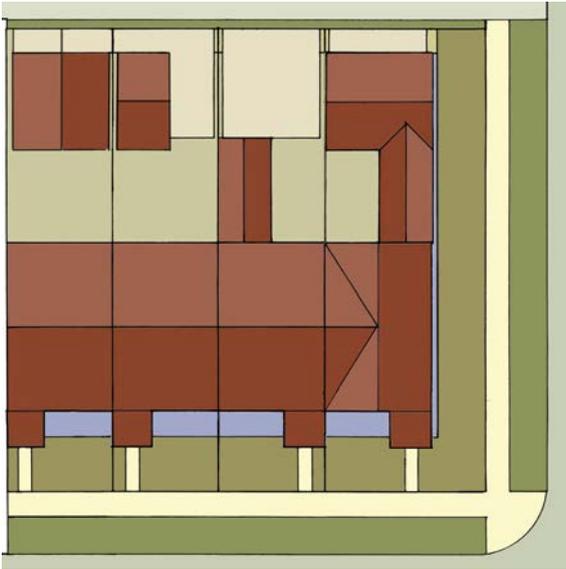
- » Front yard fencing is not permitted, except in accordance with the Modified Specific Plan
- » Side and rear yard fences are encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 6 feet
- » Minimum of top 1 foot of 6-foot or top 1.33 feet of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Street Side: 4 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Plans should contain significant variation in floor plan, massing, and garage type
- » Each block face of three or more units must contain at least 3 different plan types
- » Number of floor plans developed based upon number of lots developed:
  - › 100 or fewer lots = 2 plans
  - › 101 or more lots = 3 plans

ELEVATION PER PLAN MINIMUM

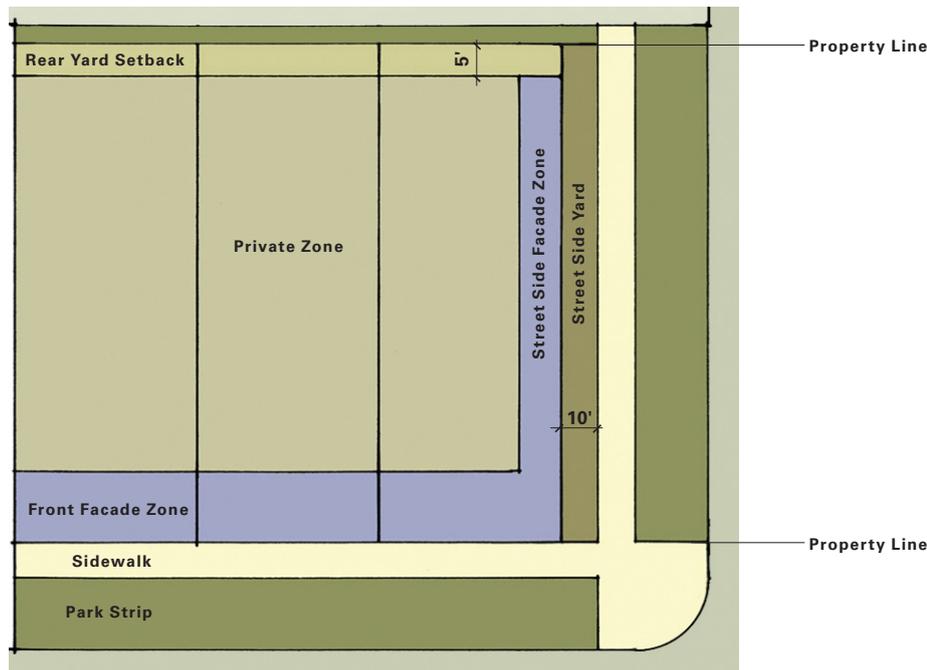
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 100 or fewer lots = 2 elevations
  - › 101 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three buildings of the same style may be located next to each other
- » Identical buildings (defined as having the same front facade) may not be located on adjacent lots

## LIVE/WORK LOTS



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 16–30 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Varies

## MINIMUM SETBACKS

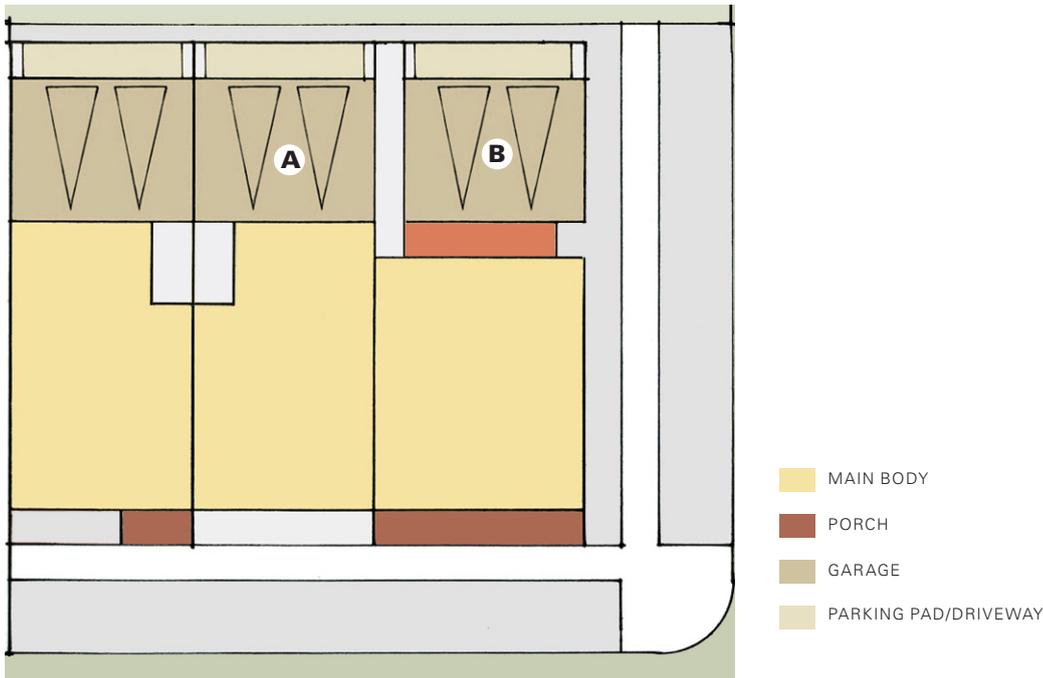
- » Front Yard: 0 feet to the building
- » Street Side Yard: 10 feet to the building
- » Rear Yard: 5 feet for all structures (5 feet maximum to the garage encouraged on corner lots)

## FACADE ZONE

- » Not Used

ENCROACHMENTS INTO  
SETBACKS

- » Balconies: 5 feet into street side setback only
- » Bay Windows: 2 feet into street side setback only
- » Fireplaces: 2 feet into street side setback only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Semi-Attached (B)
- » Attached (A)
- » Tuck Under

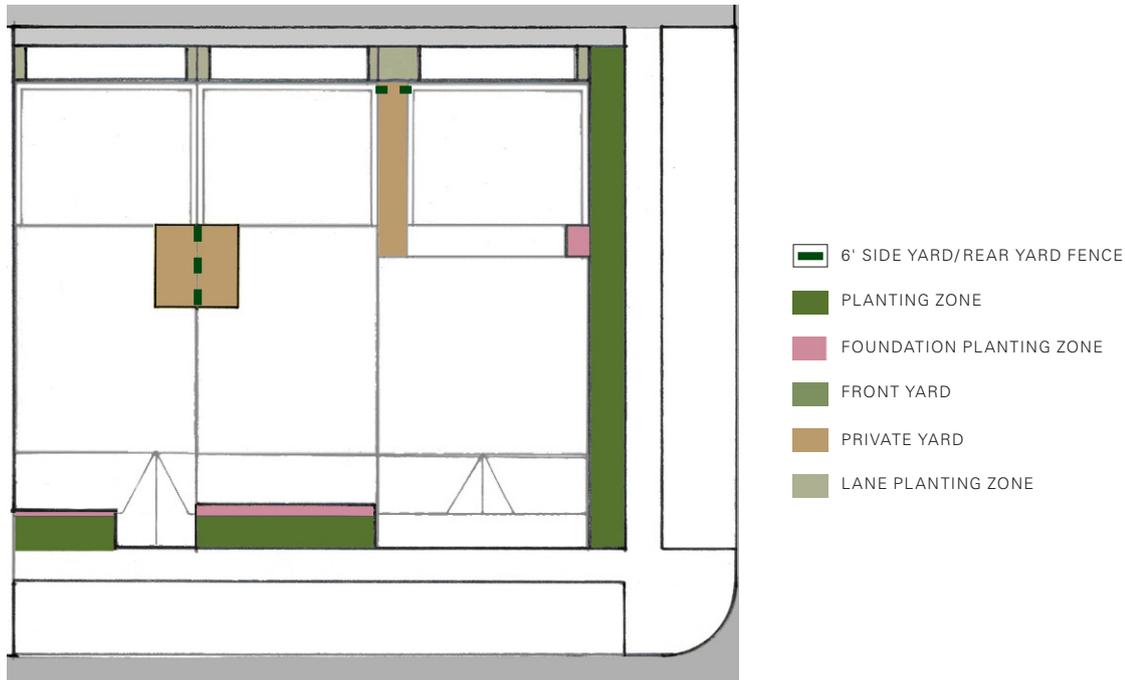
SECONDARY RESIDENTIAL UNITS

- » Not permitted

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum one-car garage required; two-car garage permitted
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets

## LIVE/WORK LOTS



Yard Requirements

## FENCE REQUIREMENTS

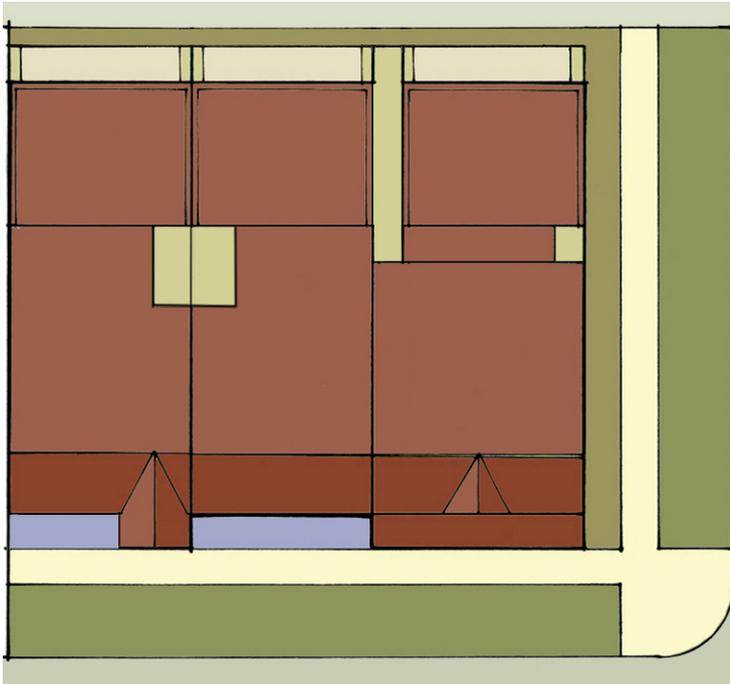
- » Front yard fencing is not permitted, except in accordance with the Modified Specific Plan
- » Side and rear yard fences are encouraged for privacy
- » Maximum height of side yard and rear yard fencing: 6 feet
- » Minimum of top 1 foot of 6-foot or top 1.33 feet of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Rear: 1 inch from property line unless built by builder
- » Street Side: 4 feet from walk

## LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

**PLAN MINIMUM**

- » Plans should contain significant variation in floor plan, massing, and garage type
- » Each block face of three or more units must contain at least 3 different plan types
- » Number of floor plans developed based upon number of lots developed:
  - › 100 or fewer lots = 2 plans
  - › 101 or more lots = 3 plans

**ELEVATION PER PLAN MINIMUM**

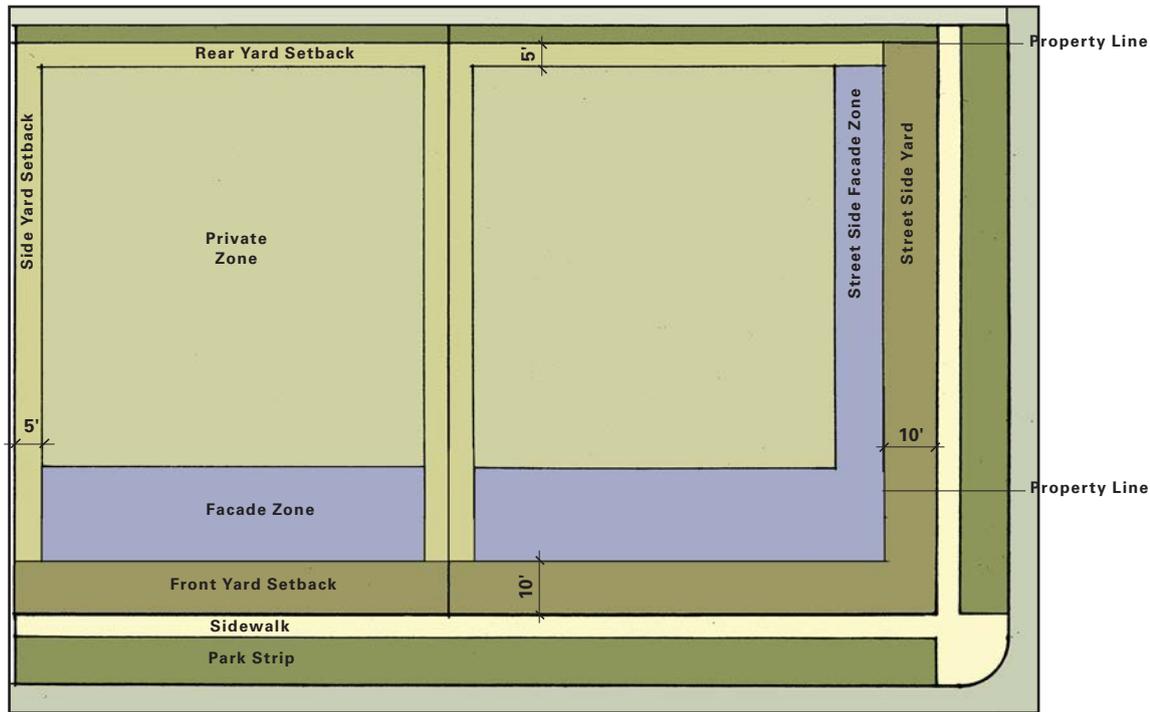
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
  - › 100 or fewer lots = 2 elevations
  - › 101 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

**GENERAL REQUIREMENTS**

- » Maximum of three buildings of the same style may be located next to each other
- » Identical buildings (defined as having the same front facade) may not be located on adjacent lots

## MANSION APARTMENTS



Lot Zones and Setbacks

## LOT SIZE (APPROXIMATE)

- » Mansion Apartment lots will vary by pad site size

## MINIMUM HOUSE SETBACKS

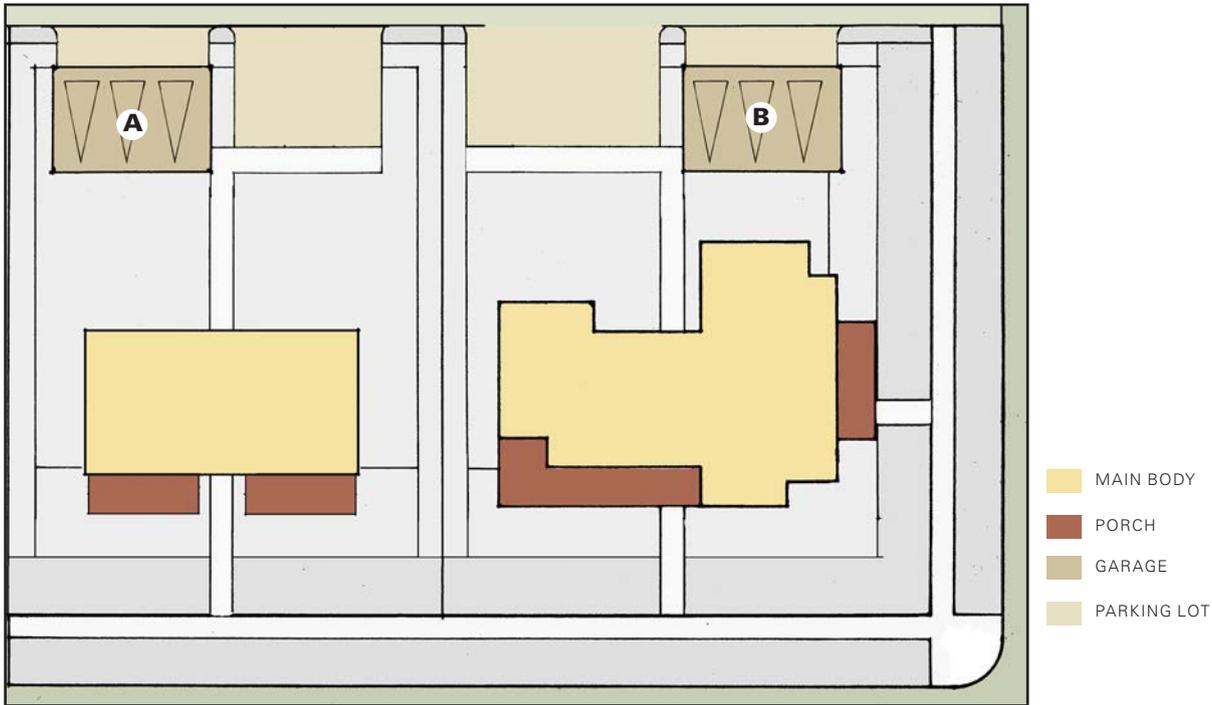
- » Front Yard: 10 feet to building
- » Street Side: 10 feet to the building and any garages/carports
- » Side Yard: 5 feet
- » Rear Yard: 5 feet to the building and garage/carport; (10 feet maximum to the garage/carport encouraged on a corner lot)

## FACADE ZONE

- » Not Used

## ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setback only



Elements of the Building

PERMITTED GARAGE TYPES

- » Tuck Under
- » Attached
- » Semi-Attached
- » Detached (A) (lane must be on street side on corner lots (B))

GARAGE REQUIREMENTS

- » Minimum 1 off-street parking space per unit (does not have to be in a garage)
- » Garage doors may not face adjacent streets

SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is not permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

## MANSION APARTMENTS



Yard Requirements

## FENCE REQUIREMENTS

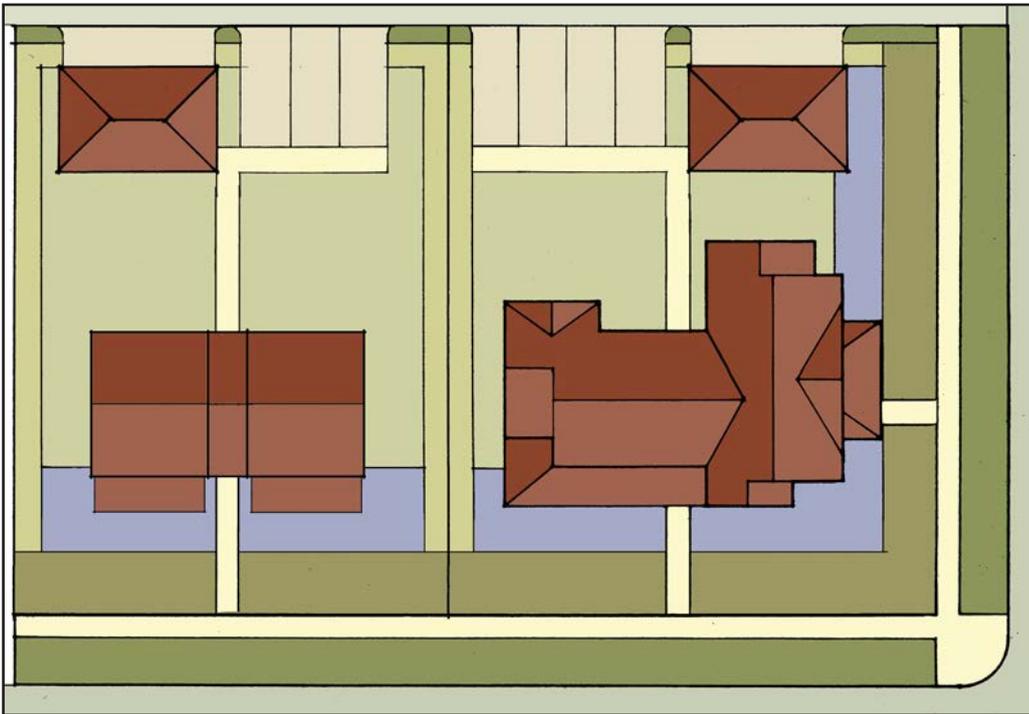
- » Front yard fencing is not permitted, except in accordance with the Modified Specific Plan
- » Side and rear yard fences are encouraged for privacy
- » Maximum height of rear yard fences: 6 feet
- » Minimum of top 1 foot of 6-foot or top 1.33 feet of 8-foot fences facing streets and/or public space requires lattice

## FENCE SETBACKS

- » Side Yard: 5 feet back from front facade of house; 1 inch from property line unless built by builder
- » Street Side: 5 feet, permitted on rear half of lot only

## LANDSCAPE

- » Landscaping is required in all areas that are not enclosed with a fence
- » Foundation planting is required facing streets
- » Landscaping is required at the base of fencing facing streets and/or lanes and parking lots
- » Plants other than grass are encouraged in the Planting Zone



General Requirements

PLAN MINIMUM

- » Three unit plans minimum (with significant variation in floor plan and massing)
- » Each building must contain a mix of plans

ELEVATION PER PLAN MINIMUM

- » Minimum of three elevation types per unit plan (manifest in the massing, roof form, primary materials, window and porch design and color)
- » Elevations may not be repeated on a block face or opposing block face
- » A minimum of two architectural styles must be represented

- » Each elevation is encouraged to have at least one alternative option for each of the following:
  - › exterior siding material
  - › exterior trim
  - › porch
  - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three buildings of the same style may be located next to each other
- » Identical buildings (defined as having the same front facade) may not be located on adjacent lots

## RESIDENTIAL DEVELOPMENT STANDARDS

<b>Lot Size</b>	1,400 sq ft min.
<b>Lot Width</b>	16 ft
<b>Lot Depth</b>	75 ft min.
<b>Front Yard Setback</b>	10 ft min. <sup>1</sup>
<b>Interior Side Yard Setback</b>	0 ft min. <sup>2</sup>
<b>Street Side Yard Setback</b>	10 ft min.
<b>Rear Yard Setback</b>	5 ft min.
<b>Height</b>	35 ft max. in Residential Mixed 45 ft max. (3 stories max.) in Village Center
<b>Lot Coverage</b>	90% max.
<b>Open Space</b>	100 sq ft minimum usable open space for each of the first ten (10) dwelling units, fifty (50) square feet for each of the second ten (10) units, and twenty-five (25) square feet for each unit in excess of twenty (20).  “Usable open space” shall mean an on-site ground level area, not less than twenty (20) feet in width, of lawn, pool, or garden courts accessible to all dwelling units via a walk, path, or stairway used and intended to be used by pedestrians. The space shall not include the required front yard or street side yard, off-street parking, driveways, or service areas.
<b>Distance Between Accessory Buildings</b>	No requirement
<b>Distance Between Main Building and Accessory Building</b>	No requirement
<b>Shade Structures and Detached Accessory Buildings</b>	Shade structures and detached accessory buildings shall meet the front, side, and rear yard setbacks unless located on the rear 1/3 of lot or 70 ft back from front property line, in which case minimum setback is 0 ft. <sup>3</sup>
<b>Encroachment <sup>4</sup></b>	Porches and/or balconies: 5' into Front Yard and Street Side Setback  Bay Windows: 2' into Front Yard and Street Side Setback  Fireplace and/or media nook: 2' into Side Yard and Street Side Setback  Air Conditioning (A/C) units: 4' into the Side Yard Setback provided that at least one side of the lot maintains the minimum setback for access to the front and rear yard.

<sup>1</sup> 0 ft for Live/Work Lofts<sup>2</sup> 5 ft min. for Mansion Apartments<sup>3</sup> This exception to minimum setbacks does not apply to garages.<sup>4</sup> Only permitted if not encroaching into a public utility easements.

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# ARCHITECTURAL PATTERNS

The Architectural Patterns Section for Attached Residential units illustrates key elements and design strategies for the five permitted traditional architectural styles for attached residential units. This section provides detailed guidelines for designing within the prescribed styles while creating well-defined variations among houses and buildings. The approach used is not intended to be a comprehensive catalog of all possibilities, but rather to serve as a guide to the key components within a particular style.

Each style section begins with an overview and general description of the style followed by several pages that document key massing types, standard door and window compositions, and materials and facade possibilities based upon Ellis Pattern Book components. Variations or other alternative combinations of components are permitted so long as they generally conform to the particular style. The goal is to design within specific families of styles that are appropriate to the Ellis context, not to design historic reproductions. The style pages and the illustrated details are meant to be a menu of options for designing houses in response to market demands and cost constraints while providing a consistent quality of character and detail.

**SECTION 3 | ATTACHED RESIDENTIAL** Architectural Patterns

**ELLIS CRAFTSMAN**

The Ellis Craftsman houses are derived from the unique qualities of the Craftsman tradition found throughout northern California and the Pacific Coast. Many regional builders constructed houses influenced by the Arts & Crafts movement. California residences are characterized by exposed structural elements, such as rafters, columns, beams, lintels, and porch details. These residences were inspired or design sought after their aesthetic in the west and were placed in various site patterns. The California Craftsman houses, which emerged in the beginning of the twentieth century, are influenced by both the Arts & Crafts movement and European architecture.

The attached houses in Ellis, the emphasis in this style is on simple, structural expression of porch and roof elements using a vocabulary of architectural elements including the Prairie, Japanese, and Bungalow styles, as well as influences from the Arts & Crafts movement. Forms are simple and surface dimensional timber elements. Windows in this style tend to be vertical in proportion and are typically placed in pairs. Exposed roof beams are used and surface materials are in the range and detail.

Horizontal siding, square and angled shingle siding patterns, and a mix of stone and siding materials are key finishing elements. This style also may include occasional metal roofing and shingle roofs.

**COMMON ELEMENTS OF THE ELLIS CRAFTSMAN**

- 1. Flatbed roof with deep overhangs
- 2. Deep, broad porch elements with exposed structural components
- 3. Exposed structural elements in the attic such as rafters and beams
- 4. A combination of finished such as masonry, shingle, and siding
- 5. Approximate timber and stone composition

**GALLERY OF EXAMPLES**

Ellis Craftsman 2 | 22

**SECTION 3 | ATTACHED RESIDENTIAL** Architectural Patterns

**ELLIS REVIVAL**

The Ellis Revival is based upon Colonial Revival styles that were popular throughout the country in the early 1900s. The Colonial Revival style is noted for its use of California stone and brick. Inspiring examples of this style can be found in the Central Valley and including regional precedents in places like Stockton, Concord, Astoria, and Livermore.

The Colonial Revival style is based on Colonial design principles, defined during the colonial period in the country. The interpretation, however, often reflects regional adaptation. The California examples include many features with differing finishes as well as Dutch Colonial influences.

The attached houses are composed of simple forms with well-proportioned windows and door openings. These are often more horizontal in appearance with special windows appearing in the center of the house over the front door. Windows on Colonial Revival houses typically emphasize the horizontal proportions with upper, wider columns, wide corner brackets, pilaster expressions, and fine and window trim.

**COMMON ELEMENTS OF ELLIS REVIVAL**

- 1. Simple, straightforward volumes with projecting wings and porches added to make more complex shapes
- 2. An orderly, symmetrical relationship between windows, doors, and building mass
- 3. Simplified versions of Classic details and columns, occasionally with Classical orders used at the entry
- 4. Multiple windows with decorative patterns
- 5. Stone, horizontal stone emphasized by brick runs and side trim

**GALLERY OF EXAMPLES**

Ellis Revival 2 | 28

**SECTION 3 | ATTACHED RESIDENTIAL** Architectural Patterns

**ELLIS EUROPEAN COUNTRY**

The Ellis European Country style is based on the early twentieth century interpretation of English architecture by American architects and builders. The source for design comes from Medieval English cottages, manor houses, and other village residential forms. The American interpretation includes houses with slightly more ornate with more gable pitches that have steeply pitched roofs between 12 to 18 degrees to the horizontal, and that feature a prominent chimney on the roof. In California, the primary material of the exterior cladding is stone. There is often a mix of exterior materials including stone, masonry or brick. Hand-painted architectural details are often used as well.

Chimneys typically act as principal forms for the marking of the house. There are usually very massive, often with stone finish, single chimneys and chimney pots. Windows are typically casement, vertical in proportion and arranged in groups of three or five. There are relatively few decorative window treatments in the house, the dominant form is one of a solid mass with small openings.

**COMMON ELEMENTS OF ELLIS EUROPEAN COUNTRY**

- 1. Steeply pitched windows and door openings
- 2. Hand-painted or stucco finish on door and window projections
- 3. Roof lines extending below main level of second floor, such as porches, gables, and dormers
- 4. Roof lines extending below main level of second floor, such as porches, gables, and dormers
- 5. Single chimney with stone or brick finish
- 6. Single chimney with stone or brick finish

**GALLERY OF EXAMPLES**

Ellis European Country 2 | 34

**SECTION 3 | ATTACHED RESIDENTIAL** Architectural Patterns

**ELLIS MEDITERRANEAN REVIVAL**

The Mediterranean Revival style draws on the distinctive architectural character of the Italian Renaissance as influenced by the popular California Spanish Colonial style. The style dates back to the early twentieth century. The first architectural model around 1910 sought a more romanticized of Spanish architectural forms throughout the region. The Mediterranean style emerged from Spanish style precedents that date between 1815 and 1860. This style incorporated traditional architectural forms, but in the region, with Spanish Colonial influences. The result is a distinctive architectural vocabulary, characterized by simple forms with modest decorative details. The houses used Colonial window and door details borrowed from New England country techniques and added a more rustic touch with exposed rafters and joists. The roof had a very shallow pitch, often gabled or hipped, and was covered with clay tiles or red wooden shingles.

The entrance balcony on the front of the house was a plank in the porch that also served as a defined space centered in the back of the house. The detailing on the porch and the screen is extremely simple.

**COMMON ELEMENTS OF ELLIS MEDITERRANEAN REVIVAL**

- 1. Simple, straightforward volumes, sometimes with a gable wing facing the street
- 2. Shallow pitched roofs, often hip or gable with shingle and tile
- 3. Typically two-story
- 4. Simplified versions of details being Colonial windows and doors
- 5. Multiple windows appearance that are wide in proportion, usually with more than a 1:1 pane to glass proportion
- 6. Hand-painted projecting timber balconies or roof porches with exposed rafters

**GALLERY OF EXAMPLES**

Ellis Mediterranean Revival 2 | 40

**SECTION 3 | ATTACHED RESIDENTIAL** Architectural Patterns

**ELLIS SPANISH COLONIAL**

California houses of the 1920s and 1930s were designed in a wide variety of styles, yet the Spanish Revival style was by far the most popular due to its early association with the region. Its adaptability to the local landscape and climate, and its shared architectural language inspired by a number of Spanish architectural forms from Baroque to Colonial design for the 1915 Pan Pacific Exposition in San Diego.

The Spanish Colonial style is a variety of styles, unified by the use of arches, masonry, stucco finish and simple, plain roof surfaces, and the result, all are derived from Mediterranean architectural styles. Spanish Colonial styles are often characterized by an informal plan arrangement and coloring.

Spanish style houses typically have long spreading wings of wall with a minimum of projection (concentrated so as to have the appearance of thick masonry). They also tend to be gabled roof in the manner the horizontal (thick) covered porch, loggia, or colonnade, and substantial doors. In a Spanish style house, most of the effort comes from a sense of proportion, and upper, well-placed use of masonry.

The basic fundamental design lies in the center of mass weight and load distribution light and dark in the use of materials, in stone and brick, and in its sense simplicity.

**COMMON ELEMENTS OF ELLIS SPANISH COLONIAL**

- 1. Masses with walls a benchmark of formal appearance
- 2. Shallow depth, the roof is rectangular
- 3. Simple window and door composition
- 4. Casement windows
- 5. Covered porches and loggias
- 6. Balconies with decorative ironwork

**GALLERY OF EXAMPLES**

Ellis Spanish Colonial 2 | 46

# ELLIS CRAFTSMAN

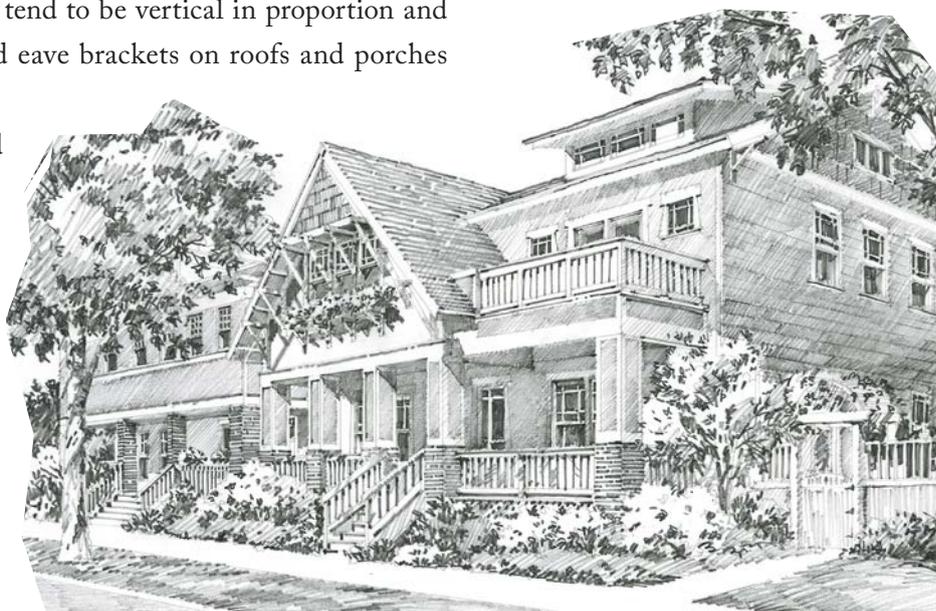
Ellis Craftsman houses are derived from the unique qualities of the Craftsman tradition found throughout northern California and San Joaquin County. Many regional builders constructed houses influenced by the Arts & Crafts movement. California versions are characterized by exposed or expressive structural elements such as rafters, columns, beams, lintels, and porch elements. House exteriors were clapboard or shingle siding mixed with stone and brick or stucco accents and were painted in natural color palettes. The California Craftsman house, which emerged in the beginning of the twentieth century, was influenced by both the Arts & Crafts movement and Japanese architecture.

For attached homes in Ellis, the emphasis in this style is on simple, structural expression of porch and eave elements using a vocabulary of architectural elements including the Prairie, Japanese, and Swiss styles, as well as influences from the Arts & Crafts movement. Forms are simple and reflect dimensioned lumber elements. Windows in this style tend to be vertical in proportion and are typically ganged or paired. Exposed eave brackets on roofs and porches contribute to this image and detail.

Horizontal siding, square and shaped shingle siding patterns, and a mix of stucco and siding materials are key cladding elements. This style also may include unpainted metal roofing and shingled roofs.

## COMMON ELEMENTS OF THE ELLIS CRAFTSMAN

- » Pitched roofs with deep overhangs.
- » Deep, broad porch elements with expressive structural components.
- » Exposed structural elements in the eaves such as rafters and brackets.
- » A combination of materials such as stucco, shingles, and siding.
- » Asymmetrical window and door compositions.



Arts & Crafts Style in Ellis

# GALLERY OF EXAMPLES



## MASSING AND COMPOSITION

Attached units will occur in two forms: townhouses and Mansion Apartment buildings. Massing options A, B, and C may apply to townhouse rows and may be combined along a block face. Massing type D is applied to apartment buildings.

### A TWO-STORY SIDE GABLE

Rectangular two-story volumes, with a 4 to 7 in 12 roof pitch. Shed front porches are common and have a shallower roof pitch. Porches may be either additive or a single integral bay.

### B TWO-AND-ONE-HALF-STORY SIDE GABLE

Rectangular two- to two-and-one-half-story volume with a 4 to 7 in 12 side gabled roof. Integral front porch that ranges from half to the full length of the front facade. Symmetrically placed gabled or shed dormers with 3 to 5 in 12 roof pitch.

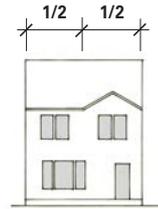
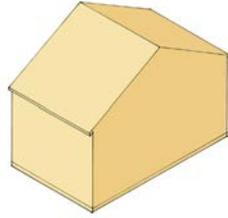
### C TWO-STORY GABLE L

Cross-gabled volume with a 4 in 12 gable facing the street. Often an in-line gabled porch or wing is added to the front left of the L. Porches may also be located between the legs of the L.

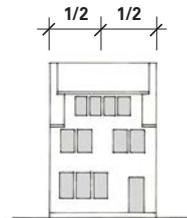
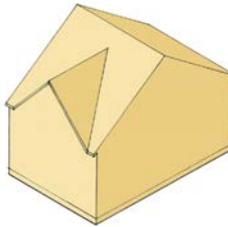
### D MANSION APARTMENTS

Rectangular volume with a 4 to 12 in 12 roof pitch and gable/gables facing the street. Front porches are common.

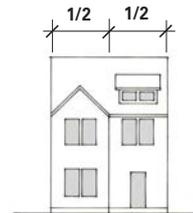
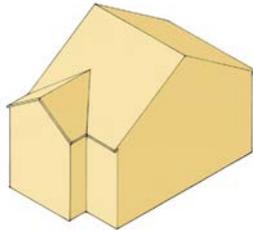
#### A TWO-STORY SIDE GABLE



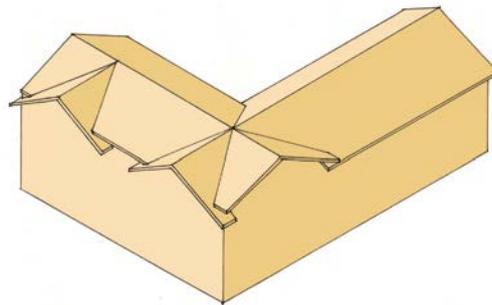
#### B TWO-AND-ONE-HALF-STORY SIDE GABLE

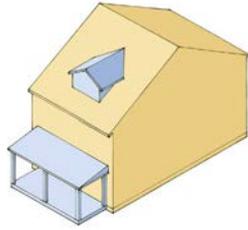
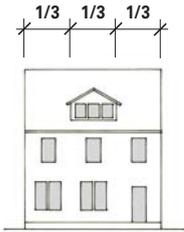


#### C TWO-STORY GABLE L

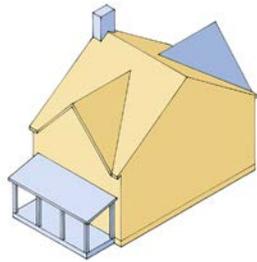
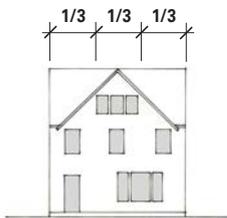


#### D MANSION APARTMENTS

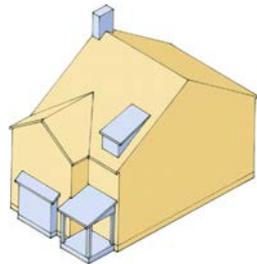
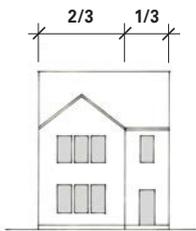




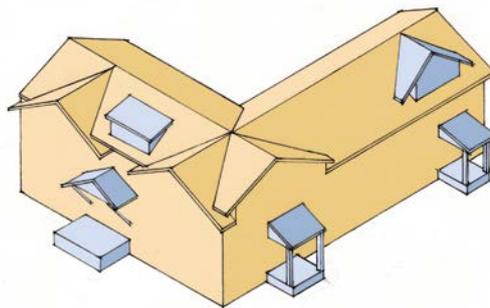
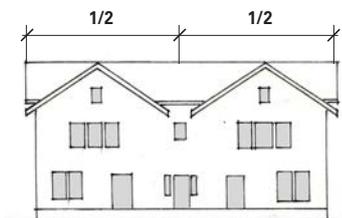
**A** Side gable with a front porch and street-facing dormer



**B** Side gable with a front porch, a chimney and a large, rear-facing dormer



**C** Gable L with front entry porch, boxbay window, chimney and shed-roofed dormer



**D** Large side-gable building massing, with street-facing gables

# POSSIBILITIES

## TOWNHOUSES



## TOWNHOUSES



## MANSION APARTMENTS



# PRECEDENTS



## MATERIALS

### SIDING/CLADDING

- » Fiber-cement clapboard and/or stucco
- » Lace finish not permitted

### ROOFING

- » Composition shingles, flat concrete tile, standing seam, or 5v crimp metal

### WINDOWS

- » Single- or double-hung
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum, or vinyl
- » Traditional-looking profiles

### TRIM

- » Stucco, wood, composition board, cellular PVC, polyurethane, or fiber cement

### COLUMNS/BRACKETS

- » Wood or composite

### RAILINGS

- » Wood or composite top and bottom rails with square balusters
- » Solid railings of wood, fiber cement, cut shingle siding or manufactured stone veneer

### SOFFITS AND PORCH CEILING

- » Exposed rafters at soffits with starter board or v-groove sheathing
- » T&G wood, beaded plywood, exterior-grade plywood, or stucco porch ceiling

### GUTTERS

- » Ogee or half-round primed or prefinished metal
- » PVC is acceptable in a color that matches the trim
- » Fascia gutter permitted

### DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches the trim or the stucco cladding

### SHUTTERS

- » Not applicable

### CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match structure

### FRONT YARD FENCES

- » Wood, stone, or masonry with stucco finish
- » Vinyl picket permitted
- » Wrought iron or equivalent

### REAR YARD FENCES

- » Cedar, redwood, or masonry with stucco finish (if applicable)
- » Vinyl and pressure treated wood are permitted

## COLORS

### SIDING AND TRIM

- » Colors to be selected from the Ellis Color Palette

### WINDOWS

- » Colors to be selected from the Ellis Color Palette

### ROOF SHINGLES

- » Colors to be selected from the Ellis Color Palette

### GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

### FRONT YARD FENCES

- » Colors to be selected from the Ellis Color Palette

# ELLIS REVIVAL

The Ellis Revival is based upon Colonial Revival styles that were prevalent throughout the country in the early 1900s. The Colonial Revival style is evident in many California towns and cities. Interesting examples of this style can be found in the Central Valley area including regional precedents in places like Stockton, Concord, Antioch, and Livermore.

The Colonial Revival style is based on Classical design principles followed during the colonial period in this country. The interpretations, however, often reflect regional adaptations. The California examples include many houses with full front porches as well as Dutch Colonial renditions.

The attached homes are composed of simple forms with well-proportioned windows and door surrounds. These are often more horizontal in appearance with special windows appearing in the center of the house over the front door. Stockton area Colonial Revival houses typically emphasize the horizontal proportions with square, robust columns, wide corner boards, pilaster expressions, and door and window trim.

## COMMON ELEMENTS OF ELLIS REVIVAL

- » Simple, straightforward volumes with projecting wings and porches added to make more complex shapes.
- » An orderly, symmetrical relationship between windows, doors, and building mass.
- » Simplified versions of Classical details and columns, occasionally with Classical orders used at the entry.
- » Multi-pane windows with six-pane patterns.
- » Strong horizontal lines emphasized by broad eaves and wide trim.



# GALLERY OF EXAMPLES



## MASSING AND COMPOSITION

Attached units will occur in two forms: townhouses and Mansion Apartment buildings. Massing options A, B, and C may apply to townhouse rows and may be combined along a block face. Massing type D is applied to apartment buildings.

### A TWO-STORY SIDE GABLE

Side-gabled rectangular volume with a roof pitch that is typically 6 to 10 in 12. Front porches often extend across the full front of the house.

### B TWO-STORY GABLE L

Side-gabled rectangular volume, with a steeply-pitched, gabled wing attached to the front. The front gable roof is typically pitched at 8 to 12 in 12, and the side gable is less steeply pitched, typically 6 to 10 in 12. One- or two-story front porches often extend across the recessed portion of the house or the full front facade.

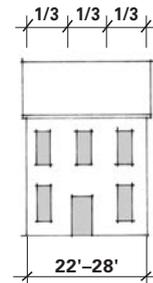
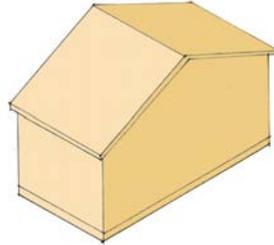
### C TWO-STORY FLAT ROOF

Two-story rectangular volume with a flat roof condition. Large cornices and parapet walls are often used at the roof line. One or more bays are often extruded from the facade to create interesting volumes.

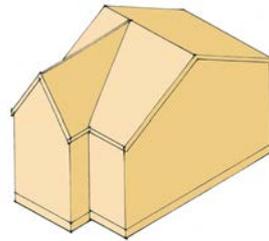
### D LARGE BUILDING

Cross-gabled volume with a 6 to 10 in 12 gable facing each street. Cross-gable is typically no wider than half that of the main body. This massing often has a gable porch emphasizing the main entrance, although when used on a corner lot, both entrances should be considered important.

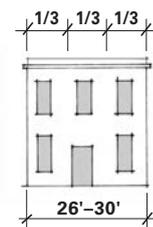
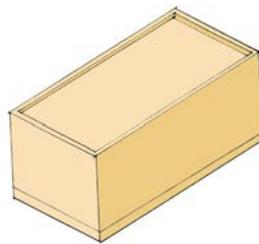
### A TWO-STORY SIDE GABLE



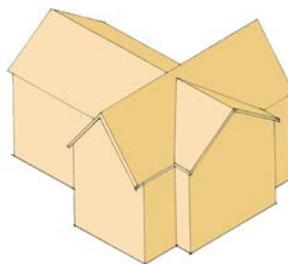
### B TWO-STORY GABLE L

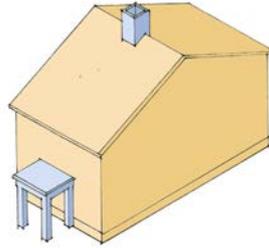
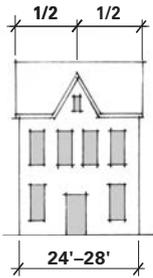


### C TWO-STORY FLAT ROOF

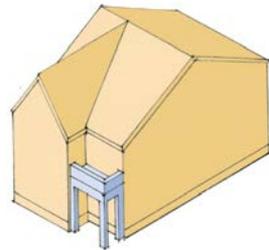
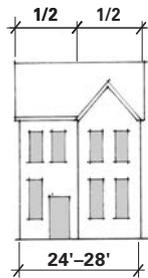


### E MANSION APARTMENTS

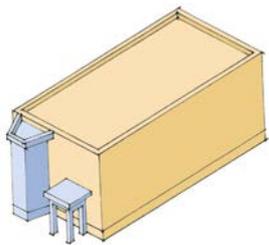
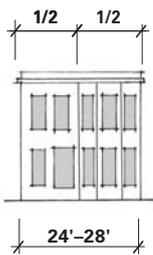




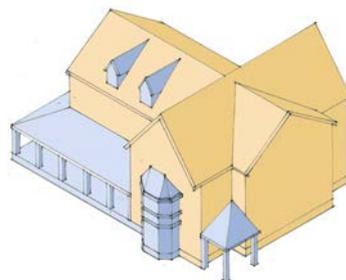
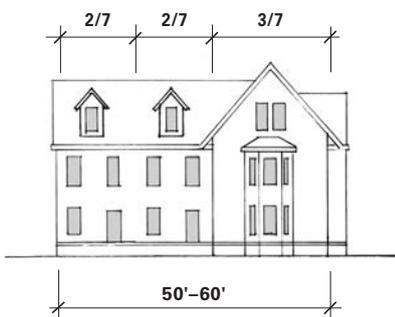
**A** Side gable with a chimney and a centered front entry porch



**B** Gable L with a two-story entry porch



**C** Flat roof with a two-story bay window and a flat-roofed entry porch



**D** Large cross gable with two-story bay window, dormers, and a wraparound porch

## POSSIBILITIES

### TOWNHOUSES



### TOWNHOUSES



### MANSION APARTMENTS



## PRECEDENTS



## MATERIALS

### SIDING/CLADDING

- » Board and batten, wood, or fiber-cement clapboard

### ROOFING

- » Composite shingles
- » Flat concrete tile

### WINDOWS

- » Single- or double-hung
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

### TRIM

- » Wood, composition board, cellular PVC, or polyurethane

### COLUMNS

- » Turned or built-up wood, or composite

### RAILINGS

- » Wood top and bottom rails with straight, turned, or scroll cut balusters

### SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, or exterior-grade plywood

### GUTTERS

- » Half-round primed or prefinished metal
- » PVC is acceptable in a color that matches the trim
- » Fascia gutter permitted

### DOWNSPOUTS

- » Round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches the trim

### SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite material, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

### CHIMNEYS

- » Manufactured stone or brick veneer or siding to match house

### FRONT YARD FENCES

- » Wood picket, prefinished metal, or stone
- » Vinyl picket permitted

### REAR YARD FENCES

- » Cedar or redwood
- » Vinyl and pressure-treated wood are permitted

## COLORS

### SIDING, WINDOWS, AND TRIM

- » Colors to be selected from the Ellis Color Palette

### ROOF

- » Black, dark gray, or brown

### GUTTERS AND DOWNSPOUTS

- » Match trim color

### SHUTTERS

- » Black or a color selected from the Ellis Color Palette

### FRONT YARD FENCES

- » Wood to be white or match trim color

# ELLIS REVIVAL

The Ellis Revival is based upon Colonial Revival styles that were prevalent throughout the country in the early 1900s. The Colonial Revival style is evident in many California towns and cities. Interesting examples of this style can be found in the Central Valley area including regional precedents in places like Stockton, Concord, Antioch, and Livermore.

The Colonial Revival style is based on Classical design principles followed during the colonial period in this country. The interpretations, however, often reflect regional adaptations. The California examples include many houses with full front porches as well as Dutch Colonial renditions.

The attached homes are composed of simple forms with well-proportioned windows and door surrounds. These are often more horizontal in appearance with special windows appearing in the center of the house over the front door. Stockton area Colonial Revival houses typically emphasize the horizontal proportions with square, robust columns, wide corner boards, pilaster expressions, and door and window trim.

## COMMON ELEMENTS OF ELLIS REVIVAL

- » Simple, straightforward volumes with projecting wings and porches added to make more complex shapes.
- » An orderly, symmetrical relationship between windows, doors, and building mass.
- » Simplified versions of Classical details and columns, occasionally with Classical orders used at the entry.
- » Multi-pane window appearance with six-pane patterns.
- » Strong horizontal lines emphasized by broad eaves and wide trim.



# GALLERY OF EXAMPLES



## MASSING AND COMPOSITION

Attached units will occur in two forms: townhouses and Mansion Apartment buildings. Massing options A, B, and C may apply to townhouse rows and may be combined along a block face. Massing type D is applied to apartment buildings.

### A TWO-STORY SIDE GABLE

Side-gabled rectangular volume with a roof pitch that is typically 4 to 10 in 12. Dormer windows are often present in the roof form. Porches are additive structures that may cover all or part of the front facade.

### B TWO-AND-A-HALF-STORY MANSARD

Rectangular volume, composed of a flat roof with a mansard pitch condition on the front facade. Often accompanied by a shed-roof dormer within the mansard roof condition. Porches may cover all or part of the front facade.

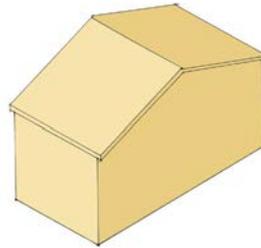
### C TWO-STORY FRONT GABLE

Front-gabled rectangular volume. Gable roof pitches range from 4 to 10 in 12. As with other massing, stoops and hipped front porches are common. Porches are most often one-story, but can be two-story on townhouse units.

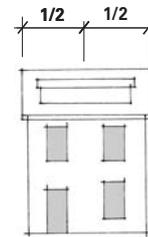
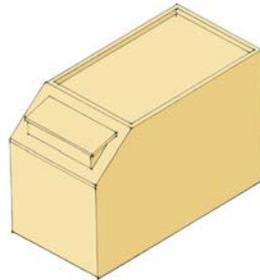
### D MANSION APARTMENT

Cross-gabled volume with roof pitches ranging from 4 to 10 in 12 for front-facing gables, and a less steep pitch for side gables. One-story temple front porches are common, along with dormer windows.

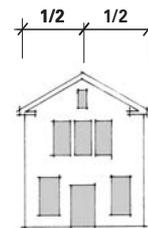
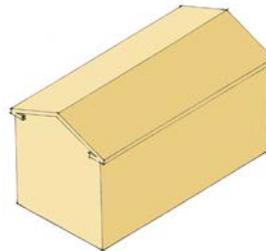
#### A TWO-STORY SIDE GABLE



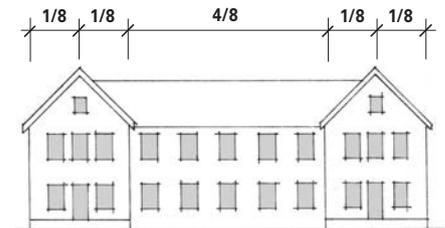
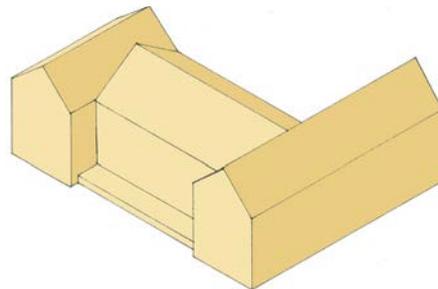
#### B TWO-AND-A-HALF-STORY MANSARD

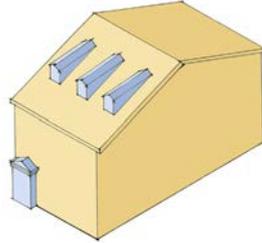
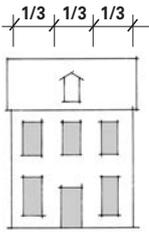


#### C TWO-STORY FRONT GABLE

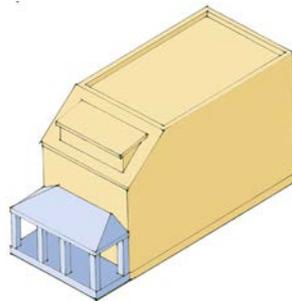
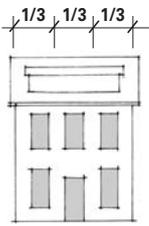


#### D MANSION APARTMENTS

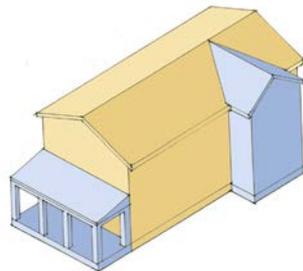
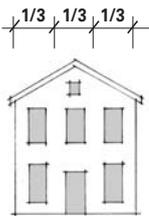




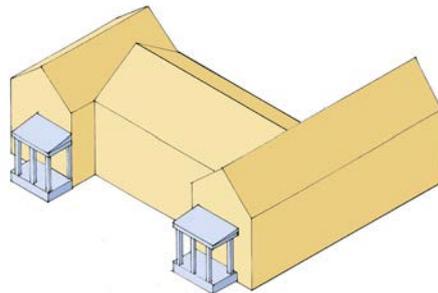
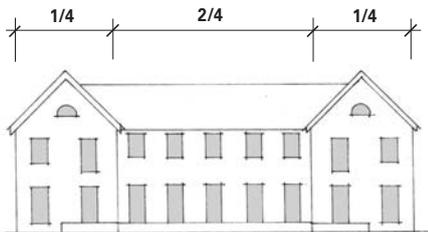
**A** Side gable with dormers and built-out entry bay



**B** Side gable with hipped full front porch



**C** Front gable with full front porch and side wing



**D** Large cross gables with symmetrical porch entry bays



# POSSIBILITIES

# PRECEDENTS

## TOWNHOUSES



Elevation possibility



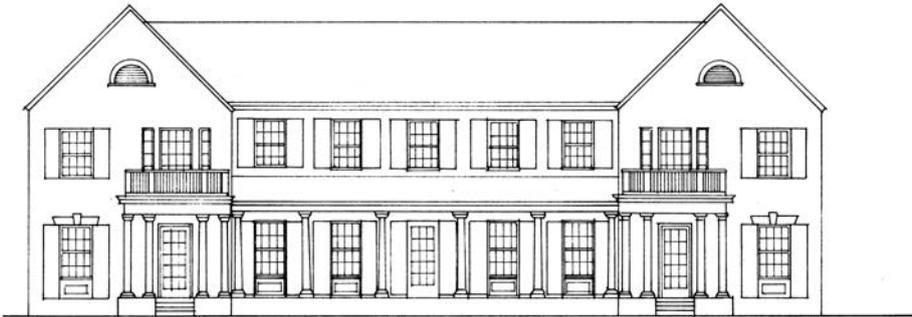
## TOWNHOUSES



Elevation possibility



## MANSION APARTMENTS



Elevation possibility



## MATERIALS

### SIDING/CLADDING

- » Fiber-cement clapboard or stucco
- » Lace finish not permitted

### ROOFING

- » Composition shingles or concrete tile with flat profile

### WINDOWS

- » Single- or double-hung and casement
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

### TRIM

- » Stucco, wood, composition board, cellular PVC, polyurethane, or fiber cement

### COLUMNS

- » Wood, or composite with Classical entasis and proportions
- » Use Tuscan, Doric, or Ionic orders

### RAILINGS

- » Wood or composite top and bottom rails with square balusters

### SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, exterior-grade plywood, or stucco

### GUTTERS

- » Ogee or half-round
- » Primed or prefinished metal

- » PVC is acceptable in a color that matches trim

- » Fascia gutter permitted

### DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches trim or stucco cladding

### SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite materials, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

### CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match house

### FRONT YARD FENCES

- » Painted wood, prefinished metal, stone, masonry, or stucco finish (if applicable)
- » Vinyl picket also permitted

### REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

## COLORS

### SIDING, WINDOWS, AND TRIM

- » Colors to be selected from the Ellis Color Palette

### ROOF

- » Colors to be selected from the Ellis Color Palette

### GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

### WINDOWS

- » Colors to be selected from the Ellis Color Palette

### SHUTTERS

- » Colors to be selected from the Ellis Color Palette

### FENCING

- » Colors to be selected from the Ellis Color Palette

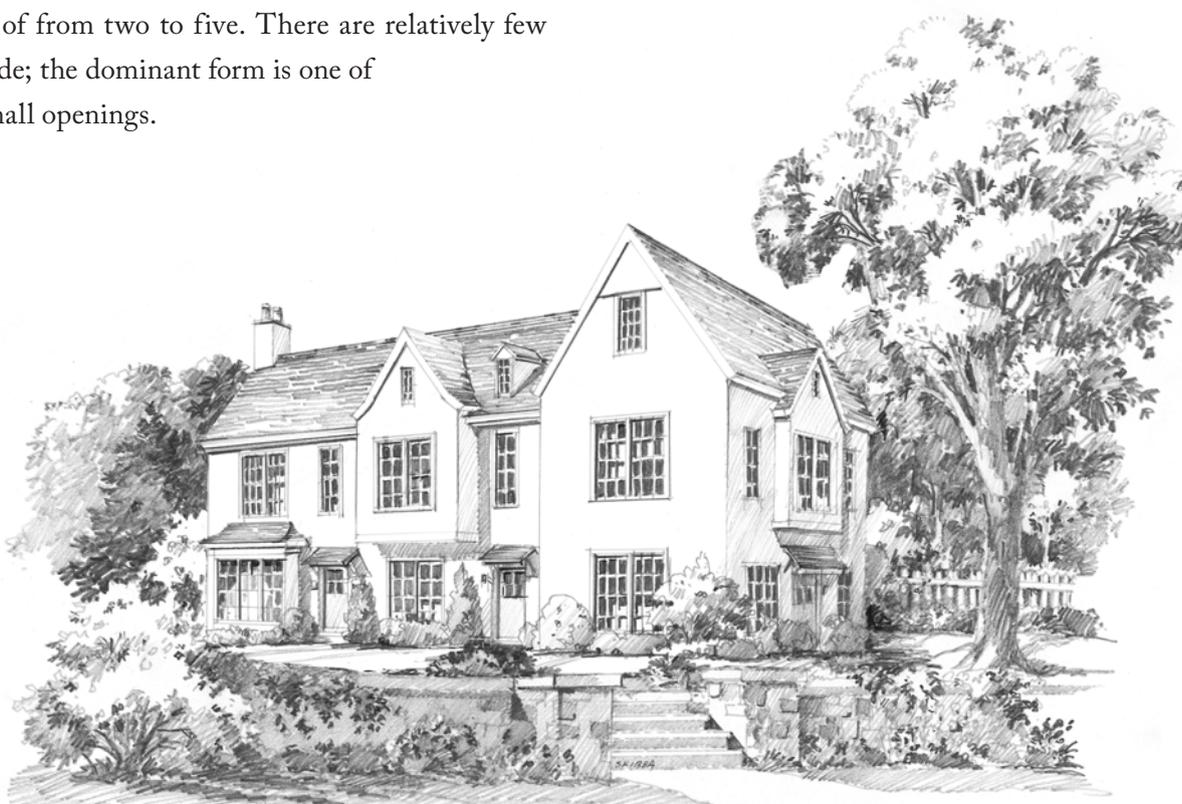
# ELLIS EUROPEAN COUNTRY

The Ellis European Country Style is based on the early twentieth century interpretations of English architecture by American architects and builders. The source for design comes from Medieval English cottages, manor houses, and rural village vernacular houses. The American interpretations include houses with simple volumes often with front-facing gables that have steeply pitched roofs between 12 in 12 and 16 in 12. Gable, hip, and shed dormers are a dominant feature of the style. In California, the principal material for the exterior cladding is stucco. There is often a mix of exterior materials including stone, stucco or brick. Half-timbering and horizontal siding are often used as infill in gables.

Chimneys typically act as principal forms for the massing of the house. These are usually very massive, often with stucco finish, simple detailing and chimney pots. Windows are typically casements, vertical in proportion and arranged in groups of from two to five. There are relatively few windows in the facade; the dominant form is one of a solid mass with small openings.

## COMMON ELEMENTS OF ELLIS EUROPEAN COUNTRY

- » Seemingly random window and door locations.
- » Vertical windows in groupings.
- » Broad expanses of wall with few door and window penetrations.
- » Roof lines extending below windows at second floor, and to top of window at first floor.
- » Simple detailing and shallow overhangs.



GALLERY OF EXAMPLES



## MASSING AND COMPOSITION

Attached units will occur in two forms: townhouses and Mansion Apartment buildings. Massing options A, B, and C may apply to townhouse rows and may be combined along a block face. Massing type D is applied to apartment buildings.

### A TWO-STORY BASIC SIDE GABLE

Rectangular two- to two-and-one-half-story volume with an 4 to 10 in 12 roof pitch. Cross-gabled entry piece in 12 to 16 in 12. Only one cross gable permitted, often expressed in plan.

### B TWO-STORY ASYMMETRICAL GABLE-FRONT L

Rectangular two- to two-and-one-half-story volume with a main body roof of 6 to 16 in 12. Cross-gabled volume with an 8 to 12 in 12 roof. Cross gable is asymmetrical and may contain an inset entry porch. At times, the roof may transition to a shallower pitch over the entry porch.

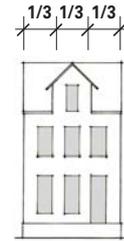
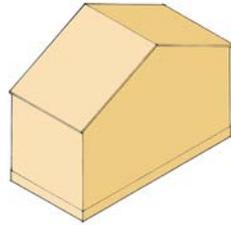
### C SIDE GABLE WITH DOMINANT CROSS-GABLE

Rectangular two-story volume with an 4 to 10 in 12 roof pitch. One dominant cross gable organizes composition with a 6 to 16 in 12 pitch. Secondary and tertiary gables in the primary roof mass or as dormers are common. Element roof may be gable or side gable. Front entry is often inset into building mass.

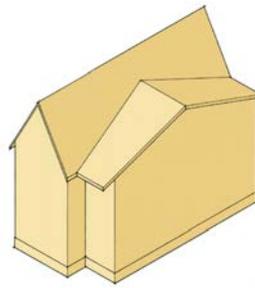
### D MANSION APARTMENTS

Long rectangular two- to three-story volume with 4 to 12 in 12 roof pitch.

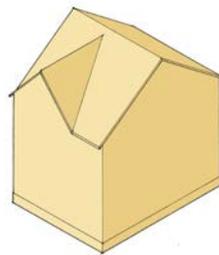
#### A TWO-STORY BASIC SIDE GABLE



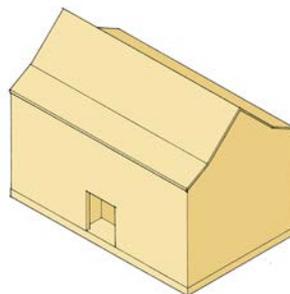
#### B TWO-STORY ASYMMETRICAL GABLE-FRONT L

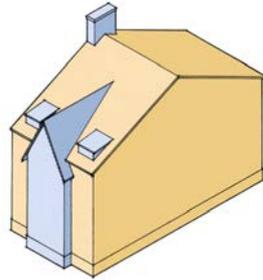
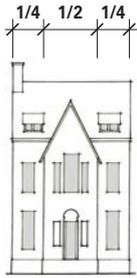


#### C SIDE GABLE WITH DOMINANT CROSS-GABLE

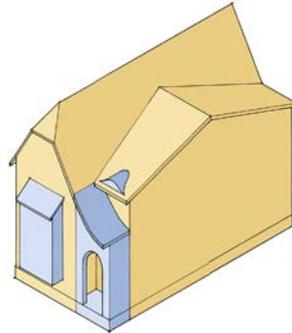
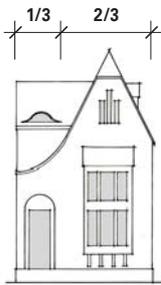


#### D MANSION APARTMENTS

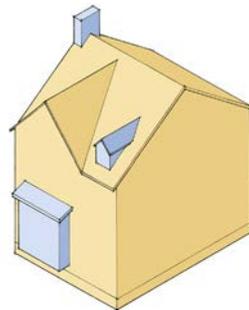




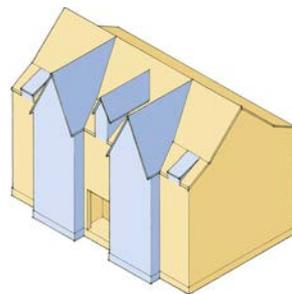
**A** Basic side gable with a front gable, shed-roofed dormers and a chimney



**B** Gable-front L with a front entry porch, an eyebrow dormer and a bay window



**C** Side gable with a bay window, a gable dormer, and a chimney



**D** Large side gable with front gables, shed dormers, and a gable dormer

# POSSIBILITIES

## TOWNHOUSES



## TOWNHOUSES



## MANSION APARTMENTS



## MATERIALS

### SIDING/CLADDING

- » Fiber-cement clapboard or stucco
- » Lace finish not permitted
- » Half-timbering for second-story accents

### ROOFING

- » Composition shingles, concrete tile with flat profile, or manufactured slate

### WINDOWS

- » Single- or double-hung and casement
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

### TRIM

- » Stucco, wood, composition board, cellular PVC, cast stone, polyurethane, or fiber cement

### COLUMNS

- » Wood, or composite

### RAILINGS

- » Ornamental metal preferred
- » Wood or composite top and bottom rails with square balusters

### SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, exterior-grade plywood, or stucco

### GUTTERS

- » Ogee or half-round
- » Primed or prefinished metal
- » PVC is acceptable in a color that matches trim
- » Fascia gutter permitted

### DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches trim or stucco cladding

### SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite materials, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

### CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match house

### FRONT YARD FENCES

- » Painted wood, prefinished metal, stone, masonry, or stucco finish

### REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

## COLORS

### SIDING, WINDOWS, AND TRIM

- » Colors to be selected from the Ellis Color Palette

### ROOF

- » Colors to be selected from the Ellis Color Palette

### GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

### WINDOWS

- » Colors to be selected from the Ellis Color Palette

### SHUTTERS

- » Colors to be selected from the Ellis Color Palette

### FENCING

- » Colors to be selected from the Ellis Color Palette

# ELLIS MEDITERRANEAN REVIVAL

The Mediterranean Revival style draws on the distinctive architectural character of the Monterey Peninsula as influenced by the popular California Spanish Colonial style. The style dates back to the early nineteenth century. The first revival started around 1925 amidst a very popular renaissance of Spanish architectural forms throughout the region. The Mediterranean style emerged from Spanish adobe precedents that date between 1815 and 1860. This style combines traditional adobe construction, local to this region, with Spanish Colonial influences. The result is a distinctive architectural vocabulary, characterized by simple forms with wooden decorative details. These houses used Colonial window and door detailing borrowed from New England carpentry techniques and added a rustic timber porch with exposed rafters and joists. The roofs had a very shallow pitch, either gabled or hipped, and were covered with clay tiles or cut wooden shingles.

The signature balcony on the front of the house was a prelude to the porch that often surrounded or defined a private courtyard in the back of the house. The detailing on the porches and the cornice is extremely simple.

## COMMON ELEMENTS OF ELLIS MEDITERRANEAN REVIVAL

- » Simple, straightforward volumes, sometimes with a gable wing facing the street.
- » Shallow sloped roofs, either hip or gable, with shingles and tile.
- » Typically two-story.
- » Simplified versions of double hung Colonial windows and doors.
- » Multi-pane window appearance that are wide in proportion, usually with 4 over 4 or 6 over 6 pane patterns.
- » Street facing projecting timber balconies or inset porches with exposed rafters.



# GALLERY OF EXAMPLES



## MASSING AND COMPOSITION

Attached units will occur in two forms: townhouses and Mansion Apartment buildings. Massing options A, B, and C may apply to townhouse rows and may be combined along a block face. Massing type D is applied to apartment buildings.

### A TWO-STORY SIDE GABLE

Two-story rectangular form with a 3 to 4 in 12 gabled roof pitch, and side gable facing the street. A variety of porch and balcony options exist for this massing type.

### B TWO-STORY GABLE L

Two-story main body, side gable facing the street with a 3 to 4 in 12 roof pitch. A two-story wing projects forward from the main body toward the street.

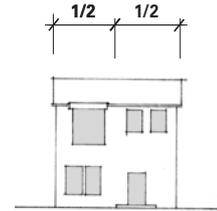
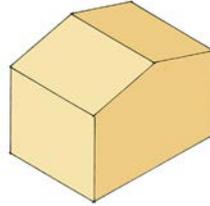
### C TWO-STORY FRONT GABLE

Cross-gabled volume with a 3 to 4 in 12 gable facing the street. Cantilevered balconies and one-story front additions are encouraged.

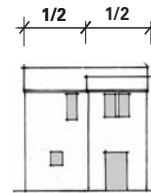
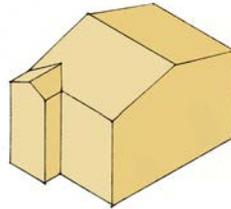
### D MANSION APARTMENTS

Long rectangular two- to three-story volume with 3 to 4 in 12 roof pitch. Typically two front gables project toward the street to form a courtyard for apartments. Balconies, porches, and one- or two-story additions are encouraged for architectural variety.

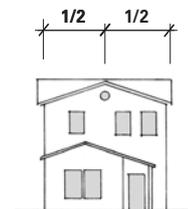
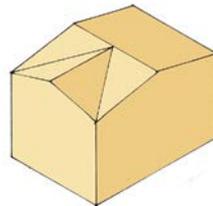
#### TWO-STORY SIDE GABLE



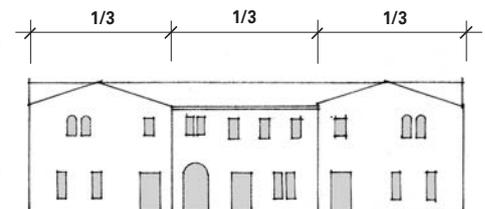
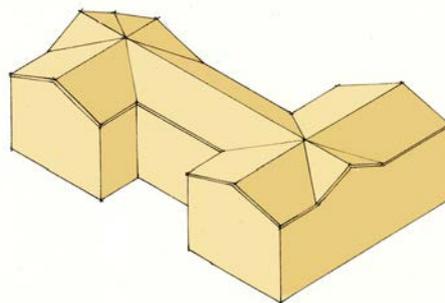
#### TWO-STORY GABLE L

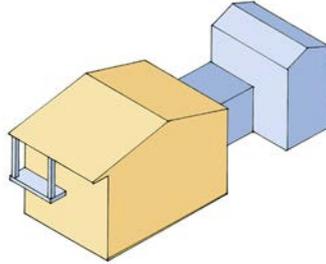
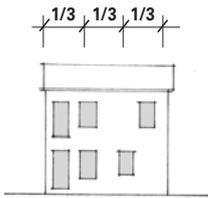


#### TWO-STORY FRONT GABLE

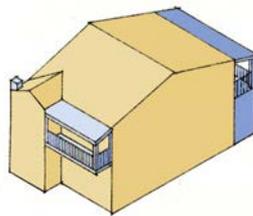
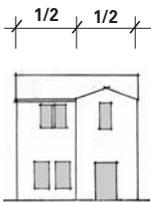


#### MANSION APARTMENTS

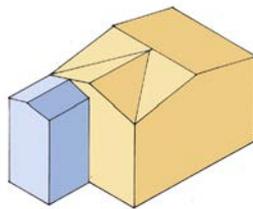
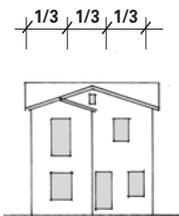




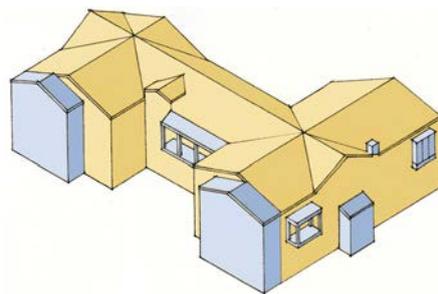
**A** Two-story side gable with balcony and rear wing



**B** Two-story gable L with front and rear balconies and chimney



**C** Two-story front gable with added front gable wing



**D** 6-unit Mansion Apartment with front wings, balconies, chimney, and entry addition

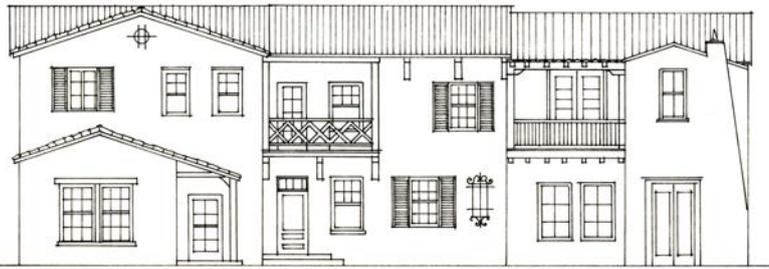


## POSSIBILITIES

### TOWNHOUSES



### TOWNHOUSES



### MANSION APARTMENTS



## PRECEDENTS



## MATERIALS

### SIDING/CLADDING

- » Stucco and optional second floor wood or fiber-cement clapboard
- » Lace finish not permitted

### ROOFING

- » Concrete tile in flat or barrel profile, multiple stacked tile at eaves
- » Architectural asphalt shingle also permitted

### WINDOWS

- » Single or double-hung, casement, and picture units, energy-efficient wood, PVC clad, aluminum-clad, cellular PVC, aluminum or vinyl with traditional wood profiles

### COLUMNS

- » Stucco or composite

### BALCONIES

- » Wood, corbelled stucco with metal railings, or fiber cement

### RAILINGS

- » Wood or fiber cement top and bottom rails with square or turned balusters

### EAVES

- » Starter board or v-groove sheathing

### EXTERIOR CEILINGS

- » Plank and beam, or stucco

### GUTTERS

- » Half-round metal or PVC
- » Fascia gutter also permitted

### DOWNSPOUTS

- » Round metal or PVC

### SHUTTERS

- » Raised or flat panel, louvered, or plank, in wood or composite material or a colored vinyl

### CHIMNEYS

- » Stucco

### FRONT YARD FENCES

- » Masonry with stucco finish; wrought iron accents permitted
- » Wrought iron or aluminum permitted

### REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

## COLORS

### STUCCO

- » Colors to be selected from the Ellis Color Palette

### ROOF TILES

- » Colors to be selected from the Ellis Color Palette

### WINDOWS

- » Colors to be selected from the Ellis Color Palette

### TRIM/SHUTTERS

- » Colors to be selected from the Ellis Color Palette

### GUTTERS

- » Colors to be selected from the Ellis Color Palette

### DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

### WALLS/FENCING

- » Colors to be selected from the Ellis Color Palette

# ELLIS SPANISH COLONIAL

California houses of the 1920s and 1930s were designed in a wide variety of styles, yet the Spanish Revival style was by far the most popular due to its early association with the region, its adaptability to the local landscape and climate, and its charm and character. A major impetus for revival of Spanish architecture came from Bertram Goodhue's designs for the 1915 Pan Pacific Exposition in San Diego.

The Spanish Colonial style is a catalog of styles, unified by the use of arches, courtyards, strong form and mass, plain wall surfaces, and tile roofs; all are derived from Mediterranean architectural styles. Spanish Colonial style is most often characterized by an informal plan arrangement and massing.

Spanish-style houses typically have low, long spreading sweeps of wall with a minimum of penetration (constructed so as to have the appearance of thick masonry). They also have tiled, low pitched roofs (to accentuate the horizontal character); covered patios, loggias, or cloisters; and substantial doors. In a Spanish-style house, most of the effect comes from a correct use of proportion and a spare, well-placed use of ornament. The house's fundamental charm lies in the contrast of warm sunlight and cool shadows (light and shade), in the use of materials, in texture and color, and in its austere simplicity.

## COMMON ELEMENTS OF ELLIS SPANISH COLONIAL

- » Stucco walls with a handmade/formed appearance.
- » Shallow sloped, tile roofs in variegated colors.
- » Irregular window and door composition.
- » Casement windows.
- » Covered porches and loggias.
- » Balconies with decorative ironwork.



# GALLERY OF EXAMPLES



## MASSING AND COMPOSITION

Attached units will occur in two forms: townhouses and Mansion Apartment buildings. Massing options A, B, and C may apply to townhouse rows and may be combined along a block face. Massing type D is applied to apartment buildings.

### A TWO-STORY SIDE GABLE

Rectangular two-story volume with a 3 to 4 in 12 roof pitch and gable parallel to the street. Flat-roofed elements such as porches or galleries may be added to the front of the building.

### B TWO-STORY BASIC DOUBLE SIDE GABLE

Two-story main body with a 3 to 4 in 12 roof pitch composed of two attached gable forms parallel to the street. Porches and entry features are common inside the L shape formed by the two gable forms.

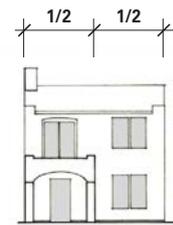
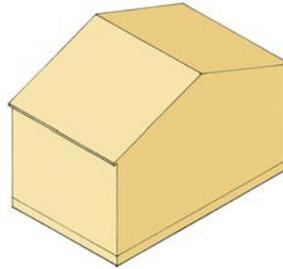
### C TWO-STORY GABLE L

Similar to the two-story side gable but with a front-facing gable attached forming an L shape. Attached wing is usually no more than half the width of the front facade.

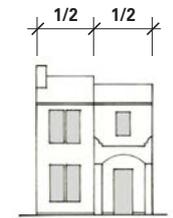
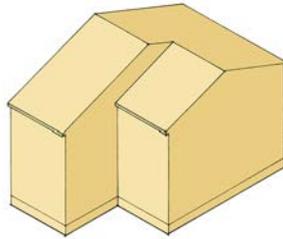
### D MANSION APARTMENTS

Two-story main body, gable or hip roof running parallel to the street. Typically there are projecting bays, some of which function as entries.

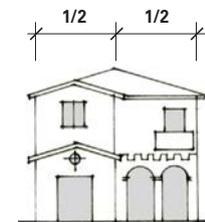
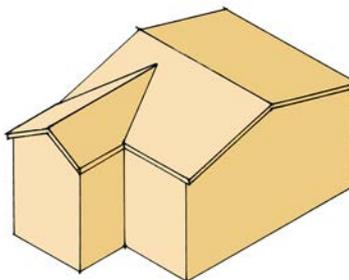
#### A TWO-STORY SIDE GABLE



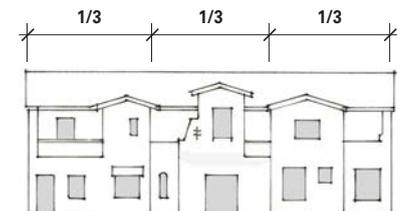
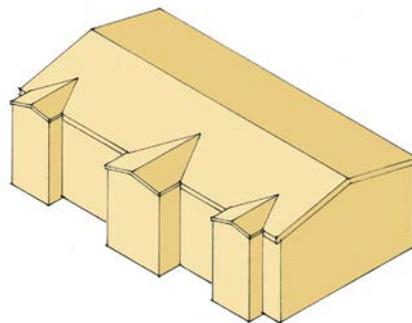
#### B TWO-STORY DOUBLE SIDE GABLE

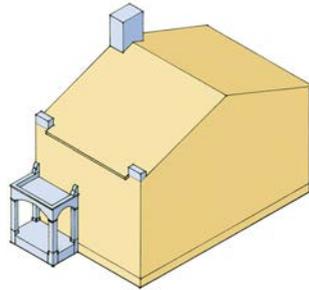
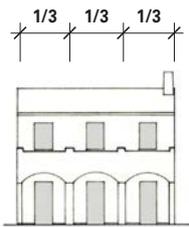


#### C TWO-STORY GABLE L

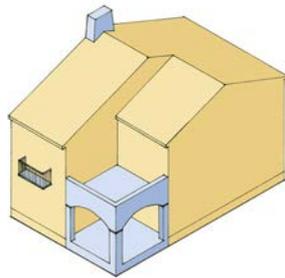
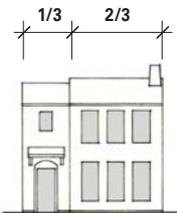


#### D MANSION APARTMENTS

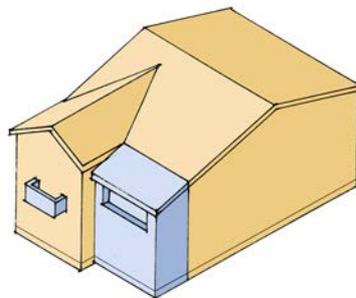
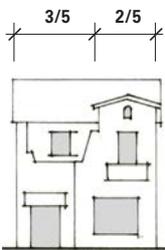




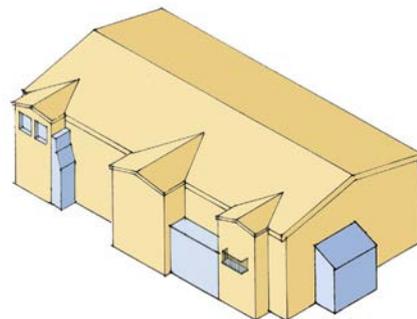
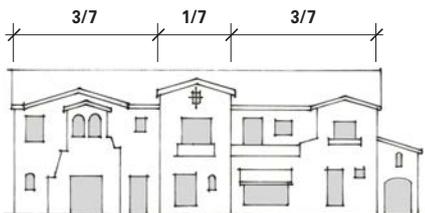
**A** Two-story side gable with front porch, parapet element, and chimney



**B** Two-story double side gable with two story front porch, balcony, and chimney



**C** Two-story gable L with attached front wing with inset porch, and balcony

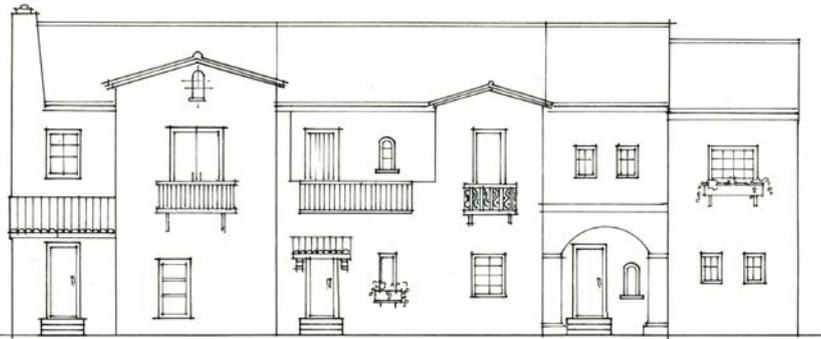


**D** Two-story Mansion Apartment with side wing entry, attached one-story bay, balcony, chimney, and second-floor loggia.



# POSSIBILITIES

## TOWNHOUSES



# PRECEDENTS



## MATERIALS

### SIDING/CLADDING

- » Stucco with handmade/formed appearance, skip-trowel not allowed

### ROOFING

- » Terra cotta barrel tile
- » Multiple stacked tile at eaves

### WINDOWS

- » Energy-efficient wood, PVC clad, aluminum-clad, or aluminum
- » True divided light appearance
- » Grilles shall be solid stock or wrought iron

### COLUMNS AND ARCHES

- » Stucco or stucco (square, rectangular, or round), or round cast stone/concrete

### EXTERIOR STAIRS

- » Terra cotta pavers for treads with stucco or decorative tile
- » Risers, sloped or stepped stucco walls as guard-railing. Solid-stock metal rails with a wrought iron appearance are also permitted.

### BALCONIES

- » Solid-stock metal with a wrought iron appearance, wood, or cover or corbelled stucco with metal railings

### EAVES

- » Wood s4s or v-groove sheathing, often of random width
- » Stucco molded eaves are permitted.

### EXTERIOR CEILINGS

- » Plank and beam

### GUTTERS

- » Half-round metal or PVC

### DOWNSPOUTS

- » Round metal or PVC

### SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wrought iron hinges, shutter dogs encouraged

### CHIMNEYS

- » Stucco with handmade/formed appearance

### FRONT YARD FENCES

- » Prefinished metal, or masonry

### REAR YARD FENCES

- » Painted wood, prefinished metal, or masonry

## COLORS

### STUCCO

- » Colors to be selected from the Ellis Color Palette

### ROOF TILES

- » Colors to be selected from the Ellis Color Palette

### WINDOWS

- » Colors to be selected from the Ellis Color Palette

### TRIM/SHUTTERS

- » Colors to be selected from the Ellis Color Palette

### GUTTERS

- » Colors to be selected from the Ellis Color Palette

### DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

### FENCING

- » Colors to be selected from the Ellis Color Palette

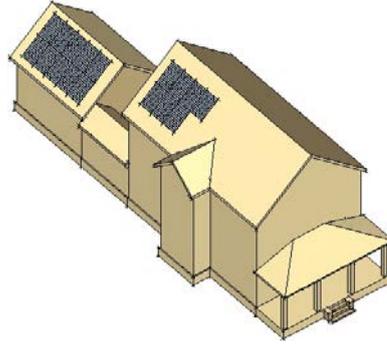
## PHOTOVOLTAIC PANEL GUIDELINES

Photovoltaic panels may be used in the community. Multiple application techniques are possible:

### A ROOF MOUNT

Photovoltaics are mounted a few inches above the roof structure, during the initial installation of the roof. Choices about where to site panels are based on building orientation and surface pitch.

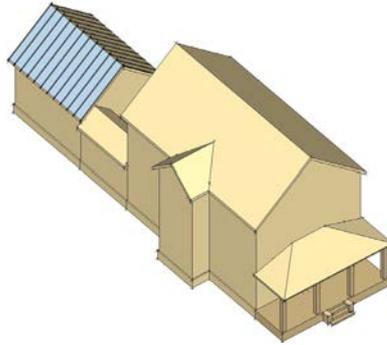
### A ROOF MOUNT



### B BUILDING INTEGRATED PV ARRAY (BIPV)

Applications of photovoltaic panels may be integral to the building system. Roof materials with PV cells can replace traditional roofing materials, as long as they are stylistically appropriate.

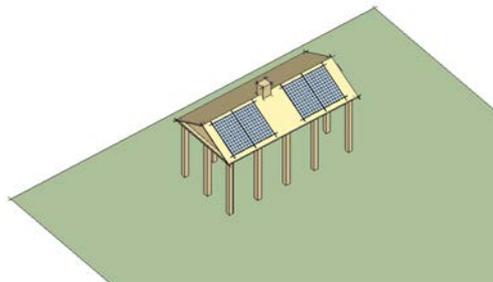
### B BUILDING INTEGRATED PV ARRAY (BIPV)



### C SHADE STRUCTURE

Photovoltaic panels may be applied to roof shade structures on private lots or in public parks and spaces. The application may be either mounted or integral.

### C SHADE STRUCTURE



The graph to the right shows the optimal building orientation and photovoltaic panel pitch to maximize electrical energy generation

	Flat	4:12	7:12	12:12	21:12	Vertical
South						
SSE, SSW						
SE, SW						
ESE, WSW						
East/West						



DESIGN CONSIDERATIONS

- » Place panels on southern-most facing roof surfaces whenever possible for optimal efficiency. Pitch of roof determines optimal solar capture (see chart on page 3|58).



DESIGN CONSIDERATIONS

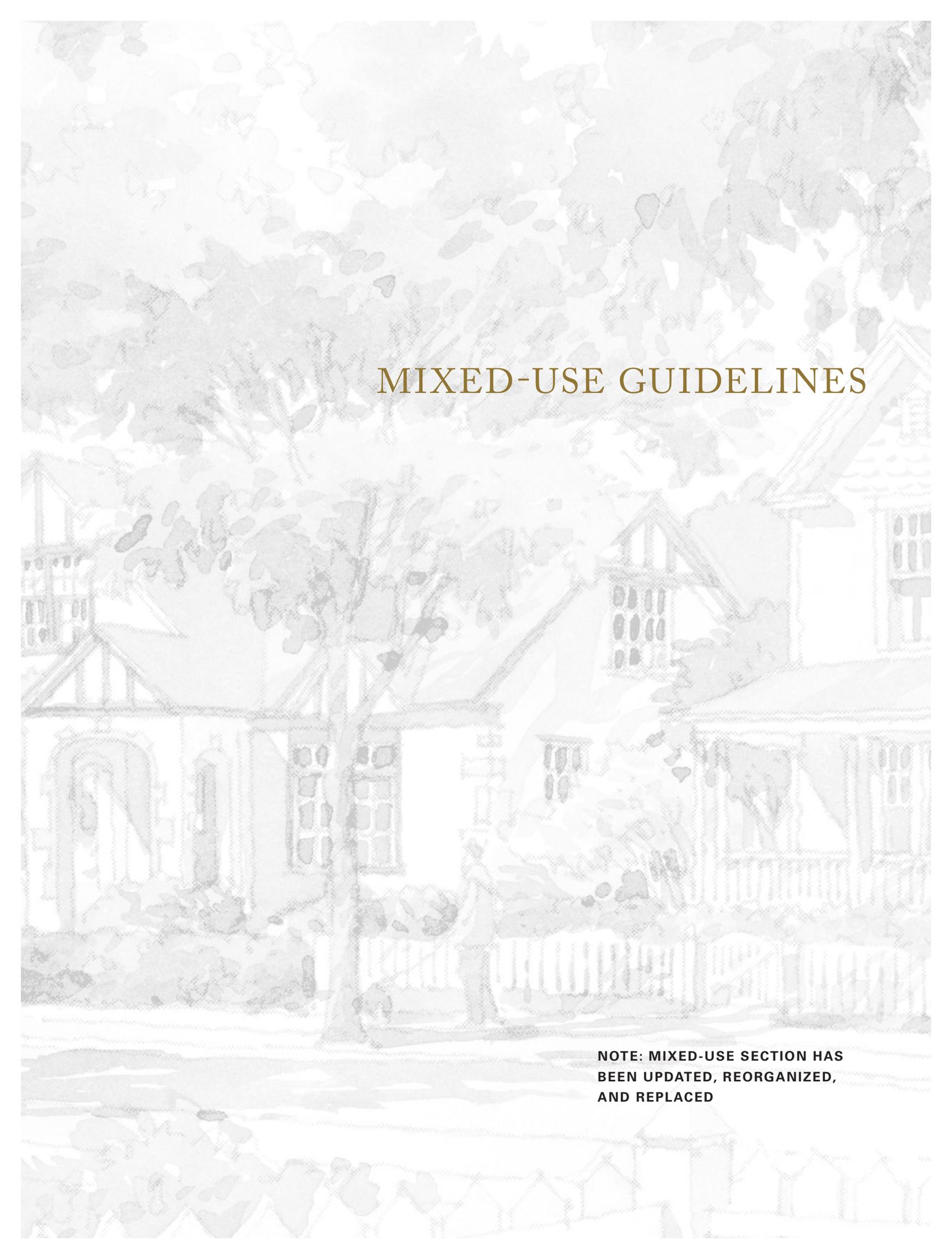
- » Material replacement can include standing seam metal, masonry tiles, and shingles
- » Color and material should be follow guidelines for each style



DESIGN CONSIDERATIONS

- » Wiring underneath panels must be carefully concealed
- » Vines and plantings must be trimmed and kept separate from wiring
- » May include shading devices over rear or side porches





# MIXED-USE GUIDELINES

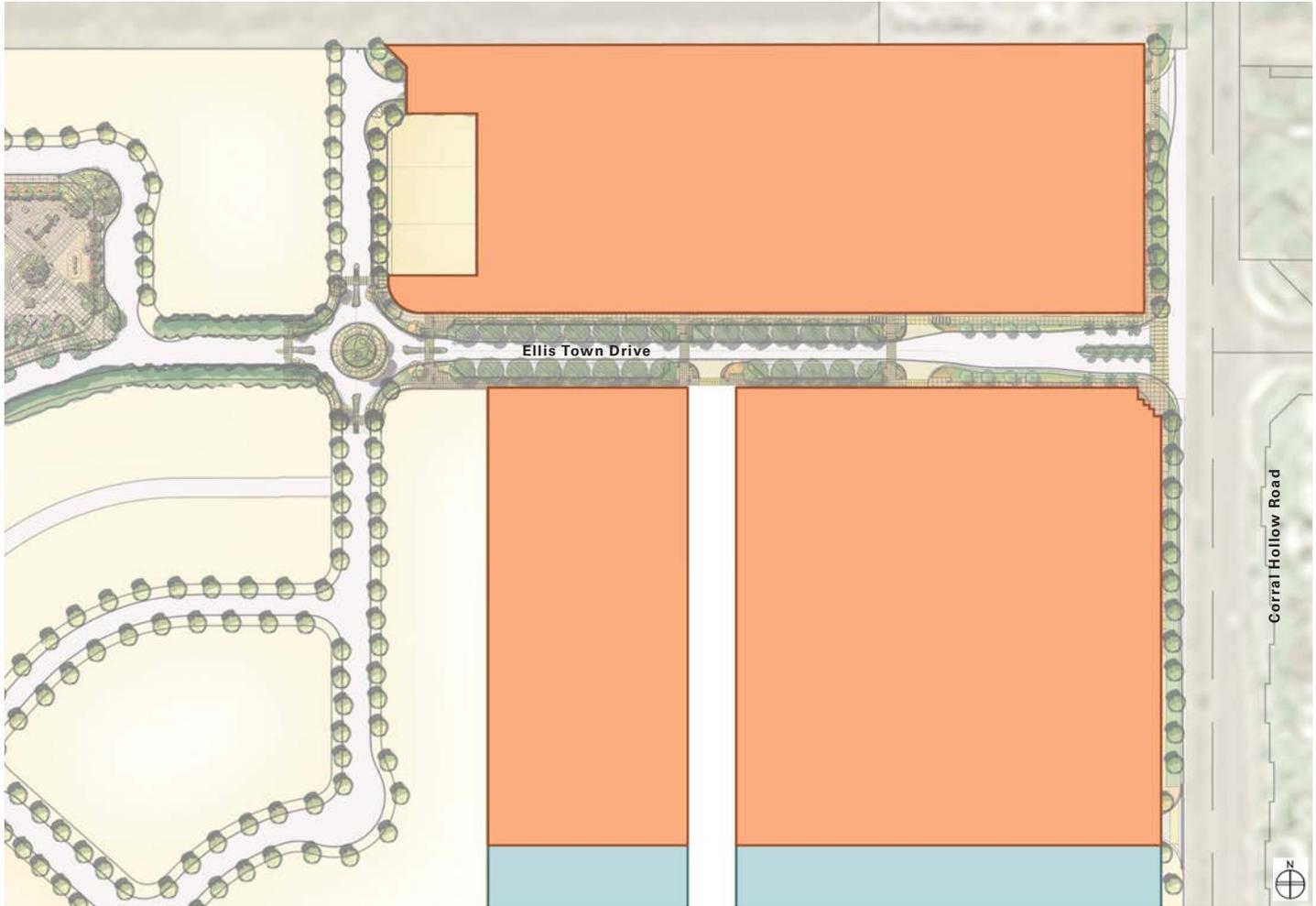
**NOTE: MIXED-USE SECTION HAS  
BEEN UPDATED, REORGANIZED,  
AND REPLACED**

# VILLAGE CENTER

Throughout the San Joaquin Valley, a number of traditional towns and villages have a memorable main street at their core. It is the center of civic life and public use for these communities, located within relatively close proximity to the surrounding residential neighborhoods. Ellis Town Drive will serve as the spine of the mixed-use core. Buildings will be organized, sited, and arranged relatively close to the street. The Village Center is designed to and proposes to accommodate a mix of uses ranging from retail, service, and office spaces to possible private residences above the public uses at street level. As such, the Village Center will fit within the regional traditions, utilizing building types appropriate for Ellis.



View of the Village Center along Ellis Town Drive



Illustrative plan of the Ellis Village Center

RETAIL, OFFICE AND OTHER PERMITTED USES

# BUILDING PLACEMENT AND REQUIRED SETBACKS

The buildings in the Ellis Village Center will be sited and designed according to specific requirements for placement on blocks along Ellis Town Drive. This main street defines the core of the community. The guidelines which follow, developed as part of the master planning process, are meant to ensure that the diversity and character of Ellis called for in the Ellis Specific Plan are implemented and maintained.

### MINIMUM BUILDING SETBACKS

- » Ellis Town Drive: 0 feet
- » Corral Hollow Road: 15 feet
- » North Ellis Property Line: 15 feet
- » Aquatic Park: 15 feet
- » Residential Properties: 15 feet

### FRONT FACADE ZONE

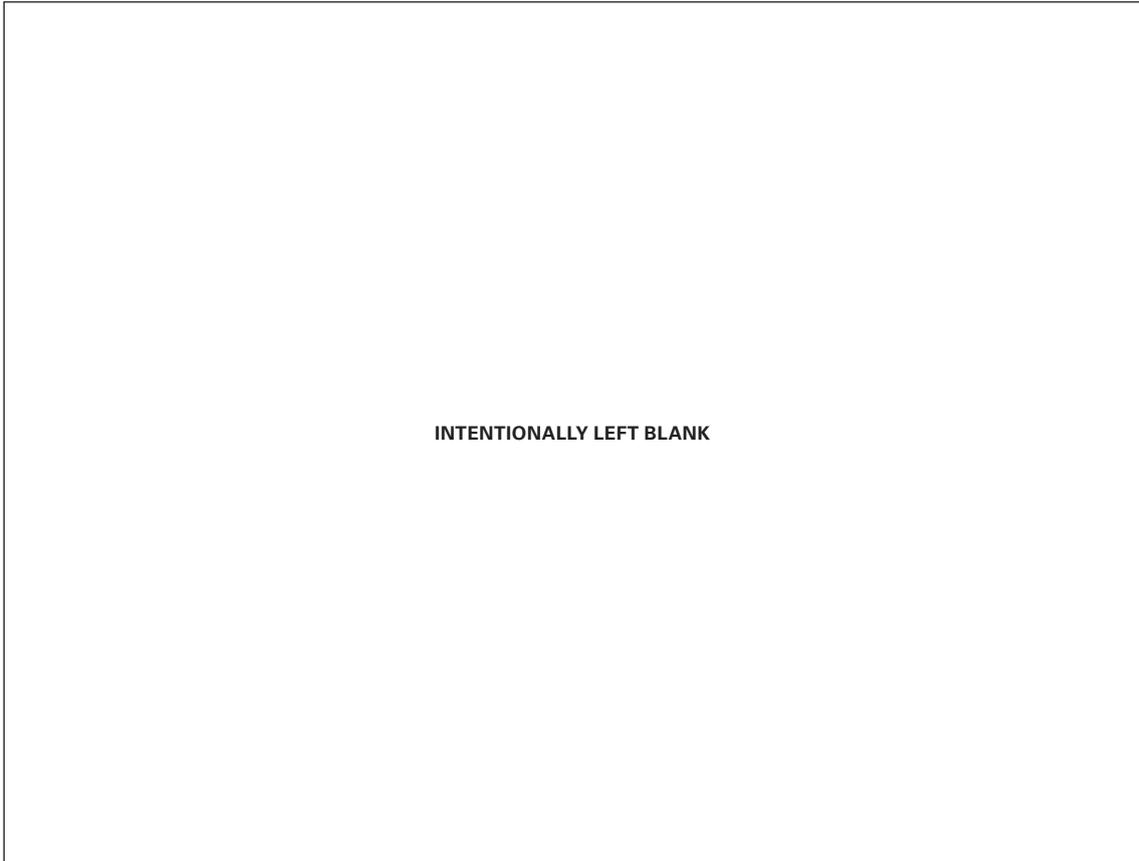
- » Front Facade Zone guidelines apply only to Ellis Town Drive
- » Zone: 20 feet deep
- » More than 50% of the front building elevation (facing Ellis Town Drive) should be located in the Front Facade Zone

### ENCROACHMENTS

- » Awnings and Canopies: up to 6 feet into the public right-of-way
- » Dining Patios, Bay Windows (no foundation), and Balconies: up to 2 feet into the public right-of-way

### PARKING REQUIREMENTS

See Section 3.5.14 Parking/Loading/Landscaping/Pedestrian Access/Bike Parking/Pedestrian Access in the ESP.



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FENCING RECOMMENDATIONS

See Section 3.5.19 Fencing in the ESP.

OPEN SPACE REQUIREMENT

See Section 3.5.14 Parking/Loading/Landscaping/Pedestrian Access/Bike Parking in the ESP.

REFUSE STORAGE

Commercial units shall maintain separate refuse and recycling storage containers from those used by residents. These containers will be integrated into off-street parking areas behind buildings. They must be of sufficient size to meet required trash and recycling needs. Refuse storage areas shall be clearly designated.

NON-RESIDENTIAL USES

See Section 3.5.2 Permitted Uses in the ESP.

RESIDENTIAL USES

See Section 3.5.2 Permitted Uses in the ESP. Residential units are not permitted on the ground floor of mixed-use buildings.



Setbacks Diagram

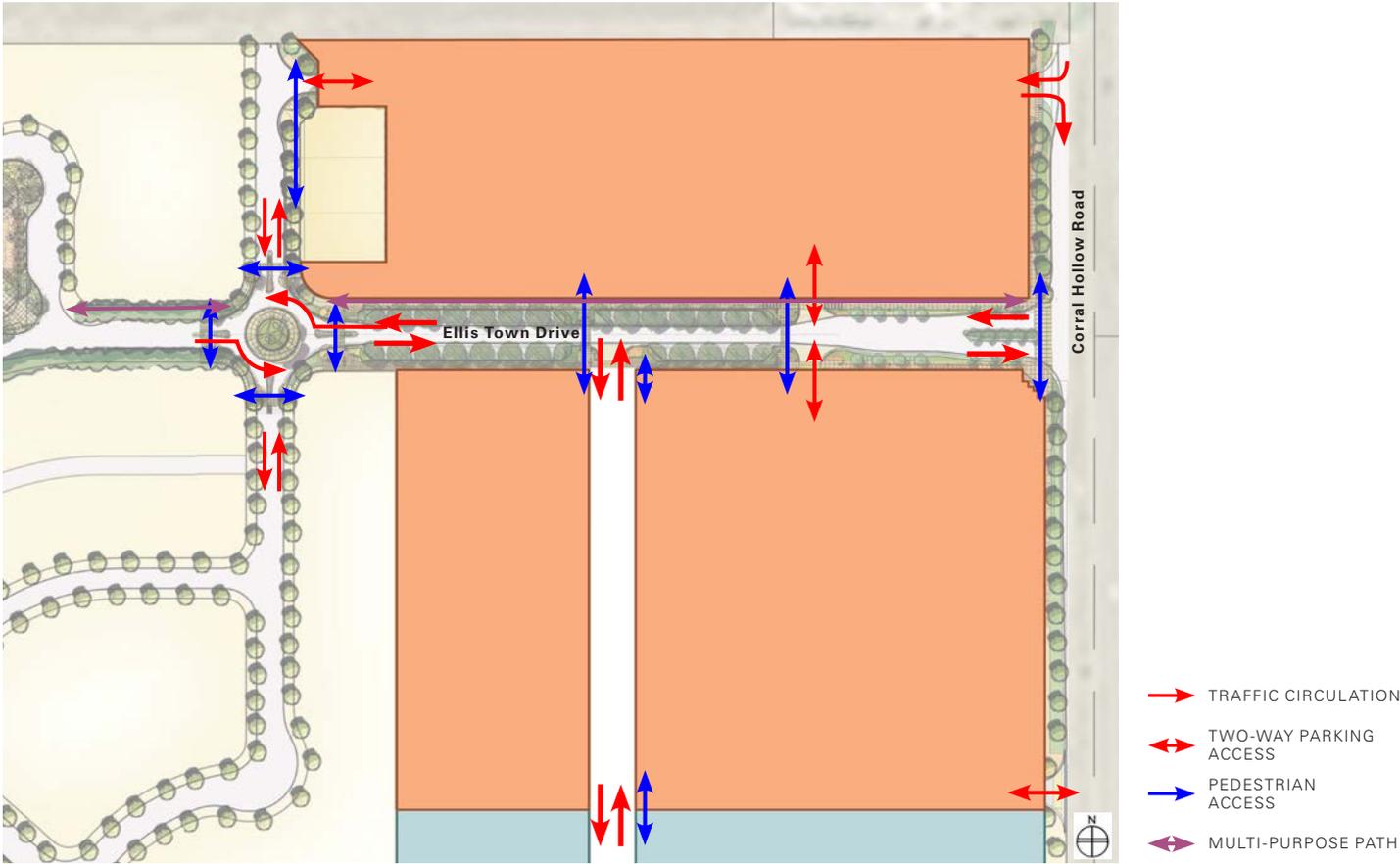
# ACCESS AND CIRCULATION

The Ellis Village Center balances the pedestrian and vehicular circulation needs of the community. Streets and blocks are organized to support clear and safe access to the Village Center for residents and visitors alike.

Primary access to the Village Center is along Ellis Town Drive, Ellis's traditional main street. From greater Tracy, the Ellis Village Center is accessed from Corral Hollow Road, one of the main north/south arterials in the City.

The street network of the Village Center is designed to organize and calm traffic as it enters the community from Corral Hollow Road. Ellis Town Drive accommodates two-way traffic throughout the Village Center. Cross driveways provide access to off-street parking lots located behind buildings. Parking lots provide two-way movement to allow for an optimum number of access points and circulation options for drivers and servicing.

Parking in the Village Center is accommodated both on-street and in off-street. On-street spaces provide convenient access to shops and offices for short-term visits and errands. Off-street parking is conveniently situated behind the buildings of Ellis Town Drive. See Section 3.5.14 Parking/Loading/Landscaping/Pedestrian Access/Bike Parking in the ESP.



Access and Circulation Diagram

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PEDESTRIAN CIRCULATION

Sidewalks and park strips flank most public streets to support pedestrian circulation and safety. Sidewalks are also located in and around the parking lots to create safe access routes between vehicles and uses located on Ellis Town Drive.

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PARKING DIAGRAM

The majority of the Village Center parking is located behind buildings to create a pedestrian environment on Ellis Town Drive. Convenient on-street parking is also located along Ellis Town Drive.

# VILLAGE CENTER BUILDINGS

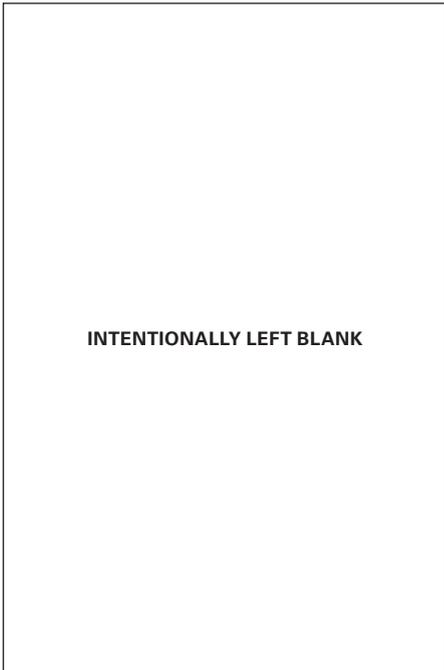
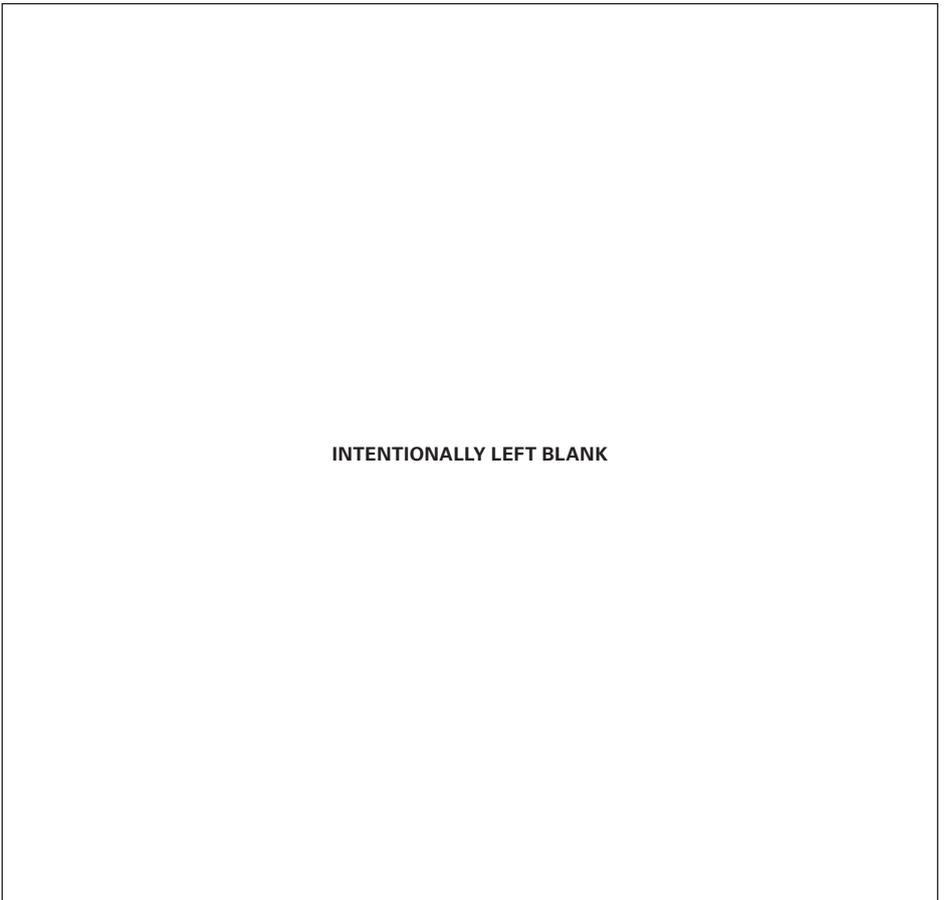
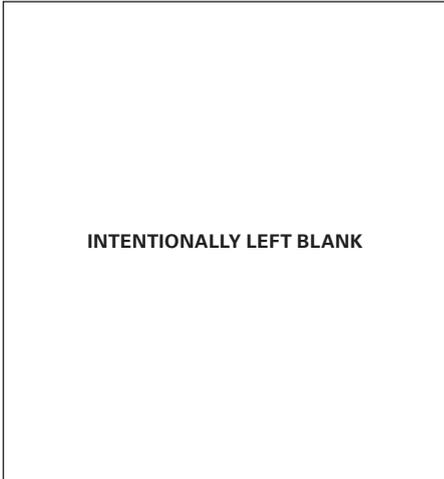
In towns throughout the Central Valley, the downtown main street is typically lined with one- to two-story buildings that incorporate a wide range of uses. Shops and offices often occupy the ground floor, while residences or offices occupy the space above. Historic building types tend to have large glass storefront openings on the ground floor and a regular pattern of windows on the upper floors. Due to the Central Valley climate, large awnings or deep galleries are encouraged. As is common throughout the region, a mix of architectural styles, ranging from Craftsman to Colonial Revival creates a very interesting environment for all who use it. This also helps to create an image of a main street where individual buildings have been added over time.

## COMMON ELEMENTS OF VIL- LAGE CENTER BUILDINGS

- » Flat or shallow-pitched roofs
- » Large, glass storefront openings
- » Deep awnings or galleries to provide shade
- » Large upper-floor windows (on two-story buildings)
- » Well-detailed eave or cornice treatments



## GALLERY OF EXAMPLES



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# PRECEDENTS





# PRECEDENTS, CONTINUED





## MATERIALS

### SIDING/CLADDING

- » Stucco
- » Brick
- » Wood or fiber-cement siding
- » Real or simulated stone

### ROOFING

- » Flat clay tile, standing seam metal, composition shingles, slate (including manufactured slate products)
- » Membrane (flat roofs only)

### WINDOWS

- » Energy-efficient wood, PVC, aluminum-clad, or aluminum
- » True divided light or storefront appearance
- » Roll-up garage doors

### COLUMNS

- » Wood, composite posts, stucco, cast stone, real or simulated stone, metal

### TRIM

- » Ornamental cast stone, wood, or stucco

### EAVES

- » Wood sheathing with 2x, 3x, or 4x rafter tails
- » Stucco molded eaves are permitted
- » Break metal

### EXTERIOR CEILINGS

- » Plank and beam
- » Stucco

### GUTTERS

- » Half-round metal or PVC

### DOWNSPOUTS

- » Round metal or PVC

### SHUTTERS

- » Plank/board or panel type
- » Wrought iron hinges, shutter dogs, and latches are encouraged

### REAR YARD FENCES AND ENCLOSURES

- » Painted wood, prefinished metal, or masonry/stucco, real or simulated stone

## COLORS

### STUCCO

- » Selected from Ellis Color Palette

### HALF-TIMBERING

- » Dark stain, pure color, or selected from the Ellis Color Palette

### ROOF MATERIALS

- » Clay tile in red or red/brown range
- » Cedar shakes natural, no finish
- » Slate in green/gray or green/brown ranges
- » Other — selected from Ellis Color Palette

### WINDOWS

- » Dark stain, pure color, or selected from the Ellis Color Palette

### TRIM/SHUTTERS

- » Dark stain, pure color, or selected from the Ellis Color Palette

### GUTTERS

- » Match color of eaves

### DOWNSPOUTS

- » Match color of stucco substrate or trim color

### FENCING

- » Metals in matte brown/black, rust-red, or antiqued black
- » Wood in black, black-green, brown, or green
- » Or, selected from Ellis Color Palette

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# AQUATIC PARK BUILDINGS

The Aquatic Park at Ellis is a regional destination and great recreational amenity for the residents of Tracy. Since the Aquatic Park is a facility that is civic in nature, close attention should be paid to its architecture and its relationship to the neighborhoods, the Village Center at Ellis, and the City of Tracy.

In order to celebrate the facility's public nature, an architectural vocabulary has been developed that builds upon the traditions of the region with the idea of the Aquatic Park as a resort for the residents of Tracy. As such, the imagery suggested here follows the tradition of great beach resorts found throughout California, with a focus on elements appropriate to the climate of Tracy.

Buildings will provide shade, and will be painted in white or light colors to reduce heat gain. Pergolas, fabric, and other shade structures will provide protection from the elements and will define landscaped areas as 'outdoor rooms.' Cabanas and other pavilions will be sited at the juncture of plazas and paths to connect the varying Aquatic Park experiences together, and to provide a clear system of pedestrian and user circulation.

## COMMON ELEMENTS OF AQUATIC PARK BUILDINGS

- » Shade structures integral to the architectural forms
- » Simple, traditional architectural detailing
- » Pergolas, pavilions, and cabanas that relate to the overall architectural form
- » Simple roof forms with deep overhangs
- » Materials that are simple and elegant, such as siding and standing seam roofs
- » Seamless transition between indoor and outdoor materials and environments



# GALLERY OF EXAMPLES





Photo: Gates & Associates



Photo: Gates & Associates



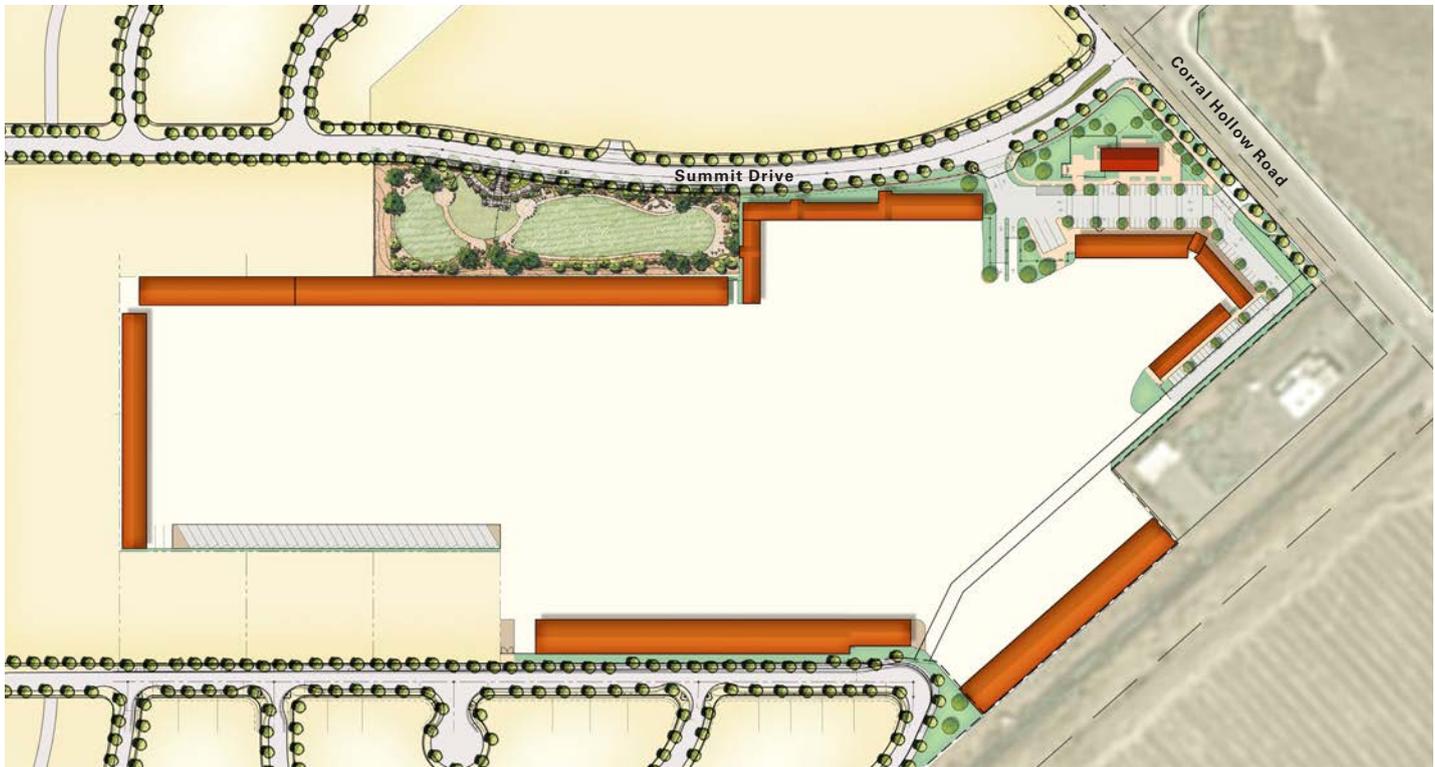
Aquatic Park Image and Character

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# STORAGE CENTER

The Storage Center has been identified for auto-oriented uses along and just inboard of Corral Hollow Road. The development of thoughtful and integrated site plans and buildings on these sites will be critical for the image of Ellis, the urban extension of the City of Tracy. Because these parcels are a gateway to Ellis, their quality and character need to be in alignment with the traditional character of the Ellis community.

Commercial buildings on outparcels should be sited to minimize the presence of parking and associated service areas. Large and small buildings should also reduce the visual impact of both drive-throughs and parking areas through landscaping. Like all other buildings in the adjacent Ellis Village Center, these commercial buildings should address the street with attractively designed public facades.



Illustrative Plan of the Ellis Storage Center

# GALLERY OF EXAMPLES



## BUILDING PLACEMENT AND SETBACKS

The buildings located at the perimeter of the Storage Center will follow a pattern similar to placement on sites within the Village Center. This arrangement will create a reference to the main street character of the Village Center towards Corral Hollow Road and also serve as a secondary entrance to Ellis from the east.

### MINIMUM BUILDING SETBACKS

- » Ellis Public Streets, including Summit Drive: 15 feet
- » Corral Hollow Road: 30 feet
- » South Ellis Property Line: 0 feet
- » Park Uses: 0 feet
- » Residential Uses: 0 feet

### ENCROACHMENTS

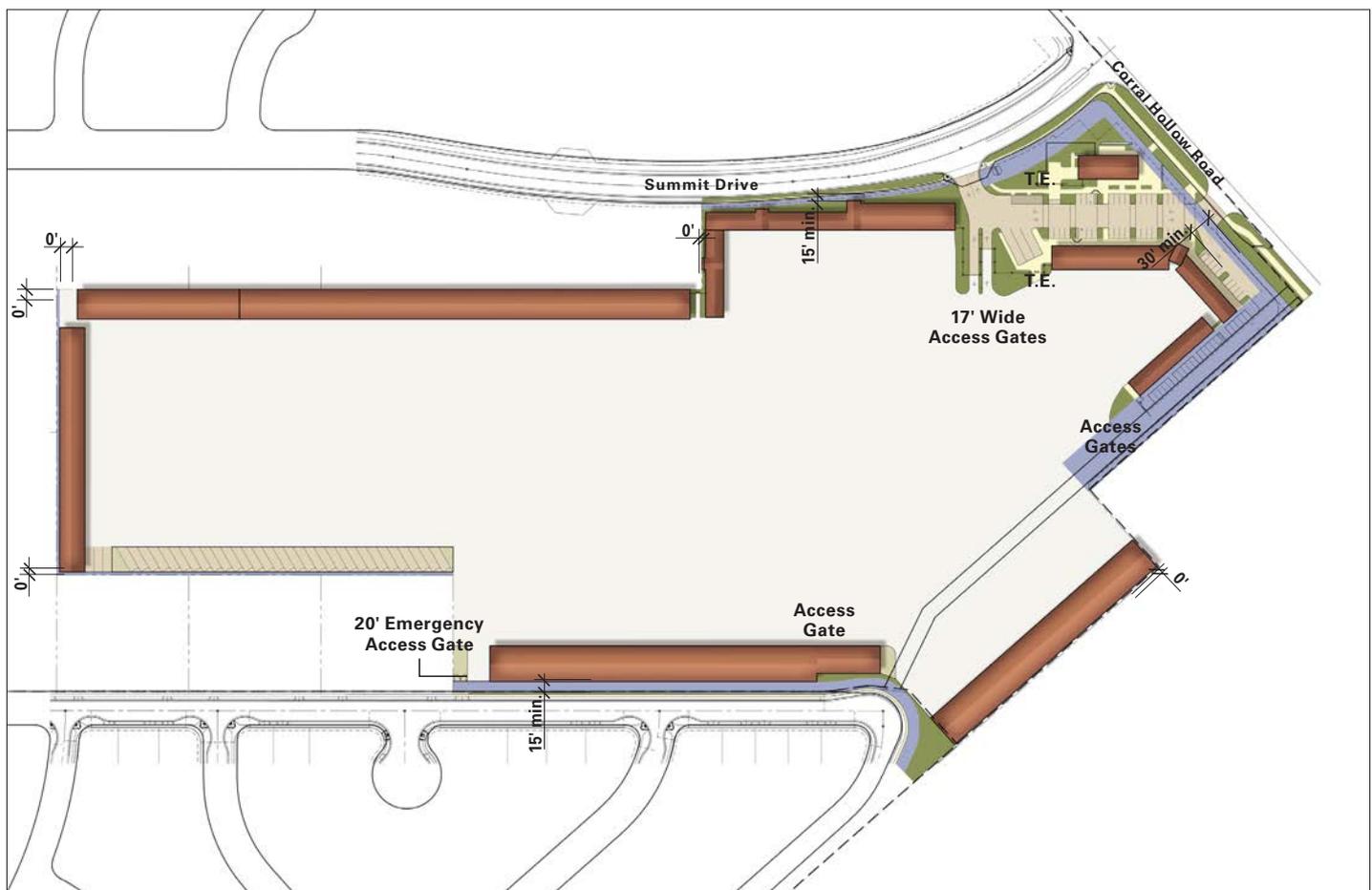
No encroachment into setbacks is permitted

### PARKING REQUIREMENTS

See Section 3.5.14 Parking/Loading/Landscaping/Pedestrian Access/Bike Parking in the ESP.

### FRONT FACADE ZONE

Front Facade Zone guidelines are not applicable to the Ellis Storage Center



Building Placement Diagram

FENCING

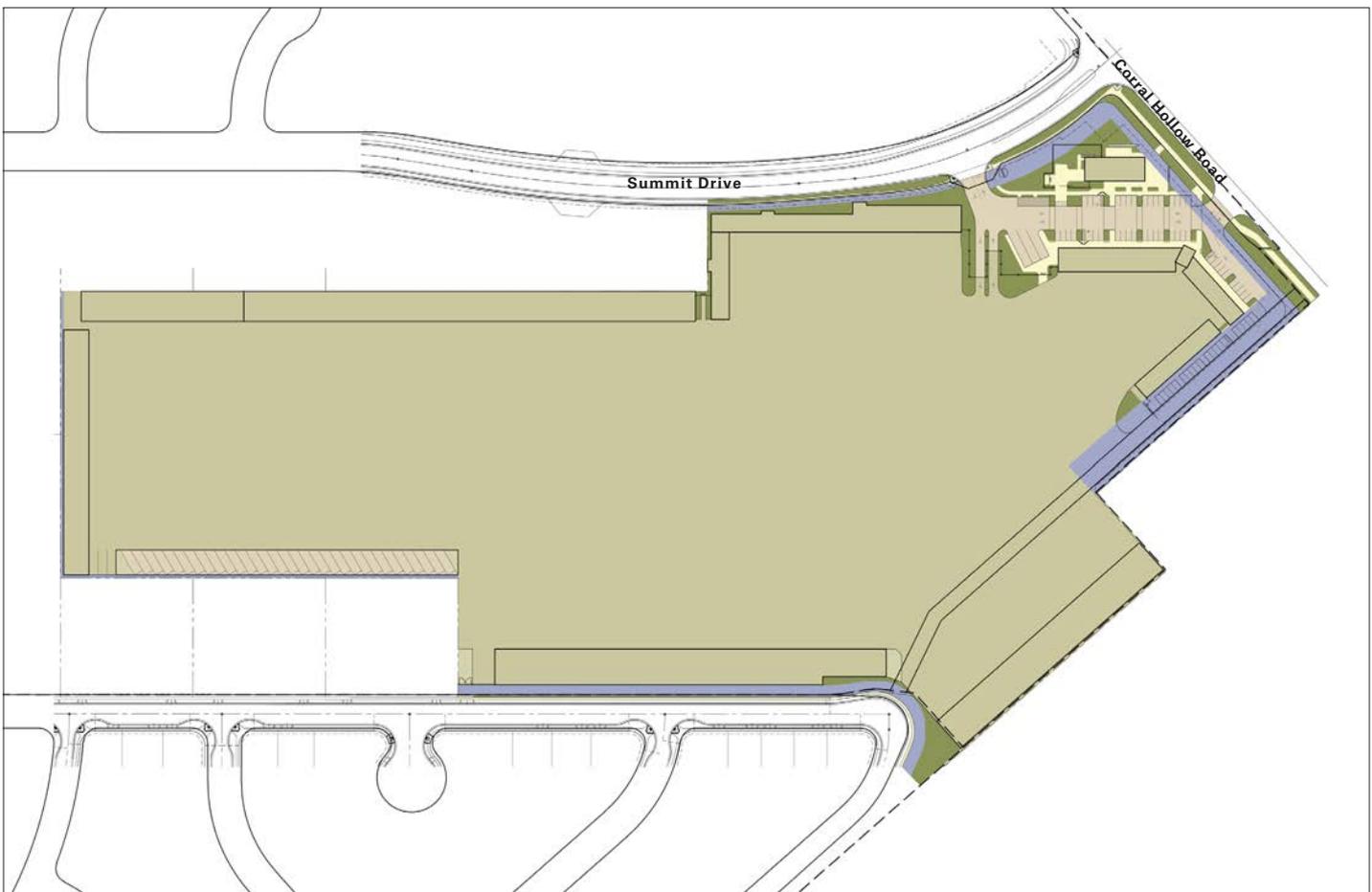
See Section 3.5.19 Fencing in the ESP.

LANDSCAPING

See Section 3.5.14 Parking/Loading/Landscaping/Pedestrian Access/Bike Parking in the ESP.

REFUSE STORAGE

Containers will be integrated into off-street parking areas behind buildings. They must be of sufficient size to meet required trash and recycling needs. Refuse storage areas shall be clearly designated.



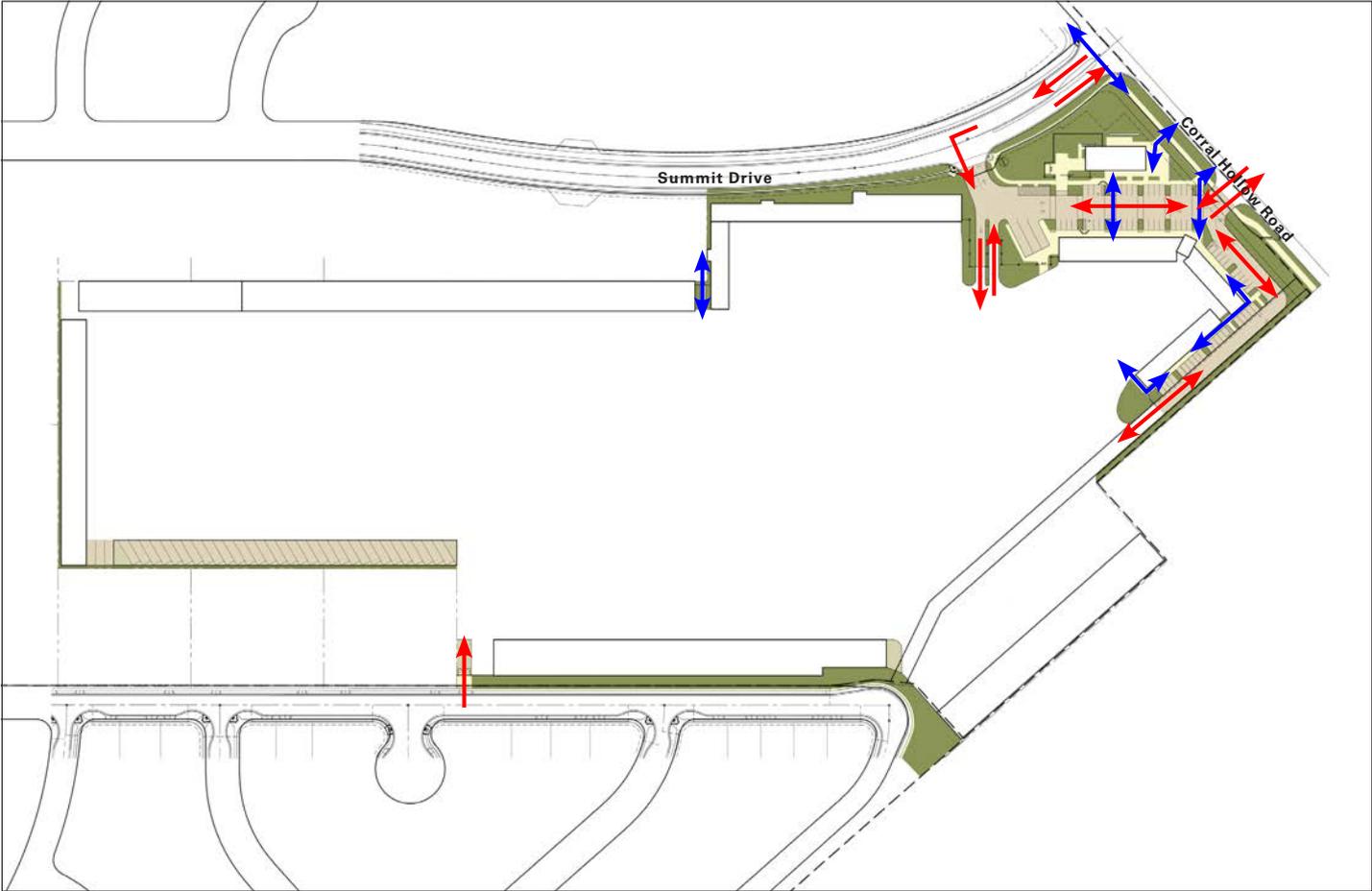
Setbacks Diagram

# ACCESS AND CIRCULATION

The Storage Center strikes a balanced between pedestrian and vehicular circulation needs. Drive aisles are organized to provide clear and safe access to the storefronts outside the security fence.

Primary access will be from Summit Drive and Corral Hollow Road. Additional access for emergency vehicles will be from the southwest. See Section 3.5.14 Parking/Loading/Landscaping/Pedestrian Access/Bike Parking in the ESP for parking requirements.

-  PARK STRIP/LANDSCAPE ZONE
-  PARKING LOTS
-  PRIMARY PEDESTRIAN CIRCULATION
-  BUILDINGS
-  TRAFFIC CIRCULATION
-  TWO-WAY PARKING ACCESS
-  PEDESTRIAN ACCESS
-  MULTI-PURPOSE PATH



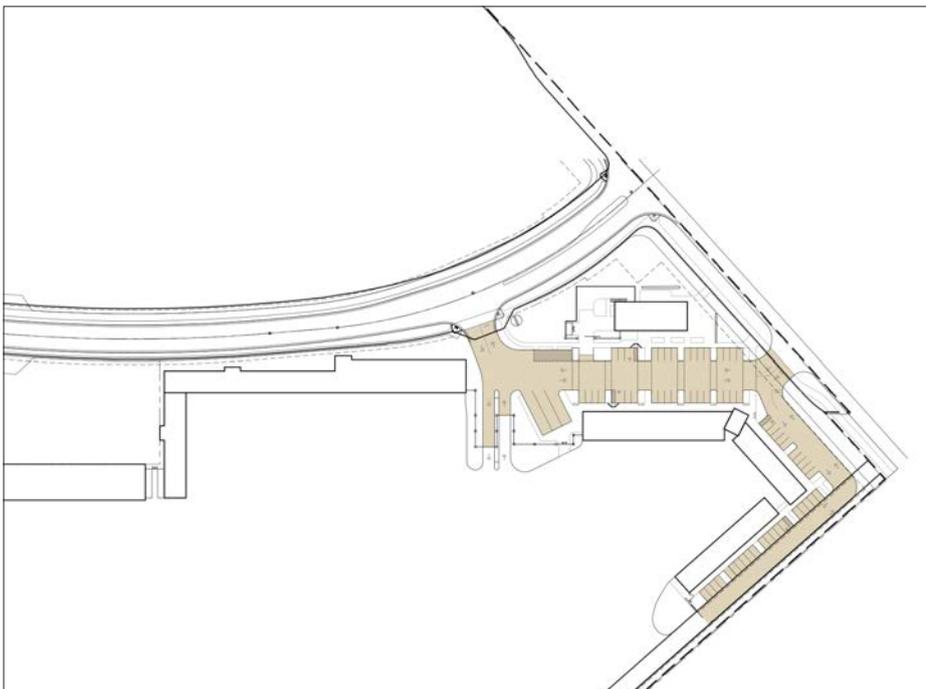
Ellis Commercial Site Access, Circulation, and Parking Diagram



- LANDSCAPING
- PRIMARY PEDESTRIAN CIRCULATION
- SECONDARY PEDESTRIAN CIRCULATION

**PEDESTRIAN CIRCULATION**

Public streets have sidewalks (yellow) and park strips (green) to create a safer pedestrian environment. Sidewalks are also located in and around the parking lots to create safe access routes between vehicles and buildings.



- OFF-STREET PARKING

**PARKING DIAGRAM**

Parking for the Storage Center is arranged in a 'C' shape outside the security fence, adjacent to building storefronts.

# PRECEDENTS





# PRECEDENTS, CONTINUED





# PUBLIC FACILITIES

Public buildings will serve a key role in the image of Ellis and will be landmark structures around which other development is designed. Public buildings should provide public faces to all adjacent streets or park frontages. Access to the primary entrance should be clear; adequate consideration should also be given to lighting, as well as walkways and signage that are sympathetic to the surrounding uses. Many facilities create opportunities to terminate a visual axis by providing centers for the various neighborhoods and districts. Composed elevations and building massing should reflect these important locations.

All parking and service areas should be secondary to building locations and screened from public view. Civic sites should avoid fronting streets or parks with parking and service areas. Driveways and service entrances should be sited to minimize congestion and respect orientation and entrances for surrounding uses. Service areas and mechanical equipment should be screened from public view along all streets and public parks.

## COMMON ELEMENTS OF PUBLIC BUILDINGS

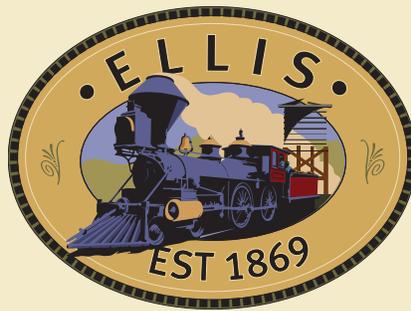
- » Should be located in prominent locations that receive large amounts of pedestrian and vehicular traffic
- » Use traditional architectural styles to convey an idea of well-established community resources and institutions
- » Tall floor-to-floor heights to create a significant presence on the street



# GALLERY OF EXAMPLES







ELLIS

TRACY, CALIFORNIA

ADDITIONAL LANDSCAPE FEATURES/CHARACTER ELEMENTS  
AND SIGN PROGRAM

APPENDIX A2



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# EXECUTIVE SUMMARY





# EXECUTIVE SUMMARY

ELLIS SIGN PROGRAM IS A DESIGN GUIDELINE FOR ELLIS.

PUBLIC PROPERTY SIGNS INCLUDE SIGNS IN THE PUBLIC RIGHT-OF-WAY, IN PUBLIC PARKS, AND ON PUBLIC PROPERTY, SUCH AS SPECIAL LANDSCAPE FEATURES.

PRIVATE PROPERTY SIGNS INCLUDE SIGNS ON PRIVATE PROPERTY.

ADDITIONAL LANDSCAPE FEATURES/CHARACTER ELEMENTS AND SIGNS IN THE ELLIS SPECIFIC PLAN AREA SHALL BE REGULATED BY TITLE 10, ARTICLE 35 OF THE TRACY MUNICIPAL CODE, EXCEPT AS SPECIFIED IN SECTIONS 2.4.1.8 AND 2.2.8.2 OF THE ELLIS SPECIFIC PLAN AND THIS APPENDIX A2: ADDITIONAL LANDSCAPE FEATURES/CHARACTER ELEMENTS AND SIGN PROGRAM. THE DESIGN OF ADDITIONAL LANDSCAPE FEATURES/CHARACTER ELEMENTS AND SIGNS SHALL BE PERMITTED AS SHOWN IN THE ELLIS SPECIFIC PLAN AND THIS APPENDIX A2. THE APPROVAL PROCESS SHALL INCLUDE ONLY A BUILDING PERMIT, AND A SIGN PERMIT PROCESSED IN ACCORDANCE WITH TITLE 10, ARTICLE 35 OF THE TRACY MUNICIPAL CODE. FOR PURPOSES OF INDEMNIFYING THE CITY, ALL TEMPORARY SIGNAGE AND BANNERS TO BE LOCATE WITHIN STREET RIGHT-OF-WAYS, AS APPROVED IN THE ESP, WILL REQUIRE ONE ALL-INCLUSIVE ENCROACHMENT PERMIT.

ALL SIGN MATERIALS AND COLORS TO BE SELECTED BY THE DEVELOPER. ELLIS COMMERCIAL PROPERTY ASSOCIATION TO SELECT MATERIALS AS COMMERCIAL SIGNS ARE REPLACED AND EPOA TO SELECT MATERIAL AND COLORS AS BALANCE OF SIGNS ARE REPLACED.



# SECTION 1: PUBLIC PROPERTY SIGNS





# SIGN LOCATION PLAN

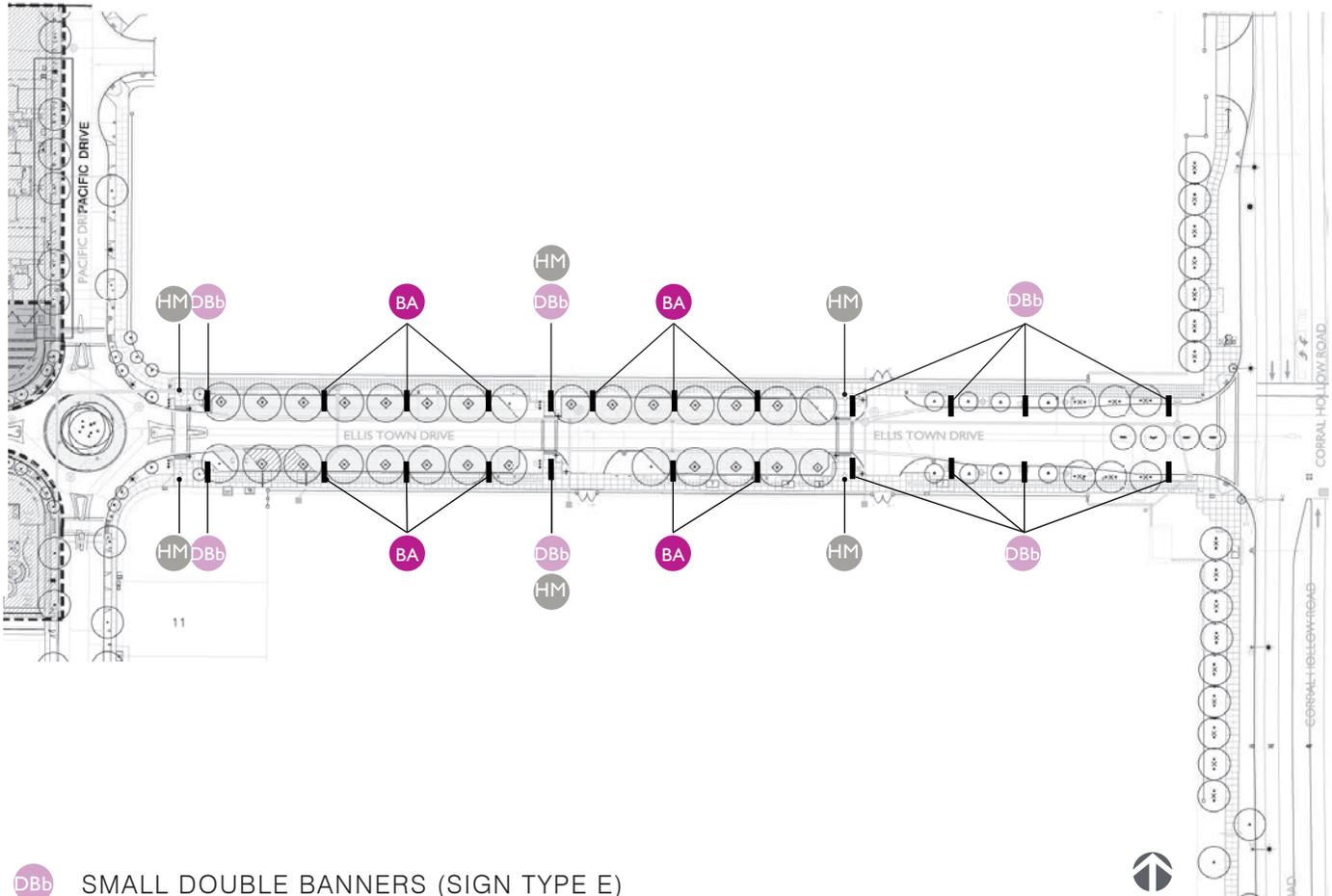
## OVERALL



- AP AQUATIC PARK
- EP ENTRY PORTAL (SIGN TYPE G)
- WA SIGN WALL (SIGN TYPE H)
- MS MAILBOX SHADE STRUCTURE
- SP SECONDARY ENTRY PORTAL
- CT CLOCK TOWER
- SS PRIVATE STREET SIGN
- DS DOG STATION (SIGN TYPE I)
- PI PARKING INFORMATIONAL
- PS PARK SIGN

# SIGN LOCATION PLAN

## ELLIS TOWN DRIVE



- DBb** SMALL DOUBLE BANNERS (SIGN TYPE E)
- BA** SINGLE BANNERS (SIGN TYPE E)
- HM** HISTORIC MARKERS (SIGN TYPE L)

KEY



# SIGN LOCATION PLAN

## SIGN TYPE J



### SIGN TYPE J MESSAGE SCHEDULE

#### SIDE A

- |  |  |                 |
|--|--|-----------------|
|  ^ VILLAGE CENTER |  | ^ VILLAGE GREEN |
| ^ AQUATIC PARK   |  | ^ DOG PARK      |
| ^ WESTERN PARK   |  |                 |

#### SIDE A

- |  |  |                |
|--|--|----------------|
|  ^ AQUATIC PARK |  | ^ WESTERN PARK |
| ^ DOG PARK   |  |                |

#### SIDE A

- |  |  |                |
|--|--|----------------|
|  < VILLAGE CENTER |  | ^ AQUATIC PARK |
| > WESTERN PARK   |  | ^ DOG PARK     |

#### SIDE A

- |  |  |                  |
|--|--|------------------|
|  ^ AQUATIC PARK |  | ^ VILLAGE CENTER |
| ^ DOG PARK   |  | ^ WESTERN PARK   |
| ^ VILLAGE GREEN  |  |                  |

#### SIDE B

- |                |  |                |
|----------------|--|----------------|
| < AQUATIC PARK |  | > VALPICO ROAD |
| < DOG PARK     |  | > CENTRAL PARK |

#### SIDE C

- |                |  |                |
|----------------|--|----------------|
| < VALPICO ROAD |  | > AQUATIC PARK |
| < CENTRAL PARK |  | > DOG PARK     |

#### SIDE D

- |                |  |                  |
|----------------|--|------------------|
| < WESTERN PARK |  | > VILLAGE CENTER |
| ^ VALPICO ROAD |  | ^ CENTRAL PARK   |

#### SIDE A

- |  |  |                |
|--|--|----------------|
|  ^ VILLAGE CENTER |  | ^ AQUATIC PARK |
| ^ VILLAGE GREEN  |  | ^ DOG PARK     |
| ^ WESTERN PARK   |  |                |

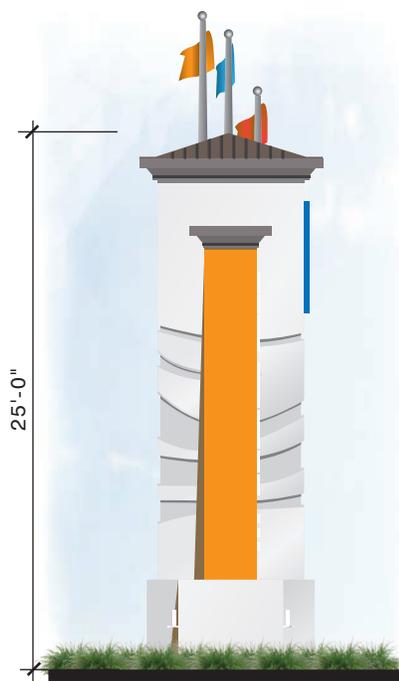
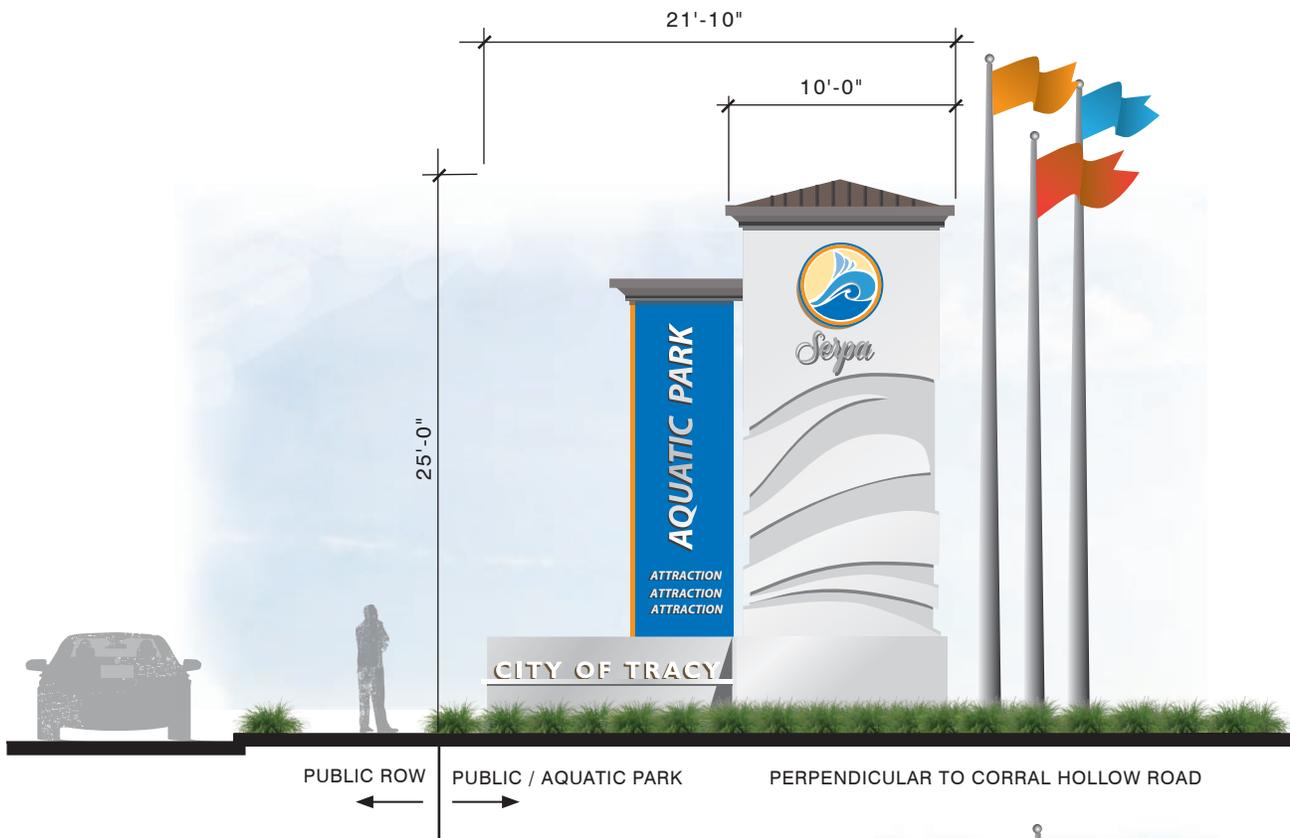
#### SIDE A

- |  |  |                |
|--|--|----------------|
|  ^ VILLAGE CENTER |  | ^ AQUATIC PARK |
| ^ VILLAGE GREEN  |  | ^ DOG PARK     |
| ^ WESTERN PARK   |  |                |

# CHARACTER ELEMENT/SIGNS

## AP AQUATIC PARK

**Note:** All dimensions are approximate



**Note:** Design for the Aquatic Park sign is conceptual. City Council shall approve final design of the character element/sign, including maximum height and sign area, as part of either Improvement Plans or Construction Documents for the Aquatic Park.

### SIGN STANDARDS

**Maximum height:** See note above

**Maximum area:** See note above

**Lighting:** Internally and/or externally illuminated

**Location:** Aquatic Park site (see Sign Location Plan: Overall)

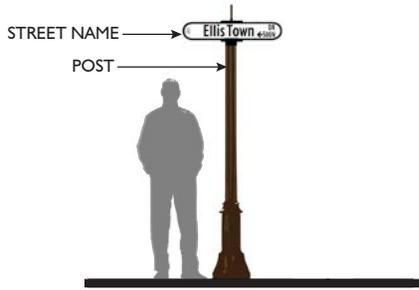
# SIGN TYPE L

## HISTORIC MARKERS

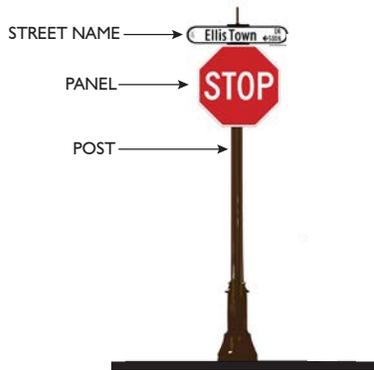


**Location:** Embedded in sidewalk on Ellis Town Drive (see Sign Location Plan; Ellis Town Drive)  
**Material:** Concrete

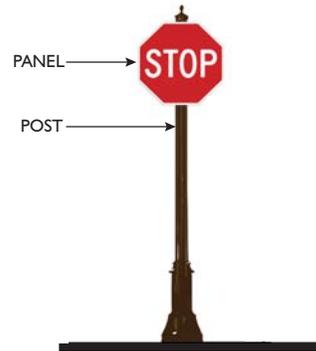
# STREET NAME SIGNS & TRAFFIC CONTROL DEVICES



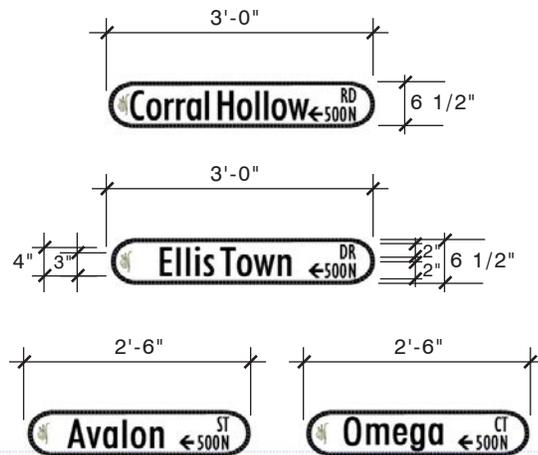
1. Post is 3900 RICHMOND, 4" OD shaft, fluted, dark bronze
2. Panel Support: Classic Cross (CC07) with Classic 2-Way (2W06, #2 Post Stacker (PS05)
3. Street Name Panel is .125 aluminum. Vendor: Sherine Industries. Background shall be reflective. Custom artwork. Color: White. Font: Gill Sans MT Condensed. Letters: Black.



1. Post: 3900 RICHMOND, 4" OD Shaf, fluted, dark bronze
2. Panel Support: Classic Cross (CC07) with Classic 2-Way (2W06, #2 Post Stacker (PS05). All regulatory signs shall be attached to post with part SB, Sternberg, sign bracket
3. Street Name Panel: .125 aluminum. Vendor: Sherine Industries. Background panel shall be reflective. Custom artwork. Color: White. Letters: Black.
4. Panel: 30" min. stop sign by Hawkins Traffic. Panels to be consistent with MUTCD codes.
5. Back panel color: Matthew's Paint MPC MP20308 Ancient Bronze Metallic.



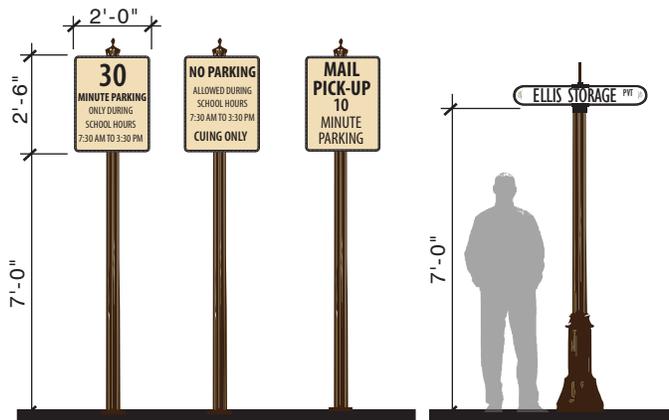
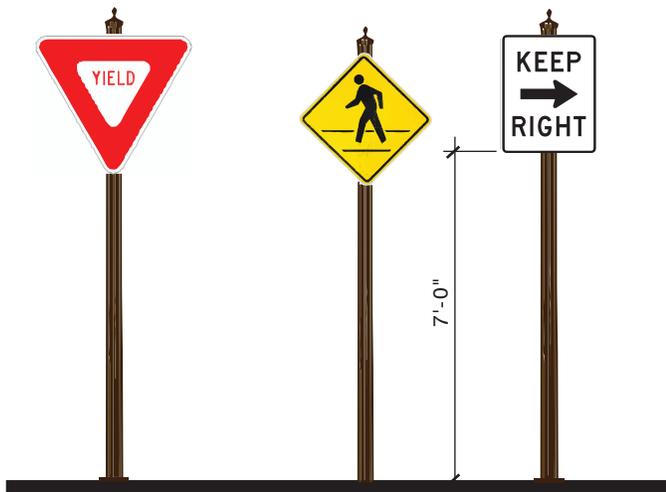
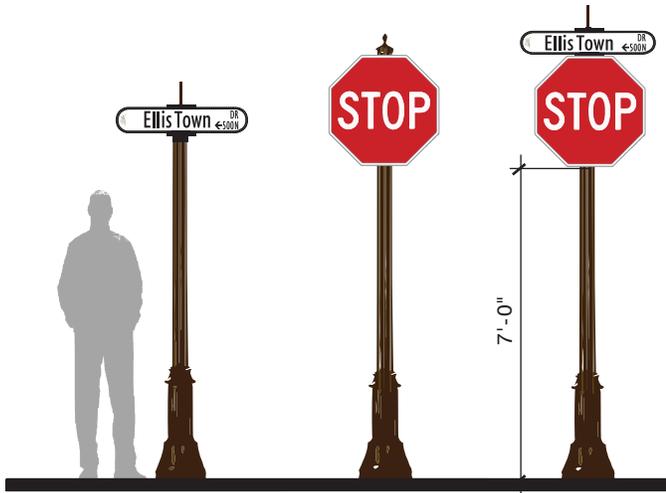
1. Post: 3900 RICHMOND, 4" OD Shaft, fluted, with BCC Ball Center Cap, dark bronze
2. Panel Support: All regulatory signs shall be attached to post with part SB, Sternberg, sign bracket
3. Panel: 30" min. stop sign by Hawkins Traffic. Panels to be consistent with MUTCD codes
4. Back panel color: Matthew's Paint MPC MP20308 Ancient Bronze Metallic



SIGN PANEL SPECIFICATIONS

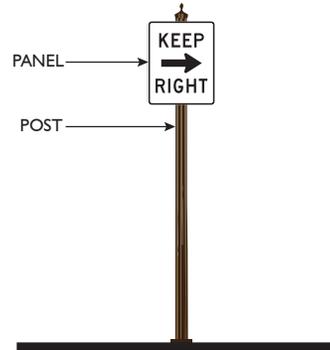
# STREET NAME SIGNS & TRAFFIC CONTROL DEVICES

**Note:** All dimensions are approximate



**PI** PARKING INFORMATIONAL

**SS** PRIVATE STREET SIGN



REGULATORY SIGNAGE MAY INCLUDE:

- YIELD
- SPEED LIMIT
- KEEP RIGHT
- DO NOT ENTER
- ONE WAY SIGN
- ROUNDBOUT DIRECTIONAL, 2 CHEVRONS
- NO PARKING ANYTIME
- TURN
- YIELD AHEAD
- MERGE & LANE TRANSITION
- LANE ENDS
- THRU TRAFFIC MERGE LEFT
- PEDESTRIAN CROSSING
- CROSSWALK RIGHT/LEFT ARROW

1. Post: 450 LEXINGTON 4" OD shaft, fluted, with BCC Ball Center Cap, dark bronze

2. Panel Support: All regulatory signs shall be attached to post with part SB, Sternberg, sign bracket

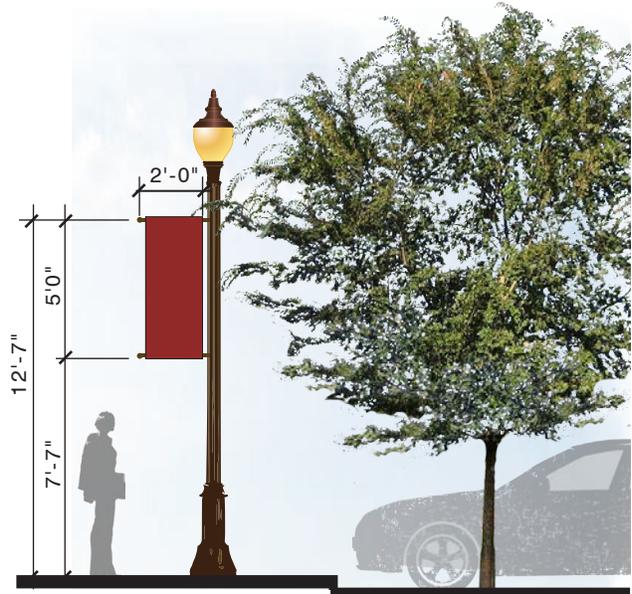
3. Panel: by Hawkins Traffic or equivalent  
Panels to be consistent with MUTCD codes

4. Back panel color: Matthew's Paint MPC  
MP20308 Ancient Bronze Metallic

## SIGN TYPE E AND F



**DBb** SMALL DOUBLE BANNERS



**BA** SINGLE BANNERS

### SIGN TYPE E

Sign Type E (Banners) are in public right-of-way. Banners are single or paired.

### SIGN STANDARDS

**Maximum sign area:** Single banners: 10 square feet (each side), small double banners: 20 square feet (each side)

**Location:** Public right-of-way (see Sign Location Plan: Ellis Town Drive)

**Note:** Tracy Municipal Code Section 10.08.4465, Banner Signs on Public Property, shall not apply to the Ellis banner program. The Specific Plan establishes that the EPOA has the right to implement the Ellis banner program, subject to City approval of a maintenance agreement.

# SIGN TYPE E AND F EXAMPLES

**Note:** See Location Plan: Ellis Town Drive



## SIGN TYPES G AND H

- Notes:** 1. All dimensions are approximate  
 2. These sign types will be located in parks, per the Sign Location Plan, for the purpose of identifying the park.



**EP ENTRY PORTAL – SIGN TYPE G**

**SIGN STANDARDS**

- Maximum structure height:** 14 feet
- Maximum sign area:** 30 square feet
- Lighting :** Externally illuminated
- Location:** Parks (see Sign Location Plan: Overall)



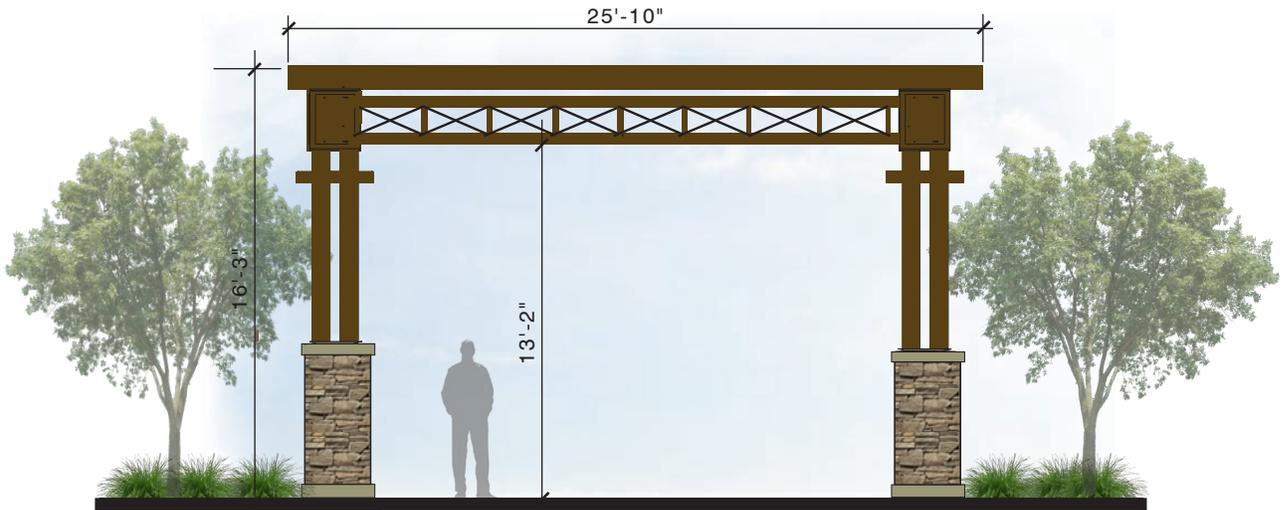
**WA WALL SIGN – SIGN TYPE H**

**SIGN STANDARDS**

- Maximum structure height:** 5 feet
- Maximum sign area:** 30 square feet
- Lighting :** Externally illuminated
- Location:** Parks (see Sign Location Plan: Overall)

# PARK CHARACTER ELEMENTS AND SIGNS

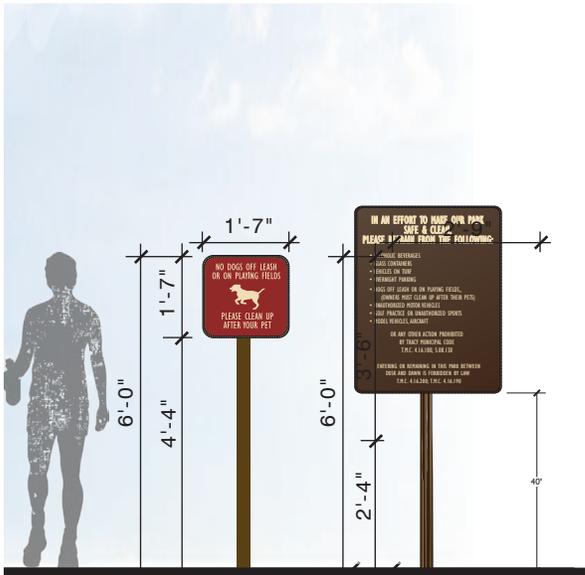
- Notes:** 1. All dimensions are approximate  
 2. These sign types will be located in parks, per the Sign Location Plan, for the purpose of identifying the park.



**SP SECONDARY ENTRY PORTAL**

**SIGN STANDARDS**

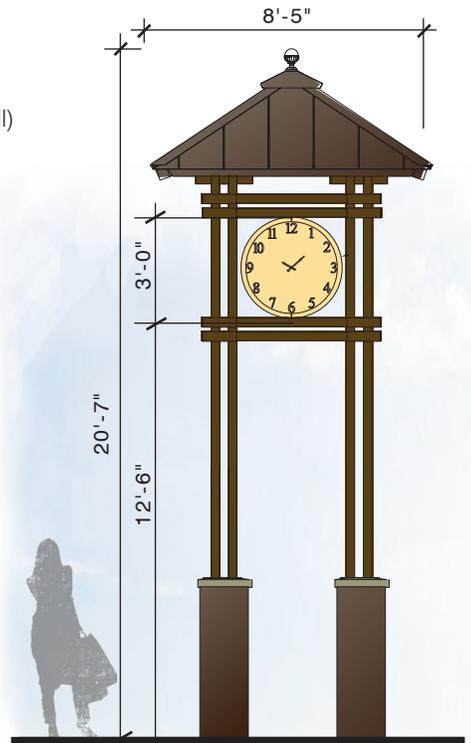
**Maximum structure height:** 20 feet  
**Lighting :** Non-illuminated  
**Location:** Village Green (see Sign Location Plan: Overall)



**DS PS DOG STATION – SIGN TYPE I & PARK SIGN**

**SIGN STANDARDS**

**Maximum height:** 6 feet  
**Maximum sign area:** 10 square feet  
**Lighting :** Non-illuminated  
**Location:** Parks (see Sign Location Plan: Overall)



**CT CLOCK TOWER**

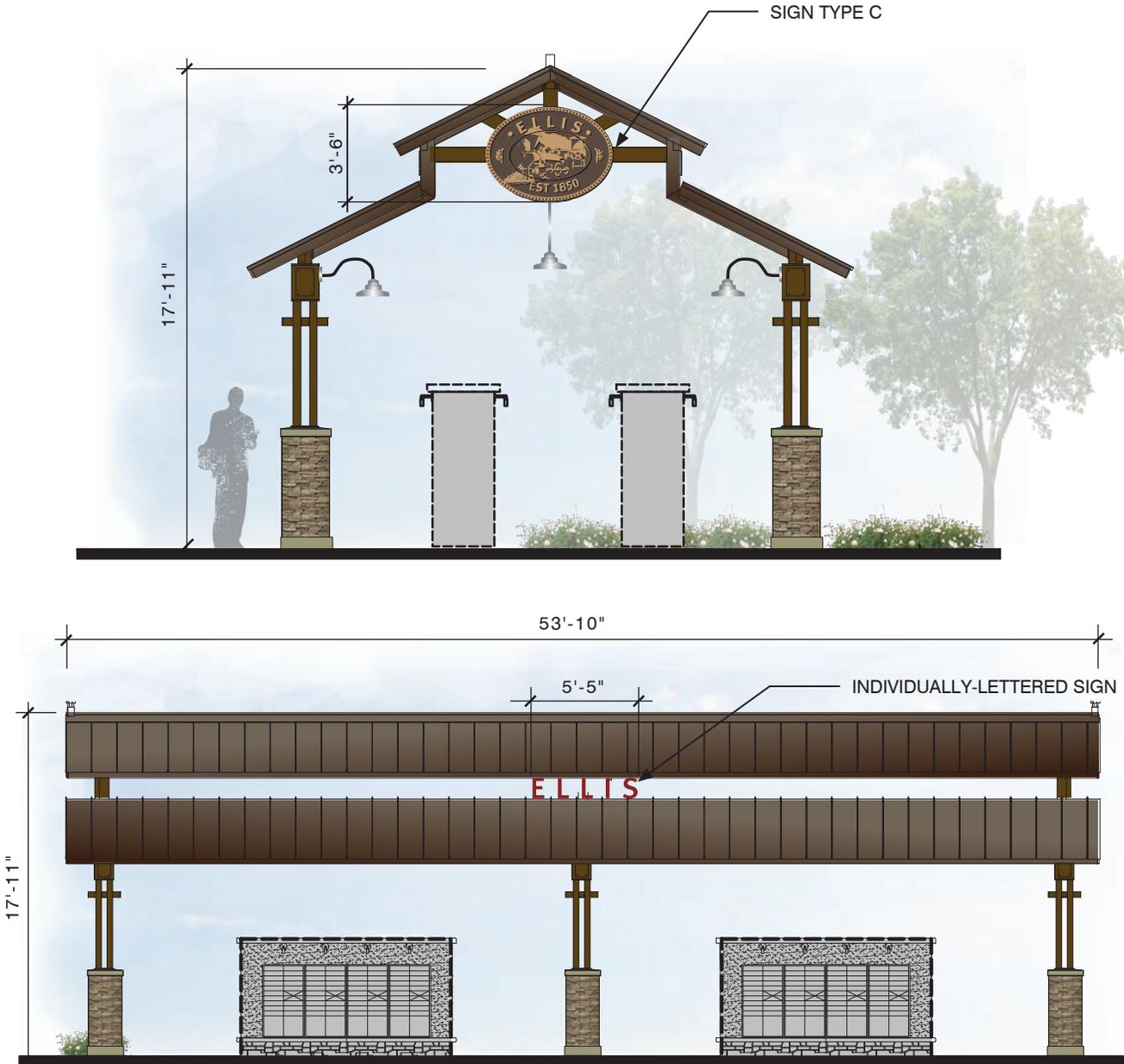
**SIGN STANDARDS**

**Maximum structure height:** 25 feet  
**Lighting:** Internally illuminated  
**Location:** Village Green (see Sign Location Plan)

# PARK CHARACTER ELEMENTS AND SIGNS

## MS MAILBOX STRUCTURE

**Note:** All dimensions are approximate



*Note: Mailbox structures are typically located in special landscape features, not parks.*

### SIGN STANDARDS

**Maximum mailbox structure height:** 20 feet

**Maximum Sign Type C area:** 20 square feet (each end of structure) for the Mailbox Structure

**Maximum individually-lettered sign area:** 10 square feet (both sides)

**Lighting:** Externally illuminated

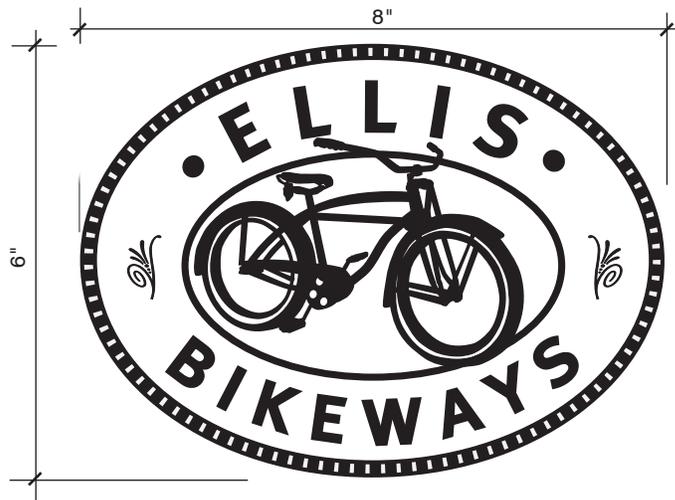
**Location:** Proximate to parks (see Sign Location Plan: Overall)

## SIGN TYPES J AND K

**Note:** All dimensions are approximate



- J SIGN TYPE J**  
**SIGN STANDARDS**  
**Height:** 9-10 feet  
**Individual blade area:** 2 square feet, up to 3 per side  
**Lighting:** Non-Illuminated  
**Location:** Public right of way (See Location Plan: Sign Type J)



- SIGN TYPE K**  
**Location:** Embedded in concrete of multi-use path, near crossings  
**Material:** Metal



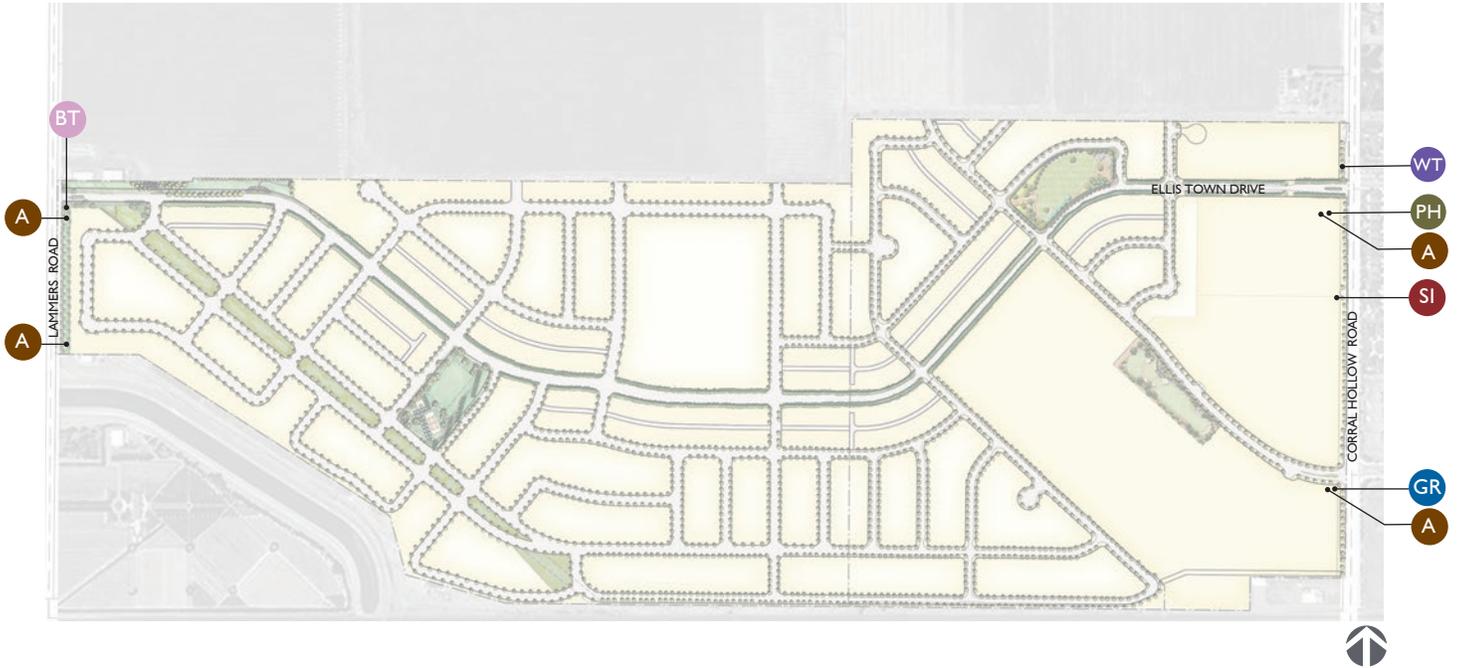
**SECTION 2: PRIVATE PROPERTY SIGNS**





# SIGN LOCATION PLAN

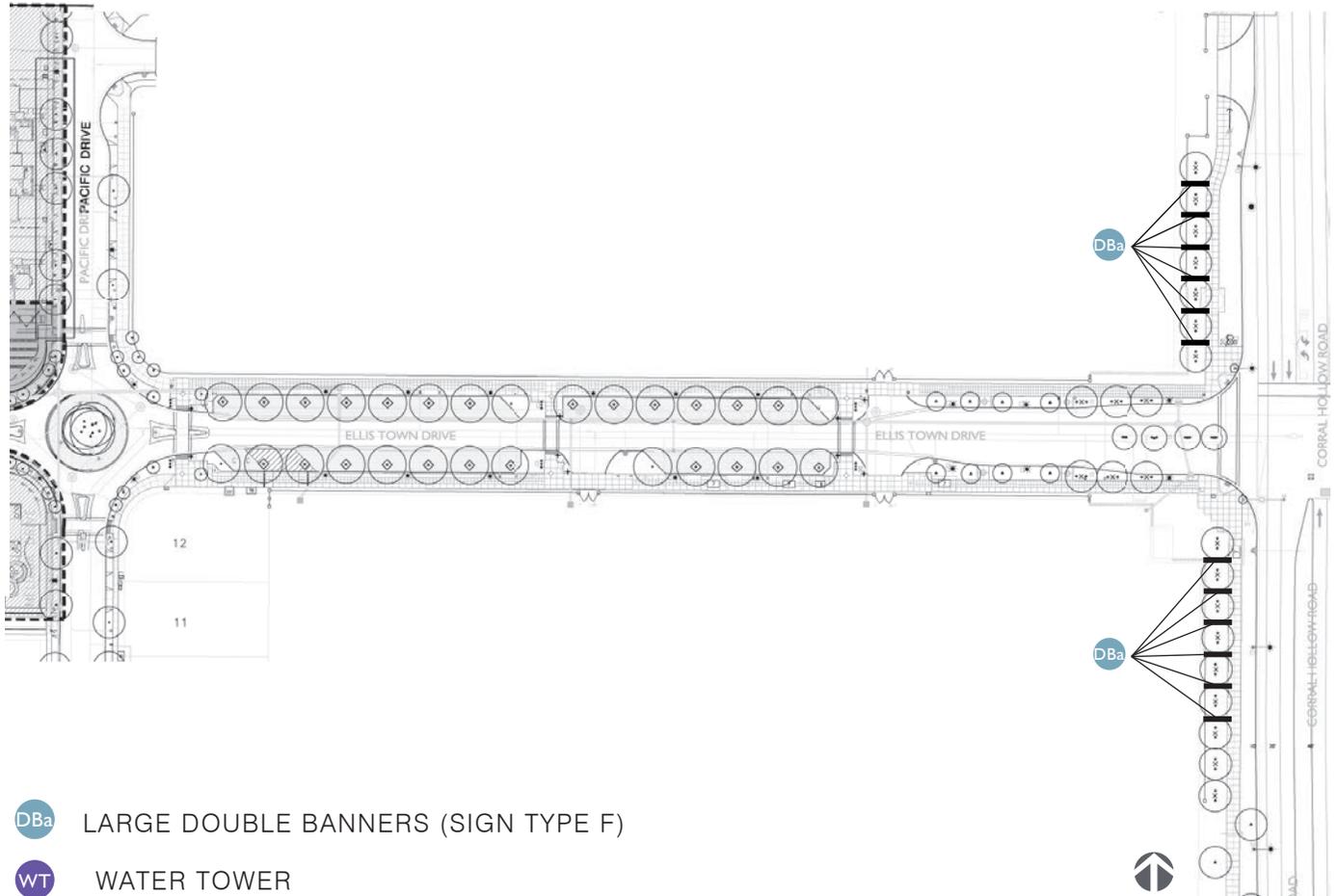
## OVERALL



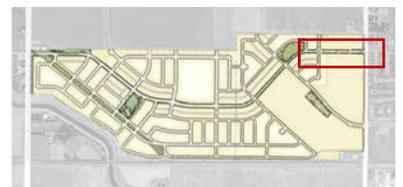
-  WATER TOWER
-  PUMP HOUSE
-  SILO
-  GRANARY
-  BLOCK AND TACKLE BUILDING
-  SIGN TYPE A

# SIGN LOCATION PLAN

## ELLIS TOWN DRIVE

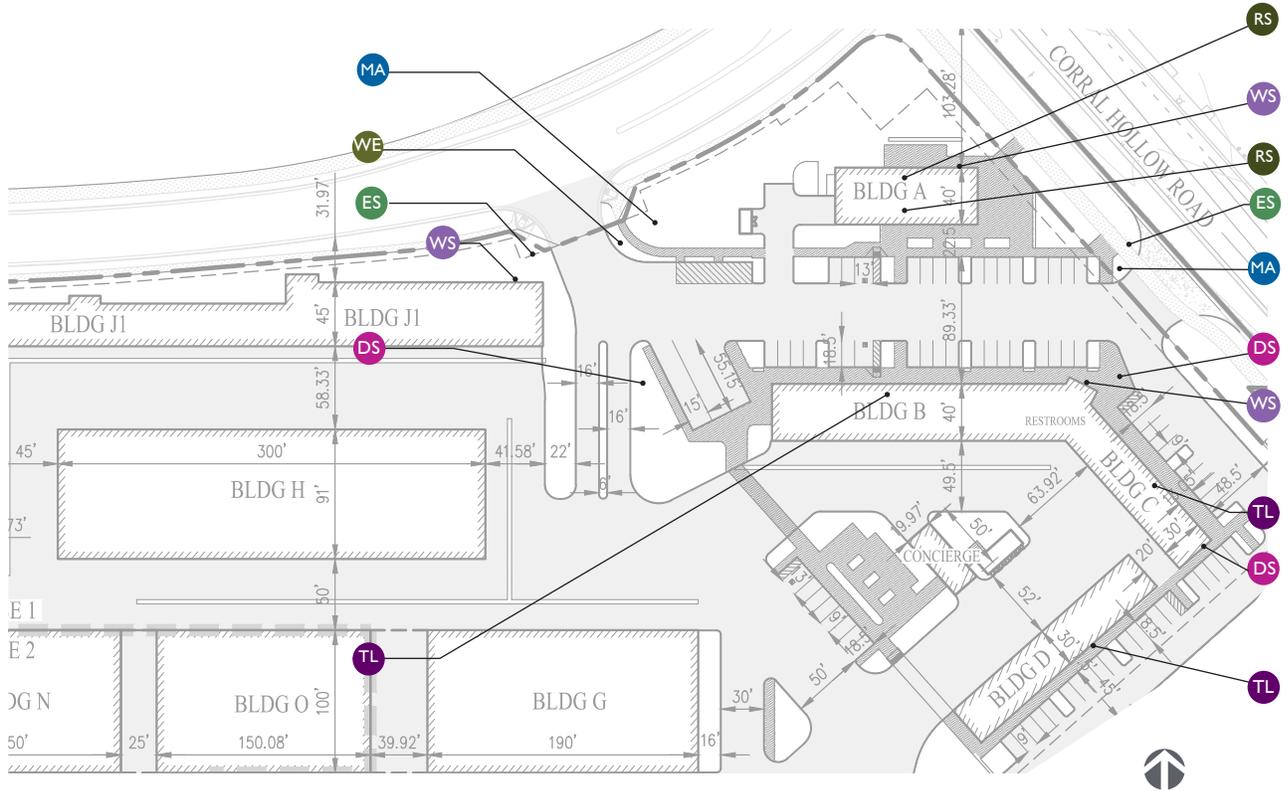


KEY



# SIGN LOCATION PLAN

## ELLIS STORAGE



- MA MONUMENT SIGN
- DS DIRECTIONAL SIGNS (SIGN TYPE N)
- TL TENANT LETTERS (QUANTITY TBD)
- ES ELLIS STORAGE STREET SIGN
- RS ROOF SIGN
- WS WALL SIGN
- WE WELCOME SIGN (SIGN TYPE M)

KEY



# CHARACTER ELEMENT WITH PROJECTING SIGN

## WT WATER TOWER

**Note:** All dimensions are approximate



### SIGN STANDARDS

**Maximum character element height:** 35 feet

**Maximum double-sided projecting sign height:** 20 feet

**Maximum Sign Type C area:** 50 square feet (each side) for Water Tower

**Maximum double-sided projecting sign area:** 80 square feet (each side)

**Lighting of logo panel:** Externally illuminated

**Lighting of double-sided projecting sign:** Internally or externally illuminated

**Location:** Public right-of-way (see Sign Location Plan: Overall)

# CHARACTER ELEMENT WITH LOGO

BLOCK AND TACKLE BUILDING

BT

**Note:** All dimensions are approximate



**SIGN STANDARDS**

**Maximum character element height:** 25 feet

**Maximum Sign Type C area:** 105 square feet (each side) for the Block and Tackle Building

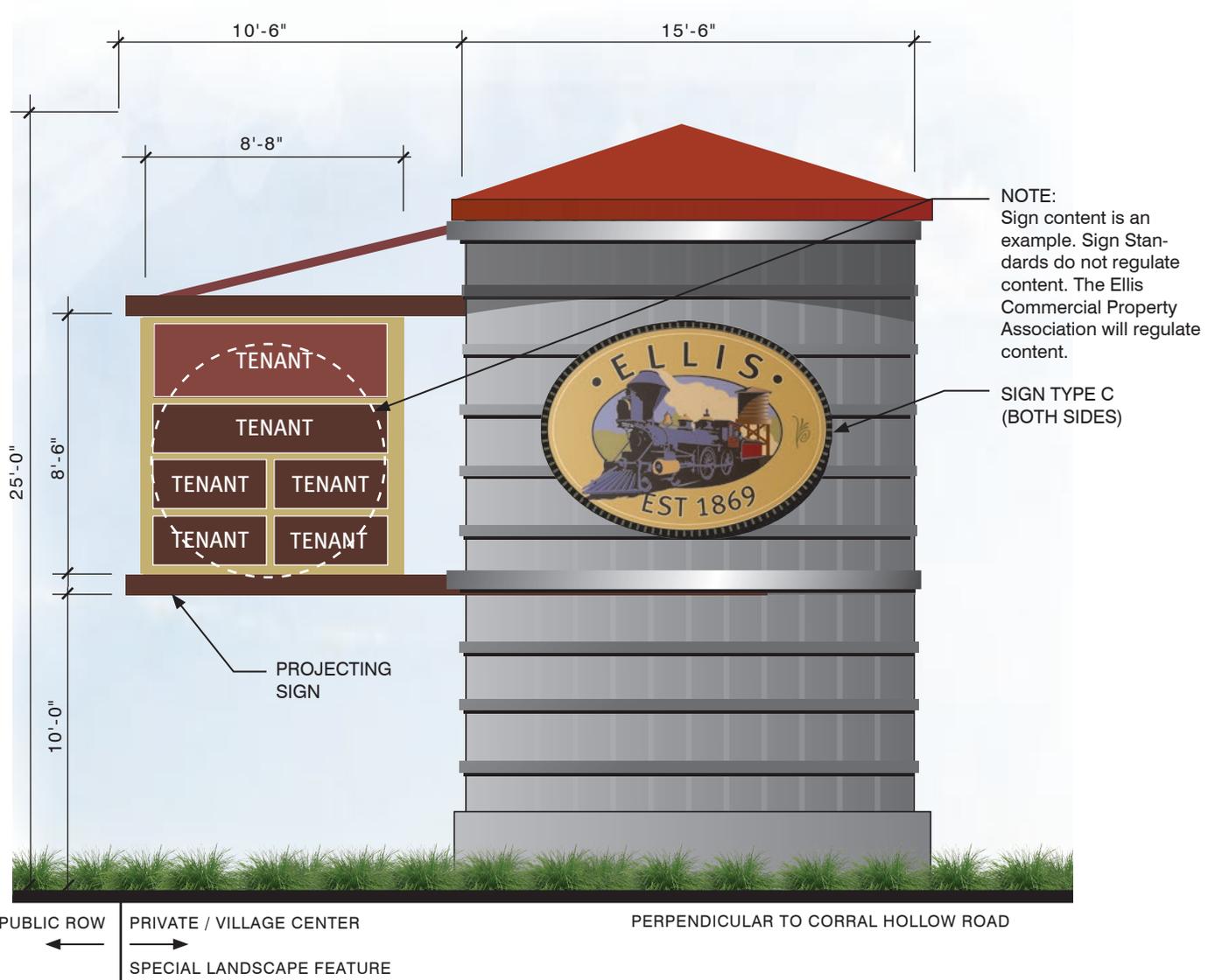
**Lighting:** Externally illuminated

**Location:** Private property - special landscape feature (see Sign Location Plan: Overall)

# CHARACTER ELEMENT WITH PROJECTING SIGN

## SI SILO

**Note:** All dimensions are approximate



### SIGN STANDARDS

**Maximum character element height:** 25 feet

**Maximum double-sided projecting sign height:** 20 feet

**Maximum Sign Type C area:** 70 square feet (each side) for the Silo

**Maximum double-sided projecting sign area:** 80 square feet (each side)

**Lighting of logo panel:** Externally illuminated

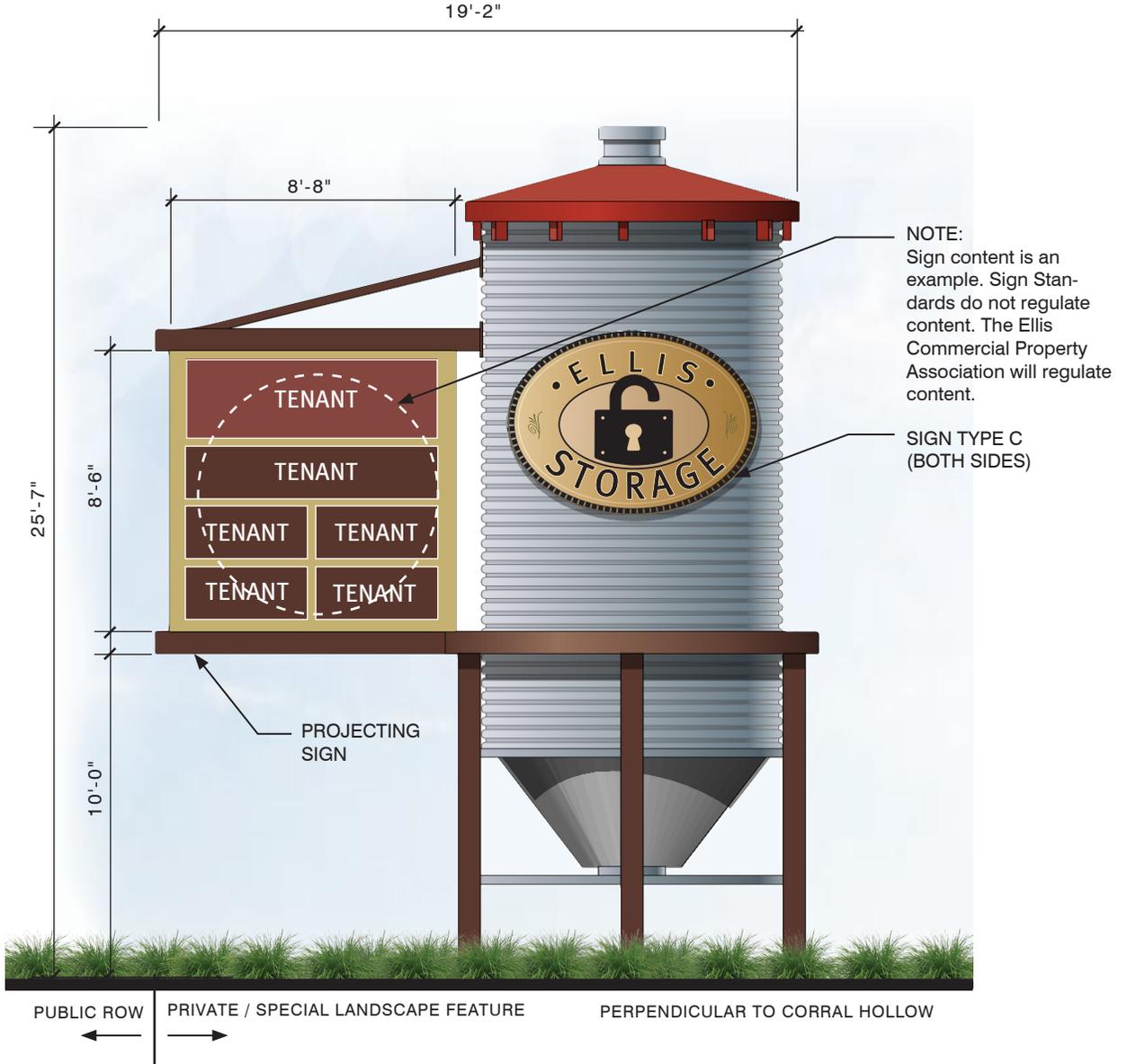
**Lighting of double-sided projecting sign:** Internally or externally illuminated

**Location:** Private property – Village Center (see Sign Location Plan: Overall)

# CHARACTER ELEMENT WITH PROJECTING SIGN

GRANARY 

**Note:** All dimensions are approximate



## SIGN STANDARDS

**Maximum character element height:** 30 feet

**Maximum double-sided projecting sign height:** 20 feet

**Maximum Sign Type C area:** 50 square feet (each side) for the Granary

**Maximum double-sided projecting sign area:** 80 square feet (each side)

**Lighting of logo panel:** Externally illuminated

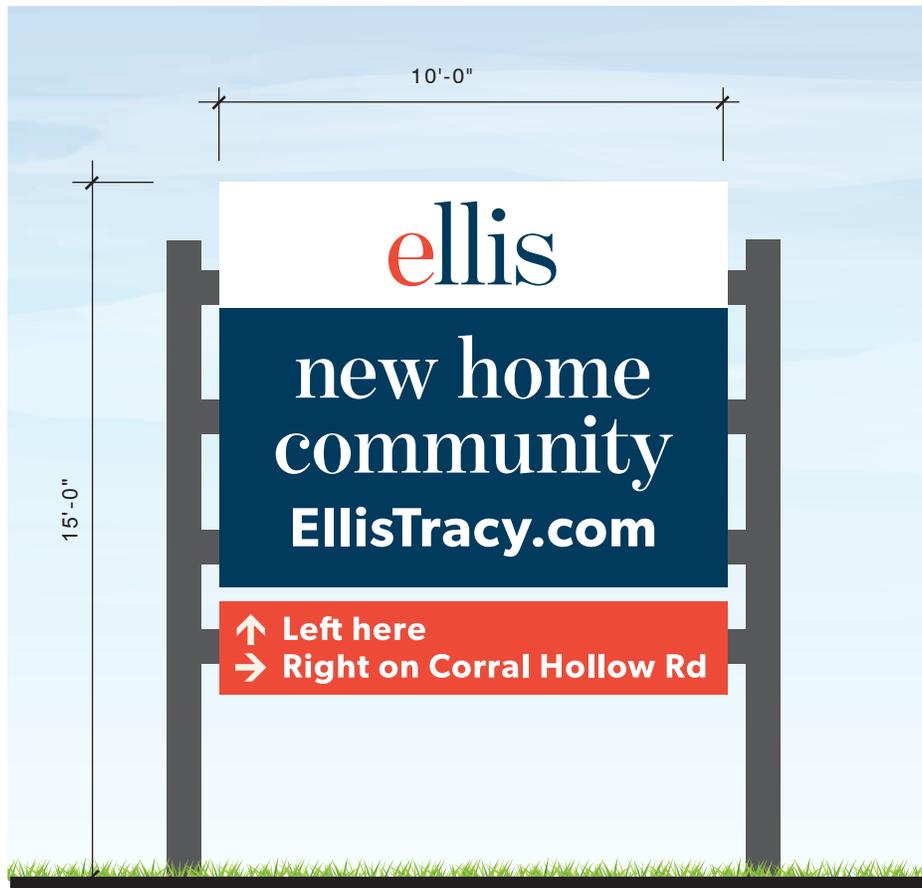
**Lighting of double-sided projecting sign:** Internally or externally illuminated

**Location:** Private property - special landscape feature (see Sign Location Plan: Overall)

## SIGN TYPE A

### A TEMPORARY DEVELOPER SIGN

- Note:** 1. All dimensions are approximate  
2. Sign Type A is a temporary sign.



SIGN TYPE A EXAMPLE

### SIGN STANDARDS

**Maximum height:** 15 feet

**Maximum sign area:** 100 square feet ( each side)

**Maximum number of signs permitted:** 2 on each arterial or collector

**Lighting:** Non-illuminated or externally illuminated

**Locations:** Special landscape features and private property (see Sign Location Plan: Overall)

**Note:** Signs shall be removed after completion of sales

## SIGN TYPES B AND D

- Note:** 1. All dimensions are approximate  
2. Sign Types B and D are temporary signs



SIGN TYPE D EXAMPLE



SIGN TYPE B EXAMPLE

### SIGN STANDARDS

**Maximum height:** 10 feet

**Maximum sign area:** 50 square feet ( each side)

**Maximum number of signs permitted:** 12

**Lighting:** Non-illuminated or externally illuminated

**Locations:** Public right-of-way, special landscape features and private property TBD

**Note:** Signs shall be removed after completion of sales

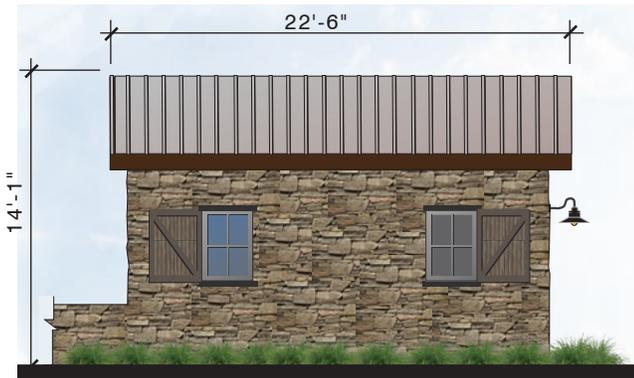
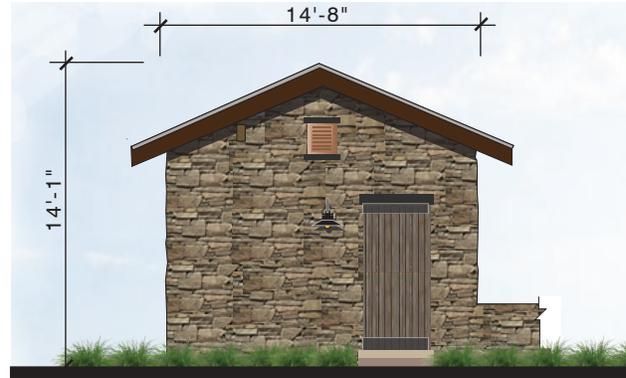
# CHARACTER ELEMENT WITH SIGN TYPE C AND WALL SIGN

## PH PUMP HOUSE

**Note:** All dimensions are approximate



PARALLEL TO ELLIS TOWN DRIVE



PARALLEL TO CORRAL HOLLOW ROAD

### SIGN STANDARDS

**Maximum character element height:** 15 feet

**Maximum wall sign height:** Not to exceed the peak of the roof

**Maximum Sign Type C area:** 50 square feet for the Pump House

**Maximum wall sign area:** 50 square feet for the Pump House

**Lighting of logo panel:** Externally illuminated

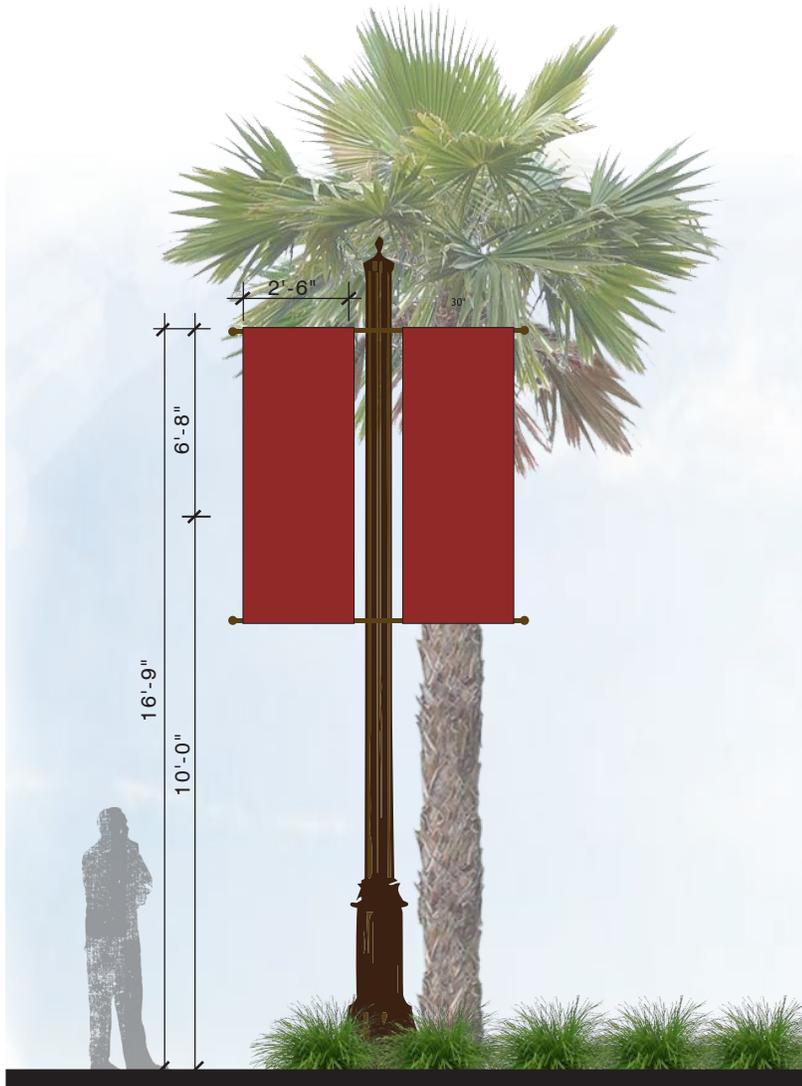
**Lighting of wall sign:** Externally illuminated

**Location:** Private property – Village Center (see Sign Location Plan: Overall)

## SIGN TYPE F

LARGE DOUBLE BANNERS DBa

**Note:** All dimensions are approximate



### BANNER AREA

Sign Type F (Banners) are located on private property. Banners are paired.

### SIGN STANDARDS

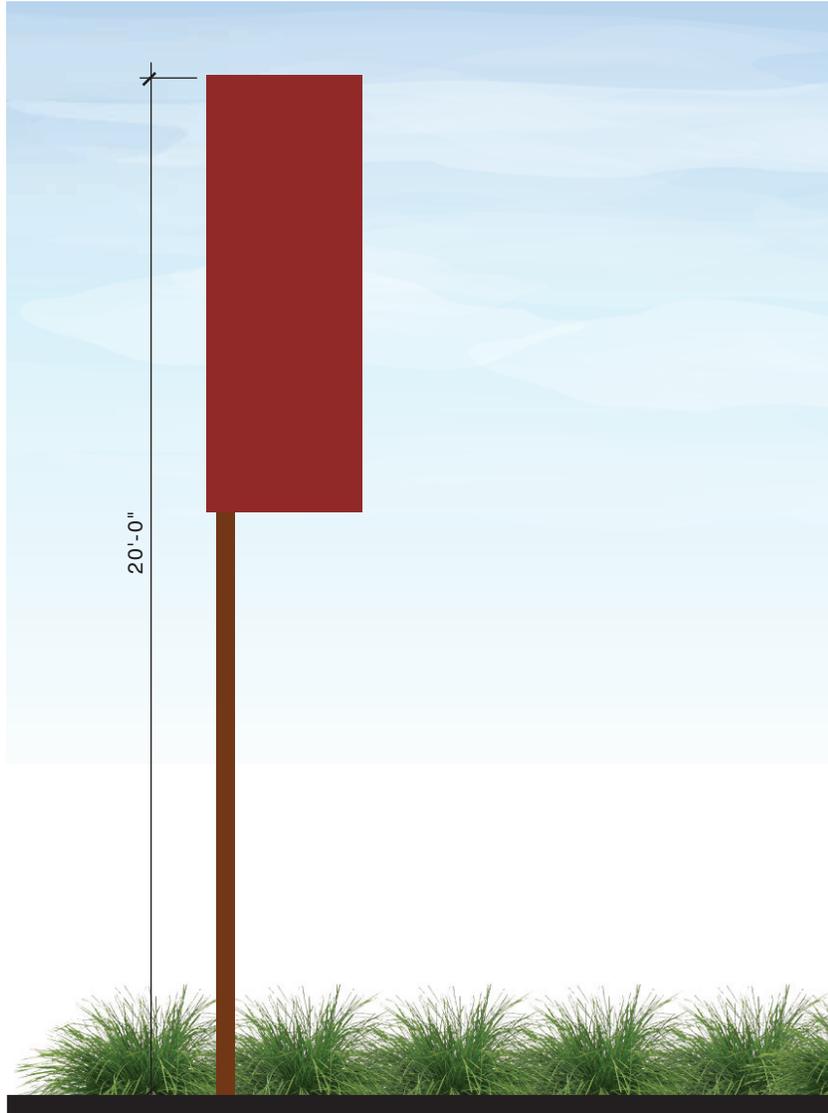
**Maximum sign area:** 40 square feet, double banners (each side)

**Location:** See Sign Location Plan: Ellis Town Drive

## SIGN TYPE O

### FLAG SIGN

- Note:** 1. All dimensions are approximate  
2. Sign Type O is a temporary sign.



#### **BANNER AREA**

Sign Type O (Flag Sign) is located on private property.

#### **SIGN STANDARDS**

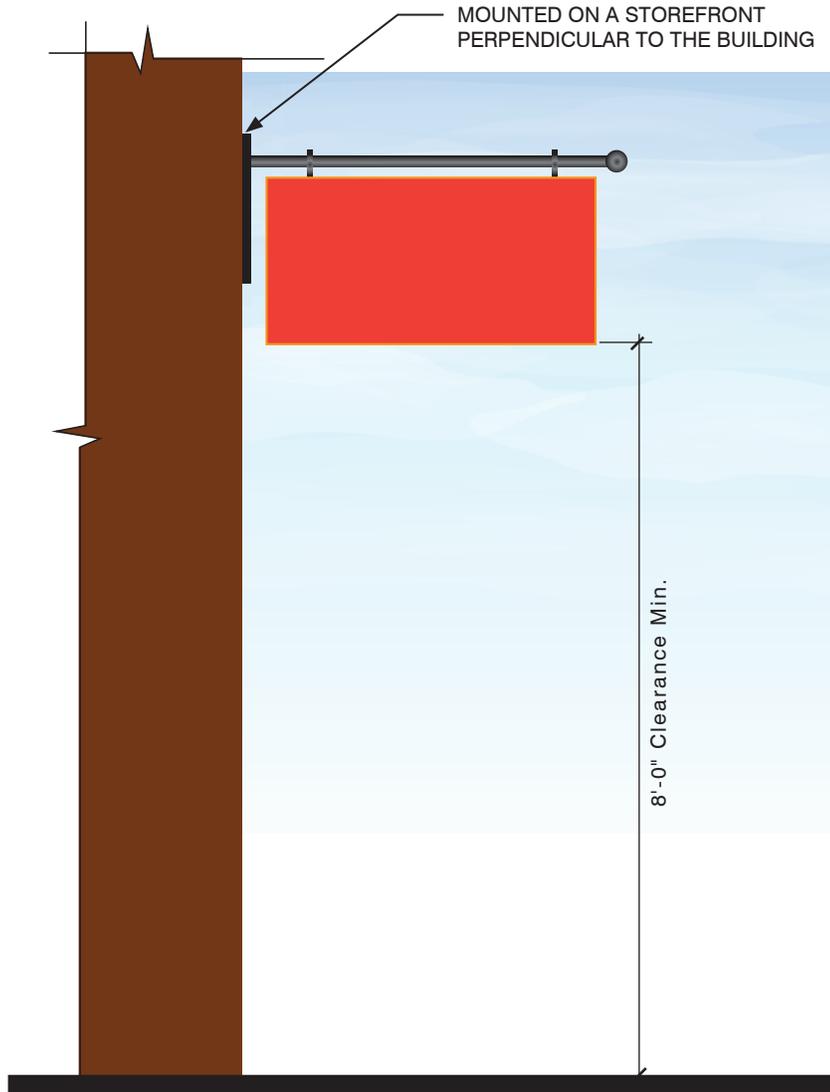
**Maximum area:** 25 square feet (each side)

**Location:** Up to 10 Sign Type O signs on temporary poles are permitted at each arterial or collector entrance and each model home complex

**Note:** Signs shall be removed after completion of sales

# SIGN TYPE P

## BLADE SIGN



### SIGN STANDARDS

**Maximum Sign Type P area:** 5 square feet (each side)

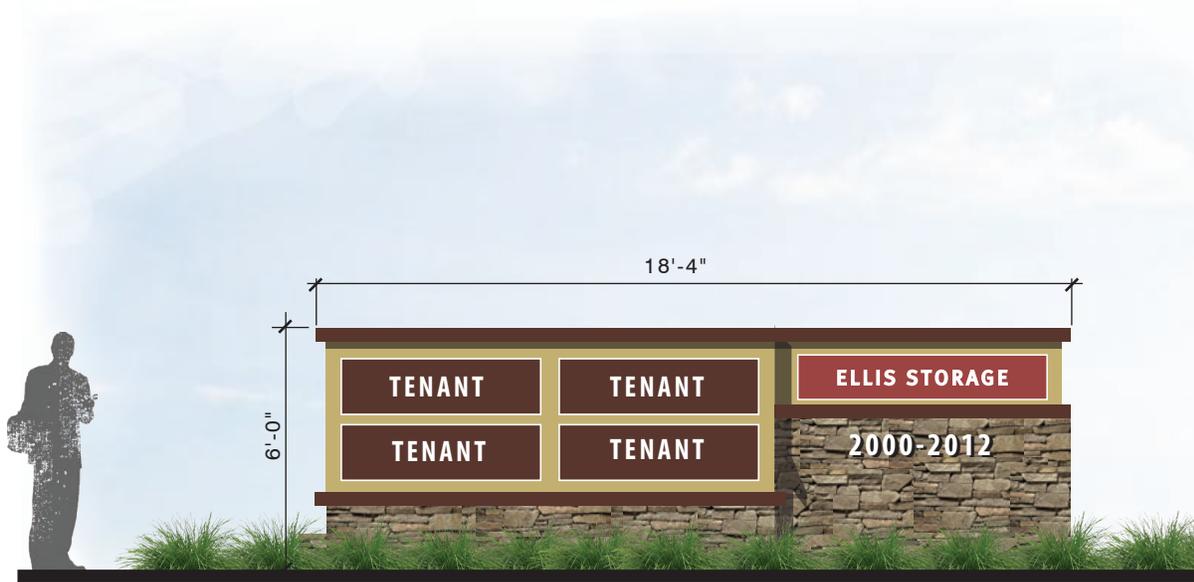
**Lighting:** Externally illuminated

**Location:** Commercial store fronts - maximum one per business

# MONUMENT SIGN AND SIGN TYPE M

**MA WE** MONUMENT SIGN AND SIGN TYPE M

**Note:** All dimensions are approximate



**MA** SIGN STANDARDS

- Maximum height:** 6 feet
- Maximum sign area:** 60 square feet (each side)
- Lighting:** Internally or externally illuminated
- Location:** Ellis Storage (see Sign Location Plan: Ellis Storage)



**Note:**

Monument Signs - Up to two monument signs are permitted in the Village Center on each corner parcel at the proposed intersection of Corral Hollow Road and Ellis Town Drive, per Tracy Municipal Code Section 10.08.4460 - Standards by Sign Type, subparagraph "c." Furthermore, any business in the Village Center may construct and maintain one off-site monument sign in the Village Center if all provisions of subparagraph "q" are met with the exception of the recorded easement requirement. The maximum area of each sign is twenty-four (24) square feet.

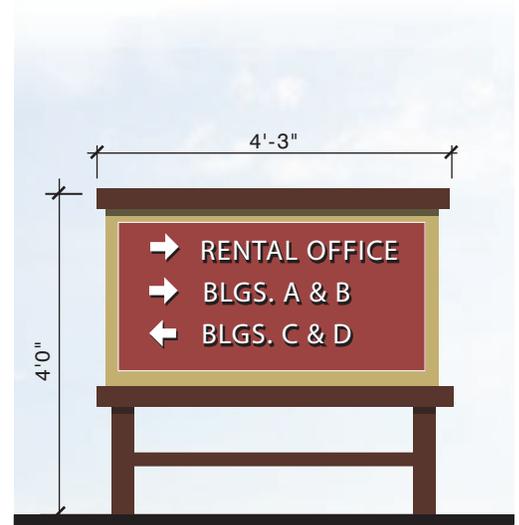
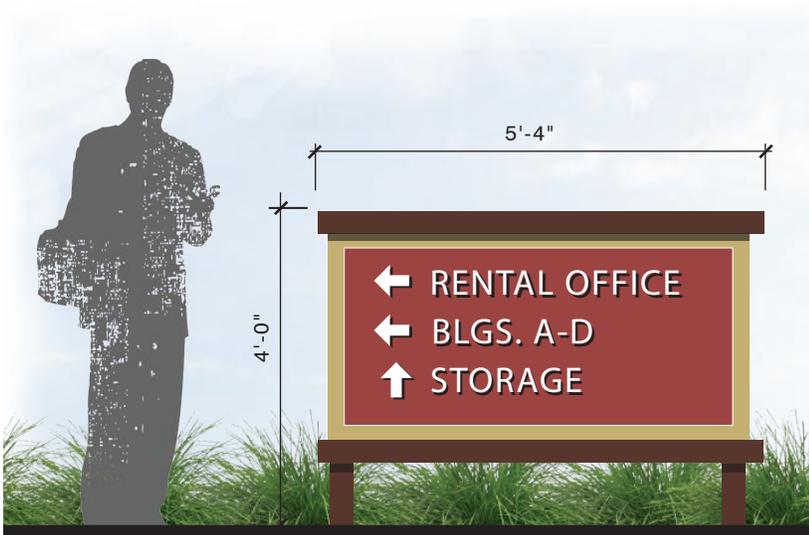
**WE** SIGN TYPE M SIGN STANDARDS

- Maximum height:** 4 feet
- Maximum sign area:** 5 square feet
- Lighting:** Non-illuminated
- Location:** Ellis Storage (see Sign Location Plan: Ellis Storage)

## SIGN TYPE N

### DIRECTIONAL SIGNS DS

**Note:** All dimensions are approximate



#### SIGN STANDARDS

**Maximum height:** 4 feet

**Maximum sign area:** 20 square feet (each side)

**Lighting:** Internally or externally illuminated

**Location:** Ellis Storage (see Sign Location Plan: Ellis Storage)

## WALL SIGNS

### **WS** INDIVIDUALLY-LETTERED SIGN

**Note:** All dimensions are approximate



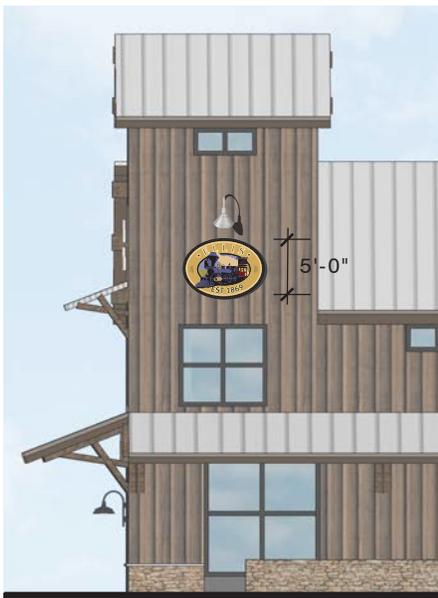
#### **SIGN STANDARDS**

**Maximum wall sign height:** Not to exceed the peak of the roof

**Maximum area:** 20 square feet

**Lighting:** Externally illuminated

**Location:** As shown (see also Appendix A: Pattern Book)



#### **SIGN STANDARDS**

**Maximum Sign Type C height:** Not to exceed the peak of the roof

**Maximum area:** 35 square feet

**Lighting:** Externally illuminated

**Location:** As shown (see also Appendix A: Pattern Book)

# ROOF SIGNS

## ROOF SIGN RS

**Note:** All dimensions are approximate



### SIGN STANDARDS

**Maximum height:** Not to exceed peak of roof

**Maximum sign area:** 100 square feet

**Lighting:** Internally or externally illuminated

**Location:** As shown above



TRACY | CALIFORNIA

# AVENUES PATTERN BOOK

Guidelines for a New Neighborhood

MAY 2018

# CONTENTS

## SECTION 1 INTRODUCTION

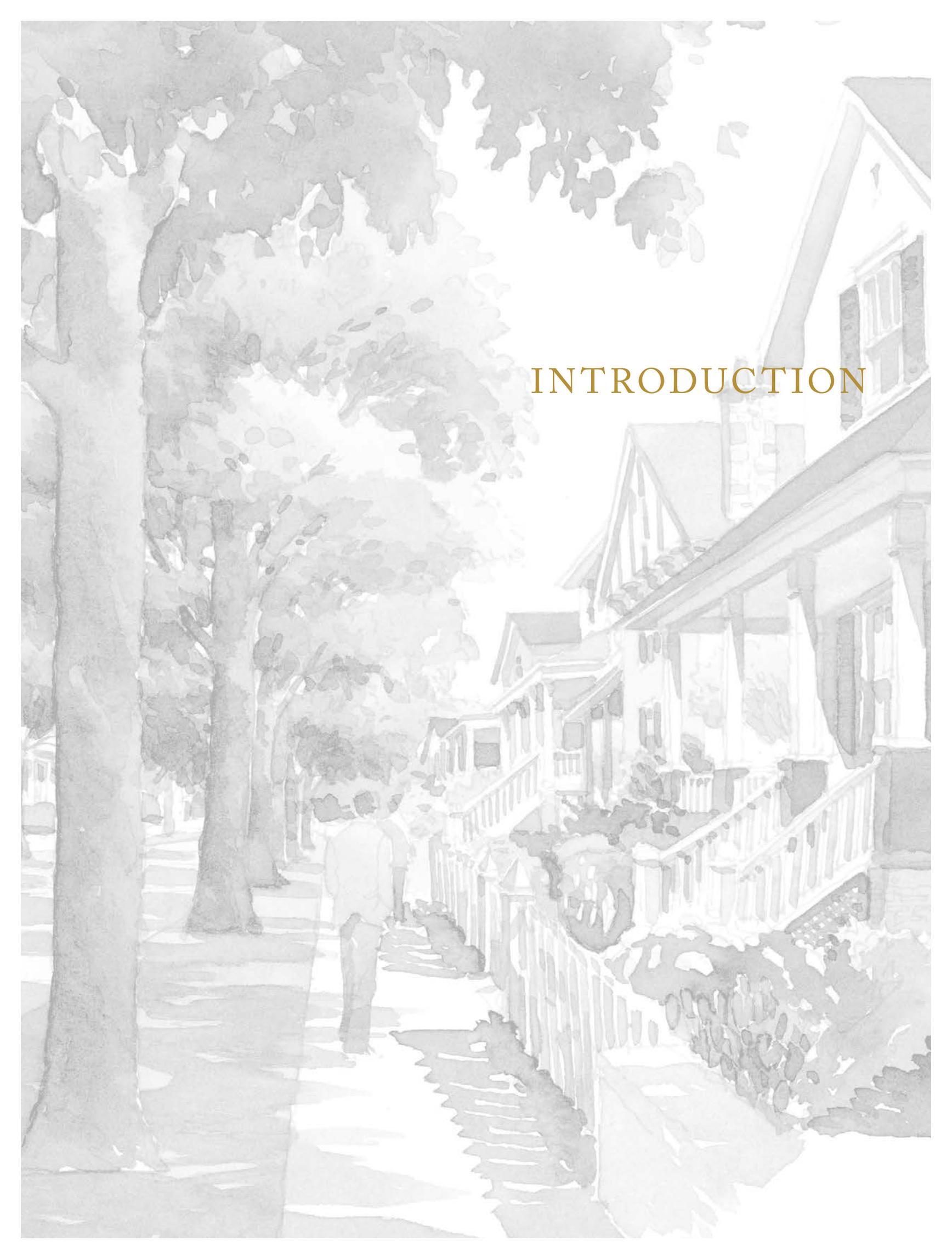
- 1|2 OVERVIEW
- 1|3 The Architectural Styles of Avenues
- 1|4 Avenues Houses

## SECTION 2 DETACHED RESIDENTIAL

- 2|2 ARCHITECTURAL PATTERNS
- 2|4 Avenues Craftsman
- 2|6 Massing and Composition
- 2|8 Possibilities, Precedents, Materials, and Colors
- 2|10 Avenues Farmhouse Victorian
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# INTRODUCTION

# OVERVIEW

Six architectural styles have been selected for Avenues residential development: Avenues Craftsman, Avenues Farmhouse Victorian, Avenues Revival, Avenues European Country, Avenues Mediterranean Revival, and Avenues Spanish Colonial. The Architectural Patterns sections provide information regarding each of these styles, including a description of the history and character of the particular style, a gallery of built examples, the style's basic massing and composition, as well as possibilities for designs using a standard palette of materials. This kit-of-parts approach provides architects, builders, and homebuyers with examples for designing and personalizing a new Avenues home.

The Avenues community will be an extension of the urban fabric of the City of Tracy.

This Pattern Book serves as the basis for Development Review and implementation. Amendments to the Pattern Book are subject to City Council approval.

# THE ARCHITECTURAL STYLES OF AVENUES



Avenues Craftsman



Avenues Farmhouse Victorian



Avenues European Country



Avenues Revival



Avenues Mediterranean Revival



Avenues Spanish Colonial

## AVENUES HOUSES

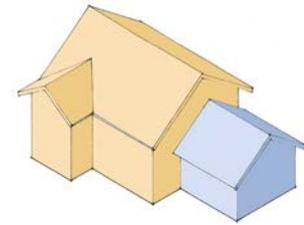
In traditional neighborhoods, the front portion of the house is the most dominant feature and must be responsive to adjacent houses and the overall character of the neighborhood. The landscaping of the front yard, setbacks from the street, size and placement of the house on the lot, and the front porch are all shared elements that form ‘the streetscape’.

Dwellings and garages shall be representative of the architectural styles described in this Pattern Book. The architectural style shall be clearly identified on all sides of the building, including the roof, consistent with the City of Tracy Design Goals and Standards.

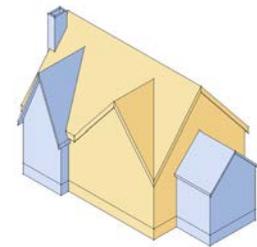
Enhanced architectural emphasis should be applied to facades facing streets. For example, stronger adherence to the architectural style, including: building relief, roof line variation, gables, window trims, ornamental accents, and materials.

All material transition points should carry around corners to an architectural stopping point, such as a pop-out or recess in the building.

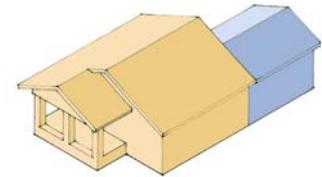
In no case shall the Avenues Pattern Book be less restrictive than the City of Tracy Design Goals and Standards, including the variety of floor plans requirement.



Gable-L house



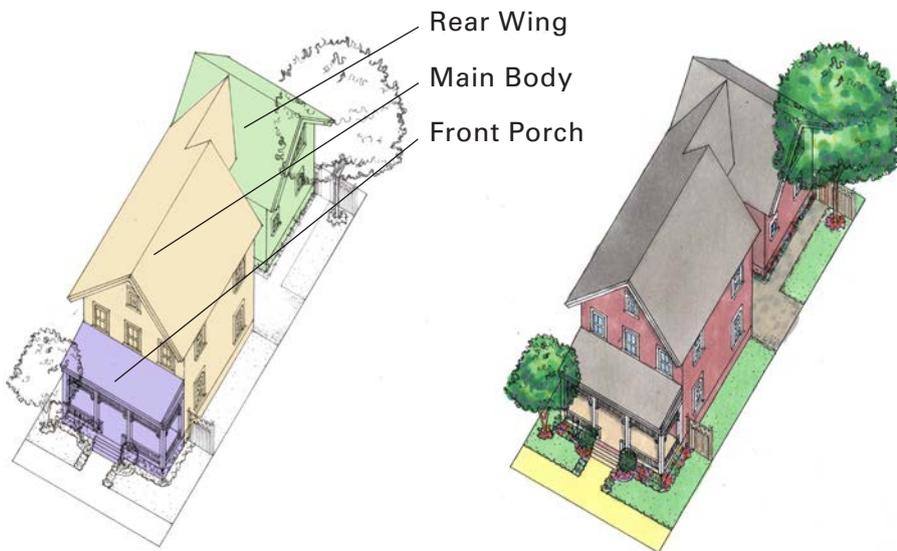
Side gable house with dominant cross gable



Front gable house

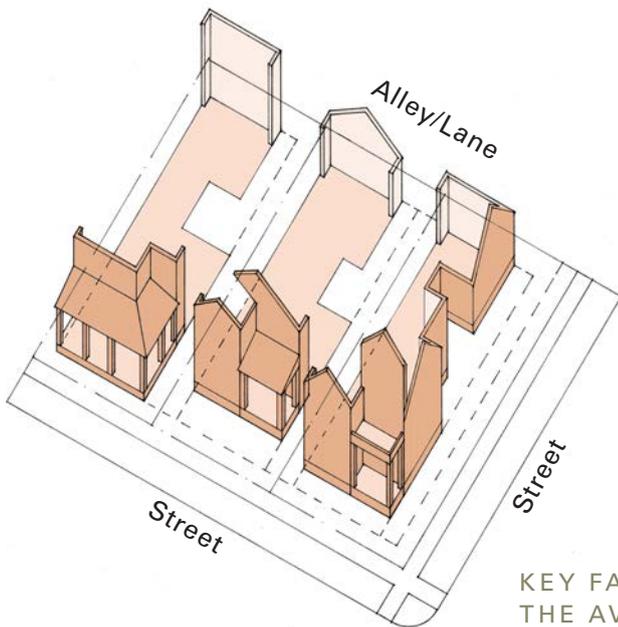


Illustrative view of an Avenues residential street



**THE AVENUES HOUSE**  
Simple, dignified massing with porch and rear wing added

**ELEMENTS OF THE AVENUES HOUSE**  
The Main Body is the largest and most visible element with the most specific design requirements. Side or rear wings, porches, and architectural elements, provide a menu of additional massing options for the homebuilder.



**KEY FACADES OF THE AVENUES HOUSE**  
The principal elevations of the Avenues house are facades facing streets, alleys/lanes, and public spaces

**PRINCIPAL ELEMENTS**

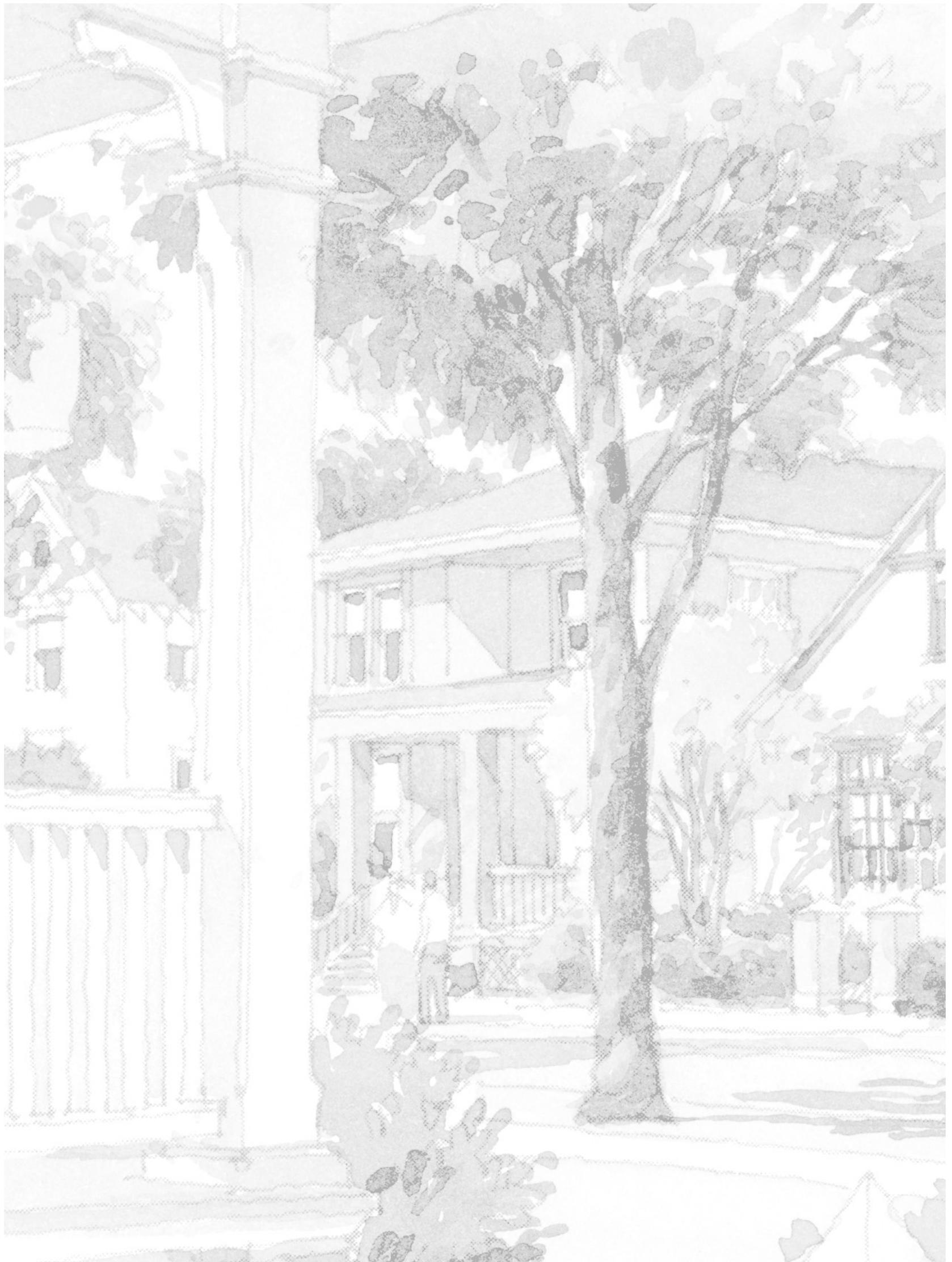
Avenues houses include the following principal elements:

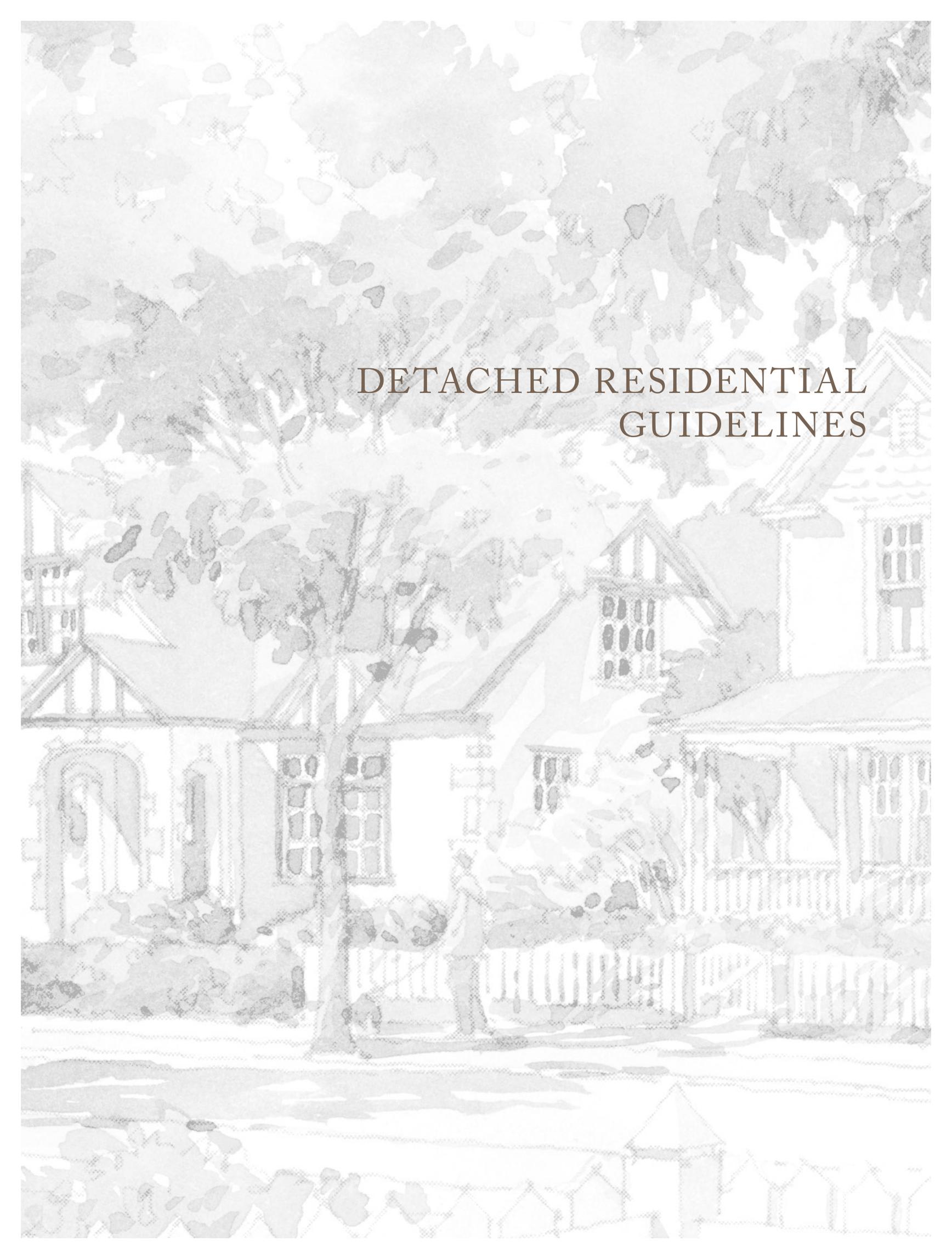
The **Main Body** of the house, which is the principal mass and includes the front door.

**Side and Rear Wings**, which are one or two stories high and connected to the Main Body. These optional additions are smaller than the Main Body and are set back from the front facade.

**Front and Side Porches** create exterior amenity space. Possibilities include full-facade front porches, wraparound porches, porticos, and side porches. Some architectural styles also have inset porches.

*Note: Side Wings, Rear Wings, and Porches are part of a menu of options. These elements as illustrated in the Pattern Book are suggestions, not required as shown. However, simple box dwellings are not permitted.*





DETACHED RESIDENTIAL  
GUIDELINES

# ARCHITECTURAL PATTERNS

The Architectural Patterns Section for Detached Residential units illustrates key elements and design strategies for the six permitted traditional styles for Avenues residential architecture. This section provides detailed guidelines for designing within the prescribed styles while creating well-defined variations among houses and buildings. The approach used is not intended to be a comprehensive catalog of all possibilities, but rather to serve as a guide to the key components within a particular style while providing a consistent quality of character and detail.

Variations or other alternative combinations of components may be acceptable so long as they generally conform to the particular style. The goal is to design within specific families of styles that are appropriate to the Avenues context, not to design historic reproductions.

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# AVENUES CRAFTSMAN

Avenues Craftsman houses are derived from the unique qualities of the Craftsman tradition found throughout northern California and San Joaquin County. Many regional builders constructed houses influenced by the Arts & Crafts movement. California versions are characterized by exposed or expressive structural elements such as rafters, columns, beams, lintels, and porch elements. House exteriors were clapboard or shingle siding mixed with stone and brick or stucco accents and were painted in robust color palettes. The California Craftsman house, which emerged in the beginning of the twentieth century, was influenced by both the Arts & Crafts movement and Japanese architecture.

For houses in Avenues, the emphasis in this style is on simple, structural expression of porch and eave elements using a vocabulary of architectural elements including the Prairie, Japanese, and Swiss styles, as well as influences from the Arts & Crafts movement. Forms are simple and reflect dimensioned lumber elements. Windows in this style tend to be vertical in proportion and are typically ganged or paired. Exposed eave brackets on roofs and porches contribute to this image and detail.

Horizontal siding, square and shaped shingle siding patterns, and a mix of stucco and siding materials are key cladding elements. This style also may include unpainted metal roofing and shingled roofs.

## COMMON ELEMENTS OF THE AVENUES CRAFTSMAN

- » Pitched roofs with deep overhangs.
- » Deep, broad porch elements with expressive structural components.
- » Exposed structural elements in the eaves such as rafters and brackets.
- » A combination of materials such as stucco, shingles, and siding.
- » Asymmetrical window and door compositions.



# GALLERY OF EXAMPLES



Photo Credit: AT Design Consulting



Photo Credit: Design Lens



Photo Credit: First Lamp



Photo Credit: Alan Malsford Design Associates



Photo Credit: R.W. Anderson Homes



Photo Credit: urbanSTX Architecture



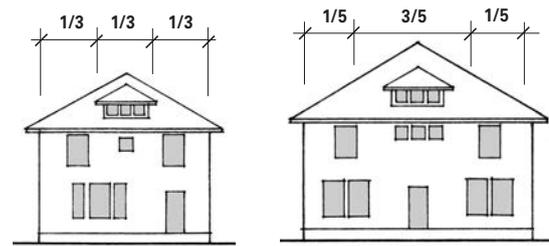
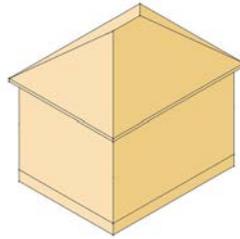
Photo Credit: AT Design Consulting

## MASSING AND COMPOSITION

### A TWO-STORY HIP

Hipped rectangular volume. Hip roof pitch is typically 3 to 7 in 12. Hipped front porches are common and have a shallower roof pitch. Porches may be either additive or a single integral bay.

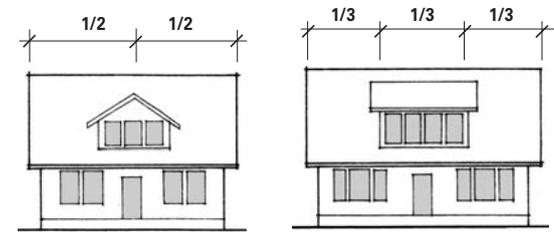
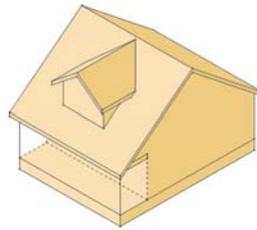
#### A TWO-STORY HIP



### B ONE-AND-ONE-HALF-STORY SIDE GABLE

Square volume with a 3 to 5 in 12 side gabled roof. Integral front porch that ranges from half to the full length of the front facade. Symmetrically placed gabled or shed dormers with 4 in 12 roof pitch.

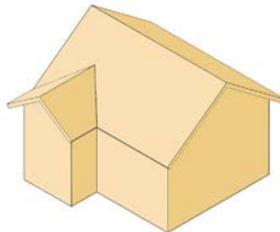
#### B ONE-AND-ONE-HALF-STORY SIDE GABLE



### C TWO-STORY GABLE L

Cross-gabled volume with a 3 to 4 in 12 gable facing the street. Often an in-line gabled porch or wing is added to the front left of the L. Porches may also be located between the legs of the L.

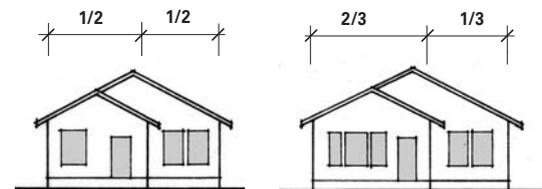
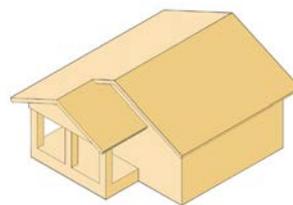
#### C TWO-STORY GABLE L

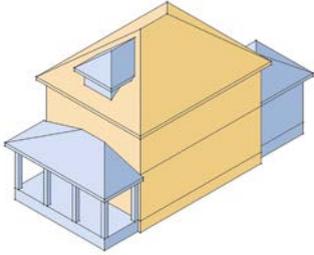


D ONE-AND-ONE-HALF-STORY FRONT GABLE WITH ADD-ON  
Rectangular volume with a 3 to 5 in 12 roof pitch and gable facing the street. Asymmetrically placed gable and front porch is common.

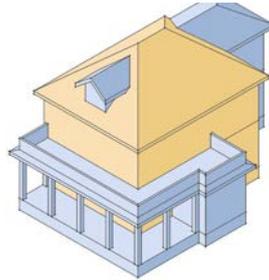
#### D ONE- AND-ONE-HALF-STORY FRONT GABLE WITH ADD-ON

Note: In general, main roof pitches are 4 to 5 in 12 and secondary roof pitches are 3 to 5 in 12.

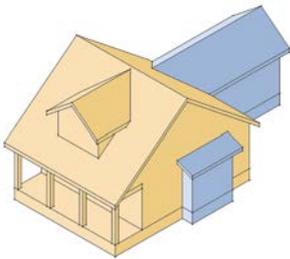




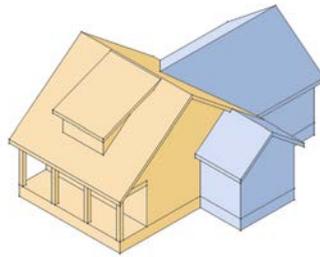
**A1** Hipped roof with add-on porch, a rear wing and a street-facing dormer



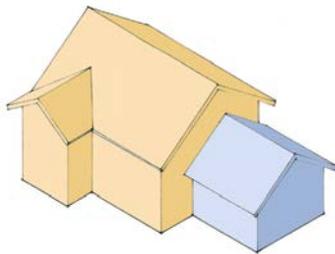
**A2** Hipped roof with wraparound porch, a rear wing and a street-facing dormer



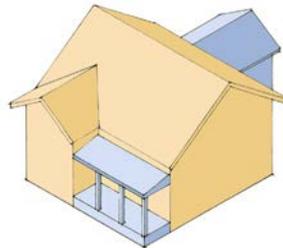
**B1** Side gable with an integral porch, a rear wing and side bay window



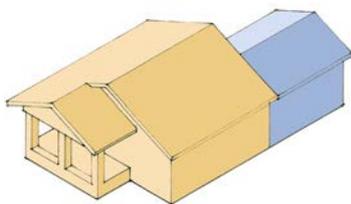
**B2** Side gable with an integral porch, a rear wing and a side wing



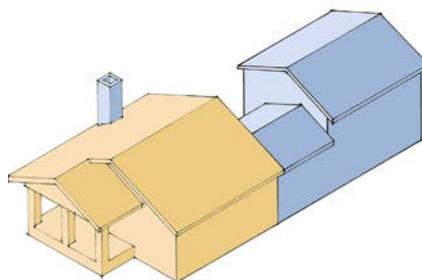
**C1** Side gable L with side wing



**C2** Side gable with add-on porch and rear wing



**D1** Front gable and add-on massing with rear wing



**D2** Front gable and add-on massing with one-story connection to two-story carriage unit



POSSIBILITIES

PRECEDENTS

TWO-STORY HIP



ONE-AND-ONE-HALF-STORY SIDE GABLE



TWO-STORY GABLE L



ONE-AND-ONE-HALF-STORY FRONT GABLE WITH ADD-ON



## MATERIALS

### SIDING/CLADDING

- » Wood shingle; fiber-cement clapboard, composite and/or stucco
- » Lace finish not permitted

### ROOFING

- » Composition shingles, flat concrete tile, standing seam, or 5v crimp metal

### WINDOWS

- » Single- or double-hung
- » Fixed accent windows (limited)
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum, or vinyl
- » Traditional-looking profiles

### TRIM

- » Stucco, wood, composition board, cellular PVC, polyurethane, or fiber cement

### COLUMNS/BRACKETS

- » Wood or composite

### RAILINGS

- » Wood or composite top and bottom rails with square balusters
- » Solid railings of wood, fiber cement, cut shingle siding or manufactured stone veneer

### SOFFITS AND PORCH CEILING

- » Exposed rafters at soffits with starter board or v-groove sheathing
- » T&G wood, beaded plywood, exterior-grade plywood, or stucco porch ceiling

### GUTTERS

- » Ogee or half-round primed or prefinished metal
- » PVC is acceptable in a color that matches the trim
- » Fascia gutter permitted

### DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches the trim or the stucco cladding

### SHUTTERS

Not applicable

### CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match structure

### FRONT YARD FENCES

- » Wood, stone, or masonry with stucco finish
- » Vinyl picket permitted
- » Wrought iron or equivalent

### REAR YARD FENCES

- » Cedar, redwood, or masonry with stucco finish (if applicable)
- » Vinyl and pressure treated wood are permitted

## COLORS

Colors to be selected from the approved Ellis Color Palette. The Ellis Color Palette includes a minimum of three colors for each house: main body, trim, and accent.

# AVENUES FARMHOUSE VICTORIAN

The Avenues Farmhouse Victorian style builds on the early Carpenter Gothic cottages built in the western region of the United States from early pattern books. While the Victorian style became fashionable in the 1800s in the Bay Area, its popularity grew and spread outward from San Francisco. Style books published by Andrew Jackson Downing were the source of many early examples. Publications such as *The Horticulturist* influenced the preferences of the public and provided an especially dramatic contrast to the inherited Spanish and adobe building types prevalent at the time. Many early religious camp settlements adopted the style with more and more exotic variations that included Eastlake, Queen Anne, and Italianate detailing.

The Farmhouse Victorian style is centered on simple, elegant forms to create more informal houses on small lots. This style has expressive porch elements, decorative trim elements, and vertical windows and doors.

## COMMON ELEMENTS OF AVENUES FARMHOUSE VICTORIAN

- » Moderate to steeply pitched, front-facing gable roofs.
- » Cut wood ornament, often with natural forms such as leaves and vines.
- » Clapboard or cut shingle siding.
- » Vertical proportions for windows and doors.
- » Box bay and cutaway bay windows.
- » Expressive porch elements



# GALLERY OF EXAMPLES



Photo Credit: Su Casa Designs



Photo Credit: Alturas Homes



Photo Credit: AT Design Consulting



Photo Credit: Union Studio, Architecture and Community Design



Photo Credit: The Creativity Exchange



Photo Credit: Lindsay Sertson Thompson / Pinnacle Residential



Photo Credit: Laury W. Glenn / Popsley Dixon Architecture



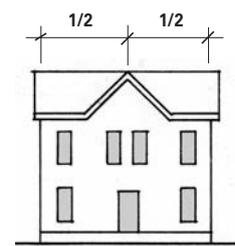
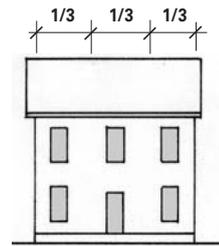
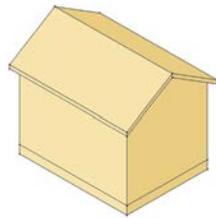
Photo Credit: AT Design Consulting / William Lyon Homes

## MASSING AND COMPOSITION

### A TWO-STORY SIDE GABLE

Side-gabled rectangular volume, often with a steeply-pitched, gabled dormer flush to the front facade. Front gable roof pitch is typically 3 to 12 in 12, and the side gable is less steeply pitched, typically 4 to 10 in 12. One- or two-story front porches often extend across the full front of the house.

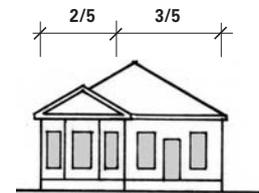
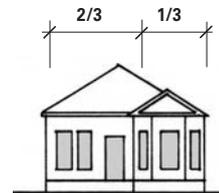
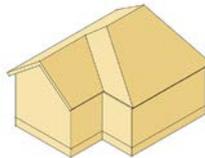
#### A TWO-STORY SIDE GABLE



### B ONE-AND-ONE-HALF-STORY HIP L

One-and-one-half-story hipped volume with a one-story front or hipped gable extending beyond the main body. Roof pitches are typically 3 to 12 in 12. One-story integral or shed porches are most common.

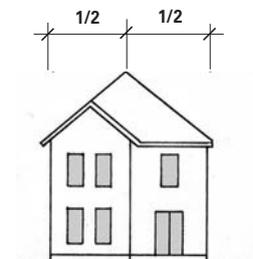
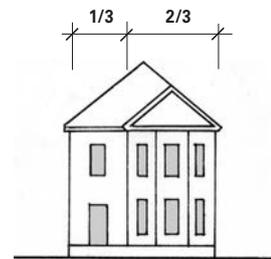
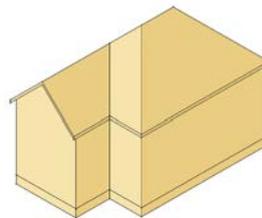
#### B ONE-AND-ONE-HALF-STORY HIP L



### C TWO-STORY HIP L

Two-story rectangular volume with hipped roof and a front gable which can extend beyond the front facade of the main body a maximum of 3 feet. Roof pitch is typically 3 to 12 in 12. A one- or two-story front wraparound porch with shed roof is common.

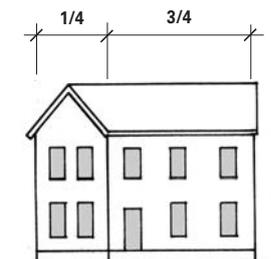
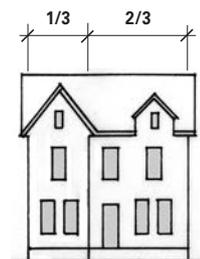
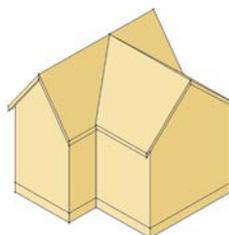
#### C TWO-STORY HIP L



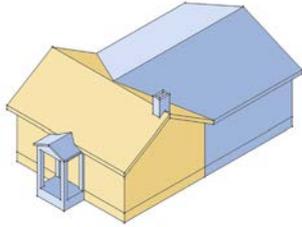
### D GABLE L

Cross-gabled volume with a 3 to 12 in 12 gable facing the street. Cross-gable is typically equal or steeper than the roof of the primary mass and no wider than half that of the main body. This massing often has a gable porch emphasizing the entrance.

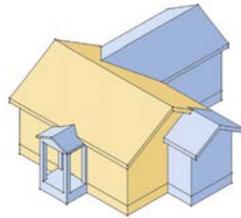
#### D GABLE L



Note: In general, main roof pitches are 5 to 8 in 12 and secondary roof pitches are 3 to 9 in 12.



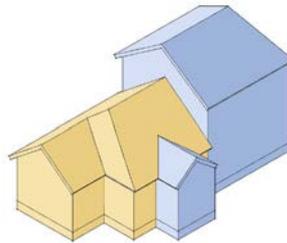
**A1** Broad front with large rear wing, a chimney centered on gable ridge and a centered entry porch



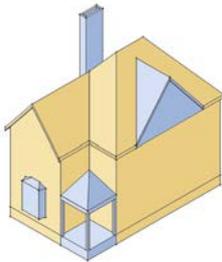
**A2** Broad front with rear wing, a side wing and a centered entry porch



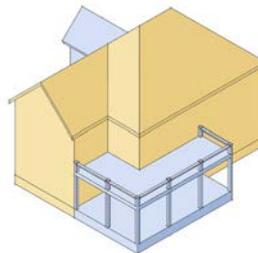
**B1** One-story hip L with street-facing bay window and hipped-roof entry porch



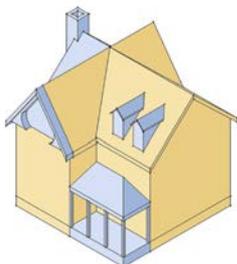
**B2** One-story hip L with a side wing and two-story rear wing



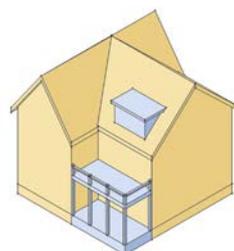
**C1** Two-story hip L with side-facing gable dormer, a street-facing bay window, a chimney, and a hipped-roof entry porch



**C2** Two-story hip L with a two-story wraparound porch, and a side wing



**D1** Gable L with continuous cross gable and chimney, double street-facing dormers, hipped-roof entry porch, and glazing with street-facing projecting gable



**D2** Gable L with continuous shed dormer and flat-roof entry porch



POSSIBILITIES

PRECEDENTS

TWO-STORY SIDE GABLE



ONE-AND-ONE-HALF-STORY HIP L



TWO-STORY HIP L



GABLE L



## MATERIALS

### SIDING/CLADDING

- » Board and batten, wood, or fiber-cement clapboard

### ROOFING

- » Composite shingles
- » Flat concrete tile

### WINDOWS

- » Single- or double-hung
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

### TRIM

- » Wood, composition board, cellular PVC, or polyurethane

### COLUMNS

- » Turned or built-up wood, or composite

### RAILINGS

- » Wood or composite top and bottom rails with straight, turned, or scroll cut balusters

### SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, or exterior-grade plywood

### GUTTERS

- » Half-round primed or prefinished metal
- » PVC is acceptable in a color that matches the trim
- » Fascia gutter permitted

### DOWNSPOUTS

- » Round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches the trim

### SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite material, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

### CHIMNEYS

- » Manufactured stone or brick veneer or siding to match house

### FRONT YARD FENCES

- » Wood picket, prefinished metal, or stone
- » Vinyl picket permitted

### REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

## COLORS

Colors to be selected from the approved Ellis Color Palette. The Ellis Color Palette includes a minimum of three colors for each house: main body, trim, and accent.

# AVENUES REVIVAL

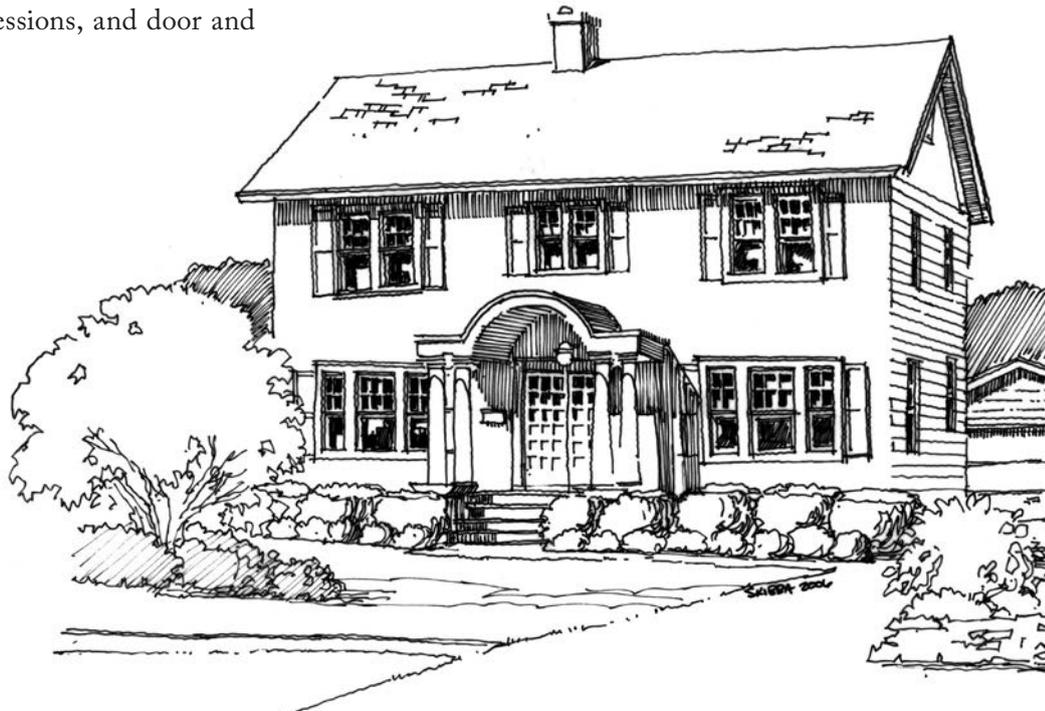
The Avenues Revival style is based upon Colonial Revival styles that were prevalent throughout the country in the early 1900s. The Colonial Revival style is evident in many California towns and cities. Interesting examples of this style can be found in the Central Valley area including regional precedents in places like Stockton, Concord, Antioch, and Livermore.

The Colonial Revival style is based on Classical style design principles followed during the colonial period in this country. The interpretations, however, often reflect regional adaptations. The California examples include many houses with full front porches as well as Dutch Colonial renditions.

The houses are composed of simple forms with well-proportioned windows and door surrounds. These are often more horizontal in appearance with special windows appearing in the center of the house over the front door. Stockton area Colonial Revival houses typically emphasize the horizontal proportions with square, robust columns, wide corner boards, pilaster expressions, and door and window trim.

## COMMON ELEMENTS OF AVENUES REVIVAL

- » Simple, straightforward volumes with projecting wings and porches added to make more complex shapes.
- » An orderly, symmetrical relationship between windows, doors, and building mass.
- » Simplified versions of Classical style details and columns, occasionally with Classical orders used at the entry.
- » Multi-pane window appearance with six-pane patterns.
- » Strong horizontal lines emphasized by broad eaves and wide trim.



# GALLERY OF EXAMPLES



Photo Credit: Baum Blown Custom Homes



Photo Credit: Overmyer Architects



Photo Credit: Prestige Window Systems



Photo Credit: Michelle Marsam



Photo Credit: Chris Little / Peace Design



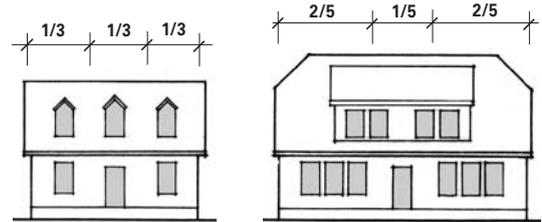
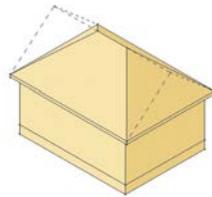
Photo Credit: James Hardie

## MASSING AND COMPOSITION

### A ONE-AND-ONE-HALF-STORY SIDE GABLE AND HIP

Side-gabled or hipped rectangular volume. Hip roof pitch is typically 4 to 10 in 12. Dormer windows and shed roofs are often present in the roof form. Porches are additive structures that may cover all or part of the front facade.

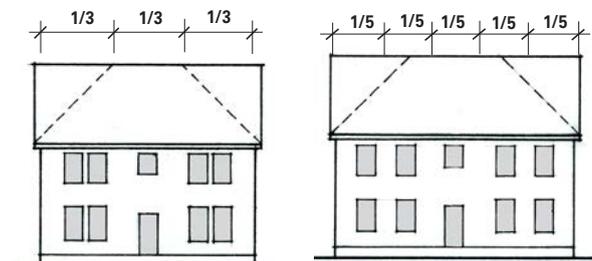
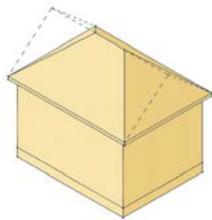
#### A ONE-AND-ONE-HALF-STORY SIDE GABLE AND HIP



### B TWO-STORY HIP

Hipped rectangular volume. Hip roof pitch is typically 4 to 10 in 12. One-story hipped front porches are common and have a shallower roof pitch. Porches vary between covering the full facade and defining the central portico.

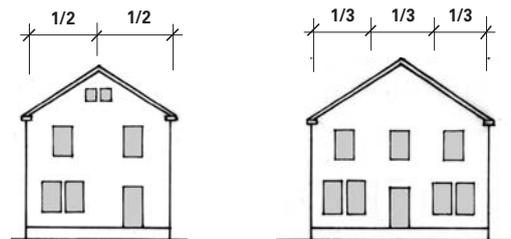
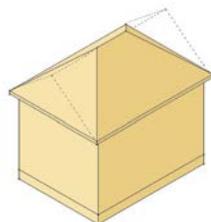
#### B TWO-STORY HIP



### C TWO-STORY FRONT GABLE

Front-gabled rectangular volume. Gable roof pitches range from 4 to 10 in 12. As with other massing, stoops and hipped front porches are common. Porches are most often one-story. Integral two-story porches are reserved for front-gabled houses no greater than 30 feet wide.

#### C TWO-STORY FRONT GABLE

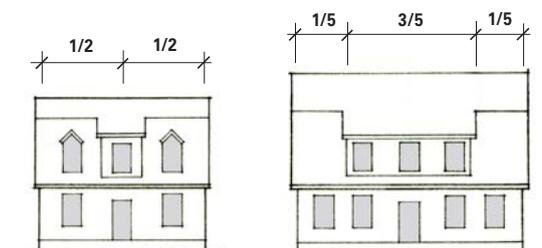
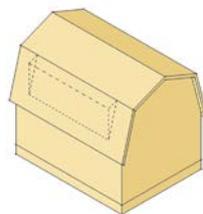


### D ONE-AND-ONE-HALF-STORY GAMBREL

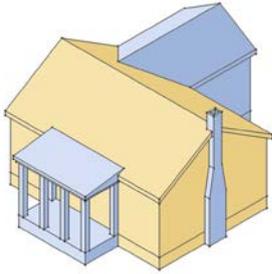
*(Not required, but possible accent articulation)*

Rectangular volume with a gambrel roof parallel to the street. Roof pitch is nearly vertical on the lower slope and 4 to 6 in 12 at the top. One-story temple front porches centered on the facade extending one-third to one-fourth of the front are typical. Shed roofs are present in the bottom portion of the gambrel roof and dormer windows are also common.

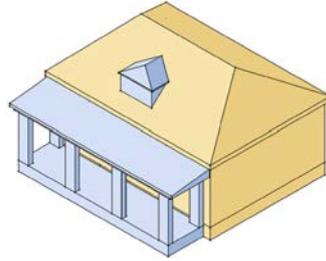
#### D ONE-AND-ONE-HALF-STORY GAMBREL



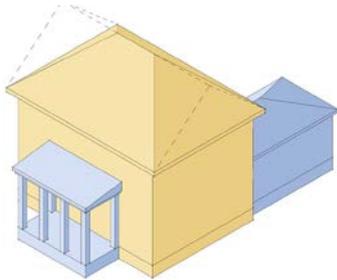
Note: In general, main and secondary roof pitches are 4 to 10 in 12.



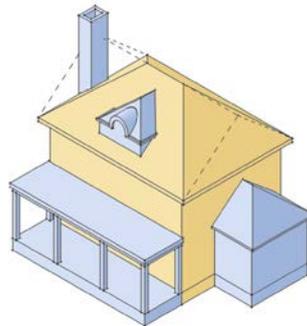
**A1** Broad front with add-on porch, a rear wing, and a fireplace



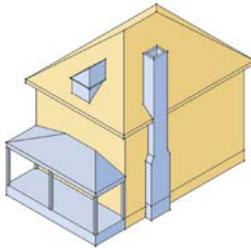
**A2** Broad front hipped roof with add-on full front porch and dormer window



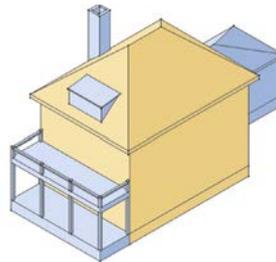
**B1** Broad front hipped roof with add-on central porch and hipped rear wing



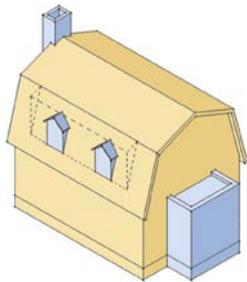
**B2** Broad front hipped roof with add-on full front porch, a side wing, a central hipped dormer, and a fireplace



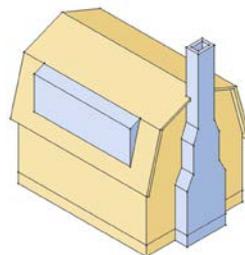
**C1** Narrow front hipped roof with add-on full front porch, a central dormer, and a fireplace



**C2** Narrow front hipped roof with add-on full front porch, a central shed dormer, a rear wing, and a fireplace



**D1** Broad front gambrel with dormers, a roofed side wing, and a fireplace



**D2** Broad front gambrel with a broad shed dormer and a prominent fireplace



POSSIBILITIES

PRECEDENTS

ONE-AND-ONE-HALF-STORY  
SIDE GABLE AND HIP



TWO-STORY HIP



TWO-STORY FRONT GABLE



ONE-AND-ONE-HALF-STORY  
GAMBREL



## MATERIALS

### SIDING/CLADDING

- » Fiber-cement clapboard or stucco
- » Lace finish not permitted

### ROOFING

- » Composition shingles or concrete tile with flat profile

### WINDOWS

- » Single- or double-hung and casement
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

### TRIM

- » Stucco, wood, composition board, cellular PVC, polyurethane, or fiber cement

### COLUMNS

- » Wood, or composite with Classical entasis and proportions
- » Use Tuscan, Doric, or Ionic orders

### RAILINGS

- » Wood or composite top and bottom rails with square balusters

### SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, exterior-grade plywood, or stucco

### GUTTERS

- » Ogee or half-round
- » Primed or prefinished metal

- » PVC is acceptable in a color that matches trim
- » Fascia gutter permitted

### DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches trim or stucco cladding

### SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite materials, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

### CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match house

### FRONT YARD FENCES

- » Painted wood, prefinished metal, stone, masonry, or stucco finish (if applicable)
- » Vinyl picket also permitted

### REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

## COLORS

Colors to be selected from the approved Ellis Color Palette. The Ellis Color Palette includes a minimum of three colors for each house: main body, trim, and accent.

# AVENUES EUROPEAN COUNTRY

The Avenues European Country Style is based on the early twentieth century interpretations of English architecture by American architects and builders. The source for design comes from Medieval English cottages, manor houses, and rural village vernacular houses. The American interpretations include houses with simple volumes often with front-facing gables. Dormers — gable, hip, and shed — are a dominant feature of the style. In California, the principal material for the exterior cladding is stucco. There is often a mix of exterior materials including stone, stucco or brick. Half-timbering and horizontal siding are often used as infill in gables.

Chimneys typically act as principal forms for the massing of the house. These are usually very massive, often with stucco finish, simple detailing and chimney pots. Windows are typically casements, vertical in proportion and arranged in groups of from two to five. There are relatively few windows in the facade; the dominant form is one of a solid mass with small openings.

## COMMON ELEMENTS OF AVENUES EUROPEAN COUNTRY

- » Seemingly random window and door locations.
- » Vertical windows in groupings.
- » Broad expanses of wall with few door and window penetrations.
- » Roof lines extending below windows at second floor, and to top of window at first floor.
- » Simple detailing and shallow overhangs.



# GALLERY OF EXAMPLES



Photo Credit: Tommy Daspur / Willow Homes



Photo Credit: Amanda Orr Architects



Photo Credit: Michael Woodall



Photo Credit: Frazer Home Designs



Photo Credit: AT Design Consulting



Photo Credit: Unknown



Photo Credit: Gunnar & Grace



Photo Credit: AT Design Consulting

## MASSING AND COMPOSITION

### A TWO-STORY BASIC

Rectangular two-story volume with an 4 to 10 in 12 roof pitch. Cross gable entry piece in 3 to 16 in 12. Only one cross gable permitted, often expressed in plan.

### B TWO-STORY ASYMMETRICAL GABLE-FRONT L

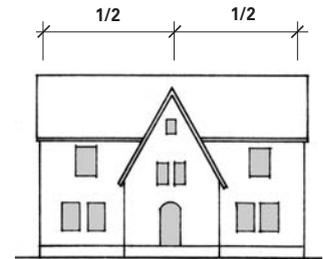
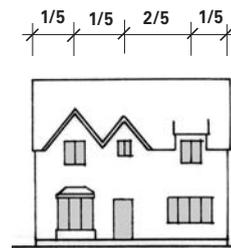
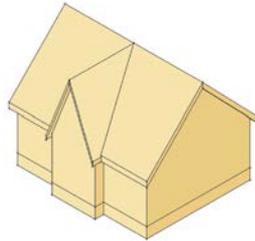
Rectangular two-story volume with a main body roof of 4 to 12 in 12 with either a gable or a hipped roof. Cross-gable volume with a 3 to 16 in 12 roof. Cross gable is asymmetrical and contains an inset entry porch. At times, the roof may transition to a shallower pitch over the entry porch.

### C SIDE GABLE WITH DOMINANT CROSS-GABLE

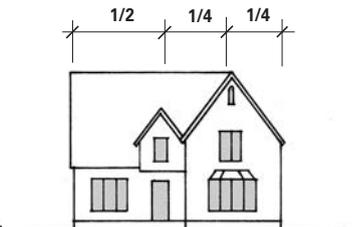
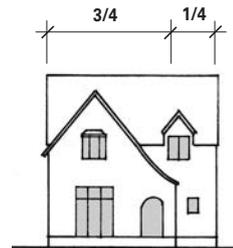
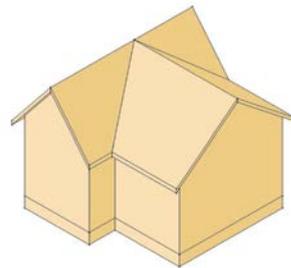
Rectangular two-story volume with a 4 to 10 in 12 roof pitch. One dominant cross gable organizes composition with a 3 to 16 in 12 pitch. Secondary and tertiary gables in the primary roof mass, or as dormers, are common. Element roof may be gable, hip, or partial hip. Front entry is often inset into building mass.

Note: In general, main roof pitches are 5 to 9 in 12 and secondary roof pitches are 3 to 9 in 12.

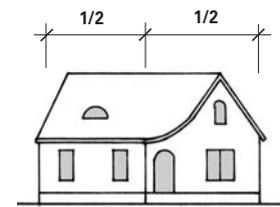
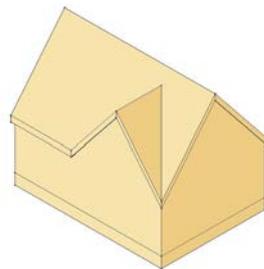
### A TWO-STORY BASIC

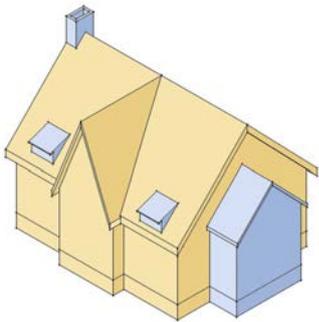


### B TWO-STORY ASYMMETRICAL GABLE-FRONT L

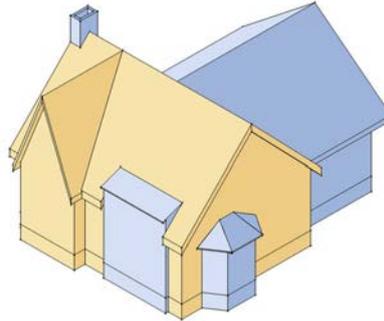


### C SIDE GABLE WITH DOMINANT CROSS-GABLE

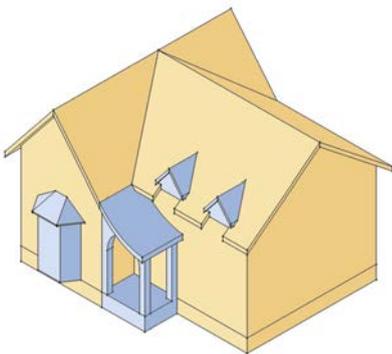




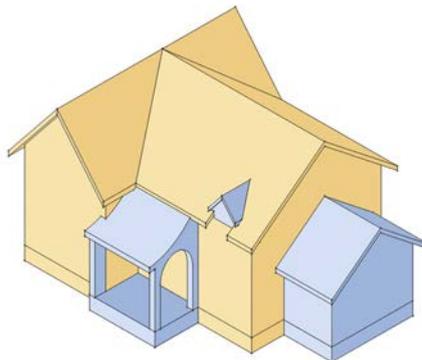
**A1** Side gable with symmetrically placed dormers, a chimney centered on the gable ridge and a side wing



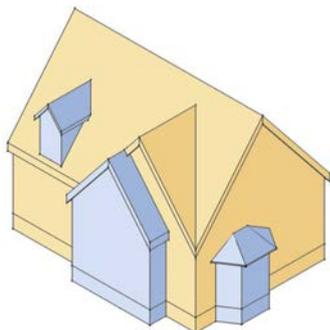
**A2** Side gable with off-center cross gable, street-facing dormer, a chimney centered on the gable ridge, a side bay window, and rear wing



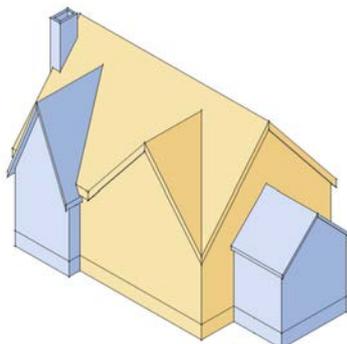
**B1** Side gable L with street-facing bay window, street-facing dormers and inset entry porch



**B2** Side gable L with street-facing dormer, a side wing and entry porch



**C1** Side gable with nested street-facing gable, a street-facing dormer and side bay window



**C2** Side gable with multiple street-facing gables, a chimney placed off-center of gable and a side wing



POSSIBILITIES

PRECEDENTS

TWO-STORY BASIC



TWO-STORY ASYMMETRICAL GABLE-FRONT L



SIDE GABLE WITH DOMINANT CROSS-GABLE



## MATERIALS

### SIDING/CLADDING

- » Fiber-cement clapboard or stucco
- » Half-timbering for second-story accents

### ROOFING

- » Composition shingles, concrete tile with flat profile, or manufactured slate

### WINDOWS

- » Single- or double-hung and casement
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

### TRIM

- » Stucco, wood, composition board, cellular PVC, cast stone, polyurethane, or fiber cement

### COLUMNS

- » Wood or composite

### RAILINGS

- » Ornamental metal preferred
- » Wood or composite top and bottom rails with square balusters

### SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, exterior-grade plywood, or stucco

### GUTTERS

- » Ogee or half-round
- » Primed or prefinished metal
- » PVC is acceptable in a color that matches trim
- » Fascia gutter permitted

### DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches trim or stucco cladding

### SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite materials, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

### CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match house

### FRONT YARD FENCES

- » Painted wood, prefinished metal, stone, masonry, or stucco finish

### REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

## COLORS

Colors to be selected from the approved Ellis Color Palette. The Ellis Color Palette includes a minimum of three colors for each house: main body, trim, and accent.

# AVENUES MEDITERRANEAN REVIVAL

The Mediterranean Revival style draws on the distinctive architectural character of the Monterey Peninsula as influenced by the popular California Spanish Colonial style. The style dates back to the early nineteenth century. The first revival started around 1925 amidst a very popular renaissance of Spanish architectural forms throughout the region. The Mediterranean style emerged from Spanish adobe precedents that date between 1815 and 1860. This style combines traditional adobe construction, local to this region, with Spanish Colonial influences. The result is a distinctive architectural vocabulary, characterized by simple forms with wooden decorative details. These houses used Colonial window and door detailing borrowed from New England carpentry techniques and added a rustic timber porch with exposed rafters and joists. The roofs had a very shallow pitch, either gabled or hipped, and were covered with clay tiles or cut wooden shingles.

The signature balcony on the front of the house was a prelude to the porch that often surrounded or defined a private courtyard in the back of the house. The detailing on the porches and the cornice is extremely simple.

## COMMON ELEMENTS OF AVENUES MEDITERRANEAN REVIVAL

- » Simple, straightforward volumes, sometimes with a gable wing facing the street.
- » Shallow sloped roofs, either hip or gable, with shingles and tile.
- » Typically two-story.
- » Simplified versions of double-hung Colonial windows and doors.
- » Multi-pane window appearance, wide in proportion, usually with 4 over 4 or 6 over 6 pane patterns.
- » Street facing, projecting timber balconies or inset porches with exposed rafters.



# GALLERY OF EXAMPLES



Photo Credit: AT Design Consulting



Photo Credit: CRMLS



Photo Credit: Irvine Company



Photo Credit: Studio One Design



Photo Credit: AT Design Consulting

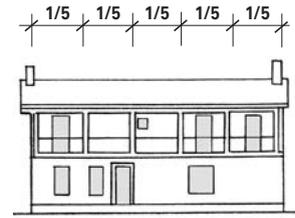
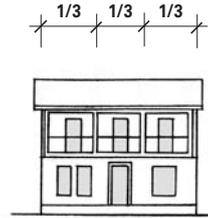
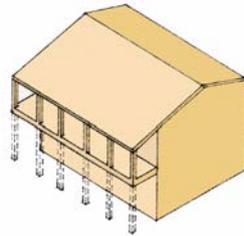


## MASSING AND COMPOSITION

### A TWO-STORY SIDE GABLE

Rectangular volume with a 3 to 6 in 12 roof pitch and gable or hip parallel to the street. Second floor, full-front projecting balconies or two-story full-front porches are encouraged with this massing.

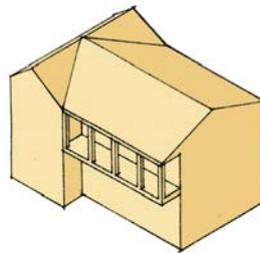
#### A TWO-STORY SIDE GABLE



### B TWO-STORY CROSS-GABLE

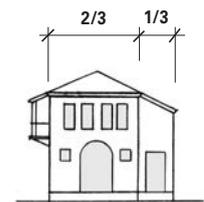
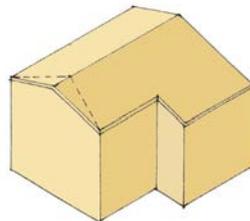
Cross-gabled volume with a 3 in 12 gable or hip facing the street. The width of the bay facing the street is typically two-fifths that of the main body. Often an in-line gabled or hipped wing added to the front leg of the L. Cantilevered balconies are encouraged.

#### B TWO-STORY CROSS-GABLE

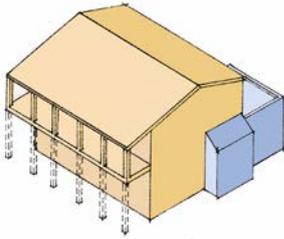


C TWO-STORY FRONT GABLE L  
L-shaped volume perpendicular to the street with second-story cantilevered side porch. Hipped and gabled roofs with a 3 in 12 pitch are both permitted.

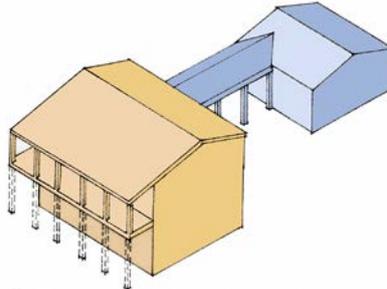
#### C TWO-STORY FRONT GABLE L



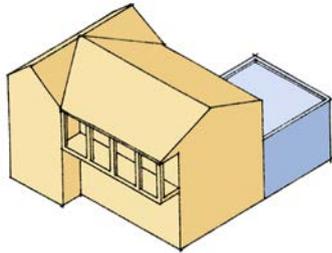
Note: In general, main and secondary roof pitches are 3 to 6 in 12.



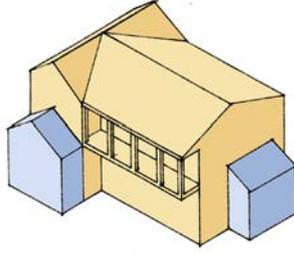
**A1** Two-story side gable with a rear wing and a fireplace



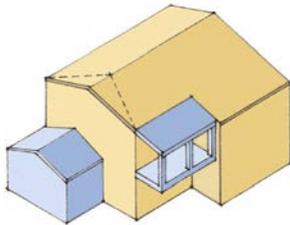
**A2** Two-story side gable with loggia connecting to garage



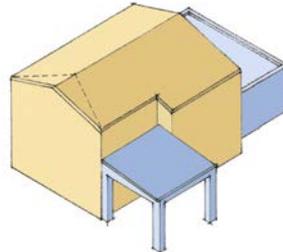
**B1** Two-story cross-gable with rear wing added



**B2** Two-story cross-gable with a front projecting bay and a bay window



**C1** Two-story front gable L with add-on entry bay and a cantilevered side porch



**C2** Two-story front gable L with a rear wing and a port cochère



POSSIBILITIES

PRECEDENTS

TWO-STORY SIDE GABLE



TWO-STORY CROSS-GABLE



TWO-STORY GABLE FRONT L



## MATERIALS

### SIDING/CLADDING

- » Stucco and optional second floor wood or fiber-cement clapboard
- » Lace finish not permitted

### ROOFING

- » Concrete tile in flat or barrel profile, multiple stacked tile at eaves.
- » Architectural asphalt shingles also permitted

### WINDOWS

- » Single or double-hung, casement, and picture units, energy-efficient wood, PVC clad, aluminum-clad, cellular PVC, aluminum or vinyl with traditional wood profiles

### COLUMNS

- » Stucco or composite

### BALCONIES

- » Wood, corbelled stucco with metal railings, or fiber cement

### RAILINGS

- » Wood or fiber cement top and bottom rails with square or turned balusters

### EAVES

- » Starter board or v-groove sheathing

### EXTERIOR CEILINGS

- » Plank and beam, or stucco

### GUTTERS

- » Half-round metal or PVC
- » Fascia gutter also permitted

### DOWNSPOUTS

- » Round metal or PVC

### SHUTTERS

- » Raised or flat panel, louvered, or plank, in wood or composite material or a colored vinyl

### CHIMNEYS

- » Stucco

### FRONT YARD FENCES

- » Masonry with stucco finish, wrought iron accents permitted
- » Wrought iron or aluminum permitted

### REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

## COLORS

Colors to be selected from the approved Ellis Color Palette. The Ellis Color Palette includes a minimum of three colors for each house: main body, trim, and accent.

# AVENUES SPANISH COLONIAL

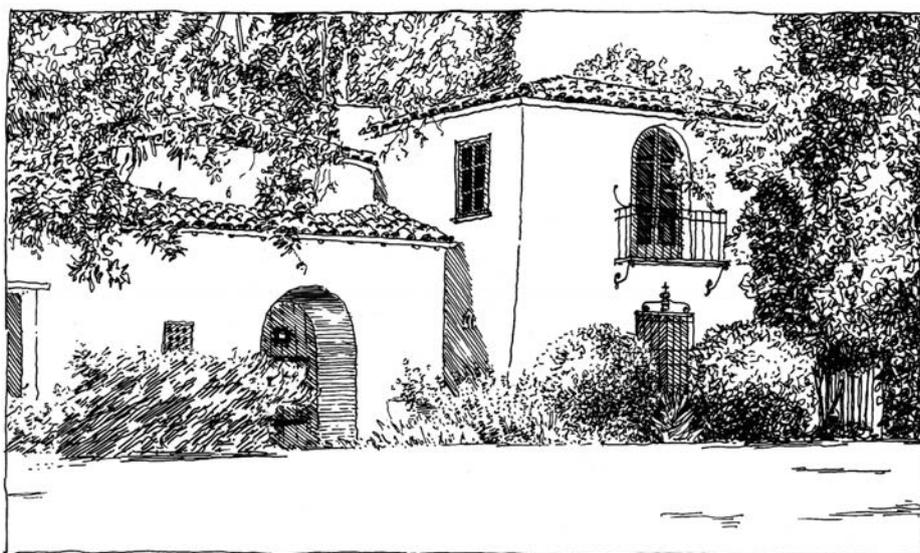
California houses of the 1920s and 1930s were designed in a wide variety of styles, yet the Spanish Revival style was by far the most popular due to its early association with the region, its adaptability to the local landscape and climate, and its charm and character. A major impetus for revival of Spanish architecture came from Bertram Goodhue's designs for the 1915 Pan Pacific Exposition in San Diego.

The Spanish Colonial style is a catalog of styles, unified by the use of arches, courtyards, strong form and mass, plain wall surfaces, and tile roofs; all are derived from Mediterranean architectural styles. Spanish Colonial style is most often characterized by an informal plan arrangement and massing.

Spanish-style houses typically have low, long spreading sweeps of wall with a minimum of penetration (constructed so as to have the appearance of thick masonry). They also have tiled, low pitched roofs (to accentuate the horizontal character); covered patios, loggias, or cloisters; and substantial doors. In a Spanish-style house, most of the effect comes from a correct use of proportion and a spare, well-placed use of ornament. The house's fundamental charm lies in the contrast of warm sunlight and cool shadows (light and shade), in the use of materials, in texture and color, and in its austere simplicity.

## COMMON ELEMENTS OF AVENUES SPANISH COLONIAL

- » Stucco walls with a handmade/formed appearance.
- » Shallow sloped, tile roofs in variegated colors.
- » Irregular window and door composition.
- » Covered porches and loggias.
- » Balconies with decorative ironwork.



# GALLERY OF EXAMPLES



Photo Credit: AT Design Consulting



Photo Credit: PhotoTours, Inc.



Photo Credit: AT Design Consulting

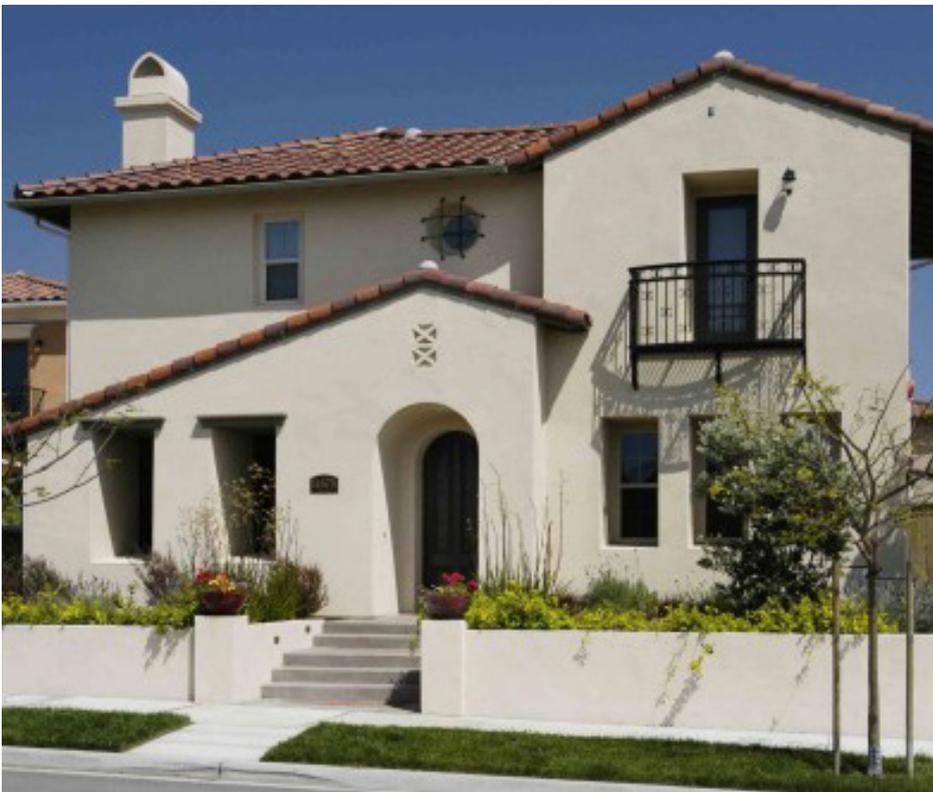


Photo Credit: Design Lens



Photo Credit: Chad Mellon



Photo Credit: P. Cooper Photography / The New Home Company

## MASSING AND COMPOSITION

### A TWO-STORY SIDE GABLE

Rectangular volume with a 3 in 12 roof pitch and gable or hip parallel to the street. Inset patios on first floor are common.

### B ONE-STORY FRONT GABLE L

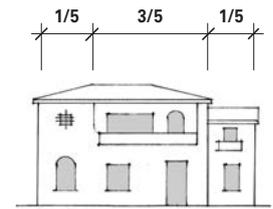
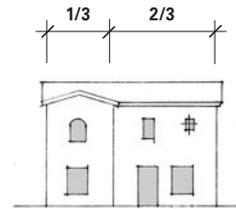
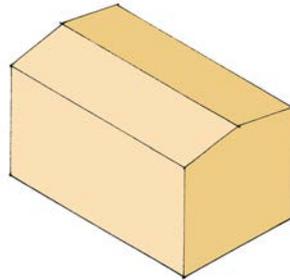
One- or two-story main body with a 3 in 12 roof pitch, and a one-story projecting wing with a gable which faces the street. Inset loggias are encouraged.

### C TWO-STORY FRONT GABLE L

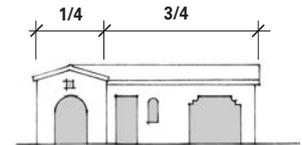
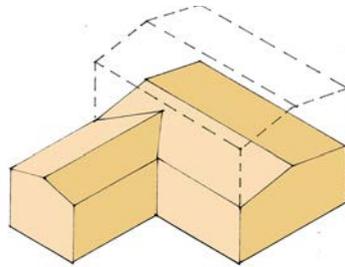
One- or two-story main body with a 3 in 12 roof pitch, and a two-story projecting wing with a gable which faces the street. The width of the street-facing bay is typically two-fifths that of the main body. Inset patios or loggias are encouraged.

Note: In general, main roof pitches are 4 to 5 in 12 and secondary roof pitches are 3 to 5 in 12.

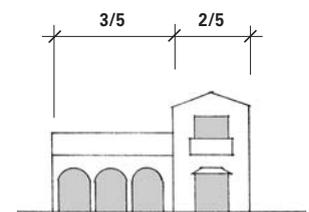
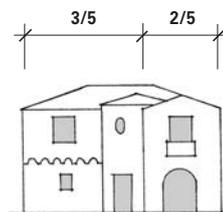
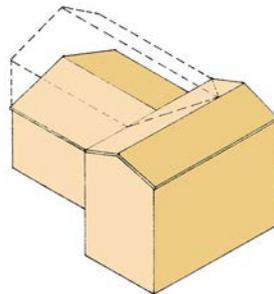
### A TWO-STORY SIDE GABLE

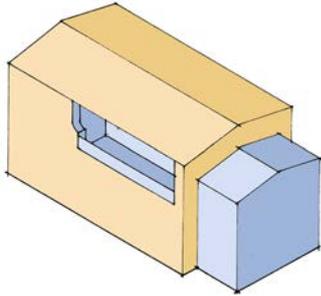


### B ONE-STORY FRONT GABLE L

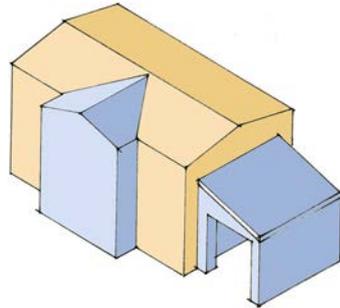


### C TWO-STORY FRONT GABLE L

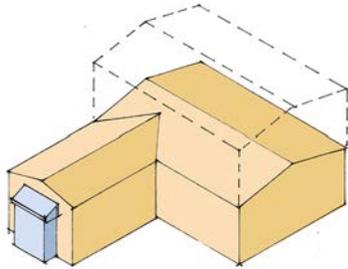




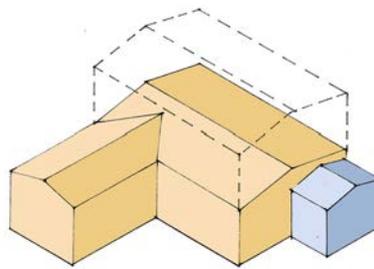
**A1** Two-story side gable with inset porch and attached side wing



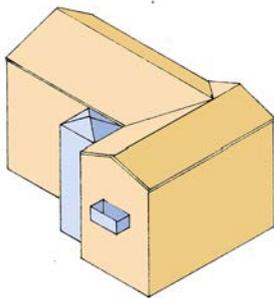
**A2** Two-story side gable with attached side garage and two-story central bay



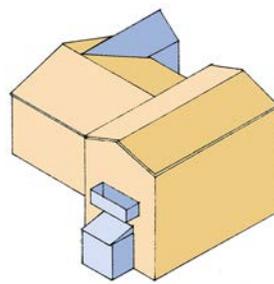
**B1** One-story front gable L with side wing attached off-center



**B2** One-story front gable L with protruding entry piece



**C1** Two-story front gable L with street-facing balcony and a tower at the intersection of the L



**C2** Two-story front gable L with street-facing window and balcony, and additional rear wing



POSSIBILITIES

PRECEDENTS

TWO-STORY SIDE GABLE



ONE-STORY FRONT GABLE L



TWO-STORY FRONT GABLE L



## MATERIALS

### SIDING/CLADDING

- » Stucco with handmade/formed appearance; skip-trowel not allowed

### ROOFING

- » Terra cotta barrel tile
- » Multiple stacked tile at eaves

### WINDOWS

- » Energy-efficient wood, PVC clad, aluminum-clad, or aluminum
- » True divided light appearance ( $\frac{3}{4}$ -inch horizontal exterior muntins)
- » Grilles shall be solid stock or wrought iron

### COLUMNS AND ARCHES

- » Stucco (square, rectangular, or round), or round cast stone/concrete

### EXTERIOR STAIRS

- » Terra cotta pavers for treads with stucco or decorative tile
- » Risers, sloped or stepped stucco walls as guard-railing. Solid-stock metal rails with a wrought iron appearance are also permitted.

### BALCONIES

- » Metal with a wrought iron appearance or stucco with metal railings

### EAVES

- » V-groove sheathing with wood appearance
- » Open eaves with wood appearance for rafter tails and soffit
- » Stucco molded eaves are permitted.

### EXTERIOR CEILINGS

- » Plank and beam

### GUTTERS

- » Half-round metal or PVC

### DOWNSPOUTS

- » Round metal or PVC

### SHUTTERS

- » Flat paneled
- » Plank
- » Wrought iron hinges, shutter dogs encouraged

### CHIMNEYS

- » Stucco with handmade/formed appearance

### FRONT YARD FENCES

- » Prefinished metal, or masonry

### REAR YARD FENCES

- » Painted wood, prefinished metal, or masonry

## COLORS

Colors to be selected from the approved Ellis Color Palette. The Ellis Color Palette includes a minimum of three colors for each house: main body, trim, and accent.

## PHOTOVOLATIC PANEL GUIDELINES

Photovoltaics may be used in the community. Multiple application techniques are possible:

### A ROOF MOUNT

Photovoltaics are mounted a few inches above the roof structure, during the initial installation of the roof. Choices about where to site panels are based on building orientation, surface pitch.

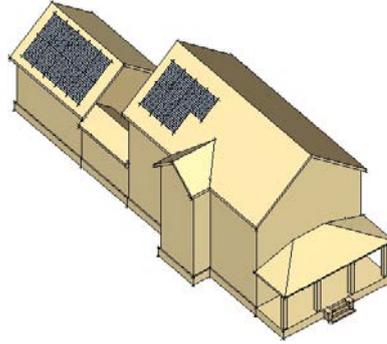
### B BUILDING INTEGRATED PV ARRAY (BIPV)

Applications of photovoltaic panels may be integral to the building system. Roof materials with PV cells can replace traditional roofing materials, as long as they are stylistically appropriate.

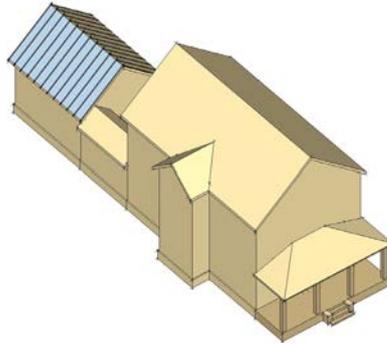
### C SHADE STRUCTURE

Photovoltaic panels may be applied to roof shade structures on private lots or in public parks and spaces. The application may be either mounted or integral.

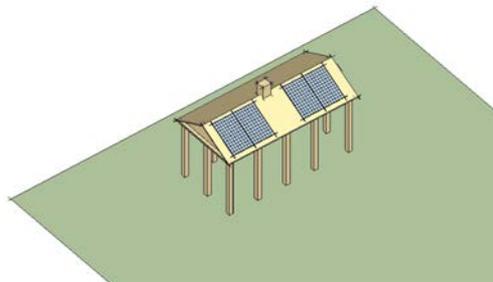
#### A ROOF MOUNT



#### B BUILDING INTEGRATED PV ARRAY (BIPV)



#### C SHADE STRUCTURE



The graph to the right shows the optimal building orientation and photovoltaic panel pitch to maximize electrical energy generation

	Flat	4:12	7:12	12:12	21:12	Vertical
South						
SSE, SSW						
SE, SW						
ESE, WSW						
East/West						



DESIGN CONSIDERATIONS

- » Place panels on southern-most facing roof surfaces whenever possible for optimal efficiency. Pitch of roof determines optimal solar capture (see chart on page 2|40).



DESIGN CONSIDERATIONS

- » Material replacement can include standing seam metal, masonry tiles, and shingles
- » Color and material should be follow guidelines for each style



DESIGN CONSIDERATIONS

- » Wiring underneath panels must be carefully concealed
- » Vines and plantings must be trimmed and kept separate from wiring
- » May include shading devices over rear or side porches



# AVENUES

AVENUES  
TRACY, CALIFORNIA

AVENUES  
ADDITIONAL LANDSCAPE FEATURES/CHARACTER ELEMENTS  
AND SIGN PROGRAM

APPENDIX B2



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EXECUTIVE SUMMARY

AVENUES



# EXECUTIVE SUMMARY

AVENUES SIGN PROGRAM IS A DESIGN GUIDELINE FOR THE AVENUES.

PUBLIC PROPERTY SIGNS INCLUDE SIGNS IN THE PUBLIC RIGHT-OF-WAY, IN PUBLIC PARKS, AND ON PUBLIC PROPERTY, SUCH AS SPECIAL LANDSCAPE FEATURES.

PRIVATE PROPERTY SIGNS INCLUDE SIGNS ON PRIVATE PROPERTY.

ADDITIONAL LANDSCAPE FEATURES/CHARACTER ELEMENTS AND SIGNS IN THE AVENUES NEIGHBORHOOD PLAN AREA SHALL BE REGULATED BY TITLE 10, ARTICLE 35 OF THE TRACY MUNICIPAL CODE, EXCEPT AS SPECIFIED IN SECTIONS 3.1.4 AND 3.2.8.2 OF THE ELLIS SPECIFIC PLAN AND THIS APPENDIX B2: ADDITIONAL LANDSCAPE FEATURES/CHARACTER ELEMENTS AND SIGN PROGRAM. THE DESIGN OF ADDITIONAL LANDSCAPE FEATURES/CHARACTER ELEMENTS AND SIGNS SHALL BE PERMITTED AS SHOWN IN THE ELLIS SPECIFIC PLAN AND THIS APPENDIX B2. THE APPROVAL PROCESS SHALL INCLUDE ONLY A BUILDING PERMIT, AND A SIGN PERMIT PROCESSED IN ACCORDANCE WITH TITLE 10, ARTICLE 35 OF THE TRACY MUNICIPAL CODE. FOR PURPOSES OF INDEMNIFYING THE CITY, ALL TEMPORARY SIGNAGE AND BANNERS TO BE LOCATED WITHIN STREET RIGHT-OF-WAYS, AS APPROVED IN THE ESP, WILL REQUIRE ONE ALL-INCLUSIVE ENCROACHMENT PERMIT.

ALL SIGN MATERIALS AND COLORS TO BE SELECTED BY THE DEVELOPER EPOA TO SELECT MATERIALS AND COLORS AS SIGNS ARE REPLACED.



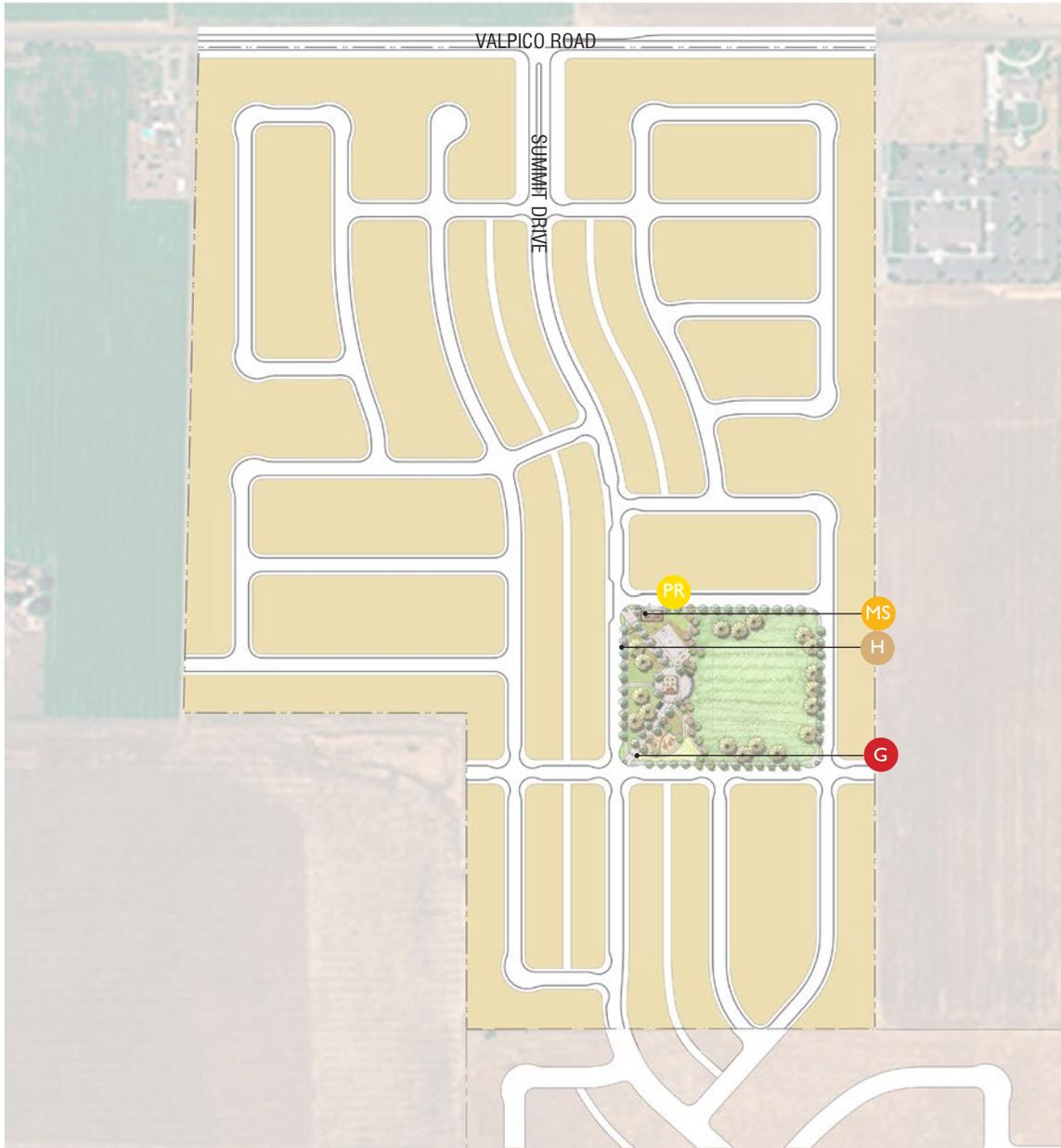
**SECTION 1: PUBLIC PROPERTY SIGNS**

**AVENUES**



# SIGN LOCATION PLAN

## OVERALL



- G SIGN TYPE G – ENTRY PORTAL
- H SIGN TYPE H – SIGN WALL
- MS MAILBOX SHADE STRUCTURE
- PR PARKING REGULATORY, LOCATIONS TBD

# SIGN LOCATION PLAN

## J SIGN TYPE J



SIGN TYPE J MESSAGE SCHEDULE



- |  |                |
|--|----------------|
| <b>SIDE A</b>  |                |
|  ^ CENTRAL PARK   | ^ AQUATIC PARK |
|  ^ VILLAGE CENTER | ^ DOG PARK     |
| <b>SIDE B</b>  |                |
|  | ^ VALPICO ROAD |

- |  |                |
|--|----------------|
| <b>SIDE A</b>  |                |
|  ^ VILLAGE CENTER | ^ AQUATIC PARK |
|  ^ WESTERN PARK   | ^ DOG PARK     |
| <b>SIDE B</b>  |                |
|  | ^ CENTRAL PARK |
|  | ^ VALPICO ROAD |

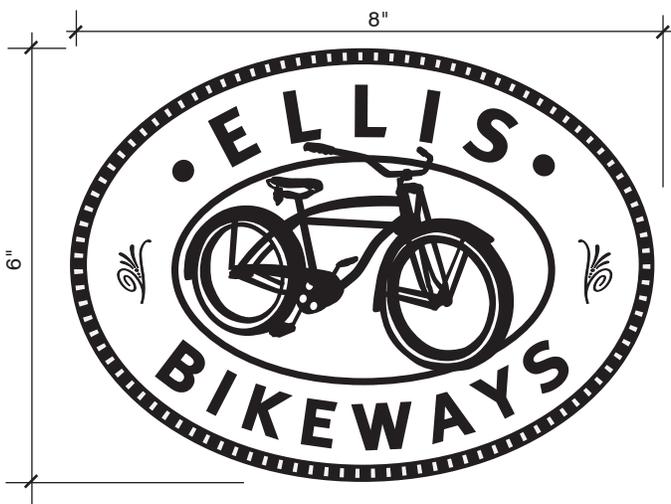
- |  |                |
|--|----------------|
| <b>SIDE A</b>  |                |
|  < CENTRAL PARK   | ^ AQUATIC PARK |
|  ^ VILLAGE CENTER | ^ DOG PARK     |
| <b>SIDE B</b>  |                |
|  | ^ VALPICO ROAD |

## SIGN TYPES J, K, AND Q

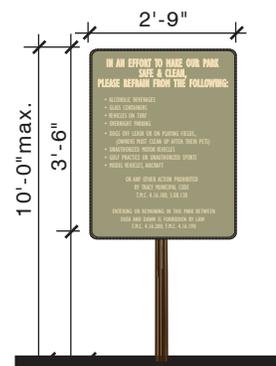
**Note:** All dimensions are approximate



- J SIGN TYPE J**
- SIGN STANDARDS**
- Height:** 9-10 feet
- Individual blade area:** 2 square feet, up to 3 per side
- Lighting:** Non-illuminated
- Location:** Public right-of-way (See Sign Location Plan: Sign Type J)



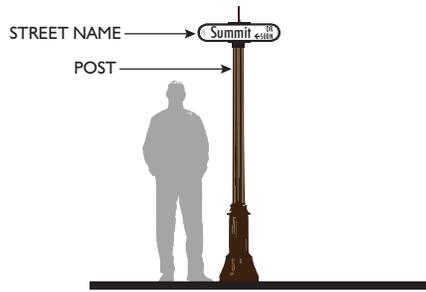
- SIGN TYPE K**
- Location:** Embedded in concrete of multi-use path, near crossings
- Material:** Metal



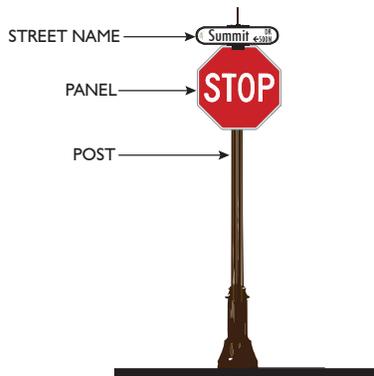
- Q SIGN TYPE Q**
- SIGN STANDARDS**
- Maximum height:** 10 feet
- Maximum sign area:** 10 square feet
- Lighting :** Non-illuminated
- Location:** Public right-of-way, special landscape features and parks. Locations TBD. No maximum number.

# STREET NAME SIGN & REGULATORY SIGNS

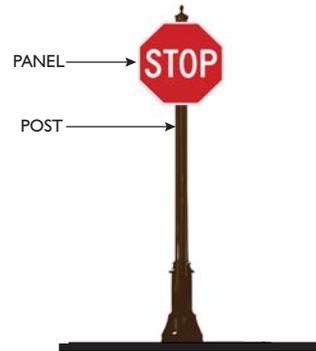
**Note:** All dimensions are approximate



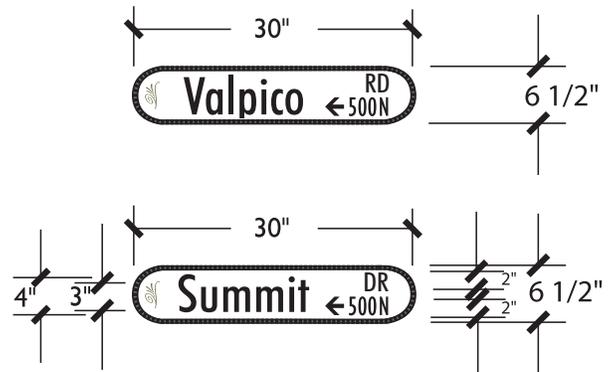
1. Post: 3900 RICHMOND, 4" OD shaft, fluted, dark bronze
2. Panel Support: Classic Cross (CC07) with Classic 2-Way (2W06, #2 Post Stacker (PS05)
3. Street Name Panel is .125 aluminum  
Vendor: Sherine Industries  
Background shall be reflective  
Custom artwork  
Color: White  
Font: Gill Sans MT Condensed  
Letters: Black



1. Post: 3900 RICHMOND, 4" OD Shaf, fluted, dark bronze
2. Panel Support: Classic Cross (CC07) with Classic 2-Way (2W06, #2 Post Stacker (PS05)  
All regulatory signs shall be attached to post with part SB, Sternberg, sign bracket
3. Street Name Panel: .125 aluminum  
Vendor: Sherine Industries  
Background panel shall be reflective  
Custom artwork  
Color: White  
Letters: Black
4. Panel: 30" min. stop sign by Hawkins Traffic. Panels to be consistent with MUTCD codes
5. Back panel color: Matthew's Paint MPC MP20308 Ancient Bronze Metallic



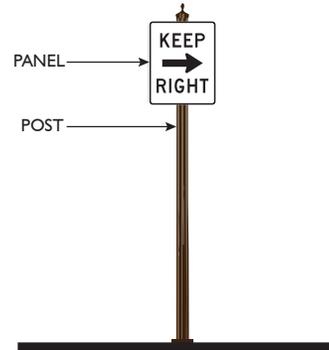
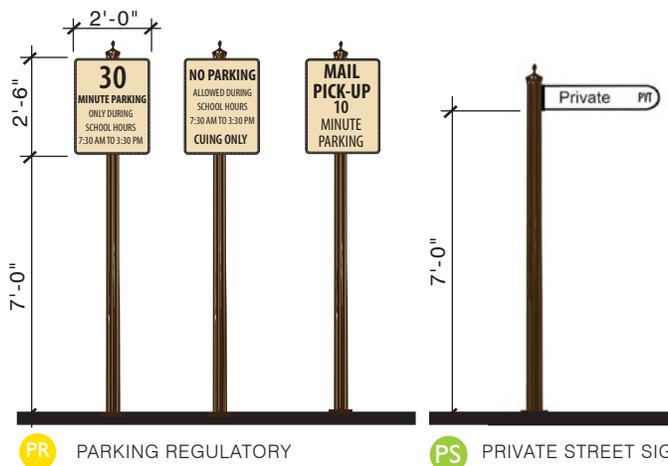
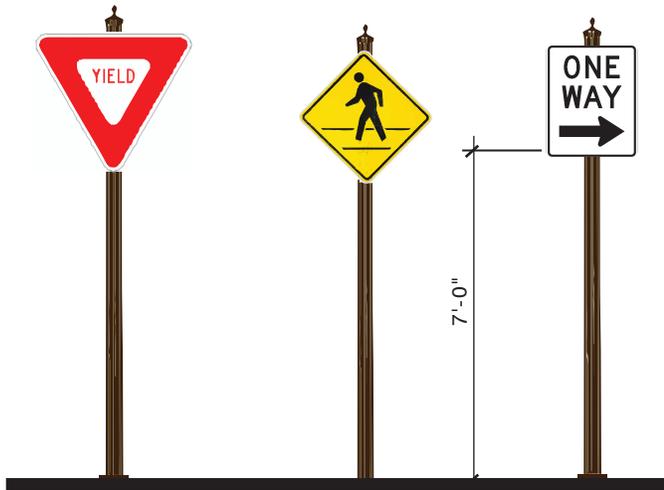
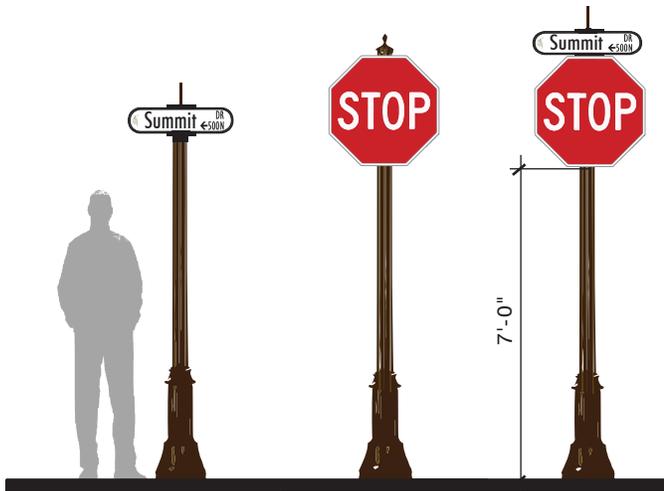
1. Post: 3900 RICHMOND, 4" OD Shaft, fluted, with BCC Ball Center Cap, dark bronze
2. Panel Support: All regulatory signs shall be attached to post with part SB, Sternberg, sign bracket
3. Panel: 30" min. stop sign by Hawkins Traffic  
Panels to be consistent with MUTCD codes
4. Back panel color: Matthew's Paint MPC MP20308 Ancient Bronze Metallic



SIGN PANEL SPECIFICATIONS

# STREET NAME SIGN & REGULATORY SIGNS

**Note:** All dimensions are approximate



REGULATORY SIGNAGE MAY INCLUDE:

- YIELD
- SPEED LIMIT
- KEEP RIGHT
- DO NOT ENTER
- ONE WAY SIGN
- ROUNDBOUT DIRECTIONAL, 2 CHEVRONS
- NO PARKING ANYTIME
- TURN
- YIELD AHEAD
- MERGE & LANE TRANSITION
- LANE ENDS
- THRU TRAFFIC MERGE LEFT
- PEDESTRIAN CROSSING
- CROSSWALK RIGHT/LEFT ARROW

1. Post: 450 LEXINGTON 4" OD shaft, fluted, with BCC Ball Center Cap, dark bronze

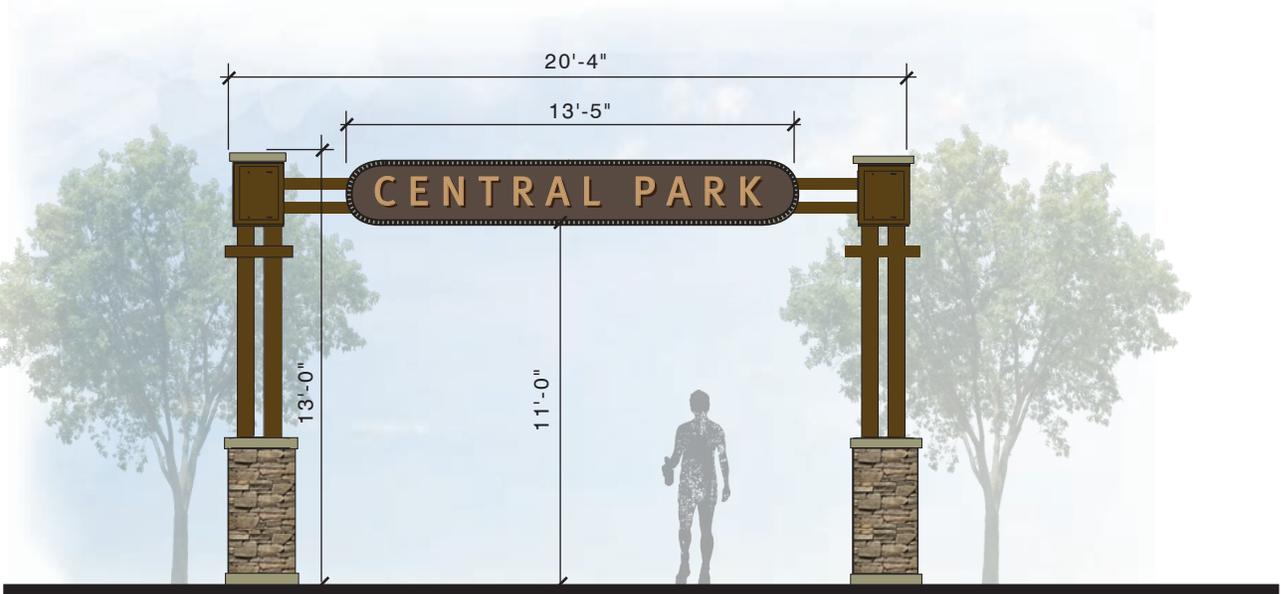
2. Panel Support: All regulatory signs shall be attached to post with part SB, Sternberg, sign bracket

3. Panel: by Hawkins Traffic  
Panels to be consistent with MUTCD codes

4. Back panel color: Matthew's Paint MPC  
MP20308 Ancient Bronze Metallic

## SIGN TYPES G AND H

- Notes:** 1. All dimensions are approximate  
 2. These sign types will be located in parks, per the Sign Location Plan, for the purpose of identifying the park.



### G ENTRY PORTAL – SIGN TYPE G

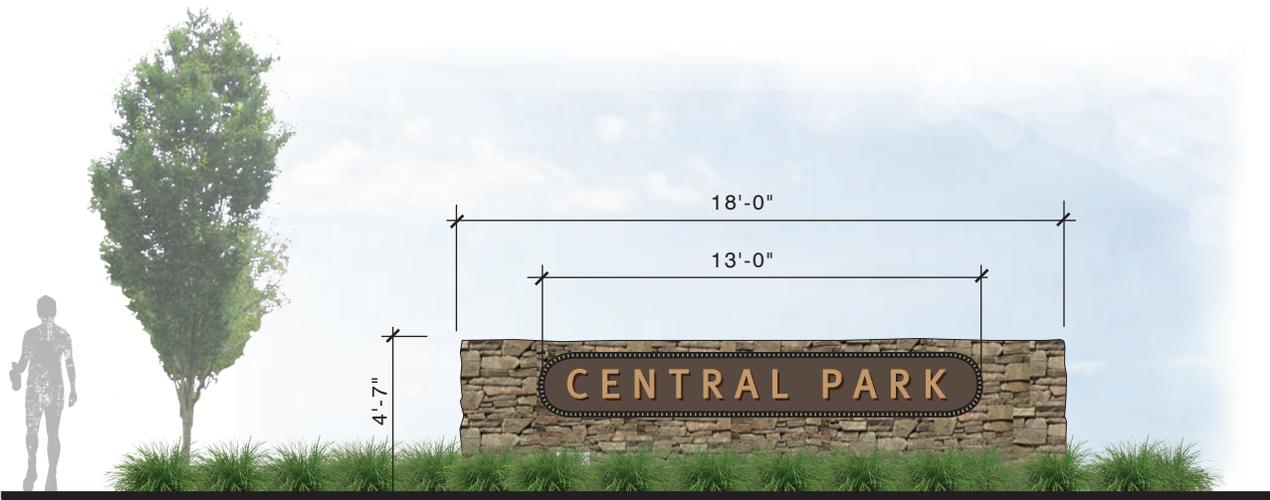
#### SIGN STANDARDS

**Maximum structure height:** 14 feet

**Maximum sign area:** 30 square feet

**Lighting :** Externally illuminated

**Location:** Parks (see Sign Location Plan: Overall)



### H WALL SIGN – SIGN TYPE H

**Maximum structure height:** 5 feet

**Maximum sign area:** 30 square feet

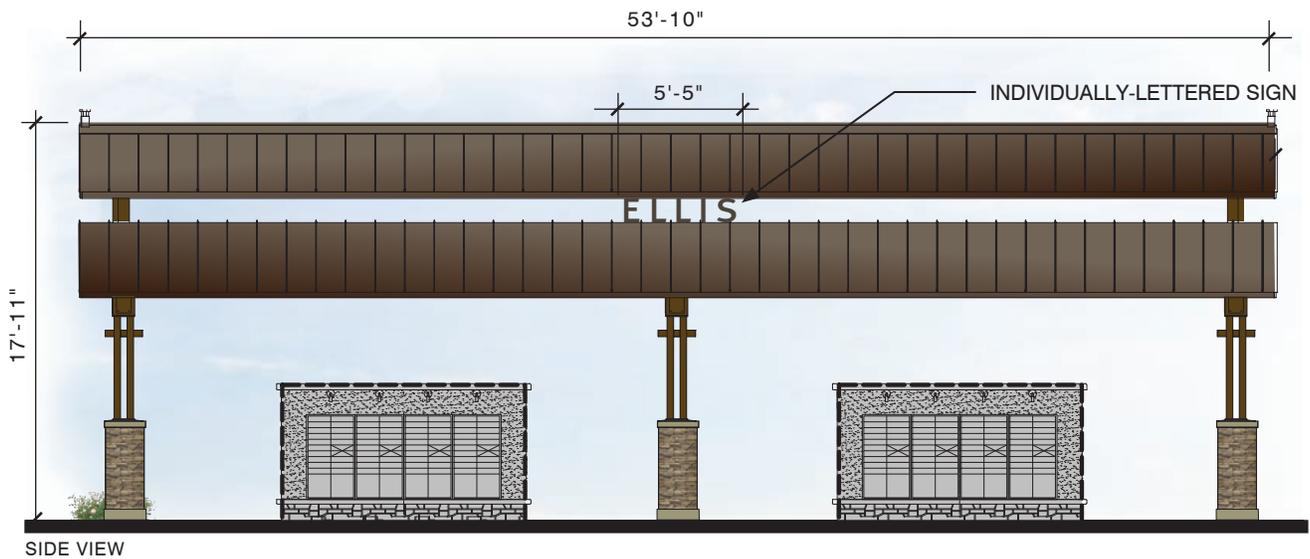
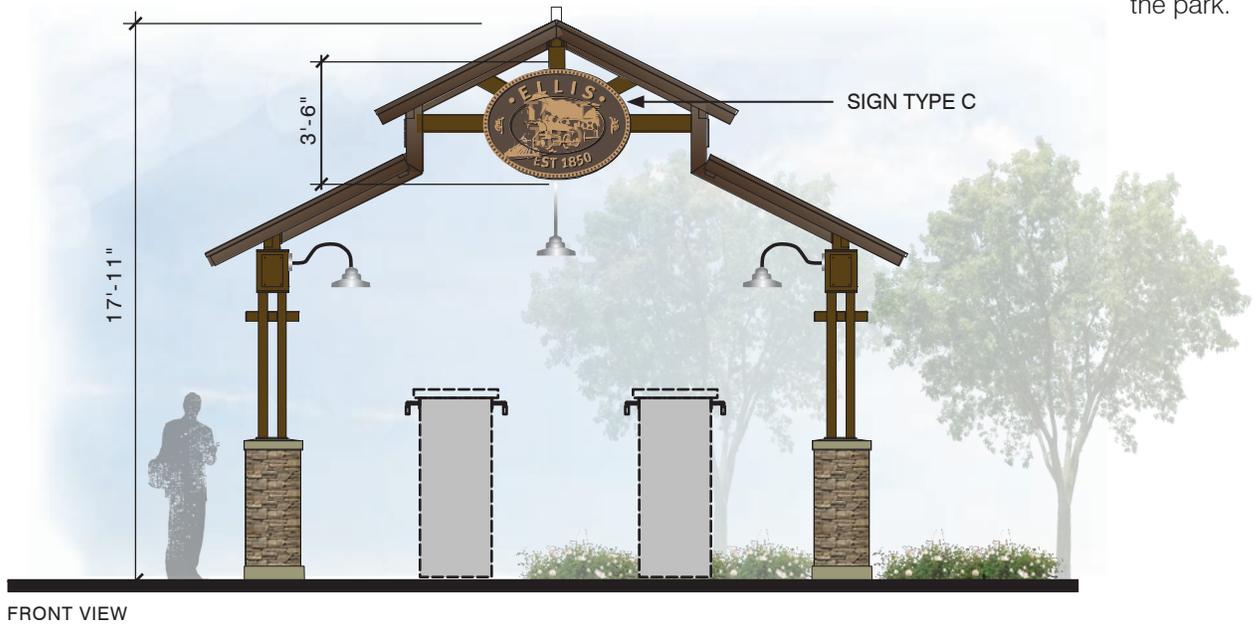
**Lighting :** Externally illuminated

**Location:** Parks (see Sign Location Plan: Overall)

# PARK CHARACTER ELEMENTS AND SIGNS

## MAILBOX STRUCTURE MS

- Note:** 1. All dimensions are approximate  
 2. These sign types will be located in parks, per the Sign Location Plan, for the purpose of identifying the park.



*Note: Mailbox structures are typically located in special landscape features, not parks.*

### SIGN STANDARDS

**Maximum mailbox structure height:** 20 feet

**Maximum Sign Type C area:** 20 square feet (each end of structure) for the Mailbox Structure

**Maximum individually-lettered sign area:** 10 square feet (both sides)

**Lighting:** Externally illuminated

**Location:** Proximate to parks (see Sign Location Plan: Overall)



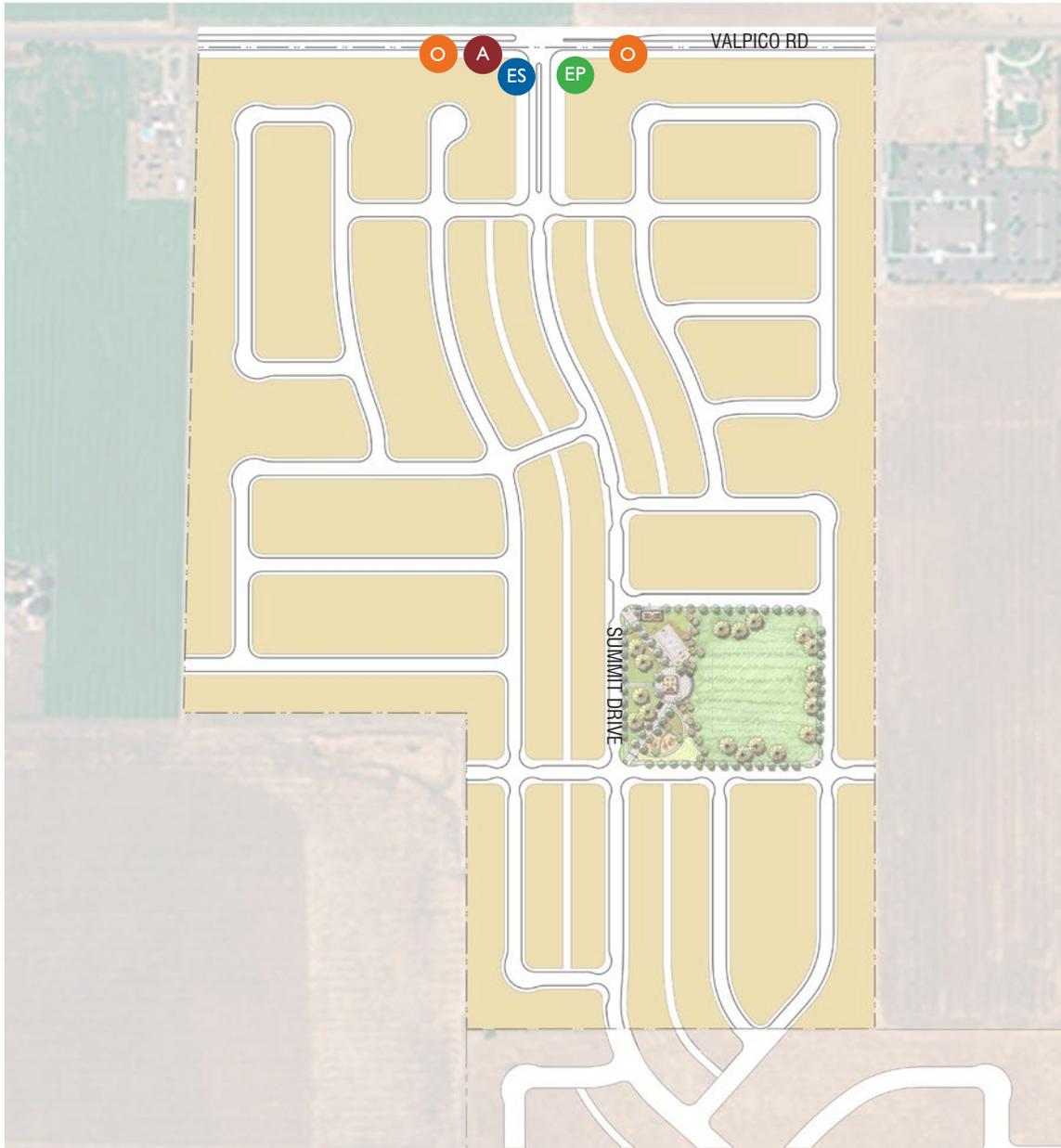
**SECTION 2: PRIVATE PROPERTY SIGNS**

**AVENUES**



# SIGN LOCATION PLAN

## OVERALL

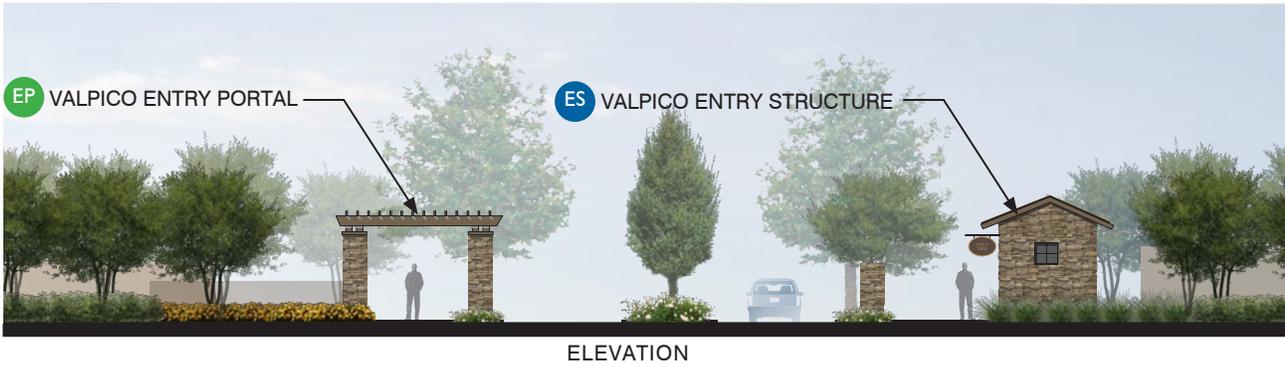


-  VALPICO ENTRY STRUCTURE
-  VALPICO ENTRY PORTAL
-  SIGN TYPE O – FLAG SIGNS, LOCATIONS TBD
-  SIGN TYPE A – TEMPORARY DEVELOPER SIGN

# ENTRY AT VALPICO

## EP VALPICO ENTRY PORTAL

**Note:** All dimensions are approximate



### SIGN STANDARDS

**Maximum structure height:** 15 feet

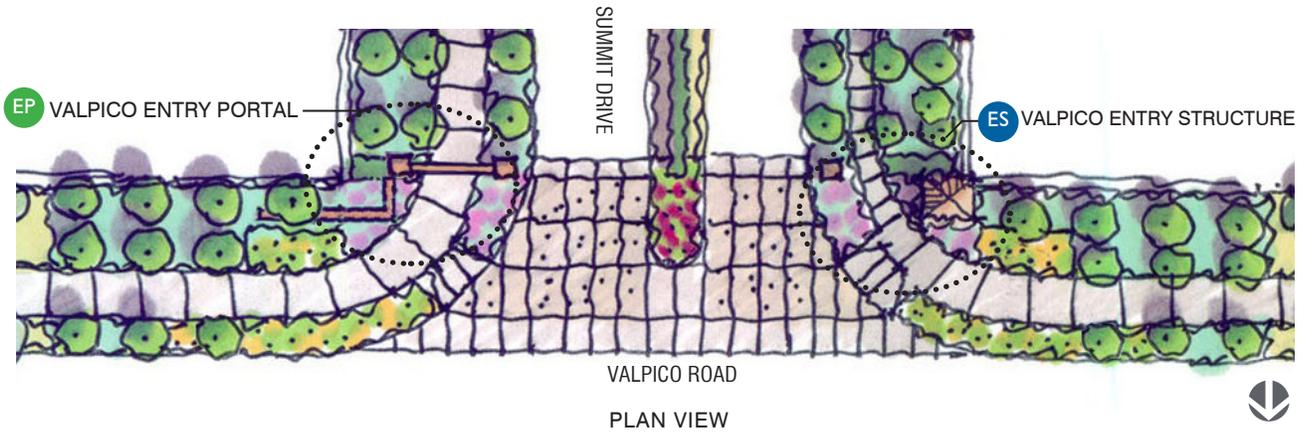
**Lighting:** Non-illuminated

**Location:** Special landscape feature (see Sign Location Plan: Overall)

# CHARACTER ELEMENT WITH LOGO

## VALPICO ENTRY STRUCTURE ES

**Note:** All dimensions are approximate



VIEW LOOKING SOUTH FROM VALPICO ROAD  
Opposite side shall be substantially the same in design



### SIGN STANDARDS

**Maximum character element height:** 15 feet

**Maximum Sign Type C area:** 10 square feet (both sides)

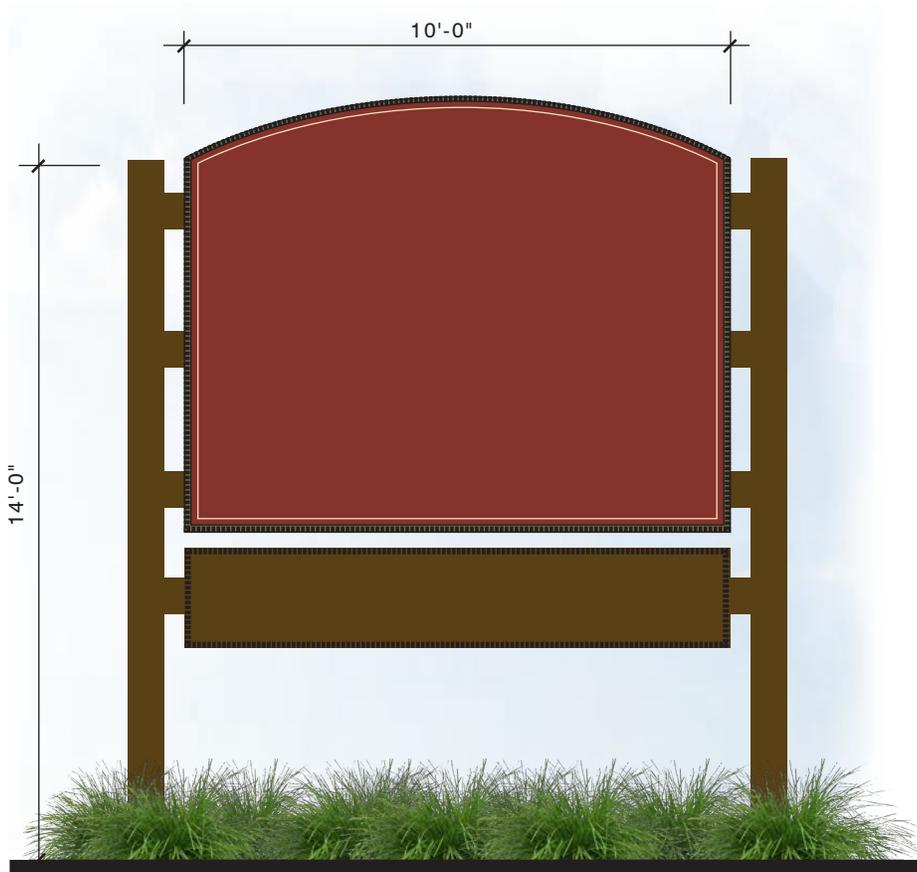
**Lighting of logo panel:** Externally illuminated

**Location:** Special landscape feature (see Sign Location Plan: Overall)

## SIGN TYPE A

### A TEMPORARY DEVELOPER SIGN

- Note:** 1. All dimensions are approximate  
2. Sign Type A is a temporary sign.



SIGN TYPE A EXAMPLE

### SIGN STANDARDS

**Maximum height:** 15 feet

**Maximum sign area:** 100 square feet ( each side)

**Maximum number of signs permitted:** 2 on each arterial or collector

**Lighting:** Non-illuminated or externally illuminated

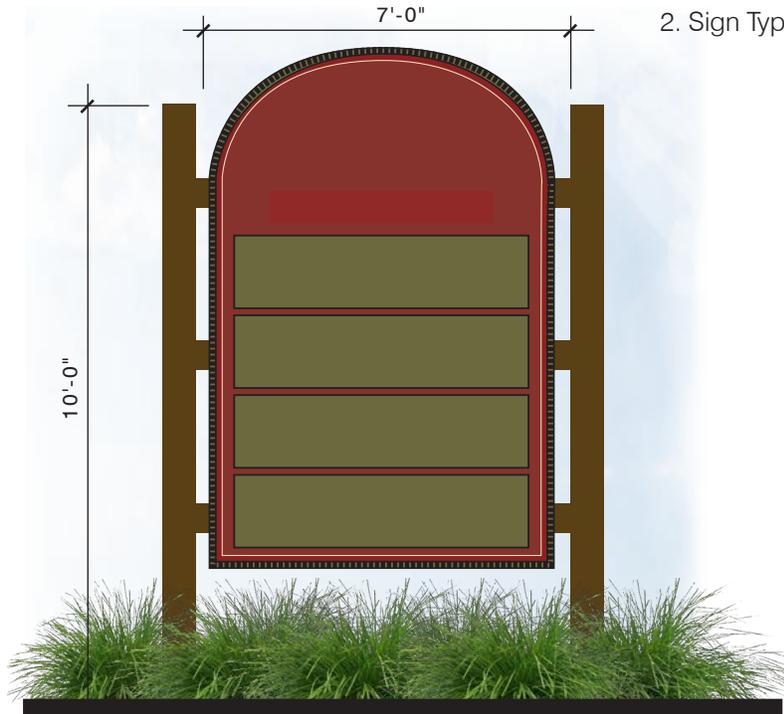
**Locations:** Special landscape features and private property

**Note:** Signs shall be removed after completion of sales

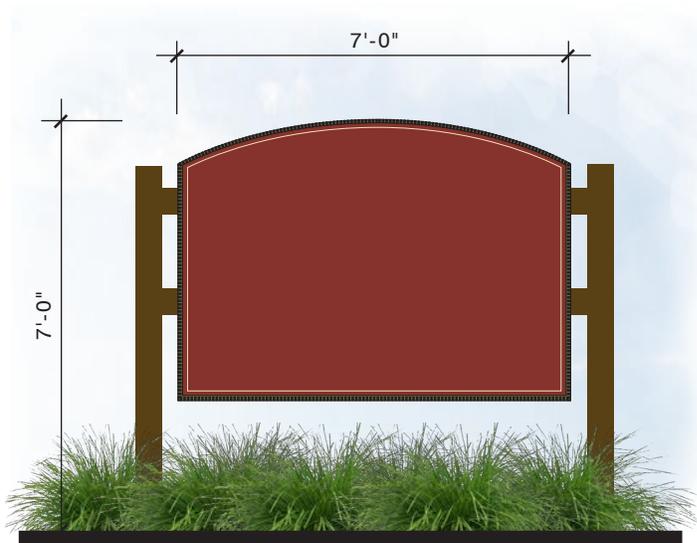
## SIGN TYPES B AND D

### TEMPORARY DEVELOPER SIGN

- Note:** 1. All dimensions are approximate  
2. Sign Types B and D are temporary signs



SIGN TYPE B EXAMPLE



SIGN TYPE D EXAMPLE

#### SIGN STANDARDS

**Maximum height:** 10 feet

**Maximum sign area:** 50 square feet ( each side)

**Maximum number of signs permitted:** 12

**Lighting:** Non-illuminated or externally illuminated

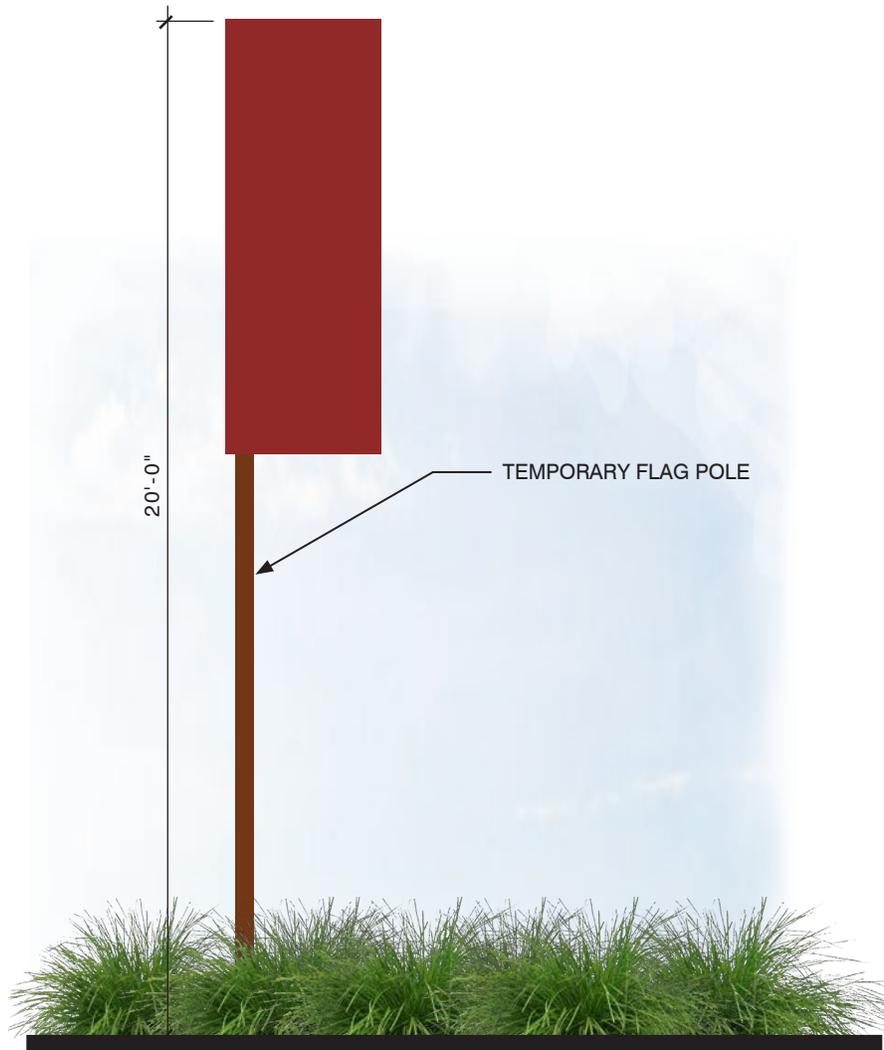
**Locations:** Public right-of-way, special landscape features and private property TBD

**Note:** Signs shall be removed after completion of sales

## SIGN TYPE O

### FLAG SIGN

- Note:** 1. All dimensions are approximate  
2. Sign Type O is a temporary sign.



#### SIGN STANDARDS

**Maximum height:** 20 feet

**Maximum sign area:** 25 square feet ( each side)

**Lighting:** Non-illuminated

**Locations:** Up to 10 Sign Type O signs on temporary poles are permitted at each arterial or collector entrance and at each model home complex in public right-of-way, special landscape features, and on private property.

**Note:** Signs shall be removed after completion of sales