

NOTICE OF A REGULAR MEETING

Pursuant to Section 54954.2 of the Government Code of the State of California, a Regular meeting of the City of Tracy Planning Commission is hereby called for:

Date/Time: Wednesday, March 27, 2019
7:00 P.M. (or as soon thereafter as possible)

Location: City of Tracy Council Chambers
333 Civic Center Plaza

Government Code Section 54954.3 states that every public meeting shall provide an opportunity for the public to address the Planning Commission on any item, before or during consideration of the item, however no action shall be taken on any item not on the agenda.

REGULAR MEETING AGENDA

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

MINUTES – 2/13/19

DIRECTOR'S REPORT REGARDING THIS AGENDA

ITEMS FROM THE AUDIENCE - *In accordance with Procedures for Preparation, Posting and Distribution of Agendas and the Conduct of Public Meetings, adopted by Resolution 2015-052 any item not on the agenda brought up by the public at a meeting, shall be automatically referred to staff. If staff is not able to resolve the matter satisfactorily, the member of the public may request a Commission Member to sponsor the item for discussion at a future meeting.*

1. NEW BUSINESS

- A. PUBLIC HEARING TO CONSIDER A DEVELOPMENT REVIEW PERMIT APPLICATION FOR FAÇADE MODIFICATIONS AND A SIGN PERMIT APPLICATION FOR NEW WALL SIGNS FOR THE EXISTING TARGET STORE LOCATED IN THE WEST VALLEY MALL AT 2800 NAGLEE ROAD, ASSESSOR PARCEL NUMBER 212-050-23. APPLICANT IS MARK KALTSAS FOR TERRAMARK AND OWNER IS TARGET CORPORATION. APPLICATION NUMBERS D19-0004 & SGN19-0012
- B. PUBLIC HEARING TO CONSIDER AN AMENDMENT TO THE CORRAL HOLLOW WEST PLANNED UNIT DEVELOPMENT TO PERMIT HIGH-DENSITY SINGLE-FAMILY RESIDENTIAL USES AND ESTABLISH DEVELOPMENT STANDARDS AND APPROVAL OF A 42-LOT VESTING TENTATIVE SUBDIVISION MAP AND DEVELOPMENT REVIEW PERMIT ON AN APPROXIMATELY 3.5-ACRE LOT LOCATED AT 2483 W. SCHULTE ROAD, ASSESSOR'S PARCEL NUMBER 240-660-37. THE REQUEST INCLUDES AN AMENDMENT TO THE CITY'S DESIGN GOALS AND STANDARDS FOR RESIDENTIAL HOMES. THE APPLICANT IS

BRIGHT DEVELOPMENT AND OWNER IS POND CREEK, LLC. APPLICATION
NUMBERS PUD18-0003, TSM18-0004, AND D18-0029

2. ITEMS FROM THE AUDIENCE
3. DIRECTOR'S REPORT
4. ITEMS FROM THE COMMISSION
5. ADJOURNMENT

Posted: March 21, 2019

The City of Tracy complies with the Americans with Disabilities Act and makes all reasonable accommodations for the disabled to participate in public meetings. Persons requiring assistance or auxiliary aids in order to participate should call City Hall (209-831-6000) at least 24 hours prior to the meeting.

Any materials distributed to the majority of the Planning Commission regarding any item on this agenda will be made available for public inspection in the Development Services Department located at 333 Civic Center Plaza during normal business hours.

**MINUTES
TRACY CITY PLANNING COMMISSION
FEBRUARY 13, 2019, 7:00 P.M.
CITY OF TRACY COUNCIL CHAMBERS
333 CIVIC CENTER PLAZA**

CALL TO ORDER

Chair Orcutt called the meeting to order at 7:00 p.m.

PLEDGE OF ALLEGIANCE

Chair Orcutt led the pledge of allegiance.

ROLL CALL

Roll Call found Chair Orcutt, Vice Chair Hudson, and Commissioners Gable and Wood present. Also present were: Leticia Ramirez, Assistant City Attorney; Vicki Lombardo, Senior Planner; Kimberly Matlock, Associate Planner; and Gina Peace, Recording Secretary.

Commissioner Kaur was absent.

MINUTES

Chair Orcutt introduced the Minutes from the January 23, 2019 meeting.

ACTION: It was moved by Commissioner Gable, and seconded by Vice Chair Hudson, that the Planning Commission Meeting Minutes of January 23, 2019, be approved. A voice vote found all in favor, 4-0-1-0; passed and so ordered.

DIRECTOR'S REPORT REGARDING THIS AGENDA

None.

ITEMS FROM THE AUDIENCE

City of Tracy Council Member Rhodesia Ransom addressed the Commission and welcomed local Tracy Girl Scout Troop #2672 who were present in the audience, after having a mock Council meeting in Council Chambers prior to the tonight's Commission meeting.

1. NEW BUSINESS

- A. DETERMINATION OF CONSISTENCY WITH THE CITY OF TRACY GENERAL PLAN FOR A VACATION OF PUBLIC RIGHT-OF-WAY AFFECTING THE SOUTHEAST CORNER OF GRANT LINE AND PARADISE ROADS. APPLICANT IS PROLOGIS. APPLICATION NUMBER DET17-0003

Vicki Lombardo presented the staff report.

Commission questions and comments followed.

ACTION: It was moved by Vice Chair Hudson, and seconded by Commissioner Gable, that the Planning Commission determine that the vacation of public right-of-way at the southeast corner of Grant Line and Paradise Roads, a portion of Assessor's Parcel

Number 250-030-02, is consistent with the City of Tracy General Plan, based on the findings contained in the Planning Commission Resolution dated February 13, 2019.

A voice vote found Vice Chair Hudson, Commissioner Gable, and Chair Orcutt in favor, Commissioner Wood opposed, Commissioner Kaur absent, 3-1-1-0; passed and so ordered.

- B. PUBLIC HEARING TO CONSIDER A TIME EXTENSION OF A CONDITIONAL USE PERMIT (APPLICATION NUMBER CUP17-0004) FOR THE EXPANSION OF AN EXISTING GASOLINE SERVICE STATION (VALERO) LOCATED AT 153 E. ELEVENTH STREET. THE APPLICANT IS RAMAN BAINS AND THE PROPERTY OWNER IS BFS TRACY, INC. - APPLICATION NUMBER EXT19-0001

Kimberly Matlock presented the staff report.

Commission questions and comments followed.

Chair Orcutt opened the public hearing at 7:13 p.m.

Applicant Raman Bains addressed the Commission and shared that he planned to begin construction this summer, and advised about the current status of the project.

Conrad Levoit addressed the Commission and asked about clarification of the location of this project. Commission and staff provided a more detailed description of the location.

Chair Orcutt closed the public hearing at 7:17 p.m.

ACTION: It was moved by Commissioner Gable, and seconded by Vice Chair Hudson, that the Planning Commission approve the one-and-one-half-year time extension (Application Number EXT19-0001) of the Conditional Use Permit (Application Number CUP17-0004) to allow the expansion of the gasoline service station at 153 E. Eleventh Street, subject to the conditions and based on the findings contained in the Planning Commission Resolution dated February 13, 2019.

A voice call vote found all in favor, Commissioner Kaur absent, 4-0-1-0; passed and so ordered.

2. ITEMS FROM THE AUDIENCE

None.

3. DIRECTOR'S REPORT

Vicki Lombardo, Senior Planner, shared that Commission will not be seeing Peggy Beeuwsaert in the Recording Secretary role at Commission meetings any longer, as she recently accepted a promotion as Planning Technician, effective March 1, 2019. Ms. Lombardo expressed her congratulations to Peggy.

4. ITEMS FROM THE COMMISSION

None.

5. ADJOURNMENT

It was moved by Chair Orcutt, and seconded by Commissioner Gable, to adjourn. Voice vote found all in favor; passed and so ordered.

Time: 7:19 p.m.

CHAIR

STAFF LIAISON

AGENDA ITEM 1.A

REQUEST

PUBLIC HEARING TO CONSIDER A DEVELOPMENT REVIEW PERMIT APPLICATION FOR FAÇADE MODIFICATIONS AND A SIGN PERMIT APPLICATION FOR NEW WALL SIGNS FOR THE EXISTING TARGET STORE LOCATED IN THE WEST VALLEY MALL AT 2800 NAGLEE ROAD, ASSESSOR PARCEL NUMBER 212-050-23. APPLICANT IS MARK KALTSAS FOR TERRAMARK AND OWNER IS TARGET CORPORATION. APPLICATION NUMBERS D19-0004 & SGN19-0012

DISCUSSION

Project Description and Background

On January 22, 2019, the applicant, on behalf of Target Corporation, submitted an application for new signage and modifications to the exterior of their existing retail store. Target is the southernmost anchor store of West Valley Mall. Target is the closest structure to the I-205 Freeway and has three of its sides visible from the freeway (Attachment A). The subject site is zoned Planned Unit Development (PUD) and is designated Commercial (C) by the General Plan and Commercial Center (CC) by the I-205 Corridor Specific Plan. In accordance with the I-205 Corridor Specific Plan, signs for major mall tenants shall be approved with the development plan, and in accordance with Tracy Municipal Code Section 10.08.3950, development review applications for sites located within 500 feet of the freeway shall be reviewed by the Planning Commission.

On June 7, 1994, the City Council approved the Preliminary and Final Development Plan for the West Valley Mall, and the mall's first anchor tenant, Target. The signs for Target store were approved with conditions by City Council on June 20, 1995 (14-95-SGN), further described below. On May 5, 2004, Target submitted an application for a remodel and expansion to the Target store and for additional and larger signs (19-04-D). On September 7, 2004, the City Council approved the application with conditions, further described below.

Façade Modifications

The proposed exterior modifications consist of adding new EIFS in the "Target Red" color on the west, south, and east elevations and removal of the cornice on the entry façade on the west elevation (Attachment A). The EIFS material will match the existing wall in texture. According to the applicant, the desire to remove the cornice on the façade over the entrance is to further define the entry with a simpler look. The cornice on the rest of the building is to remain. No change to the size of the store is proposed.

Staff recommends approval of the changes proposed to the façade, as the modifications are minor, the amount of red is minimal, and the resulting change is still in harmony with the remainder of the West Valley Mall building.

Signs

Tracy Municipal Code section 10.08.4430, the purpose of the sign ordinance states that, "As identification devices, signs shall not subject the citizens of the City to excessive competition for their visual attention. As appropriate identification devices, signs shall harmonize with the building, the neighborhood, and other signs in the area."

The City Council approved the existing Target letter and logo signs in 1995. The City analyzed the appropriate size and design of these signs in relation to the building upon which they were to be located. A condition of approval from both the Planning Commission recommendation and the City Council approval was that the logo on all elevations shall not be more than 1.2 times the height of the letters, with the height and illumination of the signs as follows:

West (front) elevation: 5' letters and 6' logo, internally illuminated
South (right) elevation: 3'5" letters and 4'2" logo, halo illuminated
East (rear) elevation: 4' letters and 4'8" logo, internally illuminated

In 2004, the sign on the west (front) elevation was proposed to be changed to 2'8" tall letters and 12' logo. The City Council did not approve this sign because it was not appropriate in scale to the building and of signs in the surrounding area. The Council approved the remainder of the project proposal with the condition that the remaining sign of 5' letter height and 6' logo height remain on the west elevation. The existing signs on the east and south elevations remained with no changes.

The sign proposal today is as follows (Attachment B):

West (front) elevation: No letters and 12' logo, internally illuminated
South (right) elevation: 4' letters and 5' logo, internally illuminated
East (rear) elevation: 2'8" letters and 4' logo, internally illuminated

An existing CVS Pharmacy sign is proposed to remain as existing. The sign on the interior of the mall is also proposed to be changed but does not require approval of a sign permit.

Though the logo proposed on the west elevation is considerably taller than the existing 6' logo, the proposal today is that the sign to be comprised of only a logo without letters. "Option 1" in Attachment C demonstrates how a 12' diameter logo sign would look on the façade over the building entrance.

This sign is proposed to be located directly over the pedestrian entrance to the building. Sized at 12' in diameter, the sign would appear very large at the pedestrian scale. By contrast, the tallest sign the City approved at the West Valley Mall was 8'6" in height (Macy's), followed by 8' in height (Sports Authority). Staff asked the applicant to demonstrate how the proposed logo would look at 8'6" in diameter and 10' in diameter. The applicant is not interested in installing an 8'6" tall logo, but has provided "Option 2" showing a 10' diameter logo in response to staff's request. The applicant's preference, however, is the 12' diameter logo.

Staff believes that of the two options, the 10' diameter size looks more appropriate in scale with the building and signs in the surrounding area while maintaining the aesthetic that the applicant desires. Staff recommends that the Planning Commission approve the project with the condition that sign on the west elevation be comprised of a logo only, no more than 10' in diameter, which shall not project above the roofline.

The sign on the south elevation is proposed to be larger than the existing sign and internally-illuminated rather than halo-illuminated as it is currently. Staff recommends approval of this sign, as it still appears in scale with the building façade as shown in the elevation renderings.

The sign on the east elevation is proposed with smaller letters and logo than currently exists with the logo exceeding 1.2 times the letter height. Based on the elevation renderings, proposed sign looks in scale with the building façade and staff recommends approval of this sign.

Environmental Document

The project is categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15303 pertaining to minor alterations to existing facilities. In accordance with CEQA Guidelines Section 15183, no further environmental assessment is required.

RECOMMENDATION

Staff recommends that the Planning Commission approve the development review permit for façade modifications and approve the sign permit for new wall signs at the existing Target Store located in the West Valley Mall at 2800 Naglee Road, subject to the conditions and based on the findings contained in the Planning Commission Resolution dated March 27, 2019.

RECOMMENDED MOTION

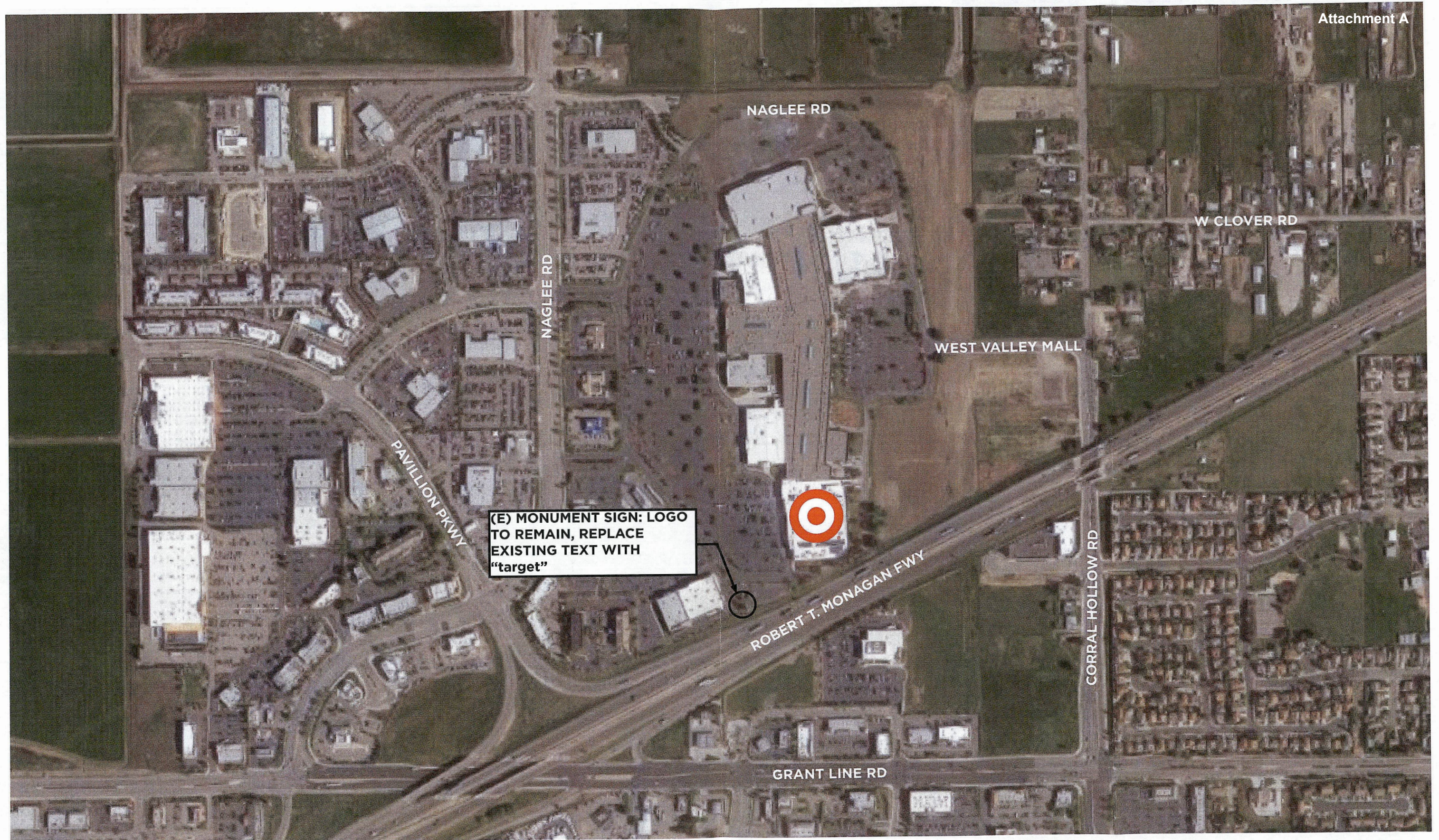
Move that the Planning Commission approve the development review permit for façade modifications and approve the sign permit for new wall signs at the existing Target Store located in the West Valley Mall at 2800 Naglee Road, subject to the conditions and based on the findings contained in the Planning Commission Resolution dated March 27, 2019.

Prepared by: Kimberly Matlock, Associate Planner

Approved by: Bill Dean, Assistant Development Services Director

ATTACHMENTS

- A: Exterior Elevations
- B: Sign Plans
- C: Planning Resolution



T-0738 Tracy, CA: Exterior Elevation Refresh

RECEIVED
MAR 18 2019
CITY OF TRACY
Development Services

Site Plan
February 28, 2019



T-0738 Tracy, CA: Exterior Elevation Refresh

Proposed Elevations: Option 1 - 12'-0" Entry Bullseye

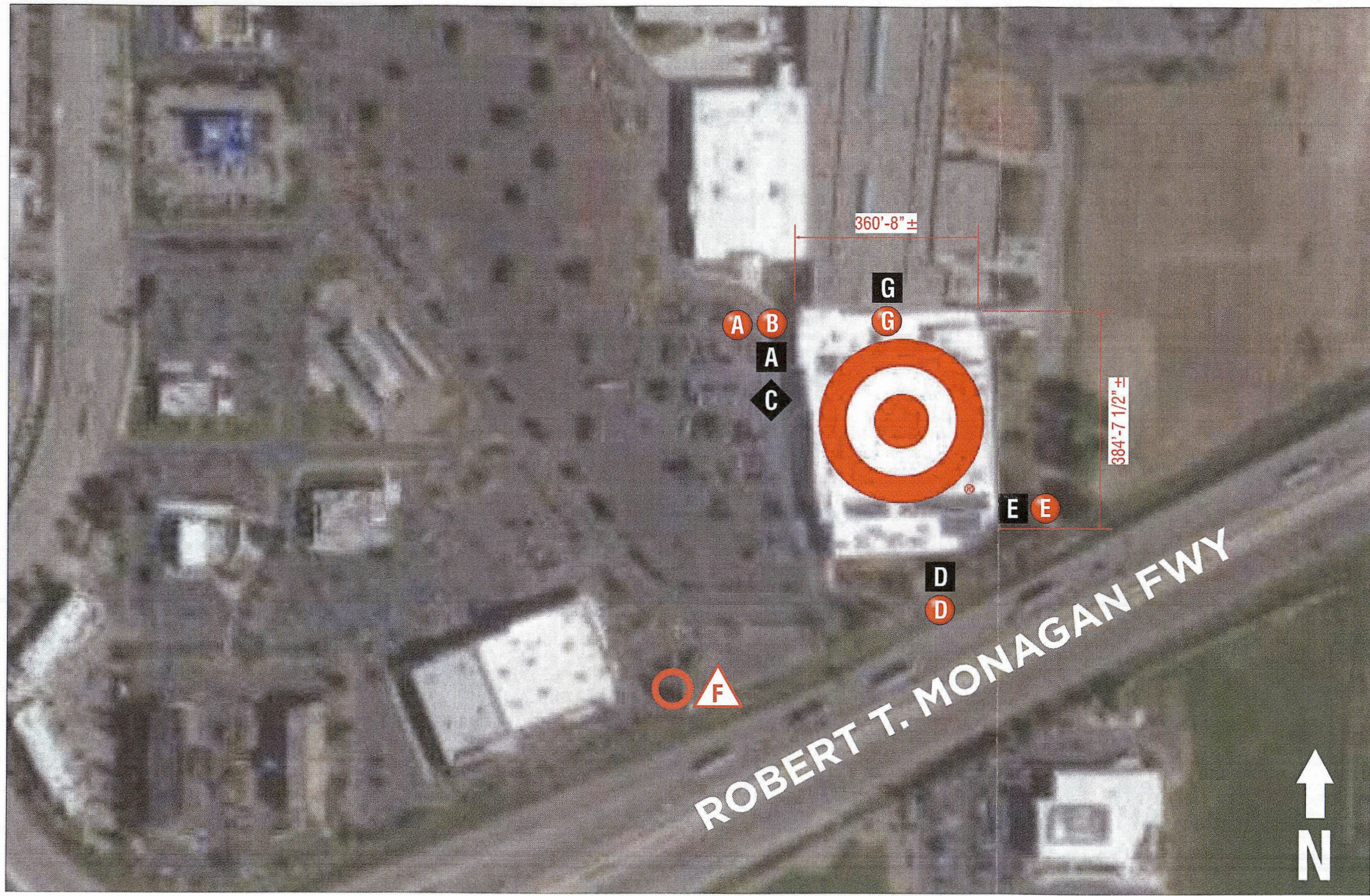
February 28, 2019



T-0738 Tracy, CA: Exterior Elevation Refresh

Proposed Elevations: Option 2 - 10'-0" Entry Bullseye
February 28, 2019

MAR 18 2019



PHOTOGRAPHIC SITE PLAN
SCALE: N.T.S.

EXISTING SIGN SCHEDULE

A	EXIST'G 8'-0" RED BULLSEYE LOGO / 6'-8 3/4" TARGET LETTERS	362.65 SQ.FT.
	QUANTITY: ONE (1)	ON FRONT ELEVATION TO BE REMOVED & REPLACED
C	EXISTING 2'-0" RED CVS PHARMACY LETTERS	35.70 SQ.FT.
	QUANTITY: ONE (1)	ON FRONT ELEVATION TO REMAIN AS IS. NO CHANGE
D	EXIST'G 4'-0" RED BULLSEYE LOGO / 2'-8" TARGET LETTERS	75.83 SQ.FT.
	QUANTITY: ONE (1)	ON RIGHT ELEVATION TO BE REMOVED & REPLACED
E	EXIST'G 5'-0" RED BULLSEYE LOGO / 4'-0" TARGET LETTERS	136.15 SQ.FT.
	QUANTITY: ONE (1)	ON REAR ELEVATION TO BE REMOVED & REPLACED
G	EXIST'G 5'-0" RED BULLSEYE LOGO / 4'-0" TARGET LETTERS	136.15 SQ.FT.
	QUANTITY: ONE (1)	ON REAR ELEVATION TO BE REMOVED & REPLACED
		EXISTING TOTAL BLDG. SIGNAGE: 746.48 SQ. FT.

PROPOSED NEW SIGN SCHEDULE

A	NEW 12'-0" WHITE BULLSEYE LOGO (OPTION 1)	113.0 SQ.FT.
	QUANTITY: ONE (1)	ON FRONT ELEVATION
A	NEW 10'-0" WHITE BULLSEYE LOGO (OPTION 2)	78.5 SQ.FT.
	QUANTITY: ONE (1)	ON FRONT ELEVATION
B	NEW 8" WHITE ORDER PICKUP WINDOW VINYL	4.9 SQ.FT.
	QUANTITY: ONE (1)	ON FRONT ELEVATION
C	EXISTING 2'-0" RED CVS PHARMACY LETTERS	35.70 SQ.FT.
	QUANTITY: ONE (1)	ON FRONT ELEVATION
D	NEW (CUSTOM) 5'-0" WHITE BULLSEYE LOGO/4'-0" TARGET LTRS SET	106.46 SQ.FT.
	QUANTITY: ONE (1)	ON RIGHT ELEVATION
E	NEW 4'-0" RED BULLSEYE LOGO / 2'-8" TARGET LETTERS SET	60.0 SQ.FT.
	QUANTITY: ONE (1)	ON REAR ELEVATION
G	NEW (CUSTOM / INTERIOR) 4'-0" WHITE BULLSEYE LOGO / 2'-8" TARGET LETTERS SET	60.0 SQ.FT.
	QUANTITY: ONE (1)	ON LEFT ELEVATION (INTERIOR SIGN)
		(OPTION 1) NEW TOTAL BLDG. SIGNAGE: 380.06 SQ. FT.
		(OPTION 2) NEW TOTAL BLDG. SIGNAGE: 345.56 SQ. FT.

PROPOSED GROUND SIGN SCHEDULE

F	REPLACEMENT FACE FOR EXISTING PYLON PANEL	36.45 SQ.FT. EACH
	QUANTITY: TWO (2) FACES REQ'D.	

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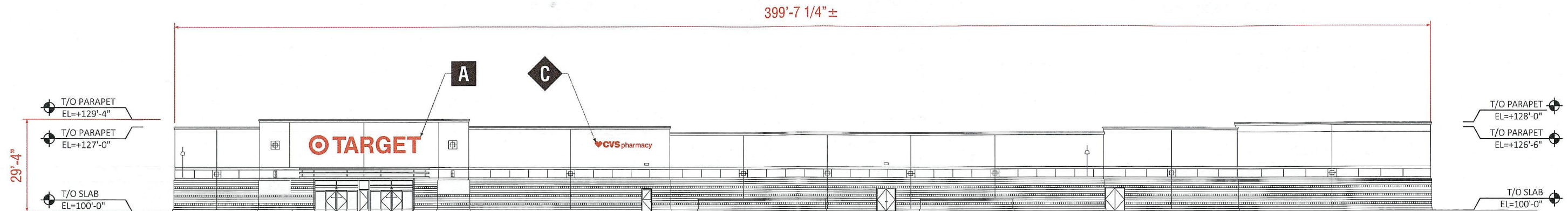
Revisions:
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R4-12-07-18 VA/JDR Revise Sign F to enlarge the copy of Target.
R5-03-08-18 JP/CHC Updated elevs. showed 2 options on front elevation. revised sign D to show white 5H logo 4H letters, revised sign E to show red 4H logo 2'-8" letters
R6-03-08-18 CA Added dims for existg signs (D, E & G) and updated sign schedule accordingly.
Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.
Client Approval/Date: _____
Landlord Approval/Date: _____

Account Rep: Boyd Hippenstiel
Project Manager: Sebastian C. Ramirez
Drawn By: Jake Posadas / JK
Underwriters Laboratories Inc. nfc
ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS
ALL ELECTRICAL SIGNS ARE TO COMPLY WITH U.L. 48 AND ARTICLE 600 OF THE N.E.C. STANDARDS, INCLUDING THE PROPER GROUNDING AND BONDING OF ALL SIGNS.

Project / Location: 
Store #: T0738
2800 Naglee Rd
Tracy, CA 95304

Job Number: 23-50234-10
Date: October 16, 2018
Sheet Number: 1 of 14
Design Number: 23-50234-10-R6

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EXISTING FRONT ELEVATION
SCALE: 1/32" = 1'



EXISTING CONDITION (INTERIOR SIGN)



Street View



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
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Underwriters
Laboratories Inc.



**ELECTRICAL TO USE U.L. LISTED
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ALL ELECTRICAL SIGNS ARE TO COMPLY WITH U.L. 48 AND
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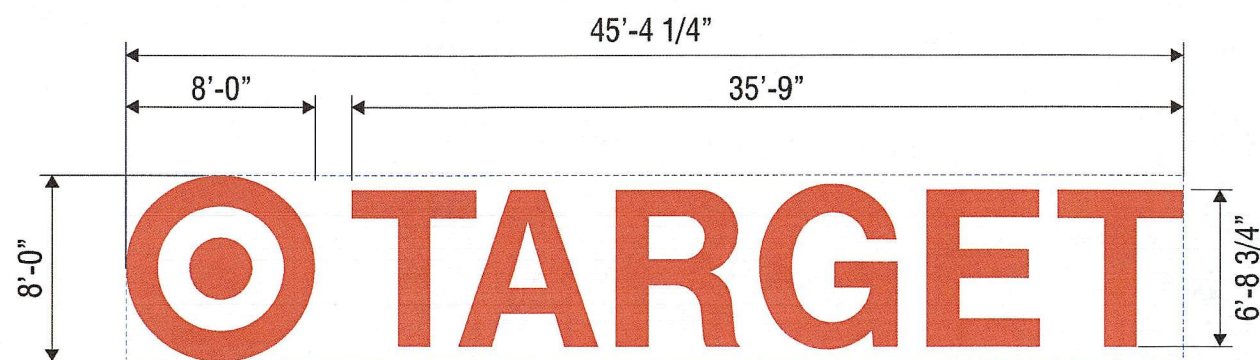
Date: **October 16, 2018**

Sheet Number: **2** Of **14**

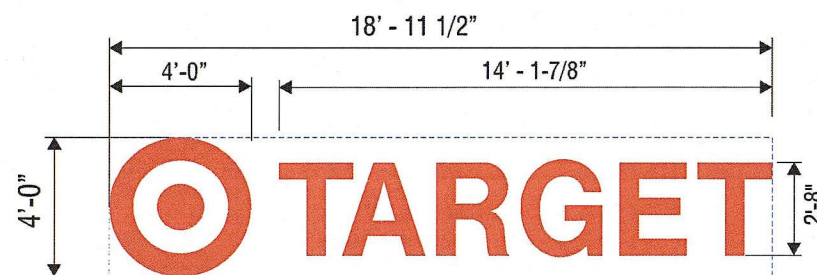
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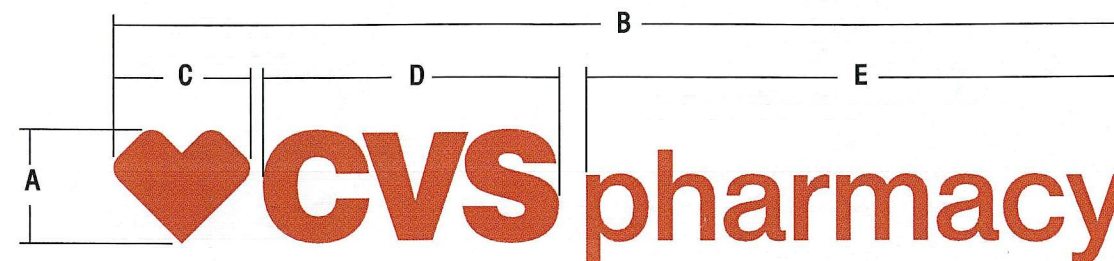
FIELD SURVEY REQUIRED



- A** **EXISTING BULLSEYE & TARGET | ONE (1) SET**
 SCALE: 1/8" = 1' 362.65 SQ.FT.
SCOPE OF WORK:
 EXISTING SIGN TO BE REMOVED & DISPOSED.

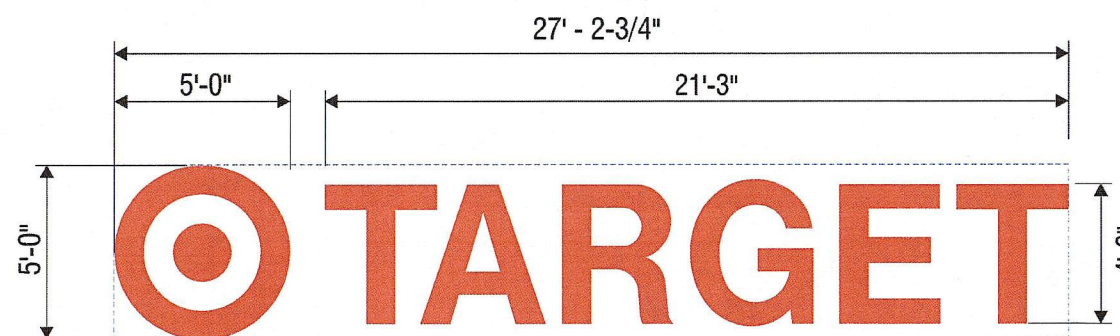


- D** **EXISTING BULLSEYE & TARGET | ONE (1) SET**
75.83 SQ.FT.
SCOPE OF WORK:
 EXISTING SIGN TO BE REMOVED & DISPOSED.

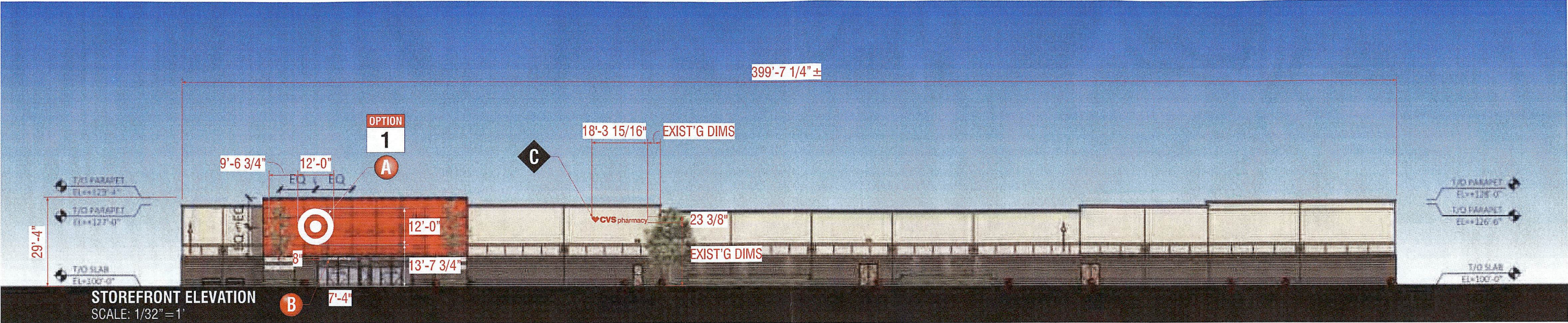


- C** **ACRYLIC FACED INTERNALLY ILLUMINATED CHANNEL LETTERS**
SCOPE OF WORK:
 EXISTING CHANNEL LOGO & LETTERS TO REMAIN AS IS. NO ACTION.

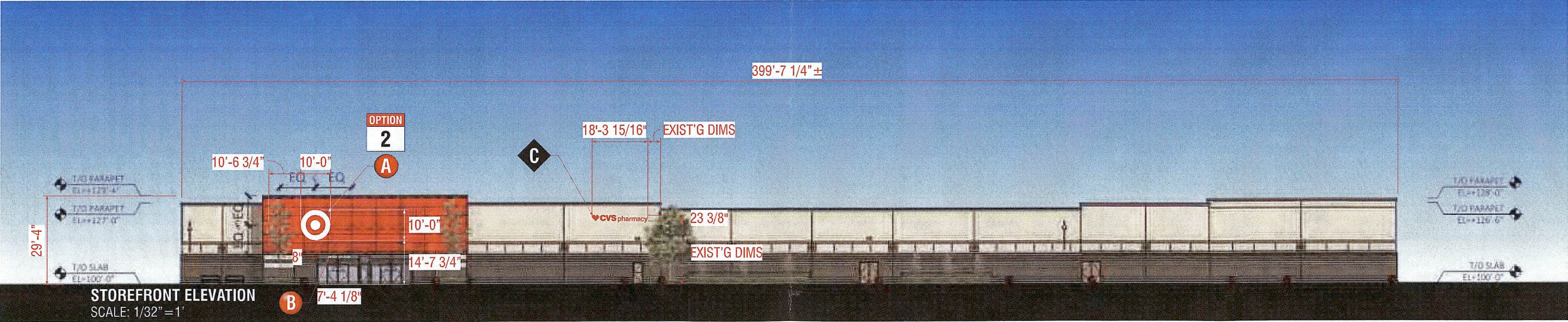
SIGN TYPE	A	B	C	D	E	F	SQ.FT.	QTY
IL-24-CL	23 3/8"	18'-3 15/16"	2'-5 11/16"	5'-4 5/16"	9'-9 7/16"	1'-7 1/2"	35.70	1



- E** **G** **EXISTING BULLSEYE & TARGET | TWO (2) SETS**
136.15 SQ.FT. EACH
SCOPE OF WORK:
 EXISTING SIGN TO BE REMOVED & DISPOSED.



EXTERIOR MATERIAL FINISH KEY:			
	(E) "OFF WHITE"		(E) METAL FINISH "CHAMPAGNE"
	(E) "SANDY SHORES"		(E)/(N) C-1 "TARGET RED"
	(E) "ANTIQUE PARCHMENT"		EIFS 3'X8'



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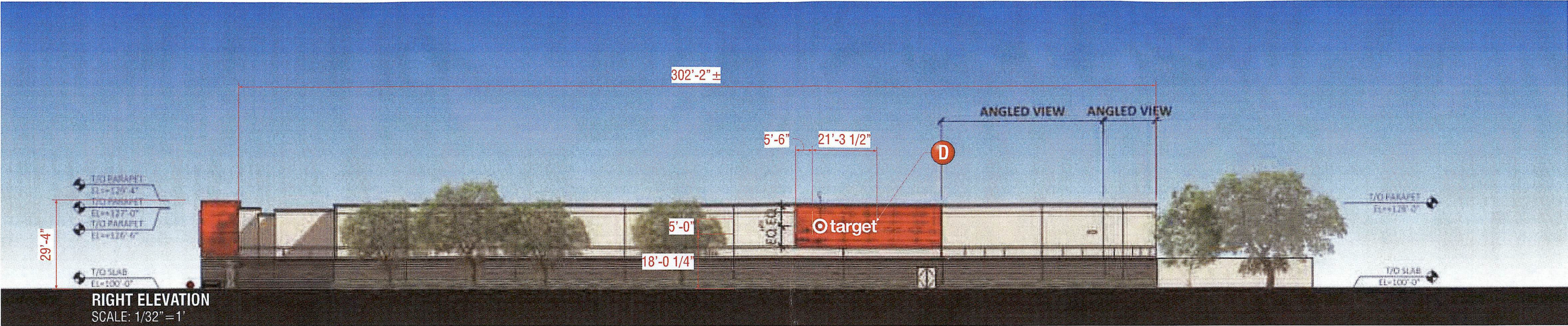
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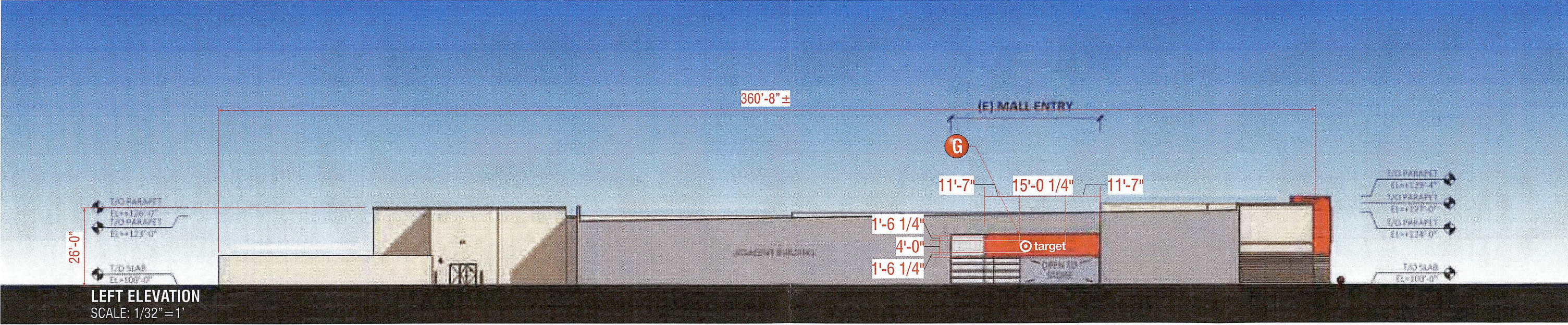
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Sheet Number: 4 Of 14
Design Number: 23-50234-10-R6

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EXTERIOR MATERIAL FINISH KEY:			
	(E) "OFF WHITE"		(E) METAL FINISH "CHAMPAGNE"
	(E) "SANDY SHORES"		(E)/(N) C-1 "TARGET RED"
	(E) "ANTIQUE PARCHMENT"		EIFS 3'X8'





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Tampa, FL - Daytona Beach, FL - Orlando, FL

Revisions:
R1-11-06-18 VA/CHC Update all elevation and added sign G.
R2-11-09-18 VA/CHC added Photo of Existing sign G.
R3-11-28-18 JG Update elev (11.28.18) Relocate Signs A & D per elevs. Sign B change to vinyl
R4-12-07-18 VA/JDR Revise Sign F to enlarge the copy of Target.
R5-03-08-18 JPV/CHC Updated elevs. showed 2 options on front elevation. revised sign D to show
white 5th logo 4th letters, revised sign E to show red 4th logo 2'-8" letters
R6-03-08-18 CA Added dims for existing signs (D, E & G) and updated sign schedule accordingly.

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Client Approval/Date: _____

Landlord Approval/Date: _____


Account Rep: **Boyd Hippenstiel**

Project Manager: **Sebastian C. Ramirez**

Drawn By: **Jake Posadas / JK**



Underwriters
Laboratories Inc.



NEC

ELECTRICAL TO USE U.L. LISTED
COMPONENTS AND SHALL MEET
ALL N.E.C. STANDARDS

ALL ELECTRICAL SIGNS ARE TO COMPLY WITH U.L. 48 AND
ARTICLE 600 OF THE N.E.C. STANDARDS, INCLUDING
THE PROPER GROUNDING AND BONDING OF ALL SIGNS.

Project / Location:



Store #: **T0738**
2800 Naglee Rd
Tracy, CA 95304

Job Number: **23-50234-10**






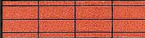
Date: **October 16, 2018**

Sheet Number: **5** Of **14**

Design Number: **23-50234-10-R6**

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EXTERIOR MATERIAL FINISH KEY:			
	(E) "OFF WHITE"		(E) METAL FINISH "CHAMPAGNE"
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F

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Landlord Approval/Date: _____

Account Rep: Boyd Hippenstiel

Project Manager: Sebastian C. Ramirez

Drawn By: Jake Posadas / JK

UL Underwriters
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nfc

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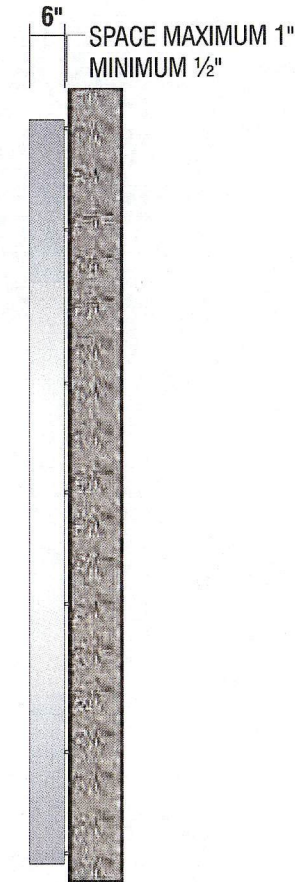
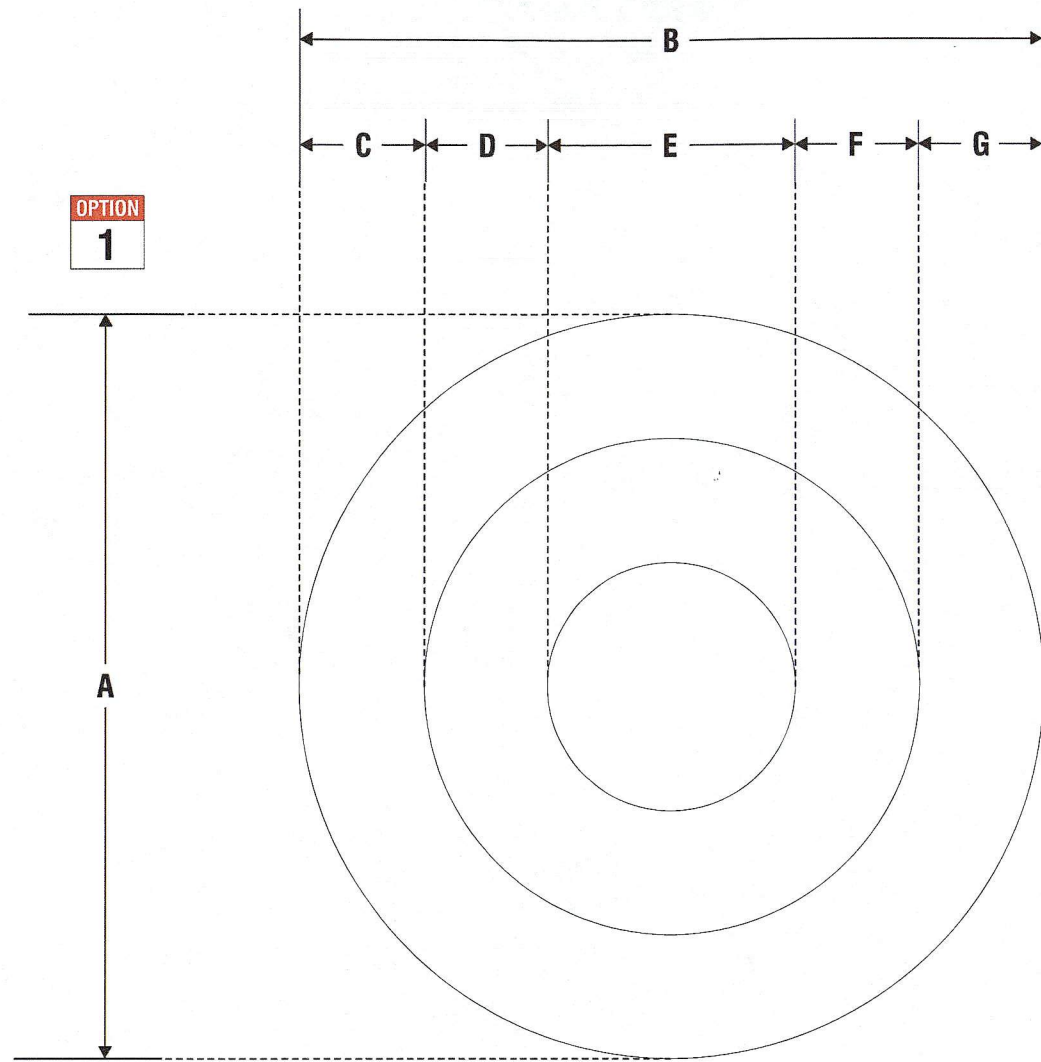
Job Number: 23-50234-10

Date: October 16, 2018

Sheet Number: 6 Of 14

Design Number: 23-50234-10-R6

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END VIEW

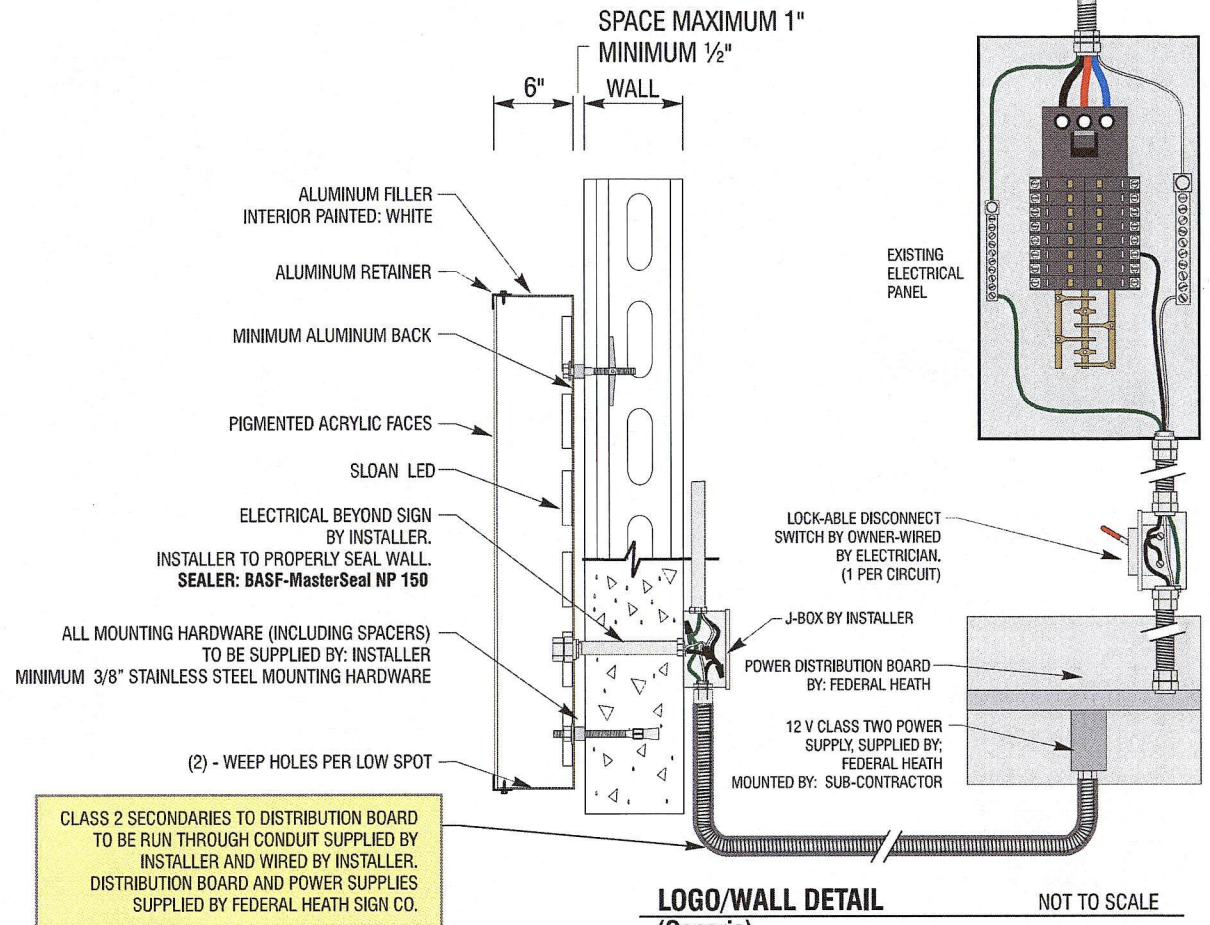
A **ACRYLIC FACED INTERNALLY ILLUMINATED "BULLSEYE"**
SCOPE OF WORK
MANUFACTURE AND INSTALL CHANNEL LOGO AS SHOWN AND NOTED

SIGN TYPE	A	B	C	D	E	F	G	RETAINER	SQ.FT.	QTY
144 BULLSEYE-W	12'-0"	12'-0"	2'-0"	2'-0"	4'-0"	2'-0"	2'-0"	1 1/2"	113.0	1

NOTE: ON A RED PAINTED WALL.

INSTALLATION OF THIS SIGN SHALL CONFORM TO ARTICLE 600 OF THE NEC, UL 48 AND OR OTHER APPLICABLE LOCAL CODES, INCLUDING THE PROPER GROUNDING AND BONDING OF THE SIGN.

THE LOCATION OF THE DISCONNECT SWITCH, AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(A) OF THE NEC.



LOGO/WALL DETAIL (Generic) NOT TO SCALE

MATERIAL FINISH COLORS

WHITE Returns	7328 WHITE ATUGLAS Acrylic Faces	WHITE Retainer/Trim-Cap	Sloan White LED Illumination
------------------	---	----------------------------	------------------------------------

ELECTRICAL REQUIREMENTS

Total: 0.0 Amps

(1) 120V 20A Circuit Required.

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.

CUSTOMER TO PROVIDE DEDICATED BRANCH CIRCUITS FOR SIGNS ONLY PER NEC CODE 600.5

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INSTALLER REQUIREMENTS

ALL MOUNTING HARDWARE, SECONDARY WIRING AND CONDUITS ARE TO BE PROVIDED BY THE INSTALLATION CONTRACTOR. ALL PENETRATIONS IN THE WALL ARE TO BE SEALED WITH SILICONE AND TO BE WATERTIGHT.

ANY DEVIATION FROM FEDERAL HEATH REQUIREMENTS MAY RESULT IN DAMAGE TO OR IMPROPER OPERATION OF SIGNAGE, CAUSING DELAYS AND ADDITIONAL COSTS.

NEW & REMODEL CONSTRUCTION

ADEQUATE BEHIND THE WALL BACKING AND ACCESS IS REQUIRED FOR THE INSTALLATION OF NEW SIGNAGE. CUSTOMER TO FORWARD APPROVED SIGNAGE DRAWINGS TO THE ON SITE CONTACT TO INSURE THAT THE REQUIRED PROVISIONS ARE MADE DURING CONSTRUCTION, PRIOR TO THE SIGN INSTALLATION.

INSTALLER REQUIREMENTS FOR EIFS WALLS

IT IS THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR TO PROVIDE ANY WALL SPACERS REQUIRED TO KEEP EIFS WALL MATERIAL FROM BEING COMPACTED DURING INSTALLATION OF ANY MOUNTING BOLTS REQUIRED FOR SIGNAGE.

GENERAL NOTE

- INSTALLER SHALL VERIFY WALL CONDITION IN THE FIELD.
- TYPE, SIZE AND NUMBER OF FASTENERS TO BE DETERMINED.
- ALL BOLT HOLES TO BE DRILLED OR PUNCHED.
- ISOLATE ALL ALUMINUM FROM STEEL.

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R2-11-09-18 VA/CHC added Photo of Existing sign G.
R3-11-28-18 JG Update elevs (11.28.18) Relocate Signs A & D per elevs. Sign B change to vinyl
R4-12-07-18 VA/DR Revise Sign F to enlarge the copy of Target.
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Client Approval/Date: _____

Landlord Approval/Date: _____

Building Quality Signage Since 1901

Account Rep: Boyd Hippenstiel

Project Manager: Sebastian C. Ramirez

Drawn By: Jake Posadas / JK

Underwriters Laboratories Inc. nfc

ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS

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Project / Location: 

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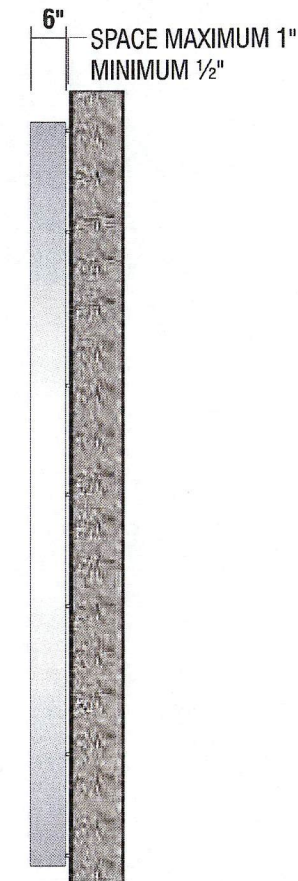
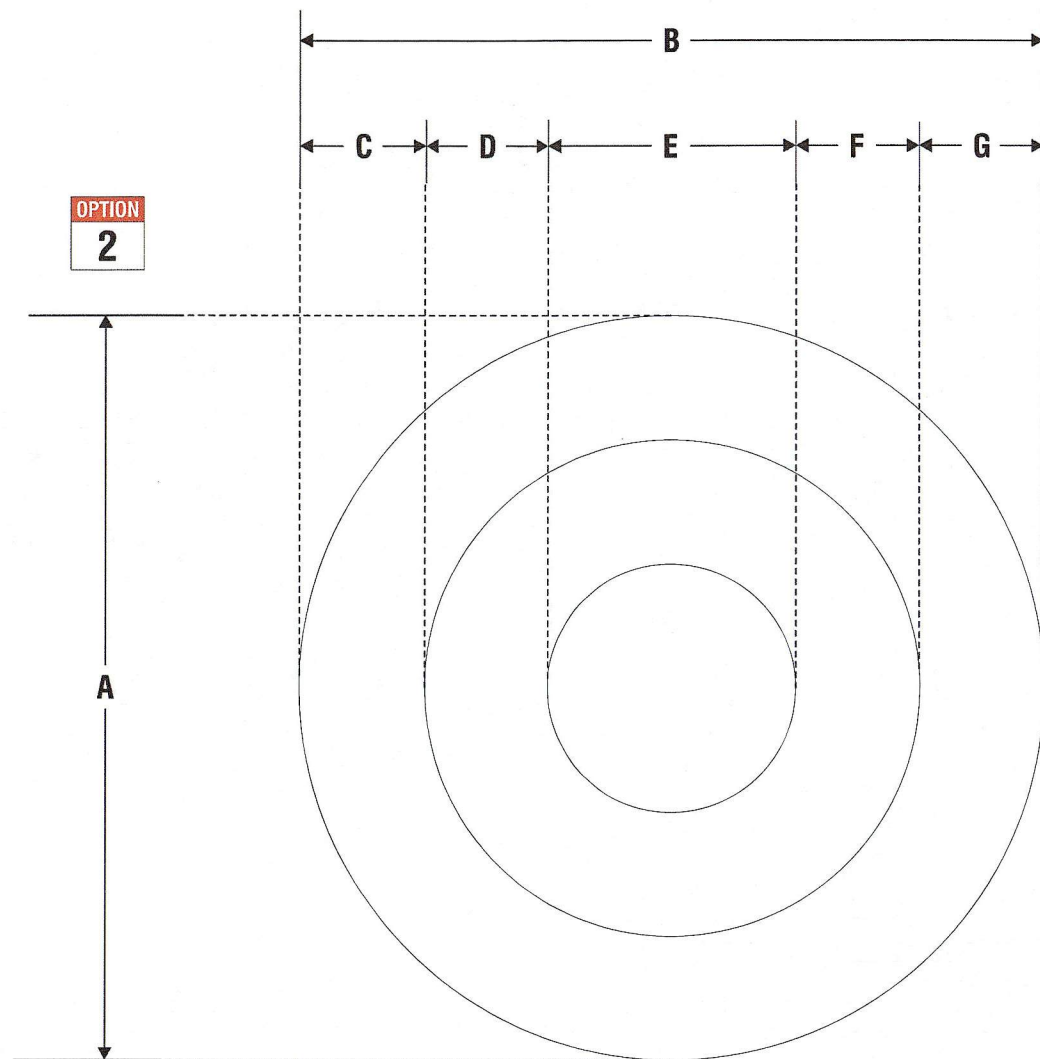
Job Number: 23-50234-10

Date: October 16, 2018

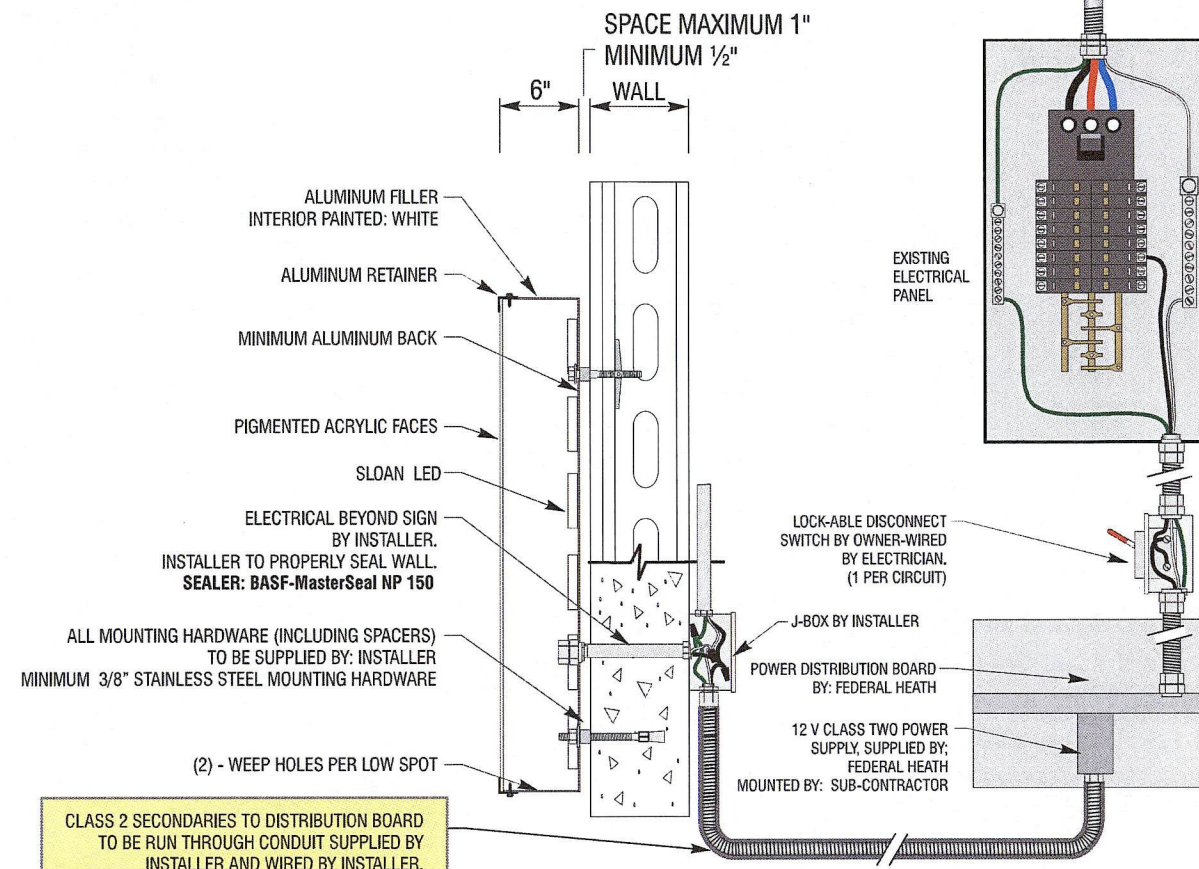
Sheet Number: 7 Of 14

Design Number: 23-50234-10-R6

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END VIEW



LOGO/WALL DETAIL
(Generic)

NOT TO SCALE

A **ACRYLIC FACED INTERNALLY ILLUMINATED "BULLSEYE"**

SCOPE OF WORK

MANUFACTURE AND INSTALL CHANNEL LOGO AS SHOWN AND NOTED

SIGN TYPE	A	B	C	D	E	F	G	RETAINER	SQ.FT.	QTY
120 BULLSEYE-W	10'-0"	10'-0"	1'-8"	1'-8"	3'-4"	1'-8"	1'-8"	1"	78.5	1

NOTE: ON A RED PAINTED WALL.

INSTALLATION OF THIS SIGN SHALL CONFORM TO ARTICLE 600 OF THE NEC, UL 48 AND OR OTHER APPLICABLE LOCAL CODES, INCLUDING THE PROPER GROUNDING AND BONDING OF THE SIGN.

THE LOCATION OF THE DISCONNECT SWITCH, AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(A) OF THE NEC.

ELECTRICAL REQUIREMENTS

Total: 0.0 Amps

(1) 120V 20A Circuit Required.

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.

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NEW & REMODEL CONSTRUCTION

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INSTALLER REQUIREMENTS FOR EIFS WALLS

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GENERAL NOTE

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Wilmington, IL - Tunica, MS - Atlanta, GA
Tampa, FL - Daytona Beach, FL - Orlando, FL

Revisions:
R1-11-06-18 VA/CHC Update all elevation and added sign G.
R2-11-09-18 VA/CHC added Photo of Existing sign G.
R3-11-26-18 JG Update elevs (11.28.18) Relocate Signs A & D per elevs. Sign B change to vinyl.
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R6-03-08-18 CA Added dims for existing signs (D, E & G) and updated sign schedule accordingly.
Colors Depicted in This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.
Client Approval/Date: _____
Landlord Approval/Date: _____

Account Rep: Boyd Hippenstiel
Project Manager: Sebastian C. Ramirez
Drawn By: Jake Posadas / JK
Underwriters Laboratories Inc. nfc
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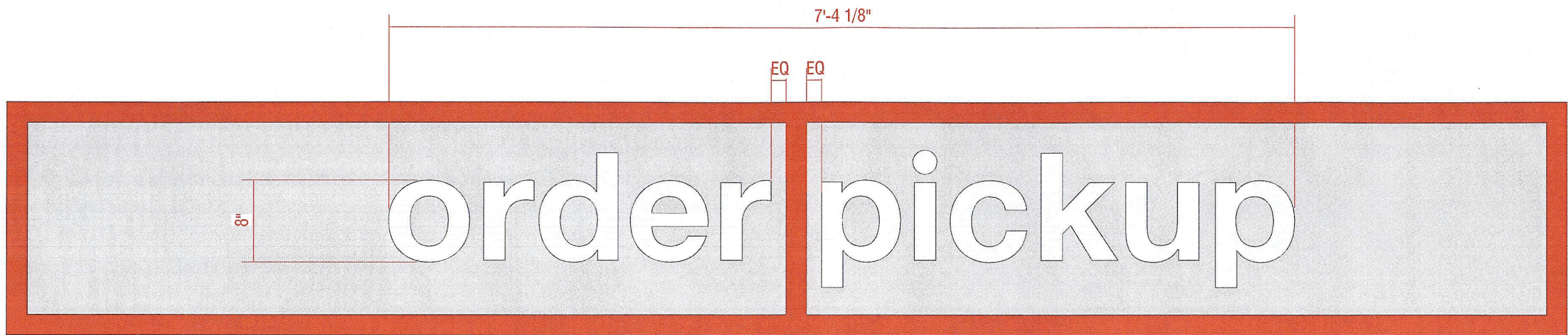
Project / Location: 
Store #: T0738
2800 Naglee Rd
Tracy, CA 95304

Job Number: 23-50234-10
Date: October 16, 2018
Sheet Number: 8 Of 14
Design Number: 23-50234-10-R6

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FIELD SURVEY REQUIRED

PRIOR TO PRODUCTION



B NEW WHITE “ORDER PICKUP” WINDOW VINYL

4.9 SQ.FT.

ONE (1) REQUIRED

Scale: 1"=1'-0"

MANUFACTURE AND INSTALL ONE (1) NEW WHITE “ORDER PICKUP” WINDOW VINYL, FIRST SURFACE

MATERIAL FINISH COLORS

3M 7725-10
OPAQUE WHITE
VINYL

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Tampa, FL - Daytona Beach, FL - Orlando, FL
Building Quality Signage Since 1901

Revisions:
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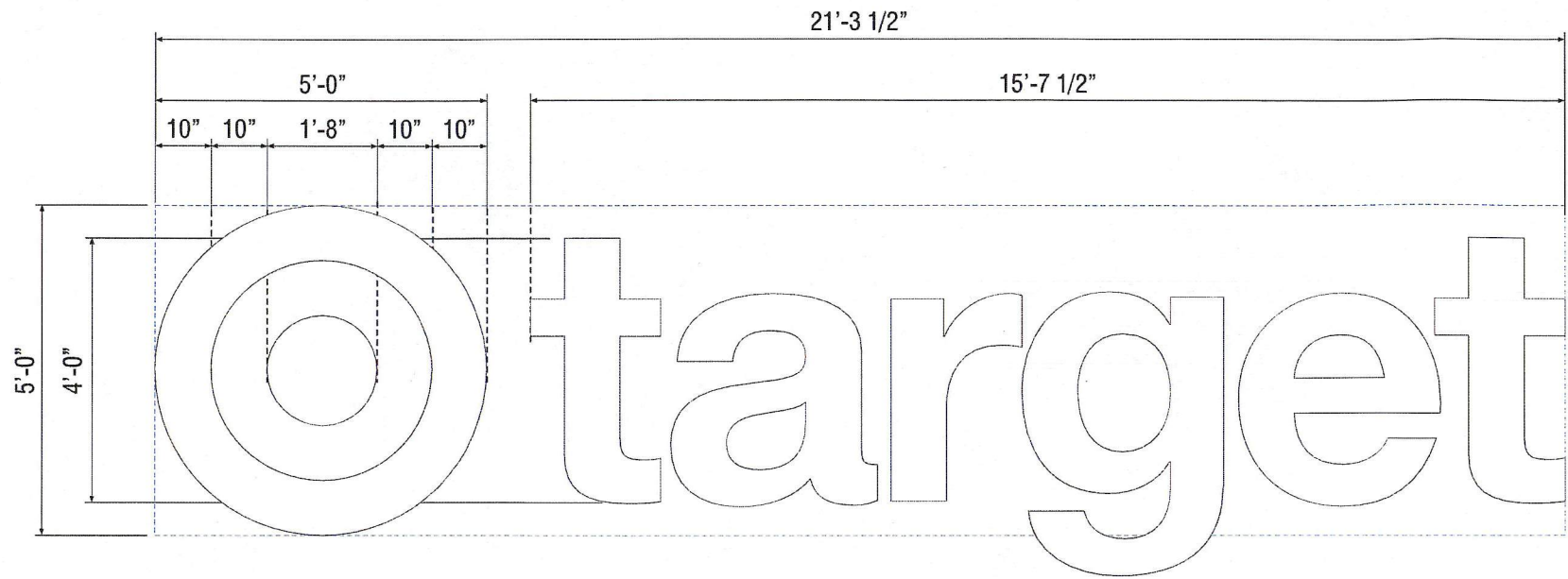
Account Rep: **Boyd Hippenstiel**
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Store #: **T0738**
2800 Naglee Rd
Tracy, CA 95304

Job Number: **23-50234-10**
Date: **October 16, 2018**
Sheet Number: **9** Of **14**
Design Number: **23-50234-10-R6**

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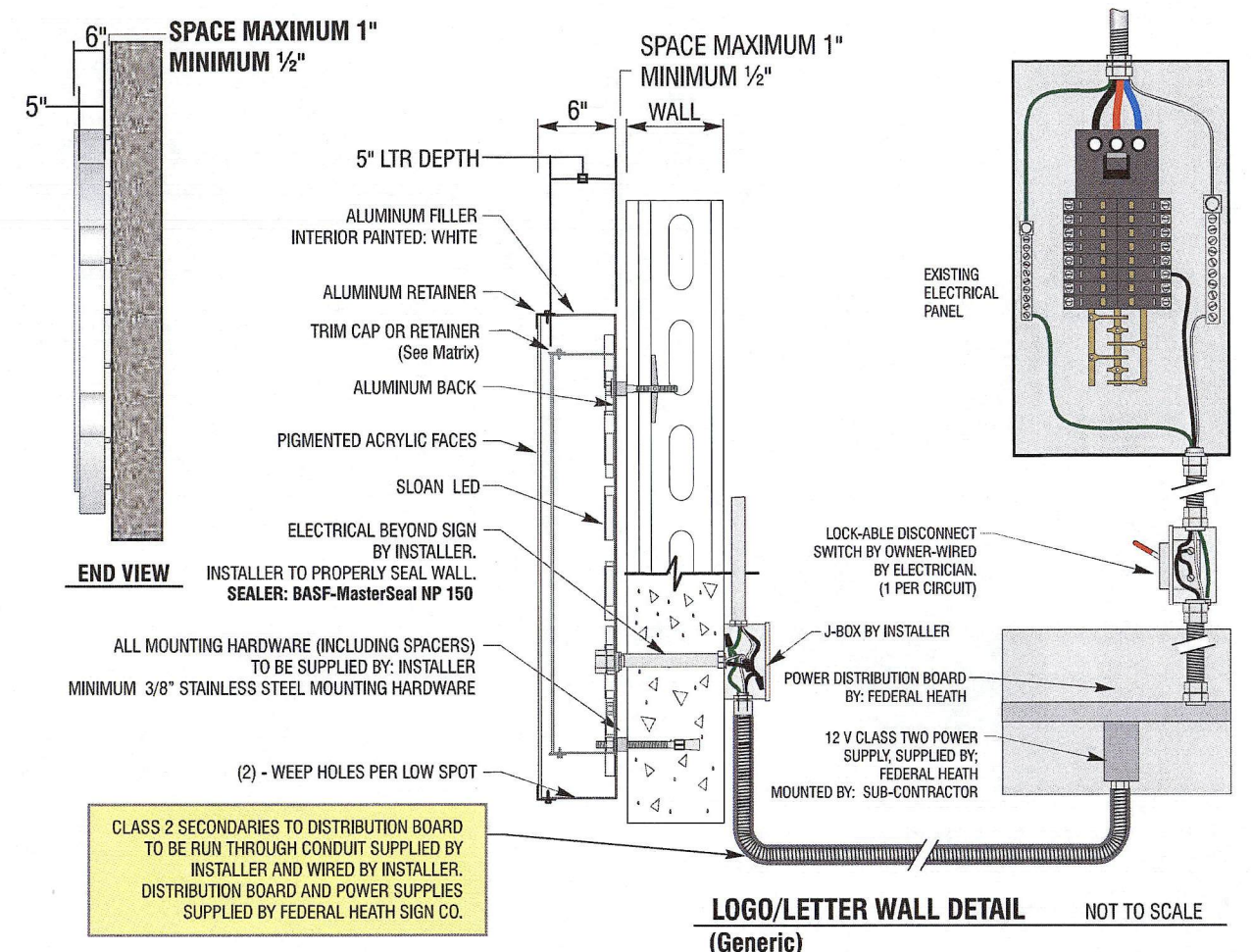
NON-STANDARD - TARGET LETTER SIZE



D ACRYLIC FACED INT. ILLUM. "LOGO & LETTER" SET | LC-3 W | ONE REQ'D
Scale: 3/8"=1' 106.46 SQ.FT.

SCOPE OF WORK:
MANUFACTURE AND INSTALL CHANNEL LOGO & LETTERS

NOTE: ON A RED PAINTED WALL.



MATERIAL FINISH COLORS			
WHITE	7328 White ATUGLAS Acrylic	White	Sloan White LED
Returns	Faces	Trimcap/Retainer	Illumination

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ELECTRICAL REQUIREMENTS
Total: 0.0 Amps
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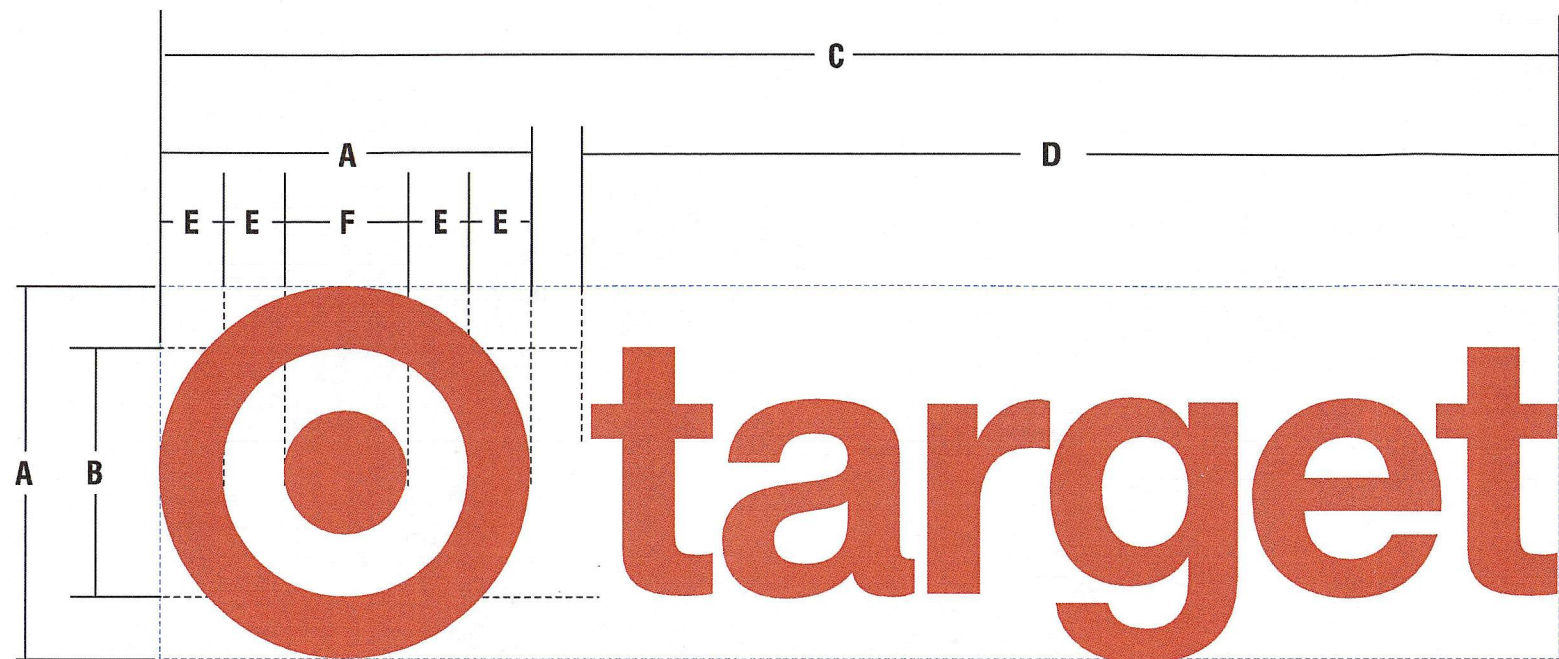
Job Number: 23-50234-10

Date: October 16, 2018

Sheet Number: 10 Of 14

Design Number: 23-50234-10-R6

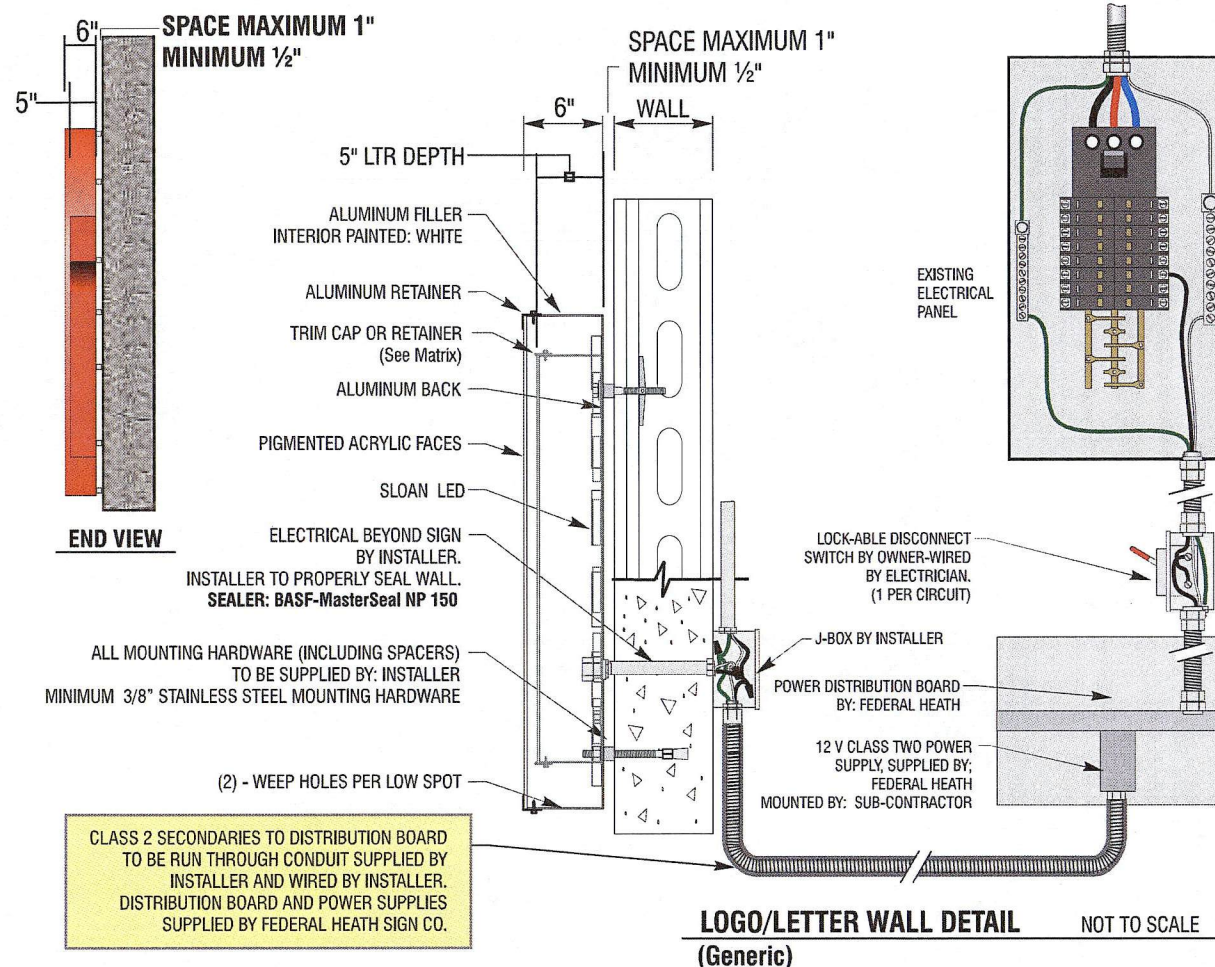
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E ACRYLIC FACED INT. ILLUM. "LOGO & LETTER" SET | LC-3 R

SCOPE OF WORK:
MANUFACTURE AND INSTALL CHANNEL LOGO & LETTERS

SIGN TYPE	A	B	C	D	E	F	LOGO RETAINER	LETTERS TRIM-CAP	AMPS CIRCUITS	SQ.FT.	QTY
LL48/32 LC-3 R	4'-0"	2'-8"	15' 0-1/4"	10' 4-3/8"	8"	1'-4"	1"	1" T/C		60	



LOGO/LETTER WALL DETAIL
(Generic) NOT TO SCALE

INSTALLATION OF THIS SIGN SHALL CONFORM TO ARTICLE 600 OF THE NEC, UL 48 AND OR OTHER APPLICABLE LOCAL CODES, INCLUDING THE PROPER GROUNDING AND BONDING OF THE SIGN.

THE LOCATION OF THE DISCONNECT SWITCH, AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(A) OF THE NEC.

ELECTRICAL REQUIREMENTS

Total: 0.0 Amps

(1) 120V 20A Circuit Required.

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.

CUSTOMER TO PROVIDE DEDICATED BRANCH CIRCUITS FOR SIGNS ONLY PER NEC CODE 600.5

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS. PROPERLY SIZED GROUND WIRE THAT CAN BE TRACED BACK TO BREAKER PANEL IS REQUIRED.

INSTALLER REQUIREMENTS

ALL MOUNTING HARDWARE, SECONDARY WIRING AND CONDUITS ARE TO BE PROVIDED BY THE INSTALLATION CONTRACTOR. ALL PENETRATIONS IN THE WALL ARE TO BE SEALED WITH SILICONE AND TO BE WATERTIGHT.

ANY DEVIATION FROM FEDERAL HEATH REQUIREMENTS MAY RESULT IN DAMAGE TO OR IMPROPER OPERATION OF SIGNAGE, CAUSING DELAYS AND ADDITIONAL COSTS.

NEW & REMODEL CONSTRUCTION

ADEQUATE BEHIND THE WALL BACKING AND ACCESS IS REQUIRED FOR THE INSTALLATION OF NEW SIGNAGE. CUSTOMER TO FORWARD APPROVED SIGNAGE DRAWINGS TO THE ON SITE CONTACT TO INSURE THAT THE REQUIRED PROVISIONS ARE MADE DURING CONSTRUCTION, PRIOR TO THE SIGN INSTALLATION.

INSTALLER REQUIREMENTS FOR EIFS WALLS
IT IS THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR TO PROVIDE ANY WALL SPACERS REQUIRED TO KEEP EIFS WALL MATERIAL FROM BEING COMPACTED DURING INSTALLATION OF ANY MOUNTING BOLTS REQUIRED FOR SIGNAGE.

GENERAL NOTE

- INSTALLER SHALL VERIFY WALL CONDITION IN THE FIELD.
- TYPE, SIZE AND NUMBER OF FASTENERS TO BE DETERMINED.
- ALL BOLT HOLES TO BE DRILLED OR PUNCHED.
- ISOLATE ALL ALUMINUM FROM STEEL.

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Colors Depicted in This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.
Client Approval/Date: _____
Landlord Approval/Date: _____

Account Rep: Boyd Hippenstiel
Project Manager: Sebastian C. Ramirez
Drawn By: Jake Posadas / JK
Underwriters Laboratories Inc. nfc
ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS
ALL ELECTRICAL SIGNS ARE TO COMPLY WITH U.L. 48 AND ARTICLE 600 OF THE N.E.C. STANDARDS, INCLUDING THE PROPER GROUNDING AND BONDING OF ALL SIGNS.

Project / Location: 
Store #: T0738
2800 Naglee Rd
Tracy, CA 95304

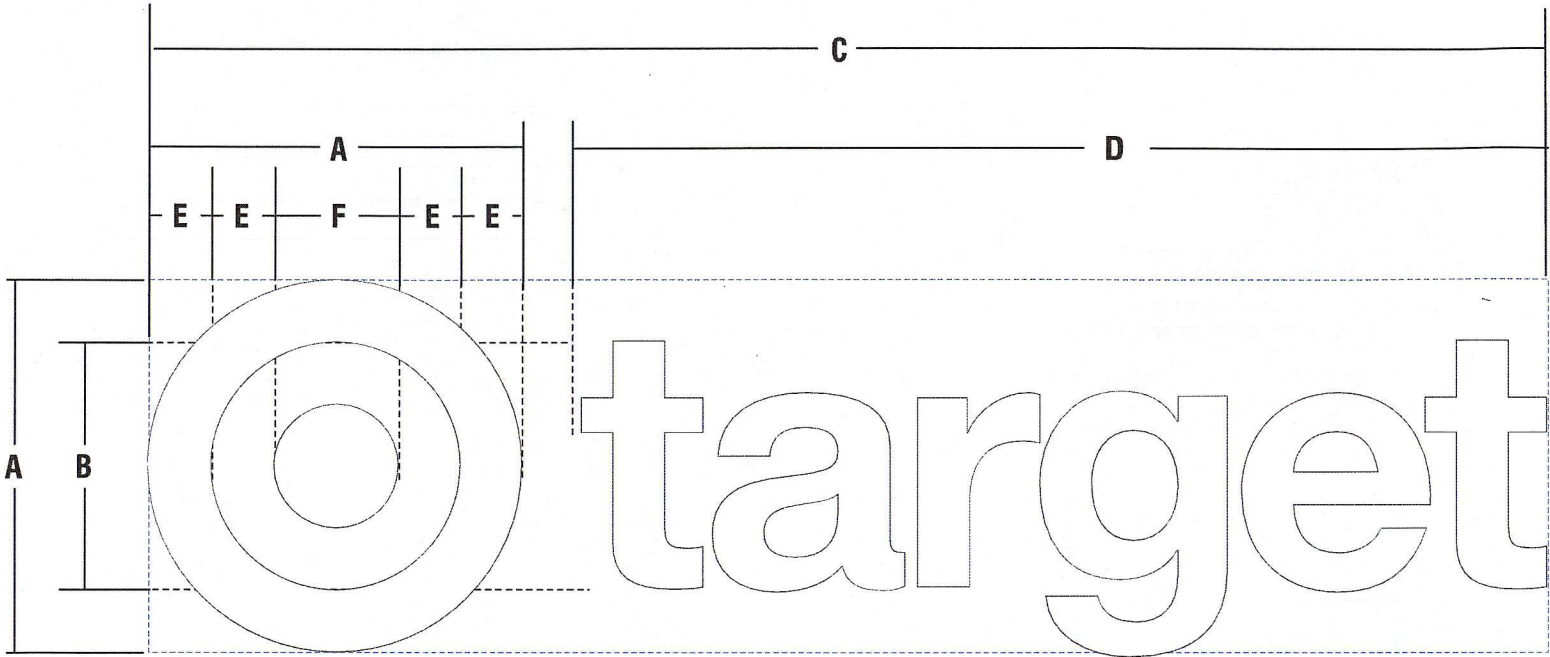
Job Number: 23-50234-10
Date: October 16, 2018
Sheet Number: 11 of 14
Design Number: 23-50234-10-R6

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NON-STANDARD

3.5" DEEP CHANNEL | INTERIOR APPLICATION | NO WEEP HOLES

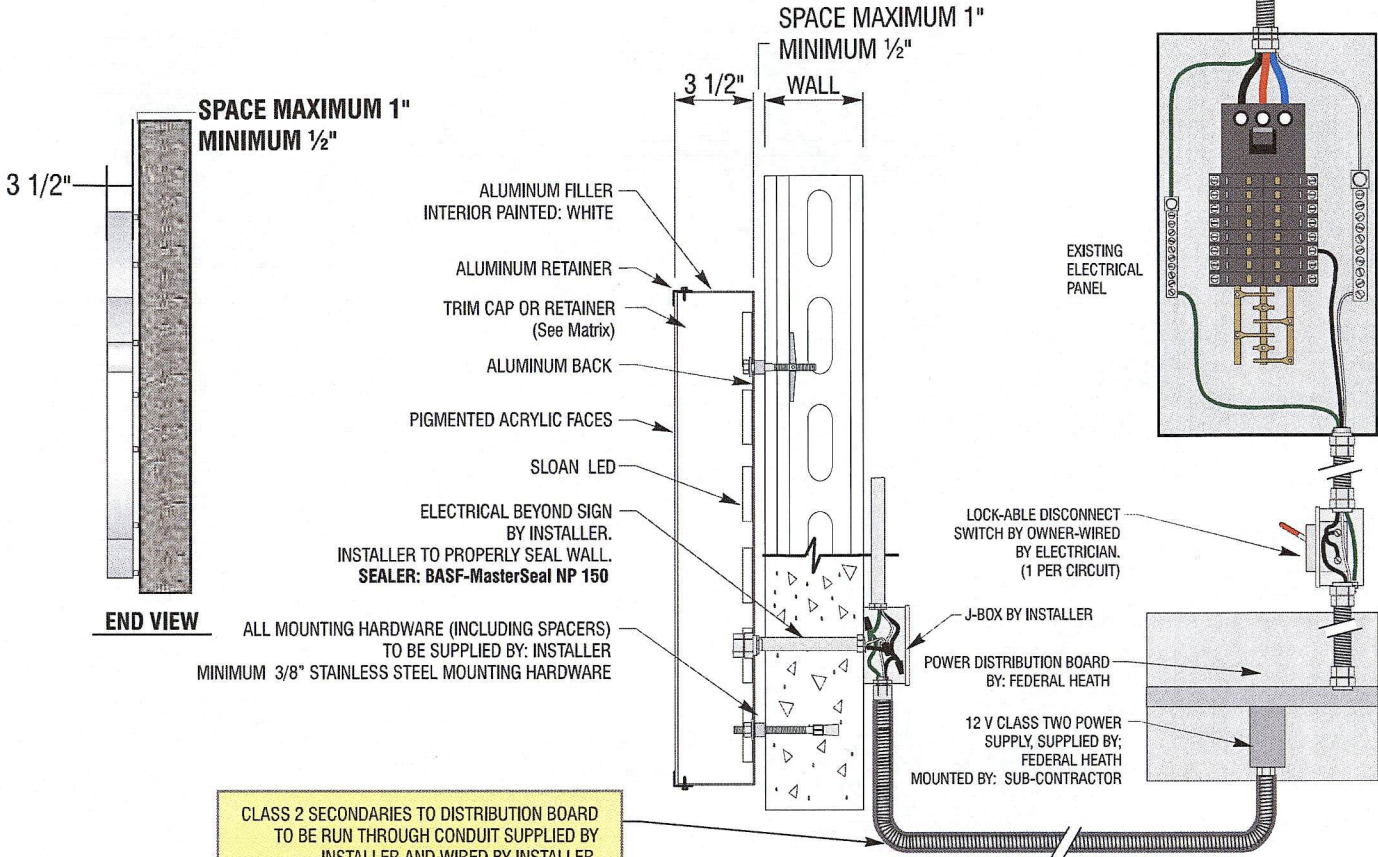
MATERIAL FINISH COLORS



ACRYLIC FACED INT. ILLUM. "LOGO & LETTER" SET | LC-3 W

SCOPE OF WORK:
MANUFACTURE AND INSTALL CHANNEL LOGO & LETTERS

SIGN TYPE	A	B	C	D	E	F	LOGO RETAINER	LETTERS TRIM-CAP	AMPS CIRCUITS	SQ.FT.	QTY
LL48/32 LC-3 W	4'-0"	2'-8"	15' 0-1/4"	10' 4-3/8"	8"	1'-4"	1"	1" T/C		60	1



LOGO/LETTER WALL DETAIL
(Generic) NOT TO SCALE

CLASS 2 SECONDARIES TO DISTRIBUTION BOARD
TO BE RUN THROUGH CONDUIT SUPPLIED BY
INSTALLER AND WIRED BY INSTALLER.
DISTRIBUTION BOARD AND POWER SUPPLIES
SUPPLIED BY FEDERAL HEATH SIGN CO.

CUSTOMER TO PROVIDE
DEDICATED BRANCH CIRCUITS FOR
SIGNS ONLY PER NEC CODE 600.5

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO
SIGNS (INCLUDING GROUND AND NEUTRAL) AND
SHALL NOT BE SHARED WITH OTHER LOADS.
PROPERLY SIZED GROUND WIRE THAT CAN BE
TRACED BACK TO BREAKER PANEL IS REQUIRED.

INSTALLER REQUIREMENTS

ALL MOUNTING HARDWARE, SECONDARY
WIRING AND CONDUITS ARE TO BE PROVIDED
BY THE INSTALLATION CONTRACTOR.
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ELECTRICAL REQUIREMENTS

Total: 0.0 Amps

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SHALL COMPLY WITH ARTICLE 600.6(A) OF THE NEC.

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Building Quality Signage Since 1901

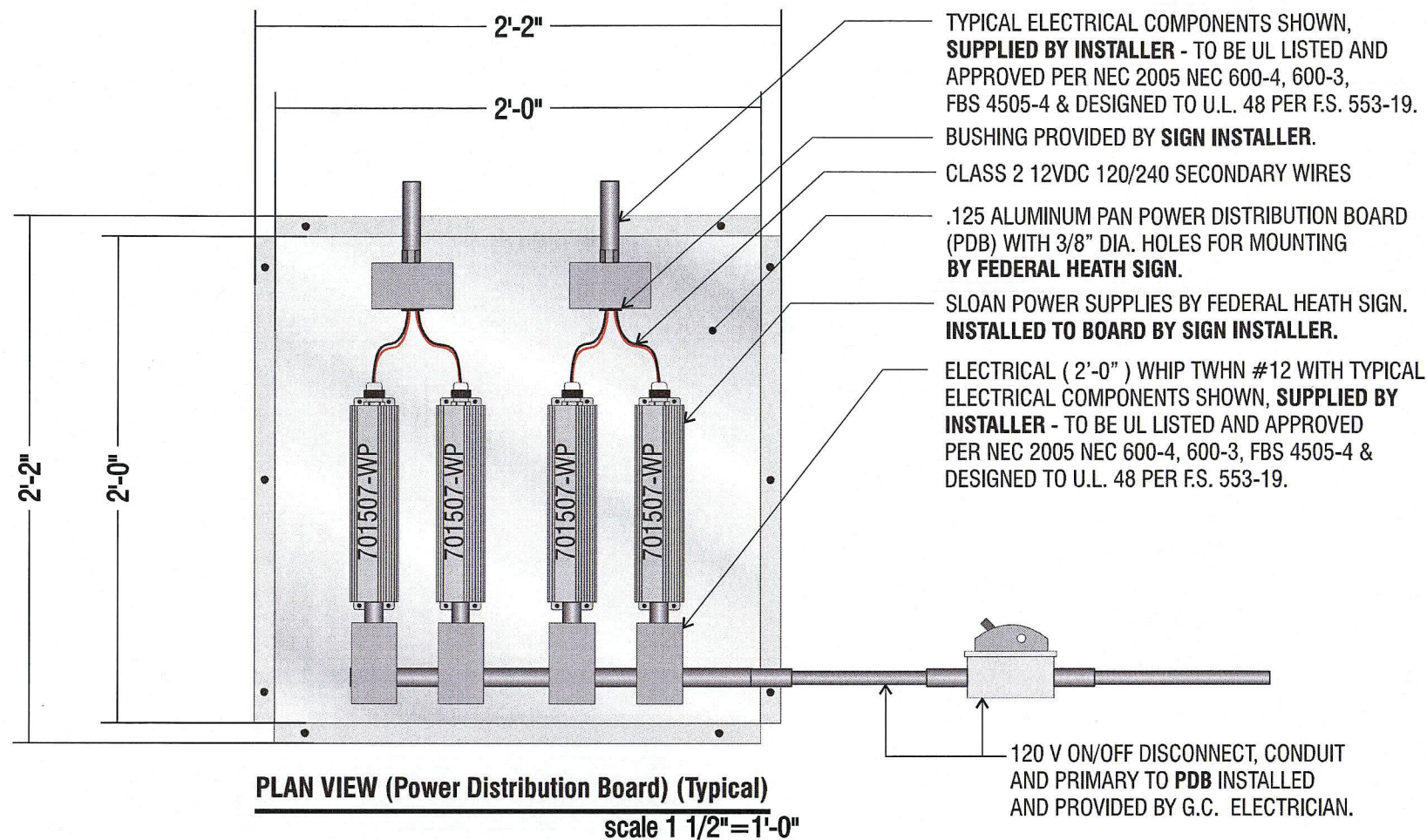
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Project / Location:
Store #: T0738
2800 Naglee Rd
Tracy, CA 95304

Job Number: 23-50234-10
Date: October 16, 2018
Sheet Number: 12 of 14
Design Number: 23-50234-10-R6

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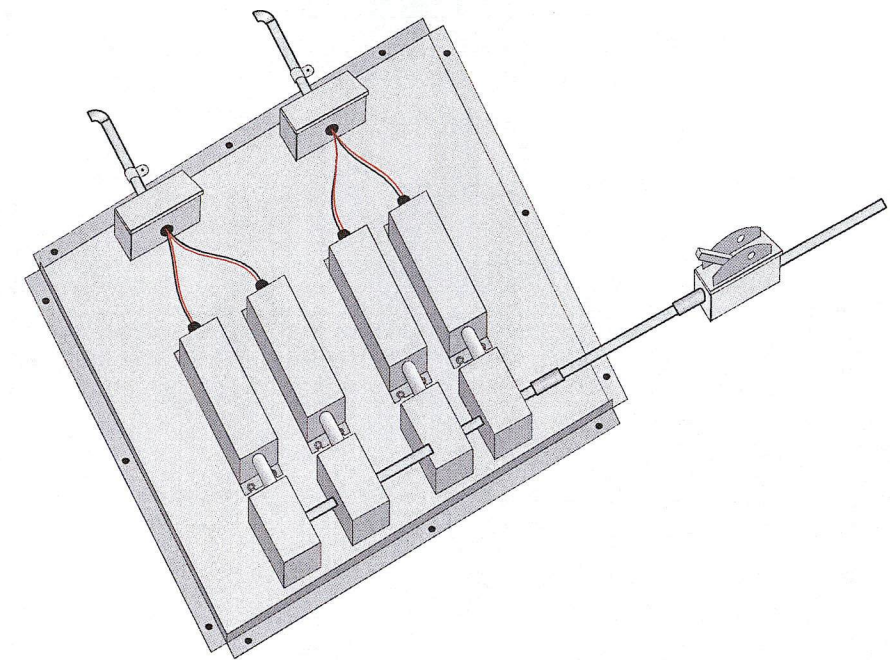
SCOPE OF WORK:

FEDERAL HEATH SIGN TO MANUFACTURE A "POWER DISTRIBUTION BOARD" - (PDB).
TO BE .125 ALUMINUM BREAK FORMED PANEL 1/2" DEEP.
PDB TO HAVE 3/8" MOUNTING HOLES PRE- DRILLED.

INSTALLER TO MOUNT LETTERS TO EXTERIOR WALL AND RUN SECONDARY LEADS IN CONDUIT THROUGH WALL INTO A HANDI-BOX.
CONDUIT THROUGH WALL TO BE SEALED FROM WEATHER WITH APPROPRIATE SEALANT SUPPLIED BY INSTALLER.
INSTALLER TO WIRE ALL SECONDARY JUMPS TO CORRESPONDING LETTERS INSIDE BUILDING.
INSTALLER TO WIRE SECONDARY LEADS TO POWER DISTRIBUTION BOARD THROUGH CONDUIT.
INSTALLER TO COORDINATE LOCATION OF POWER DISTRIBUTION BOARD WITH TARGET ON SITE REPRESENTATIVE PER (E-8 SITE ELECTRICAL DRAWINGS).
INSTALLER TO MOUNT **PDB** WHERE REQUIRED.
PDB MAXIMUM DISTANCE FROM SIGNAGE IN ANY ONE DIRECTION IS 150 FEET.
PDB TO BE MOUNTED USING ADEQUATE HARDWARE SUPPLIED BY INSTALLER.

ELECTRICIAN IS TO SUPPLY AND RUN PRIMARY, CONDUIT AND DISCONNECT SWITCH TO **PDB** AND MAKE FINAL CONNECTION.

ALL WORK TO BE DONE PER NEC, UL-48 AND LOCAL CODES.



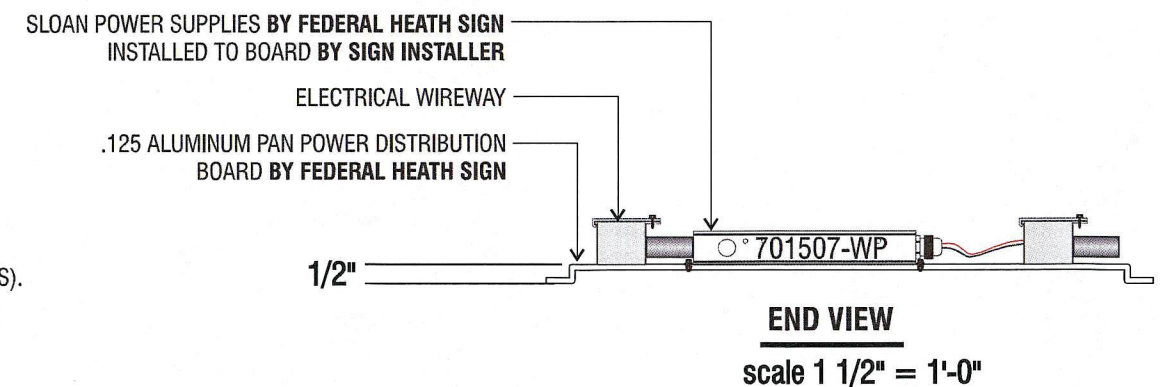
ISOMETERIC VIEW (Power Distribution Board)(Generic)

NOTE:

POWER SUPPLY QUANTITY DEPENDENT ON SIGNAGE REQUIRED.

INSTALLATION REQUIREMENT:

power distribution board (pdb) to be mounted no more than 12" above ceiling to the bottom of the pdb. refer to design drawings for specific location of pdb. pdb to be mounted so that it is easily accessible from a step ladder.



SHIPPING NOTE:

PLEASE SHIP ALUMINUM PANELS WITH POWER SUPPLIES IN THE SAME CONTAINER.

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Landlord Approval/Date: _____

Account Rep: **Boyd Hippenstiel**

Project Manager: **Sebastian C. Ramirez**

Drawn By: **Jake Posadas / JK**

UL Underwriters Laboratories Inc. **NEC** ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS

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Project / Location: 

Store #: **T0738**
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Tracy, CA 95304

Job Number: **23-50234-10**

Date: **October 16, 2018**

Sheet Number: **13** Of **14**

Design Number: **23-50234-10-R6**

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LC-3 REPLACEMENT FACE LAYOUT | ROUT-OUT

TWO (2) REQ.

SCALE: 3/8"=1'

36.45 SQ.FT. EACH


SCOPE OF WORK:

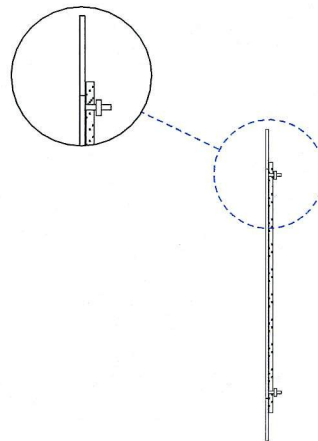
REMOVE EXISTING ALUMINUM FACES PANEL .

MANUFACTURE AND INSTALL NEW ALUM. FACE HEAVY TEXTROAT SW 6106

MATERIAL FINISH COLORS

 HEAVY TEXTROAT
SW 6106
Face

 2793 LD Red
Modified Acrylic
(Altuglas or Equiv.)
Back-Up Acrylic

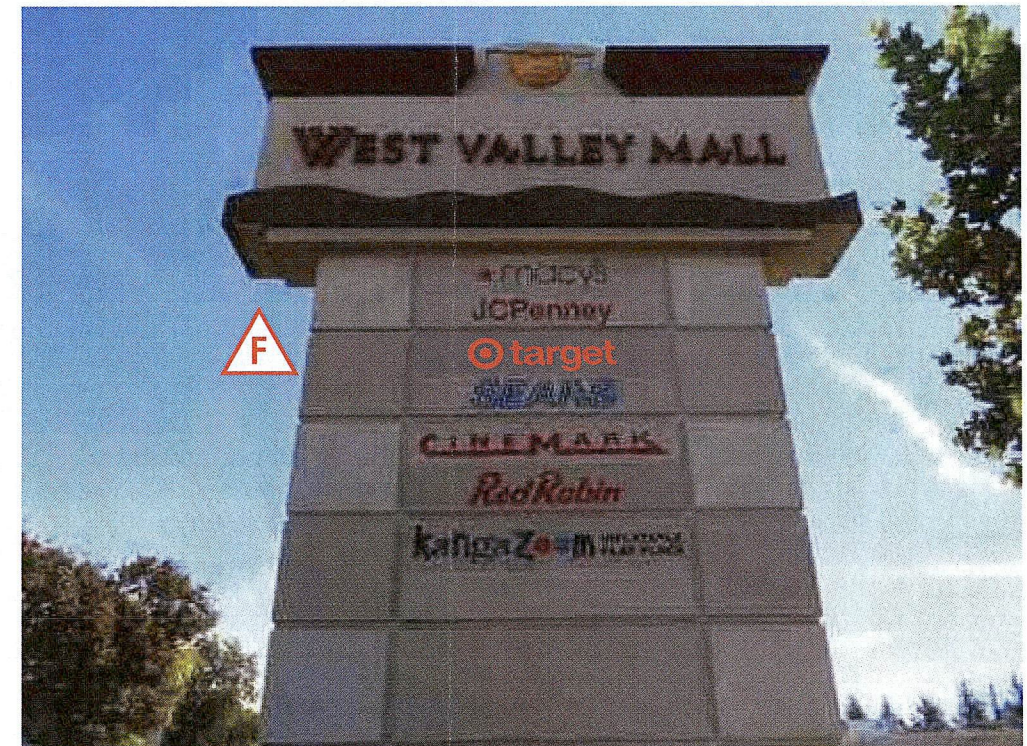


SECTION THRU FACE



EXISTING LOOK

NTS



PROPOSED NEW LOOK

NTS



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
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Laboratories Inc.  **ELECTRICAL TO USE U.L. LISTED
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Project / Location:



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Tracy, CA 95304

Job Number: **23-50234-10**

Date: **October 16, 2018**

Sheet Number: **14** Of **14**

Design Number: **23-50234-10-R6**

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RESOLUTION 2019 - _____

APPROVAL OF A DEVELOPMENT REVIEW PERMIT APPLICATION FOR FAÇADE MODIFICATIONS AND A SIGN PERMIT APPLICATION FOR NEW WALL SIGNS FOR THE EXISTING TARGET STORE LOCATED IN THE WEST VALLEY MALL AT 2800 NAGLEE ROAD, ASSESSOR'S PARCEL NUMBER 212-050-23. APPLICANT IS MARK KALTSAS FOR TERRAMARK AND OWNER IS TARGET CORPORATION.
APPLICATION NUMBERS D19-0004 & SGN19-0012

WHEREAS, On June 7, 1994, the City Council approved the Preliminary and Final Development Plan for the West Valley Mall and Target store, and on June 20, 1995, the City Council approved exterior signs for the Target store. On September 7, 2004, the City Council approved an expansion and remodel of the Target store, and

WHEREAS, On January 22, 2019, the City received an application for façade modifications and new exterior signs, and

WHEREAS, The subject property is Zoned Planned Unit Development and is located within the I-205 Corridor Specific Plan area, with a land use designation of Commercial Center. The project is consistent with the General Plan land use designation of Commercial and the land use designation of Commercial Center, and

WHEREAS, In accordance with the I-205 Corridor Specific Plan, signs for major mall tenants shall be approved with the development plan, and

WHEREAS, The Planning Commission conducted a public hearing to review and consider the application on March 27, 2019;

NOW, THEREFORE, BE IT RESOLVED, That the Planning Commission hereby approves the development review permit for façade modifications and approves the sign permit for new wall signs (D19-0004 & SGN19-0012) at the existing Target Store located in the West Valley Mall at 2800 Naglee Road, subject to the conditions as stated in Exhibit "1" attached and made part hereof and based on the following findings:

1. The proposal increases the quality of the project site and enhances the property in a manner that therefore improves the property in relation to the surrounding area and the citizens of Tracy, because the proposed façade changes and signage are in harmony with the remainder of the West Valley Mall building. The proposed red accent walls will match the existing red accents on and around the building, and the amount of red is kept to a minimum that updates the building aesthetic without being overpowering. As conditioned, the proposed signs are in scale with the building face upon which they are proposed to be located. The sign on the west elevation is conditioned to be comprised of a logo without letters to be no more than 10' in diameter, which would look most appropriate in scale with the building façade upon which it is to be located and with existing signs in the surrounding commercial area.
2. The proposal, as conditioned, conforms to the I-205 Corridor Specific Plan, the Tracy Municipal Code, the City of Tracy General Plan, the City Design Goals and Standards, applicable City Standards, California Building Codes, and California Fire Codes. The

applicant will obtain appropriate building permits prior to construction of the improvements.

* * * * *

The foregoing Resolution 2019-_____ was adopted by the Planning Commission of the City of Tracy on the 27th day of March, 2019, by the following vote:

AYES:	COMMISSION MEMBERS:
NOES:	COMMISSION MEMBERS:
ABSENT:	COMMISSION MEMBERS:
ABSTAIN:	COMMISSION MEMBERS:

CHAIR

ATTEST:

STAFF LIAISON

Target Store Façade and Sign Modifications
Conditions of Approval
Application Numbers D19-0004 & SGN19-0012
March 27, 2019

A. General Provisions and Definitions

1. These Conditions of Approval shall apply to the real property described as Target store, located at 2800 Naglee Road, Assessor's Parcel Number 212-050-23, Application Number D19-0004 & SGN19-0012 (hereinafter "Project"), owned by Target Corporation (hereinafter "Applicant").
2. The following definitions shall apply to these Conditions of Approval:
 - a. "Applicant" means any person, or other legal entity, defined as a "Developer".
 - b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed engineer designated by the City Manager, the Development Services Director, or the City Engineer to perform the duties set forth herein.
 - c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, ordinances, resolutions, policies, procedures, City's Design Goals and Standards, and the City's Design Documents (including the Standard Plans, Standard Specifications, Design Standards, and relevant Public Facility Master Plans).
 - d. "Director" means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
 - e. "Conditions of Approval" shall mean the conditions of approval applicable to the Target expansion, Application Numbers D19-0004 & SGN19-0012, Development Services Department conditions dated on March 27, 2019.
 - f. "Project" means the façade modifications and new wall signs at the Target store located at 2800 Naglee Road, Application Numbers D19-0004 & SGN19-0012.
 - g. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.
3. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to: the Planning and Zoning Law (Government Code sections 65000, *et seq.*), the Subdivision Map Act (Government Code sections 66410, *et seq.*), the California Environmental Quality Act (Public Resources Code sections 21000, *et seq.*, "CEQA"), and the Guidelines for California Environmental Quality Act (California Administrative Code, title 14, sections 15000, *et seq.*, "CEQA Guidelines").

4. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City Regulations.
5. Pursuant to Government Code Section 66020, including Section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code Section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

B. Planning Division

1. The project shall be developed in substantial compliance with the site plan, color elevations, and sign details received by the Development Services Department on March 18, 2019, except as otherwise modified herein. No signs shall project above the roofline.
2. The sign on the west (front) elevation shall be comprised of a 10-ft diameter logo only, as shown in "Option 2" on the plans.
3. The applicant shall obtain building permits as applicable for the new improvements.
4. Prior to final inspection, the new EIFS shall be textured to match the building to the satisfaction of the Development Services Director.
5. All existing landscaping shall be protected during construction of these improvements. No removal of landscaping is approved with this permit.

AGENDA ITEM 1.B

REQUEST

PUBLIC HEARING TO CONSIDER AN AMENDMENT TO THE CORRAL HOLLOW WEST PLANNED UNIT DEVELOPMENT TO PERMIT HIGH-DENSITY SINGLE-FAMILY RESIDENTIAL USES AND ESTABLISH DEVELOPMENT STANDARDS AND APPROVAL OF A 42-LOT VESTING TENTATIVE SUBDIVISION MAP AND DEVELOPMENT REVIEW PERMIT ON AN APPROXIMATELY 3.5-ACRE LOT LOCATED AT 2483 W. SCHULTE ROAD, ASSESSOR'S PARCEL NUMBER 240-660-37. THE REQUEST INCLUDES AN AMENDMENT TO THE CITY'S DESIGN GOALS AND STANDARDS FOR RESIDENTIAL HOMES. THE APPLICANT IS BRIGHT DEVELOPMENT AND OWNER IS POND CREEK, LLC. APPLICATION NUMBERS PUD18-0003, TSM18-0004, AND D18-0029

DISCUSSION

Background and Project Description

In 1995, the Corral Hollow West area, consisting of approximately 294 acres located adjacent to and west of the existing terminus of Schulte Road, was annexed into the City of Tracy and zoned Planned Unit Development (PUD) for residential uses by Resolution No. 94-384. Corral Hollow West is comprised of three project areas: Redbridge, Gabriel Estates, and Southgate (Attachment A). The Southgate project area was approved in 2006 for approximately 81 acres consisting of approximately 71 gross acres of single-family residential, approximately 3.5 acres of multi-family residential, and approximately 6.5 acres of park. To date, the only portion of Southgate that has been constructed is a 71-lot single-family subdivision on approximately 18 acres (3-99-TSM and D14-0027).

On September 21, 2018, the City received an application for development of the 3.5-acre multi-family site in Southgate (also known as Lot A). The application, however, is for 18 detached single-family dwellings and 24 attached single-family dwellings (duets) for a total proposed density of 12.24 units per acre, which is not a multi-family project. Therefore, the applicant is requesting an amendment to the PUD to modify the land use designation of the approximately 3.5-acre multi-family site to also permit high-density development comprised of single-family dwelling units. The applicant has also submitted applications for a development review permit for a development plan and architecture of the homes and vesting tentative subdivision map to divide the subject site into 42 lots.

Planned Unit Development Amendment

The PUD currently permits only multi-family on the subject site. A multi-family dwelling is defined in the Tracy Municipal Code as a building designed for occupancy by three or more families living independently of each other and containing three or more dwelling units. In 2006, it was anticipated that apartments would be built on this site. The property owner no longer desires to develop a multi-family project, but rather, proposes a high-density project comprised of single-family dwellings. The PUD would need to be amended for such a project to be permitted at this location. The proposed PUD amendment, if approved, would allow high-density development to occur on the subject site without requiring that the buildings be multi-family. This allows flexibility for other

building types to be developed at the site, should this project ultimately not be constructed.

The PUD is also currently silent on development standards for the subject site. The PUD amendment application includes a proposal for development standards for single-family development. The proposed development standards are as follows:

Minimum Interior Lot Width - 35'
Minimum Interior Lot Depth - 55'
Minimum Interior Lot Size - 2,000 sq. ft.
Minimum Corner Lot Width - 40'
Minimum Corner Lot Depth - 55'
Minimum Corner Lot Size - 2,300 sq. ft.

Front Yard Setback - 5' Minimum with 8' minimum to garage door
Interior Side Yard Setback for single-family detached - 3' Minimum
Interior Side Yard Setback for single-family attached - 0' on one side, 3' Minimum on the other
Street Side Yard Setback - 3' Minimum
Rear Yard Setback - 4' Minimum
Rear Yard Open Space – 150 sq. ft.
Maximum Lot Coverage - 70%
Maximum Building Height - 30'
Off Street Parking – 2 spaces, non-tandem and enclosed in a garage, per dwelling unit in accordance with the Tracy Municipal Code

Accessory buildings, shade structures, projections into yards and courts shall be developed in accordance the development standards of this PUD.

All standards for fence, wall and hedge heights shall be consistent with Tracy Municipal Code Section 10.08.3250, specifically the HDR zone.

Parking of boats, recreation vehicles, and motor homes within driveways or on the private street is prohibited within the PUD.

Vesting Tentative Subdivision Map

The subject site is designated Residential High in the General Plan, which permits a density range of 12.1 to 25 units per acre. The proposed vesting tentative subdivision map (Attachment B) contemplates 42 front-loaded lots for one dwelling per lot, which equates to a density of 12.24 units per acre. The subdivision is proposed to be comprised of small lots ranging from 2,126 sq ft at the smallest to 3,387 sq ft at the largest. A private loop road with two stubs for emergency access is proposed to serve the homes. The private road proposes 18 to 21 feet of travelway for two-way travel, with a 26-foot wide travelway at the subdivision entrance. An 8-foot wide park strip is proposed adjacent to the travelway along the northern boundary of the project, but on-street parking is otherwise not permitted. Where feasible, sidewalks are provided to facilitate pedestrian connection to Schulte Road and Patrick McCaffrey Sr Avenue.

The tentative map proposes narrow private streets that do not comply with City Standards, but they have been reviewed by City engineering staff and the South San Joaquin County Fire Authority for emergency access. Removable bollards are proposed to be installed at the western emergency access drive to prevent use of this driveway by passenger vehicles. Though the narrow streets do not provide much opportunity for on-street parking, the project has included 14 striped on-street spaces, and the houses will be strategically plotted to provide on-site parking in private driveways.

High-density development can be developed in various innovative ways. City staff encouraged the applicant to consider alternative designs to traditional front-loaded lots. Based on the size of the site and the minimum density required, and due to the applicant's desire for single-family design, the applicant determined that the subdivision as proposed is the most efficient way to design the project. Staff also asked the applicant to provide sidewalks on both sides of the private road so that pedestrians would not need to walk in the street. According to the applicant, there is not enough room to fit a sidewalk along both sides of the street. The applicant strategically located sidewalks along portions of the private road to facilitate direct pedestrian access to Schulte Road and Patrick McCaffrey Sr Avenue that take pedestrians off the street and render it such that pedestrians do not have to walk around the subdivision to reach Schulte Road.

Architecture

The project proposes four floor plans of single-family detached house styles and two floor plans for duet house styles (attached single-family dwellings on separate lots with adjoining zero-lot line side yards). The detached homes range from 1,783 to 2,142 sq ft, and each floor plan will be built with at least two different elevation styles. The duets are proposed at 1,761 and 1,925 sq ft, in size, each to be constructed with two different elevation styles (Attachment C).

The architectural styles used throughout the subdivision are inspired by Traditional, Bungalow, Cottage, and Craftsman architecture. Three color and material schemes are proposed for the Bungalow and Craftsman elevations, three different schemes for the Traditional elevations, and three other schemes for the Cottage elevations. Every floor plan has substantial variation in building planes on at least two sides of the house that grant visual interest to the house and reduce the effect of a monotonous streetscape. The house plans incorporate numerous windows that visually break up the otherwise large and flat side elevations. Architecture-specific details, such as gable details, pot shelves, and window trims and mullions are used on all sides of the houses. On a majority of the house plans, the garage is set back behind the front façade of the house; however, Plans 3 and 4 of the detached house plans propose a single-car garage façade at the same plane as the front façade of the house. Even so, staff recommends approval of these plans because the house has been otherwise designed to de-emphasize the presence of this forward garage, further described below. The development plan represents how the houses are intended to be plotted. Duets are proposed to be built with Plan 1's and Plan 2's paired. Page A30 of the architectural booklet shows two Traditional elevations side-by-side. Because the design of each house plan is so similar to each other, staff recommends a condition of approval that no two same elevation styles be paired together as a duet.

Design Goals and Standards Amendment

The City of Tracy's Design Goals and Standards, as revised by Resolution No. 2017-099, were established to provide development applicants, property owners and the community clarity regarding the City's design expectations and to streamline the development process. Included among these standards is the following requirement for residential design standards on page 3-18:

The garages of homes shall be designed so that the garage does not dominate the streetscape. Enhanced visual appeal, perception of "eyes on the street" and neighborhood interaction is encouraged by reducing the prominence of garages. The garage façade shall be placed back at least 5 feet behind the front façade of the house, with a garage setback of 20 feet or greater (measured from the front façade of the house) being preferred for a portion of the project. Rear or alley-loaded garages are encouraged whenever possible to completely eliminate garage views from the street.

Plans 3 and 4 of the proposed single-family detached floor plans have a split and staggered one-car garages, where one garage door is at the same plane as the front façade of the house and the other garage door is set back ten feet from the front of the house. This design does not meet the garage setback requirement above; however, the house is otherwise designed to de-emphasize the presence of garages on the street by placing one of the two garage façades a substantial distance behind the rest of the house, providing horizontal relief above the forward garage door through use of tiled roof-like projections above the garage door and large second story pot shelves, and recessing the garage door at least eight inches behind the garage façade. Therefore, staff and the Planning Commission recommend that the City Council add a guideline to the City Design Goals and Standards to permit innovative residential designs such as this, to be written as follows:

For homes located in project of at least 10 units per gross acre, the 5-foot setback may be waived provided that 1) the garage door is split into two single-car garage doors, 2) the two garage doors are set back behind the front façade of the house at an average of 5 feet, and 3) the house is designed to de-emphasize the presence of the garage doors. In no case shall a garage door be closer to the front lot line than the front façade of the house.

This is also an opportunity to reformat this page for easier readability and correct a typo that was discovered after approval of the document in 2017.

Environmental Document

The project is exempt from the California Environmental Quality Act per Section 15162 pertaining to projects with a certified Environmental Impact Report (EIR) where the project does not propose substantial changes that will result in a major revision of the previous EIR. On February 1, 2011, the City of Tracy adopted the General Plan. The associated EIR (SCH# 1992 122 069) was certified on February 1, 2011. Furthermore, the project is consistent with the Negative Declaration approved by the City Council for the Corral Hollow West Annexation. The project does not propose new significant

changes to the environment that were not analyzed in the General Plan EIR, including the areas of traffic, air quality, land use, and aesthetics. Therefore, no further documentation is needed.

RECOMMENDATION

Staff recommends that the Planning Commission recommend that the City Council take the following actions:

1. Approve a revision to the City of Tracy Design Goals and Standards for residential design as contained in the Planning Commission Resolution dated March 27, 2019, and
2. Approve the following on an approximately 3.5-acre lot located at 2483 W Schulte Road, Assessor's Parcel Number 240-660-37:
 - a. That the City Council adopt an ordinance amending the Corral Hollow West Planned Unit Development to permit high density single-family uses and establish development standards (Application Number PUD18-0003), and
 - b. That the City Council approve a 42-lot vesting tentative subdivision map and a development review permit (Application TSM18-0004 & D18-0029), subject to the conditions contained in the Planning Commission Resolution dated March 27, 2019.

SUGGESTED MOTION

Move that the Planning Commission recommend that the City Council take the following actions:

1. Approve a revision to the City of Tracy Design Goals and Standards for residential design as contained in the Planning Commission Resolution dated March 27, 2019, and
2. Approve the following on an approximately 3.5-acre lot located at 2483 W Schulte Road, Assessor's Parcel Number 240-660-37:
 - a. That the City Council adopt an ordinance amending the Corral Hollow West Planned Unit Development to permit high density single-family uses and establish development standards (Application Number PUD18-0003), and
 - b. That the City Council approve a 42-lot vesting tentative subdivision map and a development review permit (Application TSM18-0004 & D18-0029), subject to the conditions contained in the Planning Commission Resolution dated March 27, 2019.

Agenda Item 1.B

March 27, 2019

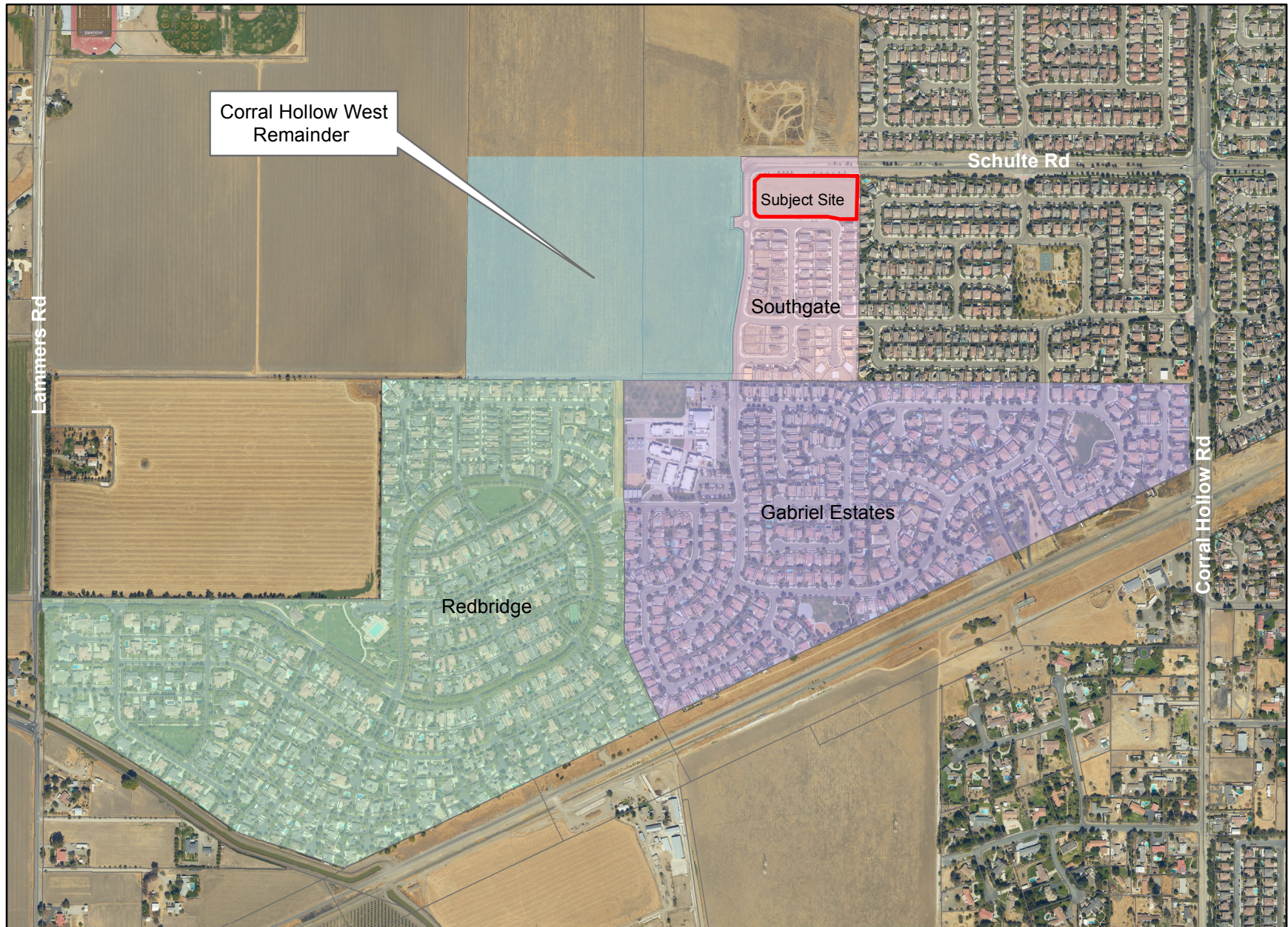
Page 6

Prepared by: Kimberly Matlock, Associate Planner

Approved by: Bill Dean, Assistant Development Services Department Director

ATTACHMENTS:

- A: Project Location Map
- B: Vesting Tentative Subdivision Map
- C:. Architectural booklet comprised of the Development Plan, Floor and Roof Plans, Elevations, and Colors and Materials
- D: Resolution recommending amendment to Design Goals and Standards
- E: Resolution recommending City Council approval of the project



ATTACHMENT B

Vesting Tentative Subdivision Map

Provided under separate cover

ATTACHMENT C
Architectural Booklet

Provided under separate cover

RESOLUTION 2019-_____

RECOMMENDING APPROVAL OF REVISED CITY OF TRACY
DESIGN GOALS AND STANDARDS

WHEREAS, On October 15, 2002, the City Council adopted the City of Tracy Design Goals and Standards that contain standards and guidelines for development citywide, and

WHEREAS, The Design Goals and Standards were amended in 2008 and in 2017 with additional and revised language to provide clarity to development applicants, property owners and the community regarding the City's design expectations for and to streamline the development process, and

WHEREAS, Included among these standards is a requirement that garages of homes shall be designed so that garage doors do not dominate the streetscape, specifying that garage façades must be placed back at least five feet from the front façade of the house, and

WHEREAS, On September 21, 2018, the City received a development application for a high-density, small-lot, single-family residential project which includes innovative architectural floor plans that have split staggered one-car garages, where one garage door is at the same plane as the front façade of the house and the other garage door is set back ten feet from the front of the house; however, the house is otherwise designed to de-emphasize the presence of garages on the street by placing one of the two garage façades a substantial distance behind the rest of the house, providing horizontal relief above the forward garage door through use of tiled roof-like projections above the garage door and large second story pot shelves, and recessing the garage door at least twelve inches behind the garage façade, and

WHEREAS, The City's Design Goals and Standards would need to be revised to allow the proposed house design, and

WHEREAS, The proposed revision is consistent with the City's General Plan goals, policies and actions, and

WHEREAS, The Planning Commission held a public hearing to review the proposed revision on March 27, 2019;

NOW, THEREFORE BE IT RESOLVED, that the Planning Commission recommends that the City Council of the City of Tracy approve the revision to the Design Goals and Standards for residential design, as stated in Exhibit 1, attached and made part hereof.

* * * * *

The foregoing Resolution 2019-_____ was adopted by the Planning Commission of the City of Tracy on the 27th day of March, 2019, by the following vote:

AYES:	COMMISSION MEMBERS:
NOES:	COMMISSION MEMBERS:
ABSENT:	COMMISSION MEMBERS:
ABSTAIN:	COMMISSION MEMBERS:

CHAIR

ATTEST:

STAFF LIAISON

DESIGN GOALS AND STANDARDS

ARCHITECTURE | 3-18

- The garages of homes shall be designed so that garage doors do not dominate the streetscape. Enhanced visual appeal, perception of “eyes on the street” and neighborhood interaction is encouraged by reducing the prominence of garages. Rear or alley-loaded garages are encouraged whenever possible to completely eliminate garage views from the street. The garage façade on front-loaded houses shall be placed back at least 5 feet behind the front façade of the house, with a garage setback of 20 feet or greater (measured from the front façade of the house) being preferred for a portion of the project.
- For homes located in project of at least 10 units per gross acre, the 5-foot setback may be waived provided that 1) the garage door is split into two single-car garage doors, 2) the two garage doors are set back behind the front façade of the house at an average of 5 feet, and 3) the house is designed to de-emphasize the presence of the garage doors. In no case shall a garage door be closer to the front lot line than the front façade of the house.
- The width of garage doors visible from the street shall not exceed a total of 22 feet. “Side swing” three car garages may be permitted on a limited basis, as they tend to create front yards comprised almost entirely of pavement, but “split” garages are otherwise discouraged.
- Driveways should not exceed a width of 20 feet with an 18 foot wide curb cut.
- Front yards are encouraged to be landscaped by the builder prior to occupancy with trees of at least 24” box size and other planting materials and irrigation methods which conform to the MWEL, further discussed in section 4.5.1 below.
- Developers are encouraged to create usable side yard areas when placing houses on lots. A side yard should not be narrower than 3 feet (including pop-outs, such as chimneys) at any point to allow access. It is desirable to have at least one wide side yard to provide recreational and storage areas.

- Alternative sources of energy should be considered and is strongly encouraged that it be integrated into project design, including the utilization of sustainably-sourced and/or salvaged building materials, solar panels and solar shingles (compatible with the design of the house), passive solar house design, energy efficient, and other energy efficient and water conserving house design and site layout measures.



- To promote a well-balanced streetscape in terms of variation, there should be a range in the size and height of houses built. In low density subdivisions, there shall be at least one single-story floor plan designed within each subdivision used on approximately 25% of the lots.
- A clear sense of entry and design interest to a home is encouraged through the inclusion of porches, verandas, porte cocheres, trellises and other architectural elements that contribute to a sense of place and activity. Shutters, if used, should be of design where they appear to be functional and would completely cover a window when shut. Shutters should never be used in conjunction with corner windows. Where shutters are used, but not used on all windows, there should be a design reason why shutters are used on some windows and not others.
- Architectural detailing, including, but not limited to windows, shutters, window sills and trims, potshelves, decorative trim, belly bands, accent materials, window grids, and room pop-outs should be carried around to all sides of each house rather than used only on the fronts of houses.
- Any rich accent material, including, but not limited to, stone, brick, and wood siding which is used on the front elevation, should be incorporated in some fashion on the sides rear of the house. For example, if brick is used as a wainscot material or in an entry feature, it may also be used on the fireplace.
- All material transition points should carry around corners to an architectural stopping point, such as a popout or recess in the building.
- Color in residential design should be used to add more interest and variation to homes than the architectural elements can alone. Color should be used wisely to bring out architectural features without creating a garish look.
- The use of low cost, non-durable building materials, such as aluminum framed windows and T-111 siding, is strongly discouraged. Materials such as high quality windows, genuine wood siding, and masonry are better alternatives.



RESOLUTION 2019-_____

RECOMMENDING CITY COUNCIL ADOPT AN ORDINANCE AMENDING THE CORRAL HOLLOW WEST PLANNED UNIT DEVELOPMENT TO PERMIT HIGH DENSITY SINGLE-FAMILY USES AND ESTABLISH DEVELOPMENT STANDARDS AND APPROVE VIA RESOLUTION A 42-LOT VESTING TENTATIVE SUBDIVISION MAP AND A DEVELOPMENT REVIEW PERMIT ON AN APPROXIMATELY 3.5-ACRE LOT LOCATED AT 2483 W SCHULTE ROAD, ASSESSOR'S PARCEL NUMBER 240-660-37.

THE APPLICANT IS BRIGHT DEVELOPMENT AND OWNER IS POND CREEK, LLC.
APPLICATION NUMBERS PUD18-0003, TSM18-0004, & D18-0029

WHEREAS, The subject property was annexed to the City of Tracy in 1995 and is a part of the Corral Hollow West Planned Unit Development (PUD), with a zoning of Planned Unit Development and a General Plan land use designation of Residential High. On January 3, 2006, The City Council approved an amendment to the PUD for approximately 81 acres of the Corral Hollow West PUD located to the south of the western terminus of Schulte Road and north of the Gabriel Estates subdivision for a project area known as Southgate (3-99-D), and

WHEREAS, An approximately 3.5 acre site (also known as Lot A) was designated in the PUD multi-family uses, but no development standards were established for development of the site, and

WHEREAS, On September 21, 2018, the applicant submitted an application for an amendment to the PUD to modify the land use designation of the approximately 3.5-acre multi-family site to also permit high-density uses and development standards for single-family dwelling units on the subject site (PUD18-0003), and

WHEREAS, The applicant has also submitted an application for a vesting tentative subdivision map to divide the subject site into 42 lots and a development review permit application for a development plan and architecture of 18 detached single-family dwellings and 24 attached single-family dwellings for a total proposed density of 12.24 units per acre (TSM18-000 4& D18-0029), and

WHEREAS, The proposed project is consistent with the General Plan Land Use Designation of Residential High in which it is located regarding land use and density, and

WHEREAS, The proposed project increases the quality of the project site and enhances the property in a manner that therefore improves the property in relation to the surrounding area and the citizens of Tracy, because the development will improve an existing undeveloped lot with high quality residential development that facilitates and encourages innovative housing development and pedestrian connectivity, and

WHEREAS, The proposed architecture is in compliance with Tracy's Design Goals and Standards and complement the surrounding neighborhoods, because it provides for a mix of housing types to the community that is compatible with the neighboring detached single-family subdivisions. There is architectural variation between floor plans and elevations, design features are used on all four sides of each house with attention to design details and materials specific to each architectural style, and there is substantial variation in building planes which break up the front, rear and side facades, and the presence of garages is de-emphasized to reduce the effect of a monotonous streetscape, and

WHEREAS, The project is consistent with Title 10, the Planning and Zoning Ordinance, and Title 12, the Subdivision Ordinance, of the Tracy Municipal Code, and

WHEREAS, The site is physically suitable for the type of development, as the site is virtually flat, and

WHEREAS, Traffic circulation is designed to ensure adequate circulation is provided to serve the residential development, and

WHEREAS, All the public facilities necessary to serve the subdivision will be in place prior to the issuance of building permits. All the public facilities necessary to serve the subdivision or mitigate the impacts created by the subdivision will be assured through a subdivision improvement agreement prior to the approval of a final map, and

WHEREAS, The design of the subdivision or the proposed improvements will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat, and

WHEREAS, The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision, and

WHEREAS, The project is exempt from the California Environmental Quality Act per Section 15162 pertaining to projects with a certified Environmental Impact Report (EIR) where the project does not propose substantial changes that will result in a major revision of the previous EIR. On February 1, 2011, the City of Tracy adopted the General Plan. The associated EIR (SCH# 1992 122 069) was certified February 1, 2011. Additionally, the project is consistent with the Mitigated Negative Declaration adopted for the Corral Hollow West Planned Unit Development in 1995. The project does not propose new significant changes to the environment that were not analyzed in the General Plan EIR, including the areas of traffic, air quality, land use, and aesthetics, and, therefore, no further documentation is needed, and

WHEREAS, The Planning Commission conducted a public hearing to review and consider the project applications on March 27, 2019;

NOW, THEREFORE, BE IT RESOLVED, That the Planning Commission does hereby recommend the following on an approximately 3.5-acre lot located at 2483 W Schulte Road, Assessor's Parcel Number 240-660-37:

1. That the City Council adopt an ordinance (Exhibit 1 to this Resolution) approving an amendment to the Corral Hollow West Planned Unit Development to permit high density single-family uses in addition to multi-family uses and establish development standards (Application Number PUD18-0003) as stated in Exhibit 1, attached and made part hereof, and
2. That the City Council approve a 42-lot vesting tentative subdivision map and a development review permit (Application TSM18-0004 & D18-0029), subject to conditions stated in Exhibit 2, attached and made part hereof.

* * * * *

The foregoing Resolution 2019-_____ was adopted by the Planning Commission of the City of Tracy on the 27th day of March, 2019, by the following vote:

AYES:	COMMISSION MEMBERS:
NOES:	COMMISSION MEMBERS:
ABSENT:	COMMISSION MEMBERS:
ABSTAIN:	COMMISSION MEMBERS:

CHAIR

ATTEST:

STAFF LIAISON

ORDINANCE _____

AN ORDINANCE OF THE CITY OF TRACY AMENDING THE CORRAL HOLLOW WEST PLANNED UNIT DEVELOPMENT TO PERMIT HIGH DENSITY SINGLE-FAMILY RESIDENTIAL USES AND ESTABLISH DEVELOPMENT STANDARDS ON AN APPROXIMATELY 3.5-ACRE LOT LOCATED AT 2483 W SCHULTE ROAD, ASSESSOR'S PARCEL NUMBER 240-660-37. THE APPLICANT IS BRIGHT DEVELOPMENT AND OWNER IS POND CREEK, LLC. APPLICATION NUMBER PUD18-0003

The City Council of the City of Tracy does ordain as follows:

SECTION 1: The land use designation of the approximately 3.5-acre lot located at 2483 W Schulte Road, Assessor's Parcel Number 240-660-37 (Southgate Lot A), located within the Corral Hollow West Planned Unit Development is amended to permit high density single-family uses and multi-family uses.

SECTION 2: The development standards for single-family residential development on Southgate Lot A shall be as follows:

Minimum Interior Lot Width - 35'
Minimum Interior Lot Depth - 55'
Minimum Interior Lot Size - 2,000 sq. ft.
Minimum Corner Lot Width - 40'
Minimum Corner Lot Depth - 55'
Minimum Corner Lot Size - 2,300 sq. ft.

Front Yard Setback - 5' Minimum with 8' minimum to garage door
Interior Side Yard Setback for single-family detached - 3' Minimum
Interior Side Yard Setback for single-family attached - 0' on one side, 3' Minimum on the other
Street Side Yard Setback - 3' Minimum
Rear Yard Setback - 4' Minimum
Rear Yard Open Space – 150 sq. ft.
Maximum Lot Coverage - 70%
Maximum Building Height - 30'
Off Street Parking – 2 spaces, non-tandem and enclosed in a garage, per dwelling unit in accordance with the Tracy Municipal Code

Accessory buildings, shade structures, projections into yards and courts shall be developed in accordance the development standards of this PUD.

All standards for fence, wall and hedge heights shall be consistent with Tracy Municipal Code Section 10.08.3250, specifically the HDR zone.

Parking of boats or recreation vehicles and motor homes within driveways or on the private street is prohibited within the PUD.

SECTION 3: This Ordinance shall take effect thirty (30) days after its final passage and adoption.

SECTION 4: This Ordinance shall either (1) be published once in a newspaper of general circulation, within 15 days after its final adoption, or (2) be published in summary form and posted in the City Clerk's office at least five days before the ordinance is adopted and within 15 days after adoption, with the names of the Council Members voting for and against the ordinance. (Gov't. Code §36933.)

* * * * *

The foregoing Ordinance _____ was introduced at a regular meeting of the Tracy City Council on the 16th day of April, 2019, adopted on the 7th day of May, 2019, and became effective on the 6th day of June, 2019, by the following vote:

AYES:	COUNCIL MEMBERS:
NOES:	COUNCIL MEMBERS:
ABSENT:	COUNCIL MEMBERS:
ABSTAIN:	COUNCIL MEMBERS:

MAYOR

ATTEST:

CITY CLERK

City of Tracy
Conditions of Approval
Southgate Lot A
Application Numbers TSM18-0004 & D18-0029
March 27, 2019

A. General Provisions and Definitions.

A.1. General. These Conditions of Approval apply to:

The Project: Southgate High Density Subdivision Map and Architecture

The Property: An approximately 3.5-acre lot located at 2483 W Schulte Road,
Assessor's Parcel Number 240-660-37 (Southgate Lot A)

A.2. Definitions.

- a. "Applicant" means any person, or other legal entity, defined as a "Developer."
- b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed Engineer designated by the City Manager, or the Development Services Director, or the City Engineer to perform the duties set forth herein.
- c. "City Regulations" means all written laws, rules and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, ordinances, resolutions, policies, procedures, and the City's Design documents (the Streets and Utilities Standard Plans, Design Standards, Parks and Streetscape Standard Plans, Standard Specifications, and Manual of Storm Water Quality Control Standards for New Development and Redevelopment, and Relevant Public Facilities Master Plans).
- d. "Development Services Director" means the Development Services Department Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
- e. "Conditions of Approval" shall mean the conditions of approval applicable to the Project. The Conditions of Approval shall specifically include all Development Services Department conditions set forth herein.
- f. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries or who applies to the City to develop or improve any portion of the real property within the Project boundaries. The Developer may be the property owner or the leasee, where responsibilities for improvements are distributed among each party. The term "Developer" shall include all successors in interest.

A.3. Compliance with submitted plans. Except as otherwise modified herein, the project shall be constructed in substantial compliance with the plans received by the Development Services Department on March 20, 2019, which includes the vesting tentative subdivision map, development plan, floor and roof plans, architectural elevations, and colors and materials.

- A.4. Payment of applicable fees. The applicant shall pay all applicable fees for the project, including, but not limited to, development impact fees, building permit fees, plan check fees, grading permit fees, encroachment permit fees, inspection fees, school fees, or any other City or other agency fees or deposits that may be applicable to the project.
- A.5. Compliance with laws. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to:
- the Planning and Zoning Law (Government Code sections 65000, et seq.)
 - the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and
 - the Guidelines for California Environmental Quality Act (California Administrative Code, title 14, sections 1500, et seq., "CEQA Guidelines").
 - the 2016 CBC, 2016 CRC, 2016 CPC, 2016 CMC, 2016 CEC, 2016 CFC, 2016 CEnC, and 2016 CA Green Building Standards Code
- A.6. Compliance with City regulations. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City regulations, including, but not limited to, the Tracy Municipal Code (TMC), Standard Plans, and the City's Design Goals and Standards.
- A.7. Protest of fees, dedications, reservations, or other exactions. Pursuant to Government Code section 66020, including section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

B. Planning Division Conditions

Contact: Kimberly Matlock (209) 831-6430 kimberly.matlock@cityoftracy.org

- B.1. Unless specifically modified by these Conditions of Approval, the Applicant shall comply with all applicable mitigation measures identified in the General Plan Environmental Impact Report, dated February 11, 2011, and the Corral Hollow West Planned Unit Development Mitigation Monitoring Program, dated October 26, 1994.
- B.2. Except as proposed in the Planned Unit Development for and as modified by these conditions of approval, the project shall comply in all respects with the development standards that would apply to the High Density Residential Zone of the Tracy Municipal Code.

- B.3. The Development Services Director may approve changes to the Development Plan and approve building permits in compliance with the modified Development Plan provided that the following criteria are met to ensure house plans are generally dispersed throughout the subdivision:
- a. No same floor plan may occur on two consecutive side-by-side lots or two lots across directly the street from each other, unless they are constructed with substantially different elevations as determined by the Development Services Director. The same floor plan and elevation may be used on two back-to-back lots provided that different color schemes are used.
 - b. No same floor plan shall be used on three consecutive side-by-side lots.
- B.4. In no case shall two of the same elevation style be paired together as a duet.
- B.5. The subdivision shall not be gated or otherwise prevent access to public infrastructure, to pedestrian access, or for emergency services, with exception of the emergency vehicle access drive that may be obstructed with removable bollards as shown in the plans dated March 20, 2019.
- B.6. Prior to issuance of any permits for ground disturbance, the Applicant shall comply with the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan (SJMSCP) and a signed copy of the Incidental Take Minimization Measures shall be submitted to the City as verification of compliance.
- B.7. Prior to the issuance of building permits, the Applicant shall document compliance with all applicable school mitigation requirements consistent with City Council standards and obtain certificate of compliance from the Tracy Unified School District for each new residential building permit.

C. Engineering Division Conditions

Contact: Al Gali

(209) 831-6436

al.gali@cityoftracy.org

C.1. General Conditions

Developer shall comply with the applicable sections of approved documents and/or recommendations of the technical analyses/reports prepared for the Project listed as follows:

- 1) NONE

C.2 Vesting Tentative Subdivision Map

Prior to signature of the Vesting Tentative Subdivision Map by the City Engineer, Developer shall comply with the requirements set forth in this section, to the satisfaction of the City Engineer.

- C.2.1 Vesting Tentative Subdivision Map shall contain all the appropriate signature blocks.

C.2.2 Prior to the Final Subdivision Map show restricted access (relinquish abutter's rights) to prevent future homeowners from accessing nearby public streets. In addition, Developer shall maintain the same access restriction as recorded by Tract 2946 –Southgate Unit 1 (Subdivision Maps Book 40, page 94). The restrictions are summarized below:

C.2.2.a. Restrict access to Mabel Josephine Drive through Lot B along the western property line of Lots 1, 2, 3, 4, and 5;

C.2.2.b. Restrict access to Patrick McCaffrey Senior Avenue through Lot C and Lot D along the southern edge of Lots 6, 7, 8, 9, 10, 11, 12, 13, and 14; and

C.2.2.c. Restrict access to West Schulte Road along the northern edge for Lot A.

C.2.3 On-site storm drain lines and the treatment system will be privately owned and maintained.

C.2.4 Developer shall obtain approval of all street names in accordance with TMC Chapter 9.40.

C.2.5 Submit one (1) mylar copy of the approved tentative subdivision map for the Project within ten (10) days after Developer's receipt of a notification of approval of the Tentative Subdivision Map. The owner of the Property must consent to the preparation of the Vesting Tentative Subdivision Map, and the proposed subdivision of the Property.

C.2.6 PCC valley gutters in the right-of-way are prohibited per Section 5.17 of the 2008 Design Standards.

C.2.7 Public Utility Easements (PUE) must be ten (10) feet wide minimum as per Section 3.02(c) pg. 17 of the 2008 Design Standards. Considering the streets are private, Developer shall also label the private streets as a PUE.

C.2.8 The underlying lot for the private on-site streets shall be its own lot(s).

C.3 Final Subdivision Map

No final subdivision map within the Project boundaries will be approved by the City Council until Developer demonstrates, to the satisfaction of the City Engineer, compliance with all required Conditions of Approval, including, the following:

C.3.1 Developer has completed all the requirements set forth in this section, and Condition C.2, above.

C.3.2 The Final Subdivision Map prepared in accordance with the applicable requirements of the Tracy Municipal Code (TMC), the City Design Standards, and in substantial conformance with the Tentative Subdivision Map for the

Project. Said Final Subdivision Map shall be in substantial conformance with the City Council approved Vesting Tentative Subdivision Map.

- C.3.3 The Final Subdivision Map shall include dedications or offers of dedication of all right(s)-of-way, if applicable; Public Access Easements; and/or Public Utility Easements (PUE) required to serve the Project described by the Final Subdivision Map submittal, in accordance with State Laws, City Regulations, and these Conditions of Approval. Said PUE shall be ten (10) feet wide minimum as measured from the edge of the PUE to edge of PUE on the opposite side of the private street. PUE shall be continuous along each lot's frontage along every right-of-way. Considering the streets are private, Developer shall also label the private streets as a PUE.
- C.3.4 Developer shall provide access and maintenance easements benefitting the City to allow access, maintenance, repair, reconstruction, of the public utilities within the private streets.
- C.3.5 Horizontal and vertical control for the Project shall be based upon the City of Tracy coordinate system and at least three (3) second (2nd) order Class-1 control points establishing the "Basis of Bearing" and shown as such on the final map. The final map shall also identify surveyed ties from two of the horizontal control points to a minimum of two (2) separate points adjacent to or within the Property described by the Final Map.
- C.3.6 A construction cost estimate of subdivision improvements and for all required public facilities, prepared in accordance with City Regulations to be used for calculating engineering review fees and for bonding purposes. In determining the total construction cost, add ten percent (10%) for construction contingencies.
- C.3.7 All the required improvement agreements are executed, improvement security is submitted and documentation of insurance are provided, as required by these Conditions of Approval. The amounts of improvement security shall be approved by the City and the type and form of improvement security shall be in accordance with the TMC.
- C.3.8 Developer will include slope easement with the final map submittal to address slopes among the lots to address grade differentials.
- C.3.9 Payment of final map checking fees and all fees required by these Conditions of Approval and City Regulations.
- C.3.10 At the conclusion of the City's review, Developer shall submit one (1) mylar copy of the approved Final Subdivision Map for signature.
- C.3.11 Developer has submitted a signed and notarized Subdivision Improvement Agreement (SIA) and Improvement Security, for the completion of improvements that are required to serve the Project as shown on the

Improvement Plans. The form and amount of Improvement Security shall be in accordance with the Applicable Law and the SIA.

- C.3.12 Developer shall provide an emergency access easement to police, fire, and other emergency services.

C.4. Grading Permit

All grading work (on-site and off-site) shall require a Grading Plan. All grading work shall be performed and completed in accordance with the recommendation(s) of the Project's Registered Geotechnical Engineer. The City will not accept a Grading Permit application for the Project until Developer provides all documents related to said Grading Permit required by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.4.1 Developer has completed all requirements set forth in this section.
- C.4.2 Developer has obtained the approval (i.e. recorded easements for slopes, drainage, utilities, access, parking, etc.) of all other public agencies and/or private entities with jurisdiction over the required public and/or private facilities and/or property. Written permission from affected owner(s) will be required to be submitted to the City prior to the issuance of the Grading Permit.
- C.4.3 Developer has obtained a demolition permit to remove any existing structure located within the project's limits.
- C.4.4 All existing on-site water well(s), septic system(s), and leech field(s), if any, shall be abandoned or removed in accordance with the City and San Joaquin County requirements. Developer shall be responsible for all costs associated with the abandonment or removal of the existing well(s), septic system(s), and leech field(s) including the cost of permit(s) and inspection. Developer shall submit a copy of written approval(s) or permit(s) obtained from San Joaquin County regarding the removal and abandonment of any existing well(s), prior to the issuance of the Grading Permit.
- C.4.5 The Improvement Plans for all improvements to serve the Project (on-site and off-site) including the Grading and Drainage Plans shall be prepared in accordance with the City's Subdivision Ordinance (TMC Chapter 12.36), City Design Documents as defined in Title 12 of the TMC, and these Conditions of Approval.
- C.4.6 On-site Grading/Drainage Plans and Improvement Plans shall be prepared on a twenty-four (24) inch x thirty-six (36) inch size four (4) millimeter thick polyester film (mylar). These plans shall use the City's Title Block. Improvement Plans shall be prepared under the supervision of, stamped and signed by a Registered Civil Engineer and Registered Geotechnical Engineer. Developer shall obtain all applicable signatures by City departments and outside agencies (where applicable) on the mylars including

signatures by the Fire Marshal prior to submitting the mylars to Engineering Division for City Engineer's signature. Erosion control measures shall be implemented in accordance with the Improvement Plans approved by the City Engineer for all grading work. All grading work not completed before October 15 may be subject to additional requirements as applicable. Improvement Plans shall specify all proposed erosion control methods and construction details to be employed and specify materials to be used during and after the construction.

- C.4.7 Payment of the applicable Grading Permit fees which include grading plan checking and inspection fees, and other applicable fees as required by these Conditions of Approval.
- C.4.8 For Projects on property larger than one (1) acre: Prior to the issuance of the Grading Permit, Developer shall submit to the Utilities Department (stephanie.hiestand@cityoftracy.org) one (1) electronic copy and one (1) hard copy of the Storm Water Pollution Prevention Plan (SWPPP) as submitted in Stormwater Multiple Applications and Reporting Tracker System (SMARTS) along with either a copy of the Notice of Intent (NOI) with the state-issued Wastewater Discharge Identification number (WDID) or a copy of the receipt for the NOI. After the completion of the Project, the Developer is responsible for filing the Notice of Termination (NOT) required by SWQCB, and shall provide the City, a copy of the completed Notice of Termination. Cost of preparing the SWPPP, NOI and NOT including the annual storm drainage fees and the filing fees of the NOI and NOT shall be paid by the Developer. Developer shall comply with all the requirements of the SWPPP, applicable Best Management Practices (BMPs) and the Stormwater Post-Construction Standards adopted by the City in 2015 and any subsequent amendment(s).

For Projects on property smaller than one (1) acre: Prior to the issuance of the Grading Permit, the Developer shall submit to the Utilities Department (stephanie.hiestand@cityoftracy.org) one (1) electronic copy and 1 hard copy of the City of Tracy Erosion and Sediment Control Plan (ESCP) for approval. Cost of preparing the ESCP including any annual storm drainage fees shall be paid by the Developer. Developer shall comply with all the requirements of the ESCP, applicable BMPs and the Post-Construction Stormwater Standards adopted by the City in 2015 and any subsequent amendment(s).

- C.4.9 Developer shall provide a PDF copy of the Project's Geotechnical Report signed and stamped by a Registered Geotechnical Engineer. The technical report must include relevant information related to soil types and characteristics, soil bearing capacity, compaction recommendations, retaining wall recommendations, if necessary, paving recommendations, paving calculations such as gravel factors, gravel equivalence, etc., slope recommendations, and elevation of the highest observed groundwater level.

C.4.10 In-tract Minor Retaining – Developer shall use reinforced or engineered masonry blocks for retaining soil at property lines when the grade differential among the in-tract lots exceeds twelve (12) inches. Developer will include construction details of these minor retaining walls with the on-site Grading and Drainage Plan. Developer may use slopes among the lots to address the grade differential but said slope shall not exceed a slope gradient of 3 (horizontal) to 1 (vertical) unless a California licensed geotechnical engineer signs and stamps a geotechnical report letter that supports a steeper slope gradient. Slope easements may be required and will be subject to approval by the City Engineer.

Minor Retaining along Project Perimeter – Developer shall use reinforced or engineered masonry blocks for retaining soil along the Project boundary and adjacent property(s) when the grade differential exceeds 12-inches. Developer will include construction details for these minor retaining walls with the on-site Grading and Drainage Plan. Developer may use slopes to address the grade differential but said slope shall not exceed a slope gradient of 3 (horizontal) to 1 (vertical). Slope easements may be subject to approval by the City Engineer and if adjacent and affected property(s) owner(s) grants said easements.

Slopes are an acceptable option as a substitute to engineered retaining walls, where cuts or fills do not match existing ground or final grade with the adjacent property or public right of way, up to a maximum grade differential of two (2) feet, subject to approval by the City Engineer.

Slope easements will be recorded, prior to the issuance of the Grading Permit. The Developer shall be responsible to obtain and record slope easement(s) on private properties, where it is needed to protect private improvements constructed within and outside the Project, and a copy of the recorded easement document must be provided to the City, prior to the issuance of the Grading Permit.

Walls - Developer shall show proposed retaining walls and masonry walls on the on-site Grading and Drainage Plan. The Developer is required to submit improvement plans, construction details, and structural calculations for retaining walls and masonry walls to Building and Safety. Retaining wall and masonry wall design parameters will be included in the geotechnical report.

C.4.11 Developer shall provide a copy of the approved Incidental Take Minimization Measures (ITMM) habitat survey [San Joaquin County Multi-Species Habitat Conservation & Open Space Plan (SJMSCP)] from San Joaquin Council of Governments (SJCOG).

C.4.12 Developer shall provide a copy of the approved Air Impact Assessment (AIA) with an Indirect Source Review (ISR) from San Joaquin Valley Air Pollution Control District (SJVAPCD).

- C.4.13 Developer shall abandon or remove all existing irrigation structures, channels and pipes, if any, as directed by the City after coordination with the irrigation district, if the facilities are no longer required for irrigation purposes. If irrigation facilities including tile drains, if any, are required to remain to serve existing adjacent agricultural uses, the Developer will design, coordinate and construct required modifications to the facilities to the satisfaction of the affected agency and the City. Written permission from irrigation district or affected owner(s) will be required to be submitted to the City prior to the issuance of the Grading Permit. The cost of relocating and/or removing irrigation facilities and/or tile drains is the sole responsibility of the Developer.
- C.4.14 If the Project contains overhead utilities, the Developer shall underground existing overhead utilities such as electric, TV cable, telephone, and others. Each dry utility shall be installed at the location approved by the respective owner(s) of dry utility and the Developer shall coordinate such activities with each utility owner. All costs associated with the undergrounding shall be the sole responsibility of the Developer and no reimbursement will be due from the City. Developer shall submit undergrounding plans. Exempt from this condition is the high voltage power lines along the Project's northerly property line.
- C.4.15 If at any point during grading that the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and subsequent Cultural Resource Policy or mitigation in any applicable environmental document.
- C.4.16 Per the approved Tract 2946 Improvement Plans for Southgate Unit 1 as prepared by Stantec Consulting Inc., Developer shall remove the existing field inlets, storm drain lines, and cap the storm drain line at the catch basin structure at the curb and gutter.

C.5. Improvement Agreement(s)

All construction activity involving public improvements will require a fully executed improvement agreement (Off-site, Subdivision, and/or Inspection). Any construction activity involving public improvements without a fully executed improvement agreement is prohibited. All public improvements shall be performed and completed in accordance with the recommendation(s) of the Project's Registered Civil Engineer. The City will not start writing any improvement agreement or schedule any improvement agreement to be approved by City Council for the Project until the Developer provides all documents related to said improvements required by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.5.1. On-site, Private, and/or Public Infrastructure Improvement Plans prepared on a twenty-four (24) inch x thirty-six (36) inch size four (4) millimeter thick

mylar that incorporate all requirements described in the documents described in these Conditions of Approval, the City's Design Documents as defined in Title 12 of the Tracy Municipal Code. Developer shall use the latest title block and, if necessary, contain a signature block for the Fire Marshal. Improvement Plans shall be prepared under the supervision of, and stamped and signed by a Registered Civil, Traffic, Electrical, Mechanical Engineer, and Registered Landscape Architect for the relevant work. Developer shall obtain all applicable signatures by City departments and outside agencies (where applicable) on the mylars including signatures by Fire Marshal to submitting the mylars to Engineering Division for City Engineer's signature. The improvement plans shall be prepared to specifically include, but not be limited to, the following items:

- C.5.1.a. All existing and proposed utilities such as domestic water line, irrigation service, fire service line, storm drain, and sanitary sewer, including the size and location of the pipes.
- C.5.1.b. All supporting engineering calculations, materials information or technical specifications, cost estimate, and technical reports. All improvement plans shall contain a note stating that the Developer (or Contractor) will be responsible to preserve and protect all existing survey monuments and other survey markers such as benchmarks.
- C.5.1.c. A PDF copy of the Project's approved Geotechnical/Soils Report that was prepared for the grading permit submittal.
- C.5.1.d. Private Storm Water - The Project's on-site storm water drainage connection to the City's storm water system shall be approved by the City Engineer. Drainage calculations for the sizing of the on-site storm drainage system. Improvement Plans to be submitted with the hydrology and storm water.

Storm drainage release point is a location at the boundary of the Project adjacent public right-of-way where storm water leaves the Property, in a storm event and that the Property's on-site storm drainage system fails to function or it is clogged. Site grading shall be designed such that the Project's storm drainage overland release point will be directly to an adjacent public street with a functional storm drainage system and the existing storm drainage line has adequate capacity to drain storm water from the Property. The storm drainage release point is recommended to be at least 0.70-feet lower than the building finish floor elevation and shall be designed and improved to the satisfaction of the City Engineer.

The Project's permanent storm drainage connection(s) shall be designed and constructed in accordance with City Regulations. The design of the permanent storm drainage connection shall be shown on the Grading and Drainage Plans with calculations for the sizing

of the storm drain pipe(s), and shall comply with the applicable requirements of the City's storm water regulations adopted by the City Council in 2012 and any subsequent amendments.

The storm water treatment system shall be located on private property and shall be at least off-set from the right-of-way by one (1) foot.

- C.5.1.e. Public Sanitary Sewer - It is the Developer's responsibility to design and construct the Project's permanent on-site sanitary sewer (sewer) improvements including the Project's sewer connection in accordance with the City's Design Standards, City Regulations and Standard Specifications. Sewer improvements shall include but not limited to, replacing asphalt concrete pavement, reconstructing curb, gutter and sidewalk, restoring pavement marking and striping, and other improvements that are disturbed as a result of installing the Project's permanent sewer connection. Developer shall submit improvement plans that include the design of the sewer line from the Property to the point of connection.

Developer is hereby notified that the City will not provide maintenance of the sewer lateral within the public right-of-way unless the sewer cleanout is located and constructed in conformance with Standard Plans. The City's responsibility to maintain on the sewer lateral is from the wye/onsite sewer manhole at the right-of-way line/property line/wye fitting to the point of connection with the sewer main.

Developer is hereby notified that the City has limited wastewater treatment capacity in the City's Wastewater Treatment Plant until current and future expansion capital improvement projects are completed and operational. As of January 2015, the City had an unused capacity of approximately four thousand two hundred (4200) EDU's within its wastewater treatment plant available to new development within the City on a first come-first served basis via building permit issuances. These EDU's are currently available to serve the proposed project, but as other development projects within the City come forward and building permits are issued, this remaining capacity will be reduced. Only the issuance of building permits will guarantee sewer capacity.

- C.5.1.g. Public Water Distribution - Developer shall design and construct domestic and irrigation water service that comply with the City Regulations. Water line sizing, layout and looping requirements for this Project shall comply with City Regulations. During the construction of the Project, the Developer is responsible for providing water infrastructure (temporary or permanent) capable of delivering adequate fire flows and pressure appropriate to the various stages of construction and as approved by the Fire Marshal.

Interruption to the water supply to the existing businesses and other users will not be allowed to facilitate construction of improvements related to the Project. Developer shall be responsible for notifying business owner(s) and users, regarding construction work. The written notice, as approved by the City Engineer, shall be delivered to the affected residents or business owner(s) at least seventy-two (72) hours before start of work. Prior to starting the work described in this section, the Developer shall submit a Work Plan acceptable to the City that demonstrates no interruptions to the water supply, and Traffic Control Plan to be used during the installation of the off-site water mains and connections.

The Project's water service connections shall use a remote-read (radio-read) master water meter (the water meter to be located within City's right-of-way) and a Reduced Pressure Type back-flow protection device in accordance with City Regulations. The domestic and irrigation water service connection(s) must be completed before the inspection of the building. The location of the meters shall be approved by the City Engineer.

After improvement acceptance, repair and maintenance of the water service from the water meter to the point of connection with the water distribution main in the street shall be the responsibility of the City. Water service repairs after the water meter is the responsibility of the Developer or individual lot owner(s).

Prior to improvement acceptance, repair and maintenance of all on-site water lines, laterals, sub-water meters, valves, fittings, fire hydrant and appurtenances shall be the responsibility of the Developer or the individual lot owner(s).

All costs associated with the installation of the Project's water connection(s) including the cost of removing and replacing asphalt concrete pavement, pavement marking and striping such as crosswalk lines and lane line markings on existing street or parking area(s) that may be disturbed with the installation of the permanent water connection(s), or domestic water service, and other improvements shall be paid by the Developer.

- C.5.1.h. Private Hydrants – Location and construction details of fire service line including the private fire hydrant(s) that are to serve the Project shall be approved by the Fire Marshal. Prior to the approval of the Improvement Plans by the City Engineer, the Developer shall obtain written approval from the Fire Marshal, for the design, location and construction details of the fire service connection to the Project, and for the location and spacing of fire hydrants that are to be installed or planned to serve the Project.

Hydrants shall be privately owned and maintained and shall be painted red.

- C.5.1.i. Private Streets – All streets and utilities improvements within City right-of-way shall be designed and constructed in accordance with City Regulations, and City's Design Standards including the City's Facilities Master Plan for storm drainage, roadways, wastewater, and water as adopted, amended, and updated by the City, or as otherwise specifically approved by the City. On-site streets shall be privately owned and maintained.

All proposed private residential street widths and cross sections shall conform to the City Council approved VTSM. The sidewalk shall be located as per said VTSM. For the twenty-six (26) feet wide private street, the rear of the sidewalk will be placed ten (10) feet from the rear of the curb. The minimum landscape parkway width will be five (5) feet.

The Emergency Vehicle Access (EVA) shall be a commercial driveway per Standard Detail 133. The proposed storm drain manhole lid will be a traffic rated lid. Developer shall submit a Final Map that will remove the access restriction for the width of this EVA.

The Project's utility connections, Developer shall use existing utility stubs on Patrick McCaffrey Senior Avenue. If the stubs are not present or additional utility connections are required, the pavement restoration shall conform to C.8.1 of these Conditions.

Developer shall remove all existing driveways not proposed to be used by the project.

- C.5.2. Joint Trench Plans and Composite Utility Plans, prepared on a twenty-four (24) inch x thirty-six (36) inch size four (4) millimeter thick mylar for the installation of dry utilities such as electric, gas, TV cable, telephone, and others that will be located within the twenty-four (24) feet wide to forty-six (46) feet wide [the width varies) PUE to be installed to serve the Project. All private utility services to serve Project must be installed underground or relocated to be underground, and to be installed at the location approved by the respective owner(s) of the utilities from the street or an existing or proposed utility easement to the building(s). If necessary, the Developer shall dedicate ten (10) feet wide PUE for access to these new utilities for re-installation, replacement, repair, and maintenance work to be performed by the respective utility owner(s) in the future.
- C.5.3. Signed and stamped Engineer's Estimate that summarizes the cost of constructing all the public improvements shown on the Improvement Plans. The cost estimate shall show the cost of designing the public improvements.

Payment of applicable fees required by these Conditions of Approval and City Regulations, including but not limited to, plan checking, grading and encroachment permits and agreement processing, construction inspection, and testing fees. The engineering review fees will be calculated based on the fee rate adopted by the City Council on September 2, 2014, per Resolution 2014-141 and on May 16, 2017, per Resolution 2017-098. Developer shall submit payment in the form of a check for the aforementioned fees.

- C.5.5. Traffic Control Plan - Prior to starting the work for any work within City's right-of-way, the Developer shall submit a Traffic Control Plan (TCP). TCP can be split among the different construction phases. TCP will show the method and type of construction signs to be used for regulating traffic at the work areas within these streets. TCP shall conform to the Manual on Uniform Traffic Control Devices as amended by the State of California, latest edition (MUTCD-CA). TCP shall be prepared under the supervision of, signed and stamped by a Registered Civil Engineer or Registered Traffic Engineer.

Access and Traffic Circulation to Existing Businesses/Residents - Developer shall take all steps necessary to plan and construct site improvements such that construction operations do not impact safety and access (including emergency vehicles) to the existing businesses and residents throughout the duration of construction. Developer shall coordinate with the owners and cooperate to minimize impacts on existing businesses. All costs of measures needed to provide safe and functional access shall be borne by the Developer.

- C.5.6. No street trench shall be left open, uncovered, and/or unprotected during night hours and when the Developer's contractor is not performing construction activities. Appropriate signs and barricades shall be installed on the street and on all trenches during such times. If the Developer or its contractor elects to use steel plates to cover street trenches, said steel plates will be skid-resistance, and shall be ramped on all sides. Ramps will be a minimum two-foot wide and will run the entire length of each side.
- C.5.7. If at any point during utility installation or construction in general that the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and subsequent Cultural Resource Policy or mitigation in any applicable environmental document.
- C.5.8. On-site, in-tract Public and Private Improvements - Prior to the City's approval of the Final Subdivision Map, and prior to the Developer commencing construction of on-site, in-tract public and private improvements, Developer shall possess a fully executed Subdivision Improvement Agreement (SIA). Developer shall also complete all of the following requirements to the satisfaction of the City Engineer:

Developer has received City signed improvement plans.

Developer has submitted a complete application for a Final Subdivision Map which is served by the required public improvements, and the Final Subdivision Map has been approved by the City Engineer.

Developer has paid all required processing fees including plan check and inspection fees.

Improvement Security - Developer shall provide improvement security for all public facilities, as required by the Improvement Agreement. The form of the improvement security may be a bond, or other form in accordance with the Government Code, and the TMC. The amount of the improvement security shall be in accordance with Title 12 of the TMC. Monumentation Bonds shall be seven hundred fifty (\$750.00) dollars multiplied by the total number of street centerline monuments plus one hundred twenty-five (\$125) dollars multiplied by the total number of legal lots that are shown on the Final Map.

Insurance – Developer shall provide written evidence of insurance coverage that meets the terms of the Improvement Agreement.

- C.5.9 Off-site Public Improvements - Prior to the Developer commencing construction of off-site public improvements, Developer, if required, shall possess a fully executed Off-site Improvement Agreement (OIA). Developer shall also complete all of the following requirements to the satisfaction of the City Engineer:

Developer has received City signed improvement plans.

Developer has paid all required processing fees including plan check and inspection fees.

Improvement Security - Developer shall provide improvement security for all public facilities, as required by the Improvement Agreement. The form of the improvement security may be a bond, or other form in accordance with the Government Code, and the TMC. The amount of the improvement security shall be in accordance with Title 12 of the TMC.

Insurance – Developer shall provide written evidence of insurance coverage that meets the terms of the Improvement Agreement.

C.6. Building Permit

No building permit within the Project boundaries will be approved by the City until the Developer demonstrates, to the satisfaction of the City Engineer, compliance with all required Conditions of Approval, including, but not limited to, the following:

- C.6.1 Developer has completed all requirements set forth in Condition C.1, through C.5, above.
- C.6.2 Developer pays the applicable development impact fees as required in the TMC, these Conditions of Approval, and City Regulations.
- C.6.3 Developer shall provide documentation to demonstrate that the Developer and its successor(s) or assign(s) will participate which include payment of the Project's share towards the use, repair and maintenance of the storm drainage retention basin that serves this Property. The Homeowner's association shall be formed prior to the issuance of the first building permit.

C.7 Acceptance of Public Improvements

Public improvements will not be considered for City Council's acceptance until after the Developer demonstrates to the reasonable satisfaction of the City Engineer, completion of the following:

- C.7.1 Developer has satisfied all the requirements set forth in these Conditions of Approval.
- C.7.2 Developer submitted the Storm water Treatment Facilities Maintenance Agreement (STFMA) to the Utilities Department.
- C.7.3 Developer has satisfactory completed construction of all required/conditioned improvements. Unless specifically provided in these Conditions of Approval, or some other applicable City Regulations, the Developer shall use diligent and good faith efforts in taking all actions necessary to construct all public facilities required to serve the Project, and the Developer shall bear all costs related to construction of the public facilities (including all costs of design, construction, construction management, plan check, inspection, land acquisition, program implementation, and contingency).
- C.7.4 Certified "As-Built" Improvement Plans (or Record Drawings). Upon completion of the construction by the Developer, the City, at its sole discretion, temporarily release the original mylars of the Improvement Plans to the Developer so that the Developer will be able to document revisions to show the "As-Built" configuration of all improvements.
- C.7.5 Developer shall be responsible for any repairs or reconstruction of street pavement, curb, gutter and sidewalk and other public improvements along the frontage of the Project, if determined by the City Engineer to be in poor condition or damaged by construction activities related to the Project.
- C.7.6 Developer has completed the ninety (90) day public landscaping maintenance period.
- C.7.7 Per Section 21107.5 of the California Vehicle Code, Developer shall install signs at all entrance(s) of the Project stating that the streets are privately

owned and maintained and are not subject to the public traffic regulations or control. Said signs must be conspicuously placed, plainly visible, and legible during daylight hours from a distance of one hundred (100) feet. Should the Developer or its heir desire public traffic regulations or control, Developer or its heirs shall follow the procedures in Section 21107.5.

- C.7.8 Release of Improvement Security – Release of improvement security shall be in accordance with the requirements of Title 12 of the TMC. Monumentation Bond will be released to the Developer after City Council's acceptance of the public improvements and if the Developer meets the terms set in Section 66497(c) of the Subdivision Map Act. All survey monuments shown on the Final Map must be installed. Any altered, damaged, or destroyed survey monuments and/or benchmarks shall be re-established. Developer shall submit centerline tie sheets or a record of survey for the following: new public streets; re-established survey monuments, and/or benchmarks. If the Developer destroyed, altered, and/or reconstructed any existing curb returns, Developer shall also submit corner records. Any survey document will be submitted the City and to the San Joaquin County Surveyor to comply with California Business and Professions Code Section 8771(c). Said work shall be executed by a California licensed Land Surveyor at the Developer's sole expense.

C.8 Special Conditions

- C.8.1 When street cuts are made for the installation of utilities, the Developer shall conform to Section 3.14 of the 2008 Design Standards and is required install a two (2) inch thick asphalt concrete (AC) overlay with reinforcing fabric at least twenty-five (25) feet from all sides of each utility trench. A two (2) inch deep grind on the existing AC pavement will be required where the AC overlay will be applied and shall be uniform thickness in order to maintain current pavement grades, cross and longitudinal slopes. This pavement repair requirement is when cuts/trenches are perpendicular and parallel to the street's direction.
- C.8.2 Nothing contained herein shall be construed to permit any violation of relevant ordinances and regulations of the City of Tracy, or other public agency having jurisdiction. This Condition of Approval does not preclude the City from requiring pertinent revisions and additional requirements to the improvement plans, prior to the City Engineer's signature on the improvement plans, and prior to issuance of Grading Permit, Encroachment Permit, Building Permit, if the City Engineer finds it necessary due to public health and safety reasons, and it is in the best interest of the City. The Developer shall bear all the cost for the inclusion, design, and implementations of such additions and requirements, without reimbursement or any payment from the City.
- C.8.3 If water is required for the project, the Developer shall obtain an account for the water service and register the water meter with the Finance Department.

Developer shall pay all fees associated with obtaining the account number for the water service.

- C.8.4 Developer shall obtain an account for the water service to the Project and register the water meter with the Finance Department. Developer shall prepare and submit a map depicting the location of the water meter on a 8.5-inch X 11-inch sheet to Finance Department.
- C.8.5 Project Entrance As stipulated by Section 5.17 of the 2008 Design Standards, a PCC valley gutter is prohibited in the City's right-of-way.
- C.8.6 Developer shall form/create a Homeowners Association (HOA). A Property Owners Association is not permitted to be formed/created. Said HOA must conform to the requirements of other California State laws and/or other California Agencies such as Bureau of Real Estate to be its heirs. Developer and its heirs (i.e. HOA) shall be responsible for repairing and maintaining the on-site private storm water lines and storm water treatment device and their appurtenances; on-site streets, curb, gutter, sidewalk, landscaping, irrigation, streetscape, and their appurtenances; on-site fencing and their appurtenances; on-site fire-hydrants and their appurtenances at the Developer's (and heirs') sole cost and expense. If requested by the City, Developer's heir will enter into a binding agreement that guarantees Developer's heir will maintain the privately owned infrastructure. This agreement will be recorded with San Joaquin County.
- C.8.7 Developer shall landscape and irrigate the existing area on the south side of West Schulte Road from Barcelona Drive to the eastern property boundary of the Project. Developer shall also repair/construct additional landscaping and irrigation and their appurtenances on the east side of Mabel Josephine Drive fronting the Project. Developer shall satisfy this condition per City's design documents and to the satisfaction of the City. To that effect, Developer will prepare landscape and irrigation plans and said landscape and irrigation plans will be prepared on a twenty-four (24) inch x thirty-six (36) inch size four (4) millimeter thick mylar that incorporate all requirements described in the documents described in these Conditions of Approval, the City's Design Documents as defined in Title 12 of the Tracy Municipal Code. Developer shall use the latest title block. Said landscape and irrigation plan shall be prepared by a California licensed landscape architect. Developer shall install landscaping including but not limited to street trees, shrubs, ground cover, streetscape, hardscape, trash enclosures, benches, bus shelters, other landscaping as required, and their appurtenances in the landscaped area between the existing masonry wall to the back of the future PCC curb and gutter. Developer can protect-in-place the existing temporary asphalt-concrete sidewalk and repair any cracked, settled, and/or damaged temporary asphalt-concrete sidewalk. Developer shall re-grade the land between the rear of the temporary asphalt concrete sidewalk to the new landscaping to drain into a swale as originally constructed. The landscaping and irrigation shall conform to City standards and MWELo standards. If recommended, Developer shall use structural soil if the street trees' well is

narrower than five (5) feet wide. Developer shall remove any other existing items such as bollards, mailboxes, developer signage, etc., if requested by the City.

- C.8.8 Developer shall design or purchase and then construct or install a storm water treatment device in a manner that does not impose any additional maintenance or reconstruction burdens to the City, should the HOA cease to exist and the City be required to maintain the storm water treatment device. Said design and construction methods shall be to the satisfaction of the City Engineer.
- C.8.9 In conjunction with the first submittal of the improvement plans, Developer shall submit a letter requesting a minor deviation due to Developer's request to construct street cross-sections, utilities off-set, and other items that are not in alignment with the City's design documents.
- C.8.10 Developer shall also repair/construct additional landscaping and irrigation and their appurtenances on the east side of Mabel Josephine Drive fronting the Project per City standards and to the satisfaction of the City.
- C.8.11 Developer shall continue to maintain and if needed repair the temporary storm drain basin located north of West Schulte Road.
- C.8.12 The Developer will install and maintain City approved decorative street lights including the decorative light pole, ballasts including all accessories, electric service lines, conduits, junction boxes along both sides of the paved streets next to the sidewalks starting from the PG&E point of connection in accordance with the City's specification and City Design Documents. The maintenance of street lights and the associated infrastructure listed above will be the responsibility of the HOA and funded through a City approved community Facility District (CFD) or other funding mechanism. The monthly payment of energy consumption by these street lights to PG&E will also be the responsibility of the HOA. The City approved funding mechanism must be in place prior to the approval of the first final map or as agreed by the City.
- C.8.13 Sidewalks to Right-of-Way Developer shall construct sidewalks that connect the private in-tract sidewalks to the sidewalks in the right-of-way. These sidewalks' grade, alignment, etc. shall be in a way that does not create excessively narrow areas that prevent the survival of plants. This condition shall be performed to City standards and to the satisfaction of the City.

C. Building Division Conditions

Contact: Chrystle Takehara (209) 831-6486 chrystle.takehara@cityoftracy.org

- D.1. Prior to approval a building permit, the applicant shall demonstrate that exterior walls on zero lot line single family dwellings comply with the requirements of fire-resistant construction as per CRC R302.1 and Table R302.1(2), including walls, projections, openings, and penetrations. Plans shall demonstrate the continuity of

the fire-resistance-rating. Plans shall also demonstrate roof drainage as per CRC R903.

- D.2. Prior to approval a building permit, the applicant shall demonstrate that the projections meet the appropriate fire-resistance rating based on minimum fire separation distance per CRC Table R302.1(2).
- D.3. Prior to approval of grading and improvement plans, the applicant shall submit an exhibit to the Building Division to verify the installation requirements for backflow prevention devices in accordance with CPC Section 710.1. The exhibit shall include the finished floor elevation of each lot and the rim elevation of the closest sanitary sewer manhole upstream from each lot submitted.
- D.4. Prior to approval of improvement plans, applicant to detail the various types of curb ramps proposed around the development to meet accessibility requirements of CBC 11B-406.

D. South San Joaquin County Fire Authority (SSJCFA) Conditions

Contact: Amy Ray (209) 831-6706 amy.ray@cityoftracy.org

- E.1. All roadways shall maintain a minimum of 20 foot unobstructed width. The entry roadway shall not have parking.
- E.2. Red curbing and signage shall be provided and maintained in all areas where parking is not allowed. Signs shall be in accordance with CFC Section D103.6. Parking shall only be allowed in section F on the north side.
- E.3. The HOA guidelines shall state any vehicle parked in a designated fire lane shall be towed at the owner's expense. Prior to the signing of final map, draft of HOA guidelines shall be provided to the Fire Department for review, comment and approval for items including fire lanes, weed abatement and other fire prevention requirements.

E. Utilities Department Conditions

Contact: Stephanie Hiestand (209) 831-6333 stephanie.hiestand@cityoftracy.org

- F.1. Prior to issuance of a construction or building permit, the applicant shall demonstrate compliance with the 2015 Post-Construction Stormwater Standards (PCSWs) Manual and obtain approval through the following:
 - a. Develop a Project Stormwater Plan (PSP) that identifies the methods to be employed to reduce or eliminate stormwater pollutant discharges through the construction, operation and maintenance of source control measures, low impact development design, site design measures, stormwater treatment control measures and hydromodification control measures.

1. Design and sizing requirements shall comply with PCSWS Manual.
 2. Demand Management Areas must be clearly designated along with identification of pollutants of concern.
 3. Calculations of the Stormwater Design Volume and/or Design Flow with results from the Post-Construction Stormwater Runoff Calculator must be submitted in the PSP for approval.
 4. Per the PCSWS Manual, include a hydromodification management plan ensuring the post-project runoff flow rate shall not exceed estimated pre-project flow rate for the 2-year, 24 hour storm.
 5. Submit one (1) hard copy of the PSP and an electronic copy to the Utilities Department (WaterResources@cityoftracy.org), include the project name, address and Project # and/or Permit # in the title or subject line.
- b. A separate plan sheet(s) designated SW shall be submitted in the plan set that includes the identified methods for pollution prevention outlined in the submitted PSP. You must include all standards, cross sections and design specifications such as landscape requirement in treatment areas including type of irrigation installation and/or height of drain inlet above the flow line, etc. in these SW plan sheets along with legend.
- c. Develop and electronically submit to the Utilities Department for approval (WaterResources@cityoftracy.org) a preliminary Operations and Maintenance (O & M) Plan that identifies the operation, maintenance, and inspection requirements for all stormwater treatment and baseline hydromodification control measures identified in the approved PSP.
- d. No later than two (2) months after approval notification of the submitted PSP, the applicant shall electronically submit the following information to the Utilities Department (WaterResources@cityoftracy.org) for development of a draft stormwater maintenance access agreement, in accordance with the MAPCSWS:
1. Property Owner(s) name and title report; or Corporate name(s) and binding documents (resolutions, etc) designating ability to sign agreement
 2. Property Address
 3. Exhibit A – legal property description
 4. Exhibit B – approved O & M Plan
- F.2. Prior to issuance of a grading permit, the applicant shall provide proof of permit coverage under the Construction General Permit and submittal of an electronic Stormwater Pollution Prevention Plan (SWPPP), to be submitted to WaterResources@cityoftracy.org.
- F.3. Prior to Certificate of Occupancy, the applicant shall complete the following to the satisfaction of the Utilities Director:

- a. Return to the City Clerk, a legally signed and notarized copy of the final maintenance access agreement including all exhibits and approved O & M plan received from the Utilities Department.
 - b. Obtain final approval by the Utilities Department of the constructed and installed Stormwater pollution prevention methods outlined in the PSP. Frequent inspections of the Post-Construction treatment measures should occur during the construction phase by calling 209-831-6333.
 - c. The project shall be in full compliance with Construction General Permit including 70% stabilization of the project with Notice of Termination approval.
- F.4. Before the approval of a construction, grading or building permit, the applicant shall demonstrate compliance with Tracy Municipal Code Chapters 11.28 and 11.34 and Chapter 4 of the California Green Building Standards Code to the satisfaction of the Utilities Director.
- F.5. Prior to issuance of a construction or building permit, applicant shall demonstrate compliance with the 2015 Model Water Efficient Landscape Ordinance and obtain approval by the Utilities Department through the following:
- a. Develop and submit electronically and by hard copy, a Landscape Document Package (LDP) that identifies the methods to be employed to reduce water usage through proper landscape design, installation and maintenance. This LDP shall consist of:
 - 1. A project information sheet that includes the checklist of all documents in the LDP;
 - 2. The Water Efficient Landscape Worksheets that include a hydrozone information table and the water budget calculations – Maximum Applied Water Allowance and Estimate Total Water Use;
 - 3. A soil management report, after compaction and from various locations throughout the project;
 - 4. A landscape design plan that includes the statement, “I agree to comply with the requirements of the 2015 water efficient landscape ordinance and shall submit for approval a complete Landscape Document Package:
 - 5. An irrigation design plan with schedule; and
 - 6. A grading design plan.
 - b. A Certificate of Completion must be completed, signed, and submitted to the Utilities Department prior to Final approval for Occupancy.

F. Finance Department Conditions

Contact: Karin Schnaider (209) 831-6841 karin.schnaider@cityoftracy.org

- G.1. Prior to recording the Final Map, the applicant shall do one of the following,

subject to the approval of the Finance Director:

a. CFD or other funding mechanism. The applicant shall enter into an agreement with the City, to be signed by the Finance Director, which shall be recorded against the property, which stipulates that prior to the issuance of the first building permit, the applicant will form or annex into a Community Facilities District (CFD) or establish another lawful funding mechanism that is reasonably acceptable to the City for funding the on-going operational costs of providing Police services, Public Works services and other City services to serve the Project area. Formation of the CFD shall include, but not be limited to, affirmative votes and the recordation of a Notice of Special Tax Lien. The applicant shall be responsible for all costs associated with the formation or annexation proceedings. Upon successful formation, the parcels will be subject to the maximum special tax rates as outlined in the Rate and Method of Apportionment.

Or

b. Direct funding. The applicant shall enter into an agreement with the City, which shall be recorded against the property, which stipulates that prior to the issuance of the first building permit, the applicant will fund a fiscal impact study to be conducted and approved by the City to determine the long term on-going operational costs of providing Police services, Public Works services and other City services to serve the Project area, and deposit with the City an amount necessary, as reasonably determined by the City, to fund the full costs in perpetuity as identified by the approved study.

If the provisions for adequate funding of the on-going operational costs of providing Police services, Public Works services and other City services are met prior to issuance of the first building permit for the project, subject to the Finance Director's review and approval, the terms of this condition shall be considered to have been met and this condition shall become null and void.

G. Parks and Recreation Department Conditions

Contact: Richard Joaquin (209) 831-6235 richard.joaquin@cityoftracy.org

H.1. Prior to the issuance of building permits, the applicant shall pay all park in-lieu fees required for the project.